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ARCHITECT

ANDERSON ALEXANDER

ARCHITECTURE / INTERIORS / CONSTRUCTION

WWW.ANDERSON-ALEXANDER.COM

Kramer's Master Bathroom

PROJECT

CLIENT

Amy and Andrew Kramer

PROJECT ADDRESS

58 Jackson Road Bedford, NY 10506

NOTES

1. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS. 2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY

DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS. 3. THE CONTRACT DOCUMENTS PREPARED BY THE ARCHITECT ARE THE ARCHITECTS COPYRIGHT PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF THE CONTRACT DOCUMENTS IN WHOLE OR IN PART IS

FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION. 4. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH THE NEW

WORK DRAWINGS FOR EXACT EXTENT OF DEMOLITION. 5. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL

EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND FACILITATE PROPER EXECUTION OF THE WORK. 6. ALL DIMENSIONS, INCLUDING EXISTING DIMENSIONS AND SETTING-

OUT GEOMETRIES, SHALL BE SITE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK. 7. REMOVAL AND DISPOSAL OF THE HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES

HAVING JURISDICTION. 8. UNLESS NOTED OTHERWISE, MAKE GOOD ALL AREAS DISTURBED BY EXCAVATION AND/OR INSTALLATION OF CIVIL. MECHANICAL AND ELECTRICAL SERVICES. REFER TO

CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS. 9. THE CONTRACTOR SHALL COORDINATE BASE BUILDING WORKS WITH WORK OF OTHER CONTRACTORS. INCLUDING TENANT

WORKS AS REQUIRED TO FACILITATE PROPER INSTALLATION. 10. ALL EXPOSED CAST-IN-PLACE CONCRETE SHALL BE ARCHITECTURAL CONCRETE - MEDIUM SANDBLAST FINISH, UNLESS NOTED OTHERWISE.

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

SEAL

DRAWING SET

COVER PAGE

PROJECT NO.

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE RULES AND REGULATIONS OF NORTH CASTLE BUILDING CODE, AND ALL OTHER NEW CASTLE AGENCIES OR DEPARTMENTS HAVING JURISDICTION OVER ANY
- PORTION OR SPECIFIC PHASE OF THE WORK. ALL PERMITS SHALL BE CONSPICUOUSLY DISPLAYED AT SITE IN A LOCATION OPEN TO PUBLIC INSPECTION THROUGHOUT THE DURATION OF THE WORK. CONTRACTOR & SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING
- NECESSARY AFFIDAVITS, APPROVALS, CERTIFICATIONS, ETC. OF MATERIALS AS REQUIRED BY THE DEPARTMENT OF BUILDINGS. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE BUILDING OWNER AND THE DEPARTMENT OF BUILDING.

ALL NEW ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN

AND FURNISHING OWNER OR ARCHITECT AND/OR ENGINEER OF RECORDALL

- AND TO COMPLY WITH THE NYC ELECTRICAL CODE AND ALL OTHER APPLICABLE ALL MATERIALS PROVIDED AND WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL MATERIALS AND
- EQUIPMENT SHALL MEET APPLICABLE STANDARDS AS PUBLISHED BY A.N.S.I./NEMA AND SHALL BE LISTED BY U.L.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL OBTAIN THE LATEST COPIES OF APPROVED PLANS AND THEY SHALL FAMILIARIZE THEMSELVESTHOROUGHLY WITH THESE BEFORE COMMENCING ANY WORK.
- THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO COMMENCING THEIR PORTIONS OF THE WORK. THEY SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS IN THE FIELD BEFORE DOING ANY WORK OR FABRICATION OF ANY KIND AND SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THAT OF OTHER TRADES
- CONTRACTOR TO BE RESPONSIBLE FOR THE HANDLING AND DELIVERY OF ALL
- MATERIALS AND SUPPLIES. THESE DRAWINGS SHALL NOT BE MEASURED (SCALED) TO OBTAIN ANY DIMENSION. IF A DIMENSION IS MISSING OR IN QUESTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ARCHITECT AND/OR ENGINEER FOR A READING ON THE MATTER BEFORE PROCEEDING WITH THE
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORMTHE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION
- OF THE ARCHITECT. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR METHODS AND MEANS OF CONSTRUCTION. ALL CONSTRUCTION TO MEET ALL NEW YORK STATE ENERGY CODES. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT AS SHOWN. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY
- ALL MATERIALS PROVIDED AND WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DRAWINGS, CONTRACT SPECIFICATIONS, AND ALL OTHER ADDITIONAL CONTRACT DOCUMENTS
- CONTRACTOR SHALL PREPARE AND UPDATE A WEEKLY CONSTRUCTION SCHEDULE. COMPLETION DATE MAY NOT BE EXTENDED WITHOUT WRITTEN NOTICE TO THE OWNER AND ARCHITECT AND/OR ENGINEER.
- A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR INSPECTION BY THE ARCHITECT AND/OR ENGINEER. THE DRAWINGS SHALL BE UPDATED AND RETURNED TO THE ARCHITECT AND/OR ENGINEER AT THE COMPLETION OF THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING, MOVING AND REMOVING ALL TEMPORARY SERVICES NECESSARY AND REQUIRED TO COMPLETE THE WORK ON THE CONTRACT. TEMPORARY SERVICES SHALL MEET ALL APPLICABLE REQUIREMENTS OF LOCAL CODES, LAWS, ORDINANCES AND REGULATIONS.
- CONTRACTOR(S) SHALL TAKE ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION REQUIRED BY THE BUILDING CODE, LOCAL LAWS, OR OTHER APPLICABLE REGULATIONS, AND SHALL ACCEPT FULL RESPONSIBILITY FOR FAILURE TO COMPLY WITH SUCH REQUIREMENTS RENDERING THE OWNER, ARCHITECT AND THEIR REPRESENTATIVES FREE OF LIABILITY REGARDING NON-COMPLIANCE OF SAID REQUIREMENTS.
- PER SECTION BC 1008 1008.1.6 THRESHOLDS. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75 INCH (19.1 MM) IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH (12.7 MM) FOR OTHER DOORS, RAISED. THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 0.25 INCH (6.4 MM) AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE).
- THE WORK PERMIT MUST BE POSTED IN A CONSPICUOUS PLACE AT THE WORK SITE AND REMAIN ACCESSIBLE TO THE PUBLICFOR THE DURATION OF CONSTRUCTION.
- G.C. TO COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF DEMOLITION. PROVIDE FOR LEGAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS
- FROM THE BUILDING AND SITE. COORDINATE ALL DEMOLITION AND REMOVALS WITH CUMC, PROTECT ALL WORK NOT SLATED FOR DEMOLITION. CHECK THE WORK ADJOINING OR AT UNDERLYING LOCATIONS. IN WHICH THE
- WORK IS TO BE PERFORMED. DO NOT START THE WORK UNTIL SUCH CONDITIONS HAVE BEEN EXAMINED AND A COURSE OF ACTION MUTUALLY AGREED UPON. THE CONTRACTOR SHALL INVESTIGATE THE CONDITION OF EXISTING RISERS.CONDUIT AND OTHER PIPES TO VERIFY WHETHER OR NOT THEY ARE
- ACTIVE AND REPORT THIS INFORMATION TO THE ARCHITECT IMMEDIATELY. THESE CONDITIONS ARE NOT TO DISRUPT THE TIMELY EXECUTION OF OTHER PORTIONS OF THE WORK UNRELATED TO SAID CONDITIONS. THE CONTRACTOR SHALL PROMPTLY REPLACE OR REPAIR CONDITIONS. ANY DAMAGED ITEMS THAT WERE NOT TO BE DEMOLISHED OR REMOVED.
- REPLACEMENT OR REPAIR SHALL BE PERFORMED AT NO ADDITIONAL COST TO EXISTING RISERS, STACKS, TOILET EXHAUST DUCTS AND OTHER BUILDING
- FUNCTIONS SERVING OTHER FLOORS OF THE BUILDING TO REMAIN IN USE DURING DEMOLITION
- ITEMS LISTED TO REMAIN SHALL BE PROTECTED DURING DEMOLITION OR REMOVED AND STORED TEMPORARILY. ITEMS DAMAGED DURING DEMOLITION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE ALL UTILITY SERVICES SCHEDULED TO BE REMOVED, SHALL BE TRACED TO
- THEIR MAIN SOURCE AND DISCONNECTED OR CAPPED AT THAT LOCATION BEFORE STARTING DEMOLITION OPERATIONS. FLOOR TO BE KEPT BROOM CLEAN AT THE END OF EACH SHIFT. SCRAPE ALL FLOORS AS REQUIRED FOR A FLUSH, LEVEL AND SMOOTH FINISH.
- REMOVE ALL FINISH MATERIAL & ADHESIVE. PROVIDE TEMPORARY POWER FOR LIFE SAFETY AND OTHER EMERGENCY DEVICES AS DIRECTED BY OWNER, WHEN POWER IS TO BE INTERRUPTED.
- REMOVE ALL ABANDONED PIPING, DUCTWORK AND HANGERS. COORDINATE ALL MEP ITEMS WITH THE ENGINEER'S DRAWINGS THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR THE
- PERFORMANCE OF THIS WORK AND PAY ALL FEES IN CONNECTION THERE WITH. THE CONTRACTOR SHALL VISIT THE BUILDINGS AND SITE OF THE PROPOSED WORK PRIOR TO THE CONTRACT SIGNING TO EXAMINE THE CONDITIONS OF THE SITE. CONTRACTOR TO BE RESPONSIBLE FOR THE HANDLING AND DELIVERY OF ALL MATERIALS AND SUPPLIES.
- ALL DIMENSIONS GIVEN FOR PARTITIONS ARE FINISH SURFACE TO FINISH SURFACE UNLESS OTHERWISE NOTED. DRAWINGS ARE NOT TO BE SCALED.
- THE CONTRACTOR IS TO PREPARE THE JOBSITE PARTITION LAYOUT FOR APPROVAL BY ARCHITECT PRIOR TO ERECTING PARTITIONS. THE CONTRACTOR TO REPLACE INTEGRITY OF EXISTING RATED PARTITIONS
- AND, COLUMN AND BEAM FIREPROOFING IF DAMAGED. REPLACEMENT TO CONFORM TO ANY AND ALL CODES HAVING JURISDICTION. ANY EXISTING WORKING JUNCTION BOXES, OUTLETS, THERMOSTATS, ETC., OR WALLS RECEIVING A NEW GYPSUM BOARD LAMINATION SHALL BE EXTENDED
- FLUSH TO THE NEW SURFACE. WHERE HEATING AND PLUMBING PIPES ARE CONCEALED IN HUNG OR FURRED CEILINGS, THESE CEILINGS SHALL NOT BE BUILT UNTIL THE HEATING AND
- PLUMBING LINES HAVE BEEN TESTED THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING
- OR FABRICATING MATERIAL. PROVIDE METAL GROUNDS IN NEW WALLS AT ALL WALL HUNG CABINETS,
- PLUMBING FIXTURES, WALL MOUNTED FURNITURE. THE CONTRACT DRAWINGS ARE INTENDED TO FULLY REPRESENT THE SCOPE
- AND NATURE OF ALL WORK NECESSARY FOR THE COMPLETION OF THE RENOVATION. ALL EQUIPMENT. SYSTEMS. CONSTRUCTION ASSEMBLIES. MATERIALS, AND FINISHES REQUIRED ARE INDICATED IN THE DOCUMENTS.
- THE BID PRICE IS NOT TO BE SUBJECT TO RESERVATIONS OR CONTINGENCIES DUE TO INCOMPLETE DRAWINGS. THE ABSENCE OF DETAILS WHICH CAN BE INFERRED FROM STANDARD PRACTICE AND REQUIREMENTS WILL NOT BE CONSIDERED A BASIS FOR ADDITIONAL PAYMENT

- WORK SHOWN ON DRAWINGS BUT NOT DIMENSIONED IS TO BE SCALED FOR THE PURPOSE OF ESTABLISHING FIRM BID PRICES.
- THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL COORDINATE THE EXECUTION OF THEIR WORK WITH THAT OF OTHER TRADES SO AS NOT TO IMPEDE THEIR PROGRESS OR CREATE CONFLICTS. ITEMS NOT IN CONTRACT
 - SECURITY FREESTANDING FURNITURE
- TELE/DATA WIRING 47. G.C. TO FIELD INSPECT EXISTING FLOOR SLAB CONDITIONS PRIOR TO BID AND VERIFY THE AMOUNT OF FLOOR PATCHING REQUIRED. INFORM CONTENT OF REQUIRED PATCHING AND INCLUDE ALL COSTS WITH BID.
- ALL SHUTDOWNS OF EXISTING SYSTEMS SHALL BE KEPT TO A MINIMUM. THE CONTRACTOR WILL NOTIFY THE OWNER TEN (10) CALENDAR DAYS IN ADVANCE WHERE SHUTDOWN IS NECESSARY. TEMPORARY CONNECTIONS SHALL BE MADE PRIOR TO SUCH SHUTDOWN SO AS NOT TO INTERRUPT SERVICES TO OTHER AREAS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL CEILING HEIGHTS FOR CONFORMANCE AND CLEARANCE TO HEIGHTS AS INDICATED ON ARCHITECT AND/OR ENGINEERS DRAWINGS.
- DOORS REQUIRED TO BE FIRE-RATED SHALL BEAR UL & BS & A LABELS AFFIXED TO STILE ON HINGE SIDE OF DOOR ALL OPENINGS IN RATED WALLS AND ENCLOSURES SHALL BE PROTECTED WITH FIRE-RATED PROTECTIVE DEVICES AS PER THE NEW YORK CITY
- BUILDING CODE. THE GENERAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECTS
 - APPROVAL, THE FOLLOWING: MILLWORK SHOP DRAWINGS
 - LIGHTING FIXTURE CUTS
 - FLOORING SAMPLE PAINT SAMPLES

HARDWARE CUTS

CEILING TILE/GRIDS DOOR & FRAMES

RESIDENTIAL LEAD RENOVATION SAFETY NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY THE PRESENCE/ABSENCE OF LEAD CONTAINING PAINT AND MATERIALS PRIOR TO BEGINNING THE RENOVATIONS WORK USING EITHER AN EPA APPROVED TEST KIT OR BY CONTRACTING WITH ACERTIFIED LEAD RISK ASSESSOR/INVESTIGATOR TO CARRY OUT XRF
- IF LEAD IS FOUND TO BE PRESENT THE JOBSITE SHALL BE MAINTAINED COMPLIANT WITH THE EPA, HUD, AND LL 1/2004 GUIDELINES AND THEIR
- REQUIREMENTS SPECIFIC TO THE SITE. GENERAL CONTRACTOR/SUBCONTRACTORS SHALL BE EPA CERTIFIED RENOVATOR TRAINED TO SATISFY THE REQUIREMENTS OF RULE 40 CFR 745. ALL PERSONELL PRESENT ON THE JOBSITE MUST ATTEND TRAINING FOR EACH MODULE AS REQUIRED AND BE SIGNED OFF BY THE CERTIFIED
- RENOVATOR RESPONSIBLE FOR THE SITE. THE SITE SHALL BE PREPARED, MAINTAINED, CLEANED, AND PROTECTEDAS PER THE RECOMMENDATIONS OF THE RENOVATE SAFE PAMPHLET.
- THE UNIT OCCUPANT AND THE OWNER MUST BE GIVEN THE RENOVATE RIGHT PAMPHLET PRIOR TO THE START OF CONSTRUCTION. CARE SHALL BE TAKEN TO MAINTAIN CONTAINMENT AT ALL TIMES DURING CONSTRUCTION. ALL PERSONELL ENTERING AND LEAVING THE SITE SHALL PRACTICE SAFE PROTECTION AND DECONTAMINATION PROCEDURES TO
- PREVENTTHE SPREAD OF LEAD OUTSIDE THE PREMISES THE SITE WILL BE CONSIDERED A LEAD CONTAMINATED SITE UNTIL AFTERFINAL CLEANING AND THE SUCCESSFUL COMPLETION OF THE CLEANING VERIFICATION PROCEDURE AND A CLEARANCE EXAMINATION IF A
- LEAD RISK ASSESSOR/INVESTIGATOR HAS BEEN RETAINED. PROHIBITED PRACTICES ARE AS FOLLOWS: NO OPEN FLAME BURNING OR TORCHING OF PAINT NO USE OF A HEAT GUN DELIVERING TEMPS IN EXCESS OF 1.100F
- NO POWER SANDING, PLANING, NEEDLING, OR USE OF POWERABRASIVES WITHOUT AN EPA APPROVED HEPA VACUUM NO DRY SANDING OR SCRAPING OF PAINT SHALL BE ALLOWED
- EACH WORKER MUST READ AND FOLLOW ALL PROVISIONS OF THE "STEPS" GUIDE TO SAFE LEAD PRACTICES. ENTRANCES TO THE WORK AREA MUST BE CONTAINED WITH EITHER TWOLAYERS OF 2-PLY 6-MIL PLASTIC IN A SLIT AND FLAP CONFIGURATION OR
- MUSTEMPLOY ZIP-A-DOOR OR OTHER VERTICAL SHEETING CONTAINMENT. WORKERS IF EXPOSED BEYOND THE OSHA PEL MUST WEAR HAL FACERESPIRATORS APPROPRIATE TO THE RISK LEVEL.

ALL WORKERS IN LEAD ENRIVONMENTS SHALL BE IN DISPOSABLE BODYSUITS

- WITH HOODS AND BE GLOVED WITH NON-LATEX OR NITRILE GLOVES ANDWEARING DISPOSABLE SHOE BOOTIES. BOOTIES AND PROTECTIVE EQUIPMENTSHALL NOT LEAVE THE JOBSITE AT ANY TIME. ALL DEBRIS MUST BE EITHER BAGGED WITH A "GOOSENECK" AND
- SECURELYTAPED AFTER BEING EVACUATED WITH A HEPA VACUUM OR MUST BE SECURELYWRAPPED AND ALL SEAMS TAPED AFTER BEING EVACUATED WITH A HEPA VACUUM. CONTRACTOR IS RESPONSIBLE FOR PRESENTING EPA
- CERTIFICATIONCREDENTIALS PRIOR TO THE START OF CONSTRUCTION. ALL WORKERS SHALL HEPA VACUUM ALL DUST FROM PROTECTIVEEQUIPMENT PRIOR TO ITS REMOVAL AND THEN SHALL AGAIN USE THE HEPAVACUUM TO CLEAN AREAS OF HANDS, NECK, HAIR AND LEGS PRIOR TO LEAVING THEDECON AREA TO AVOID SPREADING LEAD CONTAMINATION.

ALL REFUSE MUST BE STORED IN A SECURE LOCK-UP OR

- IMMEDIATELYDISPOSED OF. LEAD CONTAMINATED MATERIALS MAY BE DISPOSED OF AS NON-HAZARDOUS COMMON HOUSEHOLD WASTE PER EPA GUIDELINES WHEN REMOVEDFROM A RESIDENTIAL OCCUPANCY.
- ALL FLOOR AREAS TO REMAIN SHALL BE PROTECTED WITH TWO LAYERS OF2-PLY 6-MIL PLASTIC SHEET TAPED SECURELY AROUND THE PERIMETER ANDEXTENDING WALL TO WALL. ALL HORIZONTAL SURFACES SHALL BE VACUUMED WITHA HEPA FILTER EQUIPPED VAC AT THE END OF EACH DAY.
- AVOID BROOM SWEEPINGFINE DUST TO PREVENT LEAD SPREAD. AT END OF JOB PLASTIC SHALL BE REMOVED ONE LAYER AT A TIME ANDSHEETS FOLDED INTO THEMSELVES IN "BOOK" FASHION AND THEN DOUBLE BAGGEDWITH THE EVACUATED GOOSENECK METHOD.
- AT END OF LEAD DUST PRODUCING PHASE FLOORING SHALL BE CLEANEDWITH A SWIFFER STYLE WET MOP SYSTEM USING ONE WET WIPE FOR NO MORETHAN 40 SQUARE FEET OF AREA.
- CLEAN ALL VERTICAL AREAS FROM TOP TO BOTTOM, WIPE ALL WINDOWS, SILLS, CABINETS AND COUNTERS, AND PROCEED FROM FARTHEST POINT BACKINGOUT TO THE DOOR. CHANGE BOOTIES OFTEN AND AVOID TRACKING FROMCONTAMINATED AREAS TO CLEAN AREAS.
- PRIOR TO CLEAN UP DUST SHOULD BE ALLOWED TO SETTLE FOR A MINIMUMOF FOUR HOURS OR A HEPA AIR FILTER OF APPROPRIATE SIZE BE RUN IN THE ROOMFOR A MINIMUM OF ONE HOUR.

GENERAL SAFETY NOTES

- AT NO TIME DURING CONSTRUCTION SHALL WORKMEN PENETRATE THE
- DEMISED SPACE. CONTRACTOR SHALL MAKE ALL NECESSARY SAFEGUARDS AGAINST DUSTAND
- DEBRIS INFILTRATION. CONTRACTOR SHALL LIMIT NOISE PRODUCTION WORK TO THE HOURS OF 9AM TO 5PM MONDAY THROUGH FRIDAY EXCEPT BY AFTER HOURS PERMIT ISSUED
- NO SMOKING ON THE JOB SITE. ANYONE CAUGHT SMOKING WILL BE REMOVED & SUBCONTRACTORS SHALL BE PENALIZED PER THE CONSTRUCTION MIN 20LB FIRE EXTINGUISHER TO BE KEPT ON JOBSITE AT ALL TIMES EXISTING FIRE ALARM SYSTEMS AND PULL STATIONS TO REMAIN
- OPERATIONAL. PROTECT SYSTEMS DURING DEMOLITION WORK; PROVIDE SUPERVISION/FIRE WATCH DURING ANY PERIODS WHEN ALARM SYSTEM IS TEMPORARILY DEACTIVATED. REINSTATE FIRE ALARM SYSTEM AT COMPLETION OF WORKDAY
- ALL FLAMMABLE MATERIALS TO BE SEALED TIGHTLY IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS AND TO BE KEPT AWAY FROM HEAT.
- ALL FLAMMABLE MATERIAL TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE. ALL ELECTRICAL POWER TO BE SHUT-OFF WHERE THERE IS EXPOSED CONDUIT.
- CONTRACTORS AT ALL TIMES TO MAKE SURE THAT THERE IS NO LEAKAGE OF NATURAL GAS. OR ANY FLAMMABLE GAS USED IN CONSTRUCTION. ANY TORCH OR HOT WORK TO BE CARRIED OUT TO ALL APPLICABLE FIRE

EXTINGUISHERS AT ALL TIMES OF HOT WORK.

SAFETY REGULATIONS. CONTRACTOR TO STATION FIRE WATCH WITH WATER

REFLECTED CEILING NOTES

- THE CONTRACTOR SHALL CHECK/VERIFY ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, LIGHT FIXTURES, ETC., BEFORE PROCEEDING WITH WORK. IF MATERIALS, SYSTEMS, OR CONDITIONS ARE ENCOUNTERED WHICH DIFFER FROM THE ASSUMED, IMMEDIATELY NOTIFY ARCHITECT AND DO NOT PROCEED WITHOUT
- **INSTRUCTIONS** ALL DIMENSIONS GIVEN FOR CEILING CONSTRUCTION ARE FINISH SURFACE TO FINISH SURFACE OR FINISH SURFACE TO CENTER LINE OF GRID UNLESS OTHERWISE NOTED. DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS OF LIGHTING FIXTURES ARE GIVEN CENTER LINE TO CENTER LINE, UNLESS OTHERWISE INDICATED. ALL FIXTURES TO ALIGN UNLESSNOTED OTHERWISE.
- PRIOR TO CLOSING UP ANY CEILINGS, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED,
- CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED CONTROLLED
- INSPECTIONS PRIOR TO COMPLETION OF PROJECT. INSTALLATION SHALL INCLUDE THE FURNISHING AND INSTALLING OF ALL NECESSARY HANGARS, CHANNELS AND SUCH AS MAY BE REQUIRED FOR INDEPENDENT SUPPORT.
- CONTRACTOR TO PROVIDE FOR & IDENTIFY ACCESS PANELS FOR OVERHEAD CONTROLS AND REQUIRED ACCESS, WHERE NEEDED, TO PREVENT DAMAGE TO CEILING. CONFIRM LOCATIONS WITH BUILDING MANAGEMENT AND ARCHITECT PRIOR TO INSTALLATION.
- USE EXISTING HANGERS AND HANGER ATTACHMENTS WHERE THEY HAVE BEEN APPROVED FOR REUSE BY ARCHITECT. PROVIDE NEW HANGERS AND HANGER ATTACHMENTS WHERE EXISTING HANGERS AND ATTACHMENTS HAVE BEEN REMOVED OR ARE IMPROPERLY PLACED OR OTHERWISE INAPPROPRIATE, AND WHERE THERE ARE NO EXISTING HANGERS. DO NOT REUSE REMOVED HANGERS OR ELECTRICAL DEVICES, OR USE EXISTING HANGERS THAT ARE SO ATTACHED.
- ALL NEW LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH LAMPS. ALL LAMPS ARE TO BE FURNISHED AS PER FIXTURE MANUFACTURER SPEC'S., 37001 KELVIN WHEN FLUORESCENT. ALL LENSES REFLECTORS, LAMPS, PLATES, ETC. SHALL BE GIVEN A
- THOROUGH CLEANING AT THE COMPLETION OF THE JOB. ELECTRICAL CONTRACTOR TO VERIFY VOLTAGE REQUIRED FOR ALL FIXTURES BEFORE ORDERING.

MILLWORK NOTES

- THE QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE. LATEST EDITION SHALL APPLY TO ALL WORKMANSHIP FOR ARCHITECTURAL WOODWORK AND BY REFERENCE ARE MADE A PART OF THIS SPECIFICATION. ALL WORK SHALL CONFORM TO "PREMIUM" GRADE REQUIREMENTS OF THE AWI QUALITY STANDARDS, UNLESS MODIFIED HEREIN.
- CERTIFICATION OF FIRE RETARDANT TREATMENT OF WOOD FOR WOODPANELING AND MISCELLANEOUS BLOCKING: SUBMIT CERTIFICATION STATING NAME OF FIRE RETARDANT MATERIALS USED, AND COMPLIANCE WITH AWPA STANDARD FOR FLAME SPREAD OF 25 OR LESS PER UL 723 OR ASTM E84 FOR LUMBER AND PLYWOOD. CERTIFY THAT FIRE RETARDANT MATERIALS WILL NOT BLEED THROUGH PAINTED OR NATURAL FINISH
- MEASUREMENTS: BEFORE PROCEEDING WITH WOODWORK REQUIRED TO BE FITTED TO OTHER CONSTRUCTION, OBTAIN FIELD MEASUREMENTS AND VERIFYALL DIMENSIONS OF SHOP DRAWING DETAILS AS REQUIRED FOR ACCURATE FIT.
- COMPATIBILITY OF GRAIN AND COLOR: ARCHITECT RESERVES THE RIGHT TO SELECT MATERIALS FOR BEST COMPATIBILITY BETWEEN VISUALLY RELATED MEMBERS AND VENEERS
- FABRICATE UNITS IN LARGEST PRACTICABLE SECTIONS. ASSEMBLE IN THE SHOP FOR TRIAL FIT, DISASSEMBLE FOR SHIPMENT AND REASSEMBLE WITH CONCEALED FASTENERS. SHELVES SHALL BE 3/4" THICK FOR SPANS UP TO THIRTY (30) INCHES; FROM
- THIRTY (30) INCHES TO FORTY-EIGHT (48) INCHES USE 1" THICK SHELVES. ALL ADJUSTABLE SHELVES TO HAVE SHELF REST HOLES AT 3" 0.C. ALL MILLWORK BRACKETS TO BE INSTALLED WHERE SPAN EXCEEDS 3'-0" COORDINATE LOCATION OF BRACKET WITH FURNITURE ITEMS AND ALLOW 11"
- CLEAR KNEE SPACE IN FRONT OF BRACKETS. FACE VENEERS: PANELS SHALL BE FLITCH MATCHED, SEQUENCE MATCHED, BOOK MATCHED, END MATCHED, ALL AREA WHERE WOOD PANELS IS REQUIRED. ALL PANELS SHALL BE MATCHED ONE TO THE OTHER USING
- "BLUEPRINT" MATCHING METHOD. VENEER SHALL BE MINIMUM 1/28 " THICK. DRAWER ASSEMBLY TO BE LOCK SHOULDER JOINT W/ 3/4" APPLIED FRONT. PROVIDE FULL EXTENSION SLIDING HARDWARE. INTERIOR TO BE WHITE MELAMINE PLYWOOD.
- ALL EXPOSED EDGES/ENDS OF MILLWORK TO BE FINISHED TO MATCH ADJACENT CABINET FACE.

BUILDING INFORMATION

PROJECT NAME/ADDRESS: 58 Jackson Road

Bedford, NY 10508

BUILDING OWNER:

Andrew M. and Amy L. Kramer

JURISDICTION: CITY OF NORTH CASTLE **ZONING CLASSIFICATION: R-2A WORK TYPE:** ALTERATION TYPE 2

PROJECT DATA: EXISTING STRUCTURE: YES ADDITION: NO **DEMOLITION: NO** HISTORIC: NO **CLIMATE ZONE: 4A**

GROUND

SNOW LOAD

FG. R301.2(6)

30 LB/SF

LOT AREA: 87,556 sq ft (2.01 acres) BLG. AREA: 3,381 sq ft YEAR BUILT: 1985 STORIES: 2 WORK UNDER: OLD CODE OCCUPANCY: RESIDENTIAL SINGLE-FAMILY

CONSTRUCTION CLASS: CLASS I - FIREPROOF

FLOOD MAP STATUS: PROJECT SITE IS IN ZONE X - AREA OF MINIMAL FLOOD HAZARD

THIS BUILDING SHALL BE BUILT IN COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE - ALTERATION TYPE 2 [NY] Section AJ601 Alterations—Level 2

WIND SPEED

FG. R301.2(5)

120 MPH

WIND DESIGN

SPECIAL

WIND REGION

FG. R301.2(5)A

YES

TOPOGRAPHIC

EFFECTS

R301.2.1.5

PLUMBING NOTES

- ALL PLUMBING WORK IS TO BE PERFORMED BY A NYS LICENSED MASTER CONTRACTOR MUST CONDUCT CAREFUL PROBES TO DETERMINE
- LOCATIONS OF RISERS. PIPING AND BUILDING SERVICES PRIOR TO CUTTING OR CHOPPING IN ORDER TO AVOID UNINTENDED SEVERING OF
- NO WORK TO AIR CONDITIONING SLEEVES, PENETRATIONS, GRILLES OR RADIATORS AND ASSOCIATED PIPING.
- ALL BRANCH LINES INCLUDING BUT NOT LIMITED TO DOMESTIC HOT WATER AND COLD WATER PIPING, STEAM PIPING AND RADIATOR PIPING (IF APPLICABLE) ARE REQUIRED TO BE REPLACED WITH NEW PIPING, INCLUDING STEAM RADIATOR (IF APPLICABLE), BACK TO THE BUILDING RISERS WHEN ORIGINAL IS EXPOSED DURING ALTERATION OR IF FOUND TO BE DETERIORARTED. THIS INCLUDES SHOWER/TUB DRAINS AND WATER CLOSET WASTE CONNECTION.
- ALL DOMESTIC HOT AND COLD WATER AND STEAM LINES ARE TO BE
- ALL PIPING FROM RISER TO PLUMBING LOCATIONS TO BE IN FURRED OUT WALLS. ALL PLUMBING TO REUSE EXISTING PATHWAYS FOR CONNECTIONS TO PLUMBING RISER.
- GC TO INSTALL SHUT OFF VALVE AT EACH CONNECTION TO THE BUILDING LINES. ALL SHUT OFF VALVES TO BE MADE ACCESSIBLE. GC TO INSTALL PRESSURE TYPE OF VACUUM BREAKERS AND WATER

ABANDONDED PLUMBING LINES ARE TO BE CAPPED AS REQUIRED BY

HAMMER ARRESTORS FOR HOT AND COLD WATER IS REQUIRED. GC TO PROVIDE DIELECTRIC UNIONS WHERE APPROPRIATE AT END CONNECTIONS SO AS TO ISOLATE DISSIMILAR MATERIALS.

STRUCTURAL NOTES

- ALL WALLS CALLED OUT TO BE DEMOLISHED ARE NON-LOADBEARING. EXISTING STRUCTURAL COMPONENTS INCLUDING BEAMS, SLABS, LOAD BEARING WALLS, AND COLUMNS IN AREAS AFFECTED BY THE PROPOSED
- RENOVATION WORK WILL NOT BE ALTERED OR DISTURBED. THE SURFACES OF THE FLOOR, CEILING SLABS, AND STRUCTURAL COLUMNS ARE NOT BE NOTCHED OR CHANNELED OUT TO ACCOMMODATE
- ANY OF THE WORK BEING DONE. ALL FRAMING MEMBERS TO UTILIZE EXISTING CONNECTIONS. REFER TO NOTES ON DETAIL
- THERE ARE NO NEW ANCHORAGE DETAILS AS THERE ARE NO NEW STRUCTURAL ELEMENTS TO BE CONNECTED.RE ARE NO NEW STRUCTURAL ELEMENTS TO BE CONNECTED.

- ALL ELECTRICAL WORK SHALL BE PERMITTED AND PERFORMED BY A NYS
- LICENSED MASTER ELECTRICIAN. REFER TO POWER PLAN FOR NEW, RELOCATED, AND EXISTING POWER
- LOCATIONS. RECEPTACLES SPACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH
- THE 2020 NATIONAL ELECTRICAL CODE. GFCI PROTECION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2020 NATIONAL ELECTRICAL CODE. ALL OTHER BRANCH CIRCUITRY SHALL BE ARC-FAULT PROTECTED. IN ADDITION, ALL CONVENIENCE OUTLETS
- WITHIN THE DWELLING UNIT SHALL BE TAMPER RESISTANT. IF BUILDING RISE IS UNCOVERED DURING DEMOLITION, THEN GC IS TO HALT ALL WORK AND NOTIFY BUILDING MANAGEMENT, ARCHITECT, AND OWNER. NO ALTERATION WORK IS PERMITTED ON THE BUILDING RISER.
- GC SUBCONTRACTED ELECTRICIAN TO PROVIDE ELECTRICAL LOAD LETTER IN ACCORDANCE WITH THE 2020 NATIONAL ELECTRICAL CODE. LOAD LETTER TO BE PREPARED BY A NYC LICENSED MASTER ELECTRICIAN OR PROFESSIONAL ENGINEER ON COMPANY LETTERHEAD, INCLUDING LICENSE NUMBER. THE LOAD LETTER SHALL INCLUDE EXISTING LOAD, SERVICE AMPACITY AND FEEDER SIZE, AND OVERCURRENT PROTECTIVE DEVICE. THE LETTER SHALL ALSO INCLUDE THE PROPOSED NEW ELECTRICAL LOAD, SERVICE AMPACITY AND FEEDER SIZE, AND OVERCURRENT PROTECTIVE DEVICE
- ARE TO BE MAINTAINED IN ACCORDANCE WITH THE 2020 NATIONAL ROUTING ELECTRICAL CONDUIT IS NOT PERMITTED IN THE FOLLOWING LOCATIONS: EXTERIOR BUILDING WALLS, DEMISING WALLS AND FLOOR

SUFFICIENT WORKING CLEARANCES OF ALL ELECTRICAL REQUIREMENTS

THE BUILDING'S INTERCOM CONTRACTOR MUST BE USED FOR ALL INTERCOM WORK AND SHALL BE CONSULTED REGARDING APARTMENT UNIT UPGRADES.

ENERGY NOTES TO THE BEST OF ARCHITECT'S KNOWLEDGE . THIS CONTSUCTION MEETS AND EXCEEDS THE N.Y.S. ENERGY CONSERVATION CODE

ENERGY EFFICIENCY PROPOSED ALTERATION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NYZ FOR CLIMATE ZONE 4A

BLG. THERMAL ENVELOPE ALL INSULATION AND FENESTRATION TO CONFORM TO REQUIREMENTS BELOW FOR CLIMATE ZONE 4 [NY] TABLE R402.1.2

U- VALUE: FENESTRATION: .32 SKYLIGHT: .55

MASS WALL: 8/13

SHGC-VALUE:

GLAZED FENESTRATION:.4 **R-VALUE** CEILING: 49 WOOD FRAME WALL: 20 OR 13+5h

FLOOR: 19 WINDOWS AND SKYLIGHTS: NOT GREATER THAN 0.3 cfm per square foot

ELECTRICAL POWER & LIGHTING NOT LESS THAN 90% OF PERMANENTLY INSTALLED LIGHTING FIXTURES

SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS

53 • 1/05/14**.**F03 1/05/13.N-4 2.03 2.005Ac 2.008 80.46 2.04Ac 1/05/15.-9 1.733 2.04Ac 1/05/14.F06 **43** 1/05/14.F07

38

2.001Ac

Jackson Rd

ZONING MAP

56

2.005

2.005Ac

1/05/13.M07

As per Town of North Castle Zoning Regulations 355-21

ALLOWED: 30 ft PROPOSED: No change in height. Roof addition to match existing height.

STRUCTURAL DESIGN DATA TABLE R301.5 LIVE LOAD DEAD LOAD (IN LB/SQ.FT.) (IN LB/SQ.FT.) ROOMS OTHER THAN **SLEEPING ROOMS**

MEAN

ANNUAL

TEMP.

54.5

MAXIMUM FLOOR AREA:

USE AND OCCUPANCY CLASSIFICATION EXISTING OCCUPANCY: R PROPOSED OCCUPANCY: NO CHANGE IN OCCUPANCY

ALLOWED: 8% = 7,004 s.f.PROPOSED: Exsiting 3,381 s.f. to remain. No change in building footprint.

MAXIMUM AVG. HEIGHT OF PRINCIPAL BUILDING: As per Town of North Castle Zoning Regulations 355-21

MIN. YARD REQUIREMENTS Existing to remain. No change in blg. footprint.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1) SUBJECT TO DAMAGE FROM ICE BARRIER WINTER

FLOOD AIR DESIGN UNDERLAYMENT HAZARD FREEZING DESIGN WEATHERING TERMITE WIND BORN FROST LINE TEMP INDEX **CATEGORY** DEBRIS ZONE FIG. R301.2(4) DEPTH FG. R301.2(7) R301.2.1.4 FG. R301.2(2) R301.2.1.2 FG. R403.1(1) YES NONE 1500 OR SEVERE MOD. TO SEVERE LESS

ARCHITECT

NO CHANGE OF USE.

2.001Ac 48

²OCCUPANCY, OR

EGRESS

ALEXANDER

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PROJECT

Kramer's Master Bathroom

CLIENT Amy and Andrew Kramer

PROJECT ADDRESS

58 Jackson Road

Bedford, NY 10506

1. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS. 2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.

3. THE CONTRACT DOCUMENTS PREPARED BY THE ARCHITECT ARE THE ARCHITECTS COPYRIGHT PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF THE CONTRACT DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION 4. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK. INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH THE NEW WORK DRAWINGS FOR EXACT EXTENT OF DEMOLITION

5. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND **FACILITATE PROPER EXECUTION OF** THE WORK. 6. ALL DIMENSIONS, INCLUDING EXISTING DIMENSIONS AND SETTING-

TO PROCEEDING WITH THE WORK. 7. REMOVAL AND DISPOSAL OF THE HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL **REGULATIONS AND AUTHORITIES** HAVING JURISDICTION. 8. UNLESS NOTED OTHERWISE, MAKE GOOD ALL AREAS DISTURBED BY

OUT GEOMETRIES, SHALL BE SITE

VERIFIED BY THE CONTRACTOR PRIOR

EXCAVATION AND/OR INSTALLATION

ELECTRICAL SERVICES. REFER TO CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS. 9. THE CONTRACTOR SHALL COORDINATE BASE BUILDING WORKS WITH WORK OF OTHER CONTRACTORS. INCLUDING TENANT WORKS AS REQUIRED TO FACILITATE

PROPER INSTALLATION.

OF CIVIL. MECHANICAL AND

FINISH, UNLESS NOTED OTHERWISE

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on

10. ALL EXPOSED CAST-IN-PLACE

CONCRETE - MEDIUM SANDBLAST

CONCRETE SHALL BE ARCHITECTURAL

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SEAL

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RAWING TITLE

PAGE NUMBER

GENERAL NOTES PROJECT NO.

G-100

PROTECTION & REMOVAL NOTES

- REMOVE AND DISCARD U.C
- CLEANING AND RE-ORGANIZING TO BE PERFORMED 2X DAY (NOON AND END OF DAY). PICK-UP DEBRIS AND CUT-OFFS, BAG AND REMOVE. VACUUM FLOORS, WET MOP RAMBOARD PROTECTION AND MASONITE AREAS, ORGANIZE AND WIPE DOWN TOOLS, ORGANIZE MATERIALS AND FINISHES.
 USE HEPA VACUUM FOR FINE CLEANING AT THE END OF EACH DAY.
- 4. MAINTAIN A DAMP FOOT MAT AT ENTRY TO ZIPPER WALL AREAS TO CLEAN DUST OFF BOOTS AND SHOES. TAPE ALL 4 SIDES AND INSTALL OVER PLASTIC.
- 5. IF A SECOND WORKING BATHROOM IS NOT AVAILABLE, SALVAGE THE EXISTING TOILET TO BE USED AS THE TEMP TOILET. IF YOU FEEL A PORT-A-POTTY IS NEEDED, PLEASE NOTIFY ARCHITECT BEFORE ACCEPTING THE PROJECT.
- 6. PROVIDE PROTECTION OF ALL BUILDING RISERS LOCATED WITHIN WALLS.
- 7. PROVIDE PROTECTION OF BUILDING SYSTEMS INCLUDING SPRINKLER, ELECTRICAL, HVAC, ETC. DURING THE WORK.
- 8. PROTECT ALL VENTS PRIOR TO PERFORMING ANY WORK TO KEEP DUST AND DEBRIS FROM INFILTRATING THE REST OF THE BUILDING. THE REMOVAL OF DEMOLISHED MATERIAL MUST BE COORDINATED WITH RESIDENT MANAGER.

DEMOLITION NOTES

- 1. 1ALL PREPARATION, DEMOLITION, REMOVAL AND DISPOSAL TO BE PREFORMED IN ACCORDANCE WITH BUILDING REQUIREMENTS. ALL BUILDING RULES AND WORK HOURS TO BE STRICTLY FOLLOWED.
- VERIFY EXISTING CONDITIONS BEFORE COMMENCING WORK AND NOTIFY THE ARCHITECT OF UNUSUAL CONDITIONS.
- 3. COORDINATE REMOVAL OF OWNER'S PERSONAL BELONGINGS AND FURNISHINGS FROM AFFECTED
- 4. PHASE ALL WORK TO ACHIEVE MINIMUM DISTURBANCE IN WORK AREAS. PROTECT UNAFFECTED AREAS FROM DUST, DIRT, AND NOISE.
- 5. IN THE EVENT THAT ASBESTOS IS DISCOVERED, ALL REMOVAL AND DISPOSAL OF THIS SUBSTANCE SHALL COMPLY WITH THE REQUIREMENTS OF BUILDING CODE OF THE AUTHORITIES HAVING JURISDICTION REGARDING THIS SUBSTANCE. ALL NOTED PERTAINING TO DEMOLITION, REMOVAL, AND DISPOSAL, INCLUDING CLEANING SHALL BE SUPERCEDED BY THE REQUIREMENTS OF ASBESTOS REMOVAL AND DISPOSAL.
- 6. FURNISH ALL LABOR, RAW MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO PERFORM THE WORK AS SHOWN ON THE DRAWING AND/OR AS SPECIFIED HEREIN.
- 7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST SAFETY PRACTICES. USE ONLY EXPERIENCE LABOR IN THIS WORK. ALL REMOVAL AND CAPPING OF EXISTING UTILITY SERVICES (ELECTRIC, PLUMBING AND GAS, ETC.) TO BE DONE BY LICENSED TRADESMEN WHEN REQUIRED. HIGHEST DEGREE OF CARE AND PRECAUTION SHALL BE EXERCISED FOR ALL WORK RELATED TO THIS CONTRACT TO PREVENT PERSONAL INJURIES, DAMAGES TO PROPERTY AND DAMAGES TO EXISTING ACTIVE UTILITY/SERVICES.
- 8. THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON THE DRAWING FOR CONTRACTORS INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE FULL SCOPE, EXTENT AND MANNER OF DEMOLITION REQUIRED.
- 9. ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE TO ADJACENT WORK TO REMAIN.
- 10. ITEMS NOT INDICATED OR SHOWN ON THIS DRAWING SHALL REMAIN. ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY/ ALL SUCH, AND ALL OTHER, DISCREPANCIES BETWEEN THIS DRAWING AND THE
- EXISTING PHYSICAL CONDITIONS BEFORE CONTINUING THE DEMOLITION.

 11. ALL STRUCTURAL SYSTEMS AND THEIR COMPONENTS INCLUDING FIREPROOFING ON STRUCTURAL
- MEMBERS SHALL REMAIN INTACT, UNDAMAGED, AND UNALTERED.

 12. 9TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT FROM RISING BY WETTING DEMOLISHED
- MASONRY, CONCRETE, PLASTER AND SIMILAR DEBRIS. PROTECT UNALTERED PORTIONS OF THE SITE AFFECTED BY THE OPERATIONS UNDER THIS SECTION.
- 13. WHERE UTILITIES ARE REMOVED, RELOCATED, OR ABANDONED, CAP/ VALVE/ PLUG OR BY-PASS AS REQUIRED TO PROVIDE FOR FUTURE COMPLETE AND WORKING INSTALLATIONS.
- 14. WHERE REMOVING EXISTING FLOOR FINISH AND/ OR BASE, REMOVE ALL ADHESIVE AND LEAVE FLOORS
 AND WALLS SMOOTH AND FLUSH.
 15. SALVAGE EQUIPMENT, FIXTURES AND DOORS AS REQUIRED BY THE CONTRACT DOCUMENTS. REUSE AS
- DIRECTED ON DRAWINGS AND IN SCHEDULES.

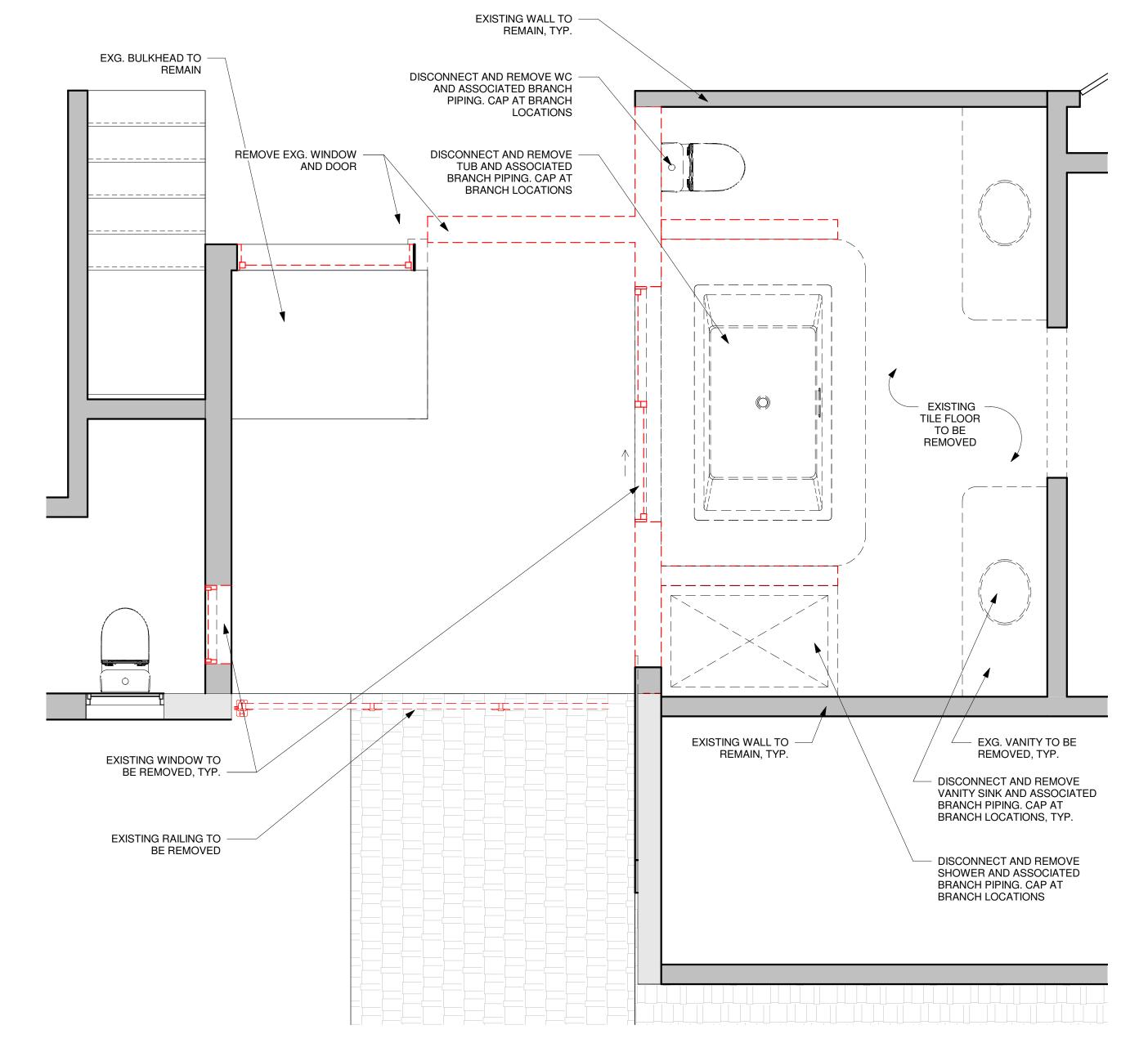
 16. SALVAGE SPECIFIED DOORS AND ATTACHED HARDWARE FOR COURSE OF JOB. REMOVE THOSE NOT
- REUSED AT END OF JOB AS DIRECTED BY OWNER. SEE DOOR AND WINDOW SCHEDULE FOR THOSE SALVAGED AND RELOCATED WHEN APPLICABLE.
- 17. REMOVE ALL MISCELLANEOUS ATTACHMENTS TO WALLS, FLOORS, CEILINGS, WINDOWS AND DOORS
- INCLUDING, BUT NOT LIMITED TO NAILS, HOOKS, WIRES, DOOR BELLS, AND STOPS.

 18. SHUT OFF ALL EXISTING PLUMBING HOOK-UPS IMMEDIATELY PRIOR TO DEMOLITION WORK AT EACH LOCATION.
- 19. REMOVE ALL SURFACE-MOUNTED ELECTRICAL CONDUIT. REMOVE ALL EXISTING ELECTRICAL DEVICES. REMOVE ,PROTECT, AND STORE ALL EXISTING LIGHT FIXTURES.
- 20. DISCONNECT AND CAP ALL PLUMBING FIXTURES AND PIPING SCHEDULED FOR REMOVAL AT PLUMBING STACK LOCATIONS. MAINTAIN CONTINUITY OF PLUMBING SYSTEMS SERVING AREA TO REMAIN.
- 21. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL AND TELEPHONE DEVICES, LIGHT FIXTURES, AND APPLIANCES SCHEDULED FOR REMOVAL.
- 23. RESTORE TO VALUES SPECIFIED IN APPLICABLE CODES THE INTEGRITY OF EXISTING RATED PARTITIONS AND THE FIRE PROTECTION OF STRUCTURAL MEMBERS THAT ARE DAMAGED DURING CONSTRUCTION.
 24. REMOVE ALL EXISTING CONSTRUCTION LOCATED IN A MANNER SO AS TO CONFLICT WITH WORK SHOWN

PROVIDE A MINIMUM OF TWO (2) FIRE EXTINGUISHERS OR MORE IF REQUIRED.

- ON OTHER DRAWINGS.
 25. REMOVE AND REPLACE ANY OTHER CONSTRUCTION OUTSIDE LIMITS SHOWN, AS NECESSARY TO
- COMPLETE THE WORK.
 26. BRING ALL DEMOLITION AND REMOVAL TO A NATURAL STOPPING POINT. REPLACE ANY MATERIAL
- REMOVED BY MISTAKE OR IN EXCESS OF REQUIREMENTS.

 27. WHERE ALTERATIONS OCCUR OR NEW AND OLD WORK JOIN, CUT, REMOVE, PATCH, REPAIR, OR REFINISH THE ADJACENT SURFACES, AND REMOVE EXISTING WORK TO PROFILES SHOWN FOR NEW
- WORK SO AS TO LEAVE IN AS GOOD A CONDITION AS EXISTED PRIOR TO COMMENCING OF WORK.
 PROTECT ALL FINISHES TO REMAIN.
 28. PROTECT ALL MATERIALS, SURFACES AND FINISHES TO REMAIN.
- 29. VERIFY AT THE CONCLUSION OF EACH DAY THAT ALL WINDOWS ARE CLOSED, LIGHTS TURNED OFF AND DOORS ARE LOCKED AS REQUIRED.
- 30. ALL DEBRIS RESULTING FROM THE OPERATION UNDER THIS CONTRACT SHALL BE IMMEDIATELY REMOVED FROM THE SITE BY THE CONTRACTOR AND SHALL NOT BE STORED OR PERMITTED TO ACCUMULATE ON THE SITE, MAINTAINING PREMISED NEAT AND CLEAN CONDITION AT THE END OF EACH DAY.



MASTER BATHROOM DEMOLITION

FLOOR PLAN

1/2" = 1'-0"

ARCHITECT

A N D E R S O N A L E X A N D E R

ARCHITECTURE / INTERIORS / CONSTRUCTION

WWW.ANDERSON-ALEXANDER.COM

PROJECT

Kramer's Master Bathroom

CLIENT

Amy and Andrew Kramer

PROJECT ADDRESS

58 Jackson Road Bedford, NY 10506

IOTES

1. THE ARCHITECT IS NOT
RESPONSIBLE FOR THE INFORMATION
CONCERNING THE SITE AND SURVEY
INFORMATION PREPARED BY OTHERS.
2. THE CONTRACTOR SHALL SITE
VERIFY THE SURVEY INFORMATION
PRIOR TO PROCEEDING WITH THE
WORK. FAILURE TO REPORT ANY
DISCREPANCIES SHALL CONSTITUTE
ACCEPTANCE OF THE SITE
CONDITIONS.
3. THE CONTRACT DOCUMENTS
PREPARED BY THE ARCHITECT ARE

PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF THE CONTRACT DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION.

4. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH THE NEW WORK DRAWINGS FOR EXACT EXTENT OF DEMOLITION.

THE ARCHITECTS COPYRIGHT

OF DEMOLITION.
5. SCOPE OF WORK SHALL NOT BE
LIMITED TO THAT SHOWN ON THE
DRAWINGS AND SHALL INCLUDE
WORK REQUIRED TO ELIMINATE ALL
EXISTING, ABANDONED OR
REDUNDANT COMPONENTS, AND
FACILITATE PROPER EXECUTION OF
THE WORK.

6. ALL DIMENSIONS, INCLUDING

EXISTING DIMENSIONS AND SETTING-OUT GEOMETRIES, SHALL BE SITE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK.
7. REMOVAL AND DISPOSAL OF THE HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.

8. UNLESS NOTED OTHERWISE, MAKE GOOD ALL AREAS DISTURBED BY EXCAVATION AND/OR INSTALLATION OF CIVIL. MECHANICAL AND ELECTRICAL SERVICES. REFER TO CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS.

9. THE CONTRACTOR SHALL

WITH WORK OF OTHER
CONTRACTORS. INCLUDING TENANT
WORKS AS REQUIRED TO FACILITATE
PROPER INSTALLATION.
10. ALL EXPOSED CAST-IN-PLACE
CONCRETE SHALL BE ARCHITECTURAL
CONCRETE - MEDIUM SANDBLAST
FINISH, UNLESS NOTED OTHERWISE.

COORDINATE BASE BUILDING WORKS

NOT

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used.

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SEAL

DRAWING TITLE
DEMOLITION PLAN

PAGE NUMBER

DRAWING SET

PROJECT NO. Project |
DATE Iss
SCALE 1/2'
DRAWN BY

DM-100

GENERAL CONSTRUCTION NOTES

- REFER TO BATHROOM SCHEDULE FOR PLUMBING, FIXTURES, ACCESSORIES, FINISHES, ELECTRICAL FIXTURES AND RELATIVE INFORMATION.
- FIXTURES AND FINISHES TO BE LOCATED PER DRAWINGS
- MEDICINE CABINET TO BE RECESSED INSTALLED UNLESS EXISTING STRUCTURAL CONDITIONS DO NOT PERMIT. CONFIRM WITH ARCHITECT FOR SURFACE MOUNTING.
- CONTRACTOR TO COORDINATE INSTALLATION OF FITTINGS, FIXTURES, AND ACCESSORIES WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDED DETAILS. IF CUSTOM GLASS IS SPECIFIED, IT SHOULD BE FABRICATED PER FIELD MEASUREMENTS.
- ALL DIMENSIONS ARE MADE FROM FINISHED FLOOR. IF PROPOSED LOCATION IS UNFIT, CONFIRM WITH DESIGNER FOR ALT. LOCATION. P-TRAP TO BE COORDINATED IN MANNER THAT BEST FITS VANITY. CONFIRM WITH ARCHITECT
- IF NECESSARY. PLUMBER TO PROVIDE AND INSTALL ESCUTCHEON (FINISH TO MATCH NEW FIXTURES) AT WALL PENETRATIONS.

CUSTOM GLASS HEIGHT TO ALIGN WITH HORIZONTAL GROUT JOINT.

- LEVEL 5 FINISH FOR ALL VISIBLE WALLS AND/OR CEILING, AND TO BE LEVEL AND FLAT. ALL WALLS TO BE NO MORE THAN 1/8" OUT OF SQUARE OVER 4' SPAN, AND NO MORE THAN 3/16" OUT OF PLUMB OVER 8' SPAN.
- INSTALL 1/4 TURN BRASS SHUT OFF VALVES AS CLOSE TO RISERS AS POSSIBLE UNLESS REPLACING IN EXISTING LOCATION; ALL VALVES TO BE ACCESSIBLE. ALL WOOD WORK SHALL BE ACCURATELY CONSTRUCTED TO DETAILS WITH CLEAN CUT MOULDINGS, PROFILES AND LINES SCRAPED AND MACHINE SANDED PERFECTLY SMOOTH.
- NAIL HEADS IN FINISHED WORK SHALL BE SUNK WITH A NAIL PUNCH; HOLES SHALL BE BORED FOR BOLTS AS REQUIRED, TO PREVENT SPLITTING WOOD. ALL BOLTS SHALL BE DRAWN TIGHT. MITERED CORNERS SHALL BE DOWELED AND GLUED.
- PRIME ALL SURFACES OF RUNNING TRIM PRIOR TO INSTALLATION LUMBER SHALL BE EITHER AIR-DRIED OR KILN-DRIED AND THE MOISTURE CONTENT SHALL NOT EXCEED 19 PERCENT. MATERIALS FOR MILLWORK AND FINISHED WOOD WORK THROUGHOUT SHALL BE THOROUGHLY SEASONED AND KILN DRIED TO A MOISTURE
- CONTENT NOT EXCEEDING 12 PERCENT. ALL WOOD SHALL BE THE BEST OF ITS RESPECTIVE KIND, STRAIGHT, TRUE AND OUT OF WIND, SUITABLE FOR THE PARTICULAR PURPOSE INTENDED. IT SHALL BE FREE FROM SHAKES, SAP SPOTS, LARGE OR LOOSE KNOTS AND ALL IMPERFECTIONS WHICH MIGHT IMPAIR ITS STRENGTH, DURABILITY OR APPEARANCE. SLIGHT DEFECTS SUCH ASSOUND KNOTS WHICH DO NOT MATERIALLY AFFECT ITS STRENGTH WILL BE PERMITTED BUT ONLY IN
- WOOD WHICH IS NOT EXPOSED TO VIEW. PLASTERING MATERIALS SHALL BE BROUGHT TO THE BUILDING IN THEIR ORIGINAL UNOPENED PACKAGES AND SHALL BE STORED IN A DRY PLACE AND SHALL BE MIXED AND APPLIED IN ACCORDANCE WITH THE DIRECTIONS OF THE MANUFACTURERS, WHICH ARE HEREBY INCLUDED IN AND MADE PART OF THESE SPECIFICATIONS.
- WHERE DOORS ARE REMOVED, PATCH AND REPAIR TO MATCH EXISTING ALL PARTS OF FRAME WHERE HARDWAREIS REMOVED. REPLACE PARTS AS REQUIRED (MATCH EXISTING).
- PROVIDE SHOP DRAWINGS FOR ALL CABINETRY AND MILLWORK. PATCH AND REPAIR ALL EXISTING-TO-REMAIN CEILINGS AS REQUIRED FOR A SMOOTH FINISH TO RECEIVE PAINT.
- PROVIDE SHELVING AND FIT-OUT WITHIN CLOSETS. PROVIDE 1'-0" LONG SAMPLES OF ALL WOOD MOULDINGS AND TRIM.

FINISH NOTES

- WATERPROOF ENTIRE WALL AREA WITHIN WET ZONES USING WATERPROOFING PRODUCT
- PROVIDED. IF WATERPROOFING FLOOR, TURN UP WATERPROOFING MIN. 6" UP WALL. TILE SETTERS TO BE FAMILIAR WITH AND FOLLOW NTCA STANDARDS.
- FOR CUTTING, INSTALLING, AND GROUTING OF TILE ONLY USE THOROUGHLY TRAINED AND EXPERIENCED JOURNEYMAN TILE SETTERS WHO ARE COMPLETELY FAMILIAR WITH THE
- SEAL ALL GROUT JOINTS AND ALL UNGLAZED TILE/STONE USING SEALER PROVIDED.
- WALL TILE: GROUTLINE TO BE 1/16"TH., UNIFORM AND ALIGNED, USE LATICRETE SPEKTRALOCK PRO PREMIUM, OR EQUAL
- FLOOR TILE: GROUTLINE TO BE 1/8"TH., OR THINNER, UNIFORM AND ALIGNED, USE LATICRETE SPEKTRALOCK PRO PREMIUM, OR EQUAL. CAULK BETWEEN TUB/ WALL TILE, AND ALL INSIDE CORNERS OF TILED WALLS/ CEILING.
- WET AREA NICHE TO BE SIZED PER DRAWING, UNLESS EXISTING STRUCTURAL CONDITIONS DO NOT PERMIT. CONFIRM WITH ARCHITECT FOR ALTERNATE SIZE AND/ OR
- TILE TO RUN CONTINUOUSLY AROUND WET ZONE. EXPOSED TILE EDGE TO BE WRAPPED WITH JOLLY SCHLUTER STRIP, UNLESS OTHERWISE NOTED.

ELECTRICAL NOTES

ALL FIXTURES AND DEVICES TO BE AT EXISTING LOCATIONS, UNLESS OTHERWISE NOTED.

FIRE SAFETY NOTES

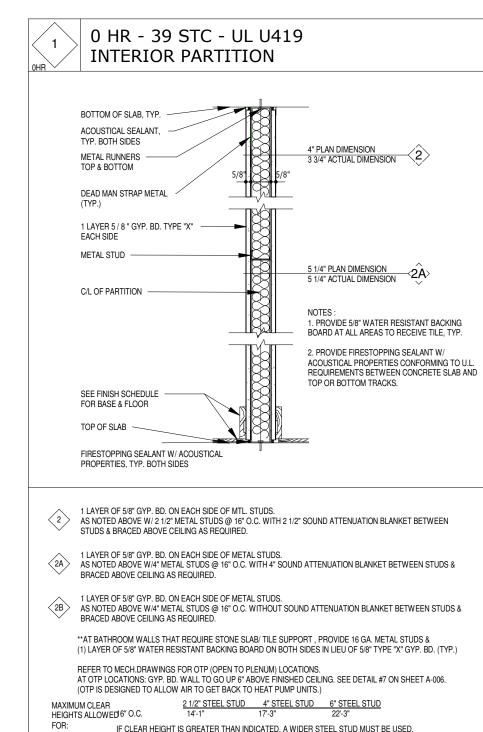
Grand total: 5

[NY] AJ601.8.1 SMOKE ALARMS

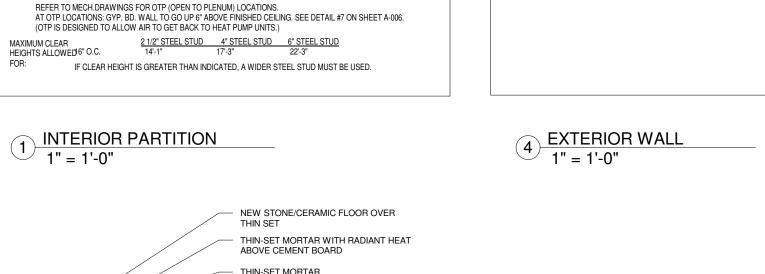
PROVIDE THE INDIVIDUAL DWELLING UNIT WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED IN ACCORDANCE WITH SECTION R314.4.

[NY] AJ601.8.2 CARBON MONOXIDE ALARMS

PROVIDE THE DWELLING UNIT WITH CARBON MONOXIDE ALARMS THAT COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION.



3/4" RIGID INSULATION -RECEIVE TILE, TYP. CONTINUOUS BEAD OF FINISHED FLOOP ADHESIVE TAPE ALL JOINTS HOR. AND VER.



APPLY PLITEQ GENIE MAT 5MM THICK DIRECTLY ON

TOP OF WP MEMBRANE WITH SHEET BONDING AGENT. USE LATEX ADHESIVE WHERE GENIE MAT

LATICRATE 92235 WATERPROOF MEMBRAN

SUBFLOOR FLOOR JOIST

RADIANT FLOOR DETAIL FOR TILE 1 1/2" = 1'-0"

		Accesories Sche	edule		
Mark	Accesory name	Manufacturer	Model	Finish	Qty.
ACC-1	Parallel™ 24" towel bar	Kohler Co.	K-23525-CP	CP - Polished Chrome	
ACC-2	Verdera 30" x 34" Medicine Cabinet	Kohler Co.	K-99009	CP - Polished Chrome	
ACC-3	Seated Vanity Mirror	TBD		CP - Polished Chrome	
ACC-5	Parallel™ Pivoting toilet paper holder	Kohler Co.	K-23528-CP	CP - Polished Chrome	
ACC-6	Parallel™ Towel arm	Kohler Co.	K-23526-CP	CP - Polished Chrome	
SE-1	15" Panel ready undercounter refrigerator	U-Line	HRE115	To match Vanity	

		Lighting Fixture School	edule			
Mark	Name	Manufacturer editable	Model	Qty	Wattage	Total Wattage
					>	
L-1	4" Recessed downlight	TBD		5	7 W	35 W
L-1.2	4" Gimbal recessed LED	TBD		3	ŻW	21 W
L-1.3	4" Recessed downlight, wet location	TBD		2	7 W	14 W
L-2	24" Vanity Slim LED Bath Bar	Sonneman		4	18 W	72 W
L-3	Infrared bulb heaters	NuTone		1	50\$ W	505 W
L-4	4" Gimbal recessed LED	TBD		2	7,W	14 W
Grand total: 2	1			,		

_										
								Window Sc	hedule	
	Mark	Туре	Manufacturer	Model	Count	Rough Height	Rough Width	Area	U Value - Req'd	Hazardous Area Category
	SK-1	Skylight - Fixed	TBD		3	3' - 0 1/2"	2' - 0 1/2"	> 6 S	SF .55	Hazardous location. Fully tempered glass required. R308.6.2
	W-1	Fixed Window	TBD	TBD	1	4' - 0 1/2"	6' - 0 1/2"	24 5	SF .32	More than 9 s.f Category A R308.3.1(1)
	W-2	Fixed Window	TBD	TBD	1	2' - 6 1/2"	2' - 0 1/2"	5.5	SF .32	9 s.f. or less - Not required R308.3.1(1)

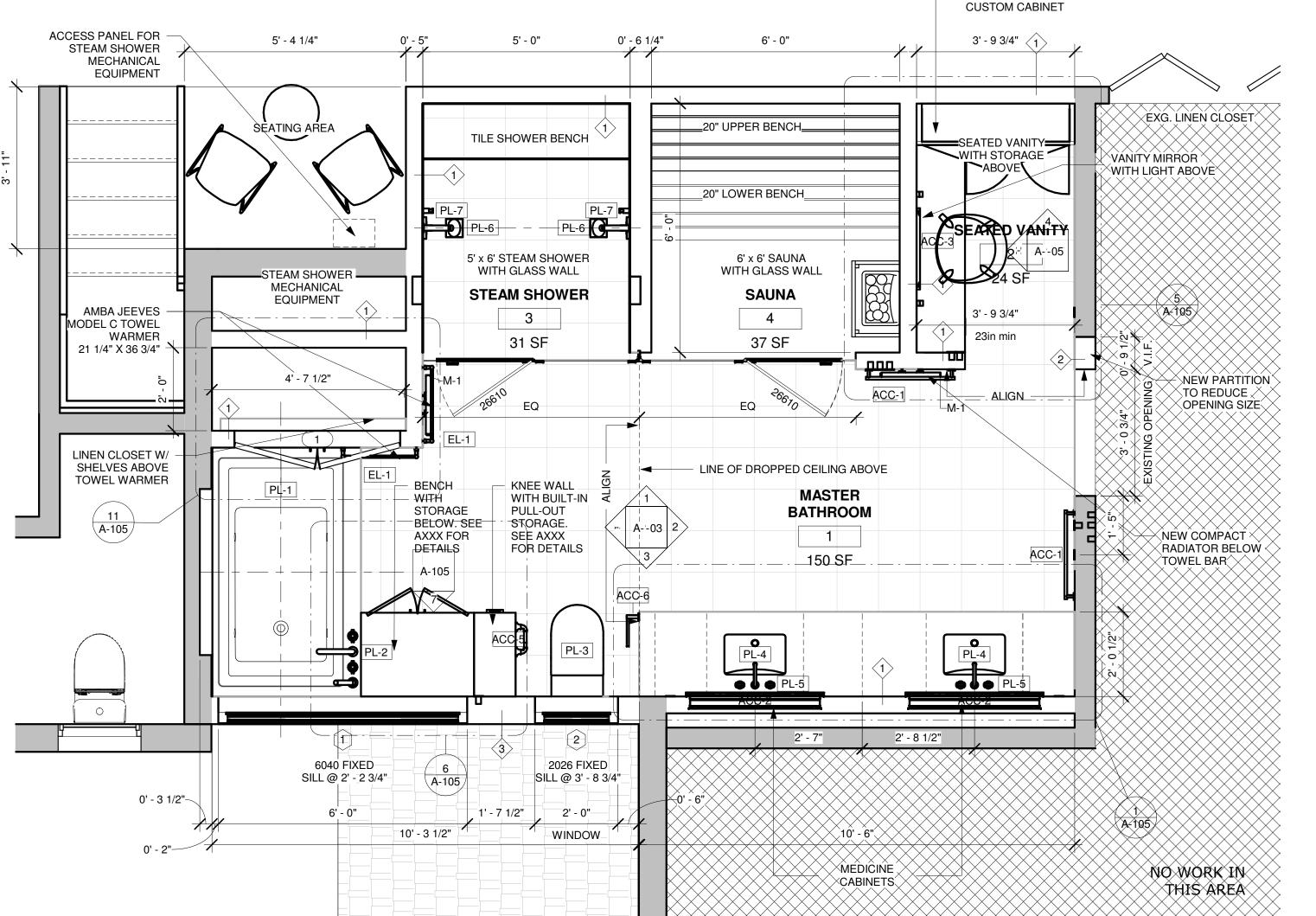
C/L OF PARTITION 1 LAYER 5 / 8 " GYP. BD. TYPE "X" INTERIOR SIDE VERTICAL BOARD SIDING ──► INTERIOR FINISH SLOPE TOP EDGE 1. PROVIDE 5/8" WATER RESISTANT BACKING BOARD AT ALL AREAS TO 2. PROVIDE FIRESTOPPING SEALANT W/ ACOUSTICAL PROPERTIES CONFORMING O U.L. REQUIREMENTS BETWEEN CONCRETE SLAB AND TOP OR BOTTOM FIRESTOPPING SEALANT W/ ACOUSTICAL PROPERTIES,

EXTERIOR PARTITION

Second Floor

24" X 36"

SKYLIGH^{*}



| L1.3

24" X 36"

SKYLIGHT

EQ EQ

24" X 36" SKYLIGHT

EQ EQ

L1.3

EDGE OF VANITY BELOW

12" DEEP

MASTER BATHROOM CONSTRUCTION 3 PLAN 1/2" = 1'-0"

ARCHITECT

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PROJECT

Kramer's Master Bathroom

CLIENT

Amy and Andrew Kramer

PROJECT ADDRESS

58 Jackson Road Bedford, NY 10506

1. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS. 2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.

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3. THE CONTRACT DOCUMENTS

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6. ALL DIMENSIONS, INCLUDING

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SEAL

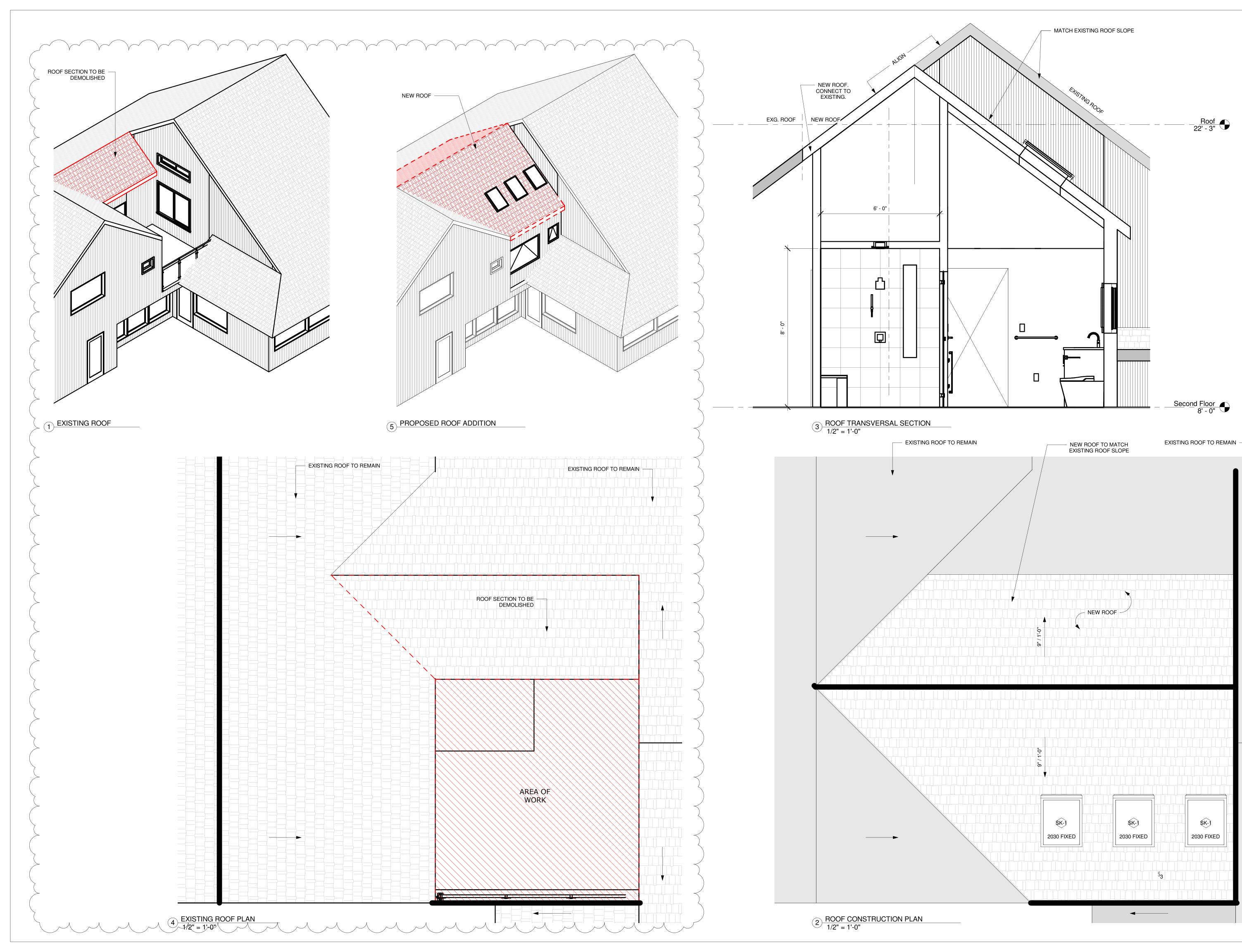
DRAWING SET

DRAWING TITLE CONSTRUCTION PLANS

PROJECT NO.

PAGE NUMBER

A-100



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PROJECT

Kramer's Master Bathroom

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SEAL

DRAWING SET

DRAWING TITLE
EXISTING & PROPOSED ROOF

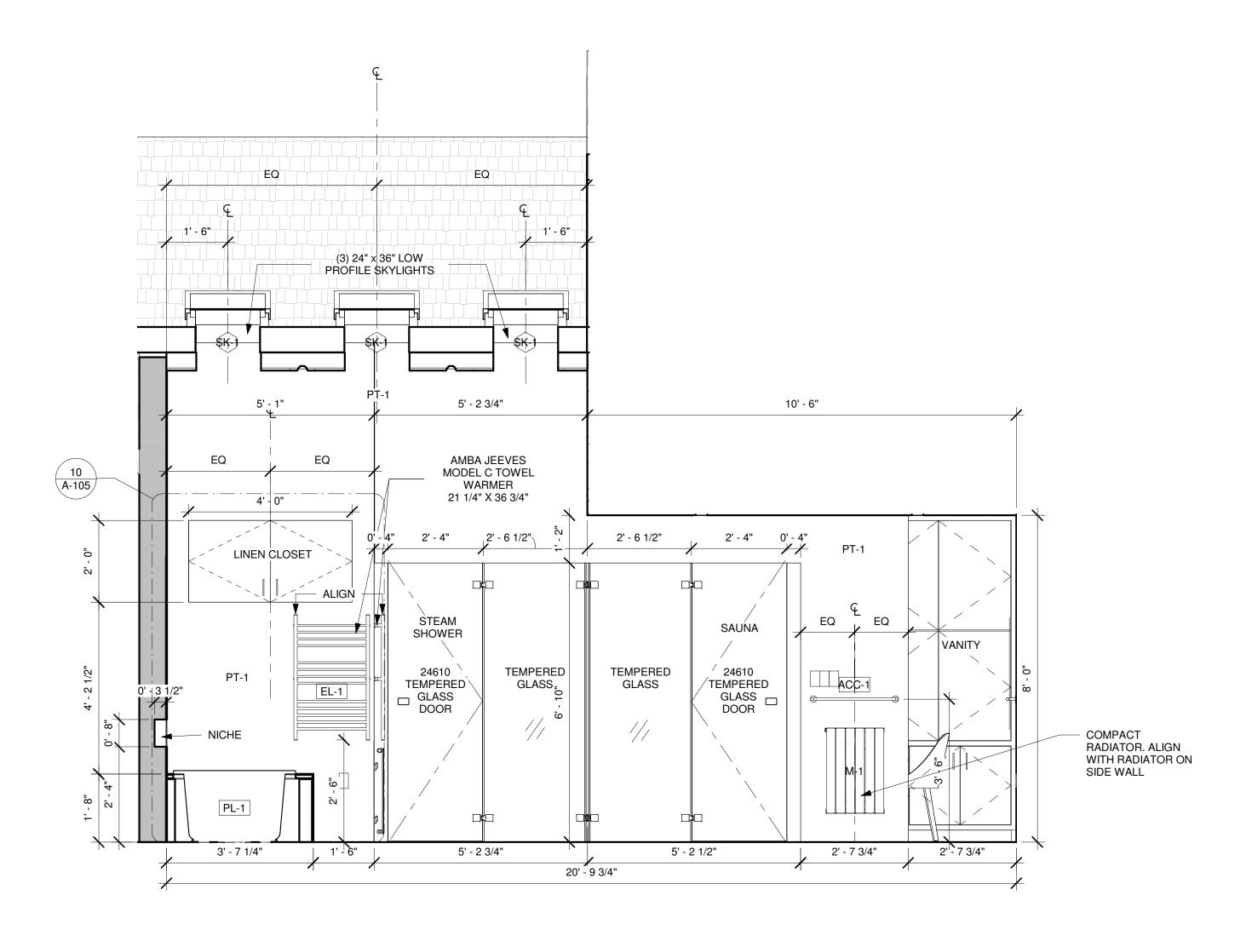
PROJECT NO.
DATE

1/2" = 1'-0" Author

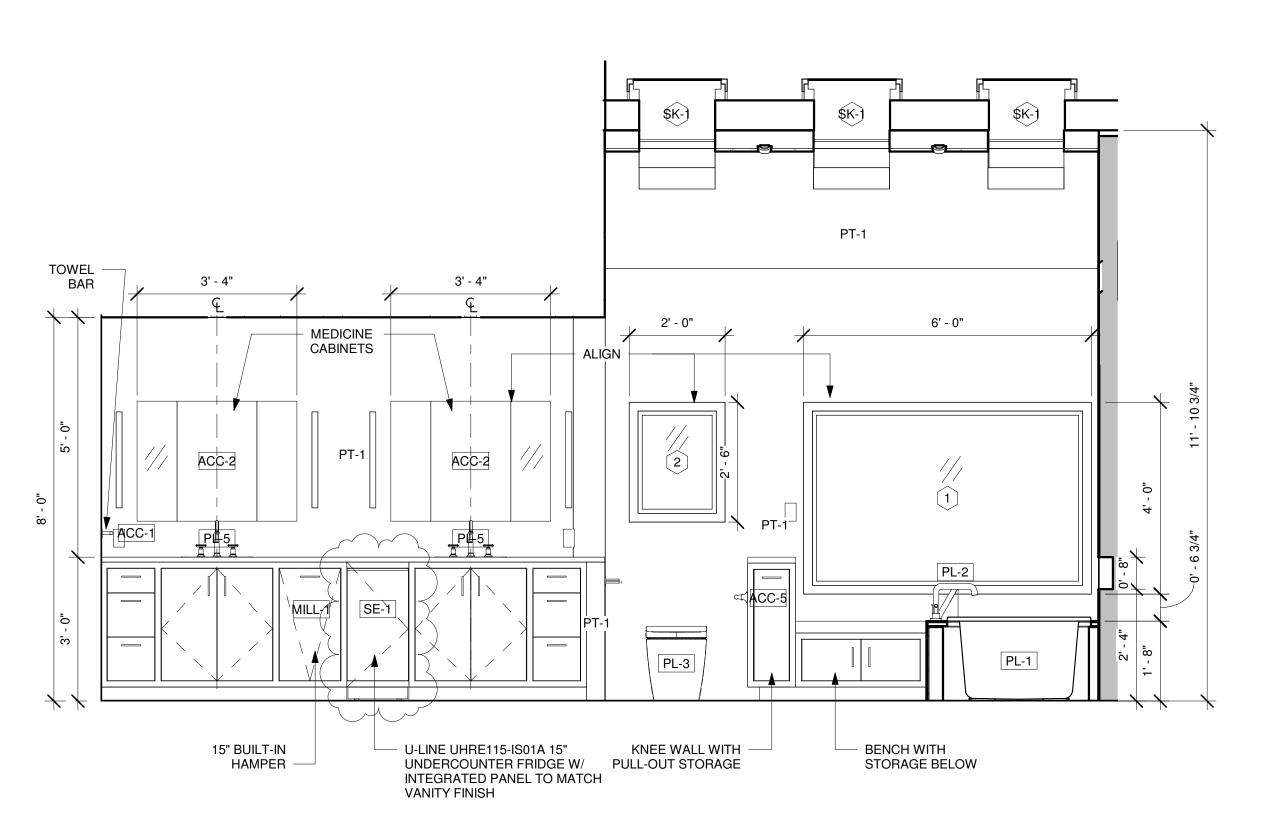
ANDERSON ALEXANDER ARCHITECTURE / INTERIORS / CONSTRUCTION WWW.ANDERSON-ALEXANDER.COM **PROJECT** Kramer's Master Bathroom CLIENT Amy and Andrew Kramer PROJECT ADDRESS 58 Jackson Road Bedford, NY 10506 NOTES 1. THE ARCHITECT IS NOT RESPONSIBLE FOR THE INFORMATION NEW ROOF -CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS. 2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS. 3. THE CONTRACT DOCUMENTS PREPARED BY THE ARCHITECT ARE THE ARCHITECTS COPYRIGHT PROPERTY AND SHALL BE RETURNED TO THE ARCHITECT UPON REQUEST. REPRODUCTION OF THE CONTRACT DOCUMENTS IN WHOLE OR IN PART IS FORBIDDEN WITHOUT THE ARCHITECTS WRITTEN PERMISSION. 4. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH THE NEW OF DEMOLITION. 5. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND FACILITATE PROPER EXECUTION OF THE WORK. 6. ALL DIMENSIONS, INCLUDING EXISTING DIMENSIONS AND SETTING-OUT GEOMETRIES, SHALL BE SITE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK. 7. REMOVAL AND DISPOSAL OF THE HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION. 8. UNLESS NOTED OTHERWISE, MAKE GOOD ALL AREAS DISTURBED BY EXCAVATION AND/OR INSTALLATION OF CIVIL. MECHANICAL AND ELECTRICAL SERVICES. REFER TO CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS. 9. THE CONTRACTOR SHALL COORDINATE BASE BUILDING WORKS WITH WORK OF OTHER CONTRACTORS. INCLUDING TENANT WORKS AS REQUIRED TO FACILITATE PROPER INSTALLATION. 10. ALL EXPOSED CAST-IN-PLACE CONCRETE SHALL BE ARCHITECTURAL CONCRETE - MEDIUM SANDBLAST FINISH, UNLESS NOTED OTHERWISE. Second Floor 8' - 0" NOTE NEW WALL. AREA 73 S.F. Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL. Ground Floor 0' - 0" EXTERIOR ELEVATIONS **EXTERIOR - EXISTING FRONT** PROJECT NO. 4 ELEVATION 1/2" = 1'-0" 3 EXTERIOR - NEW FRONT ELEVATION 1/2" = 1'-0" DATE SCALE DRAWN BY

ARCHITECT

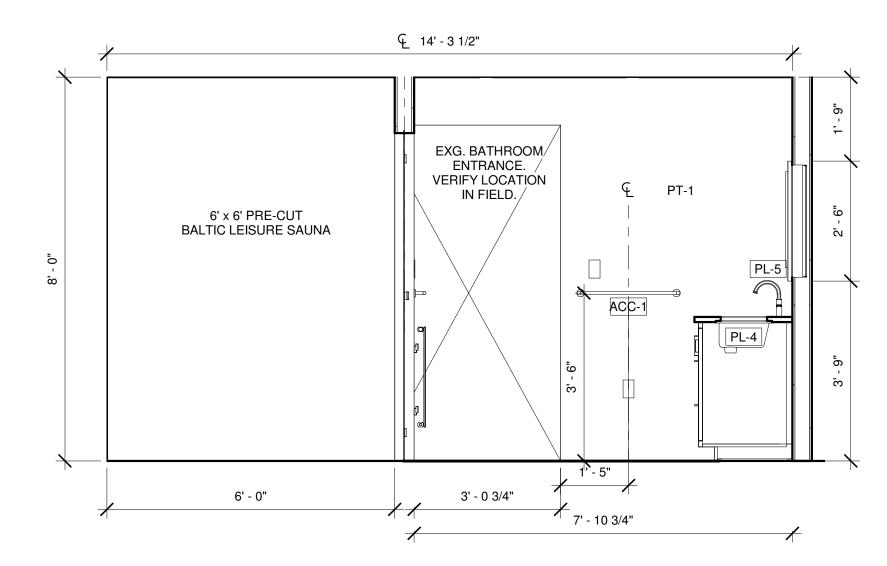
WORK DRAWINGS FOR EXACT EXTENT



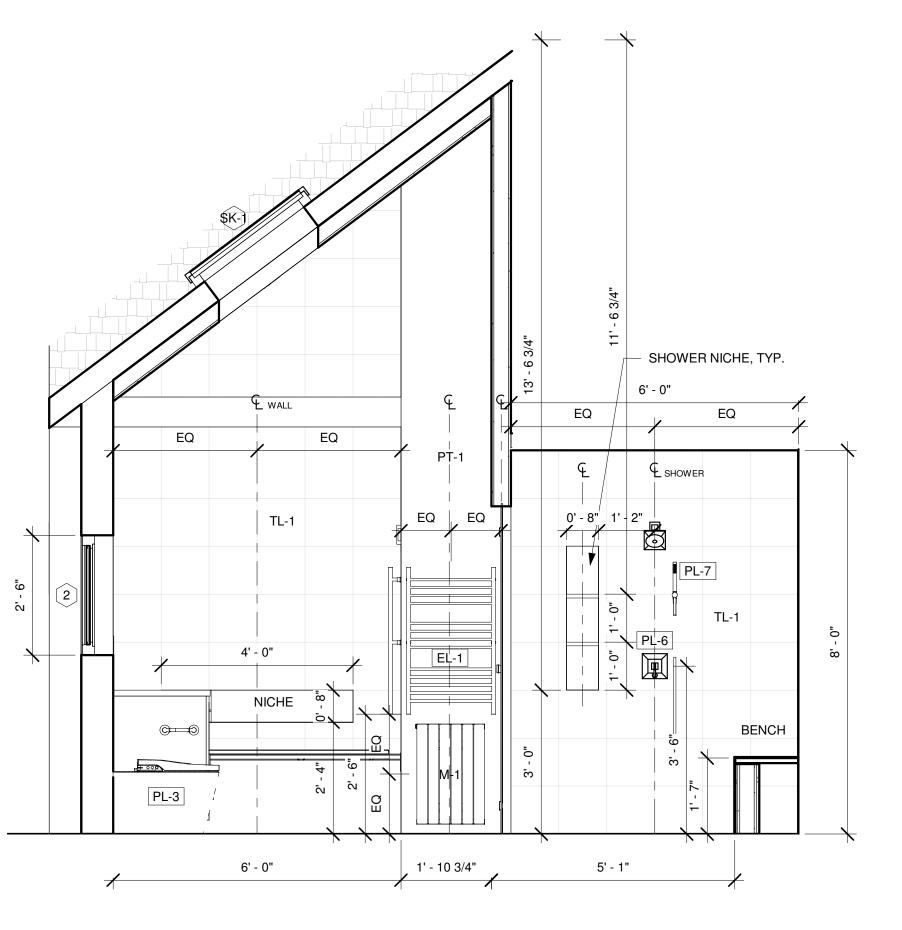
1 INTERIOR - North Elevation 1/2" = 1'-0"



3 INTERIOR - South Elevation 1/2" = 1'-0"



2 INTERIOR - East Elevation 1/2" = 1'-0"



4 INTERIOR - West Elevation
1/2" = 1'-0"

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PROJECT

Kramer's Master Bathroom

CLIENT

Amy and Andrew Kramer

PROJECT ADDRESS

58 Jackson Road Bedford, NY 10506

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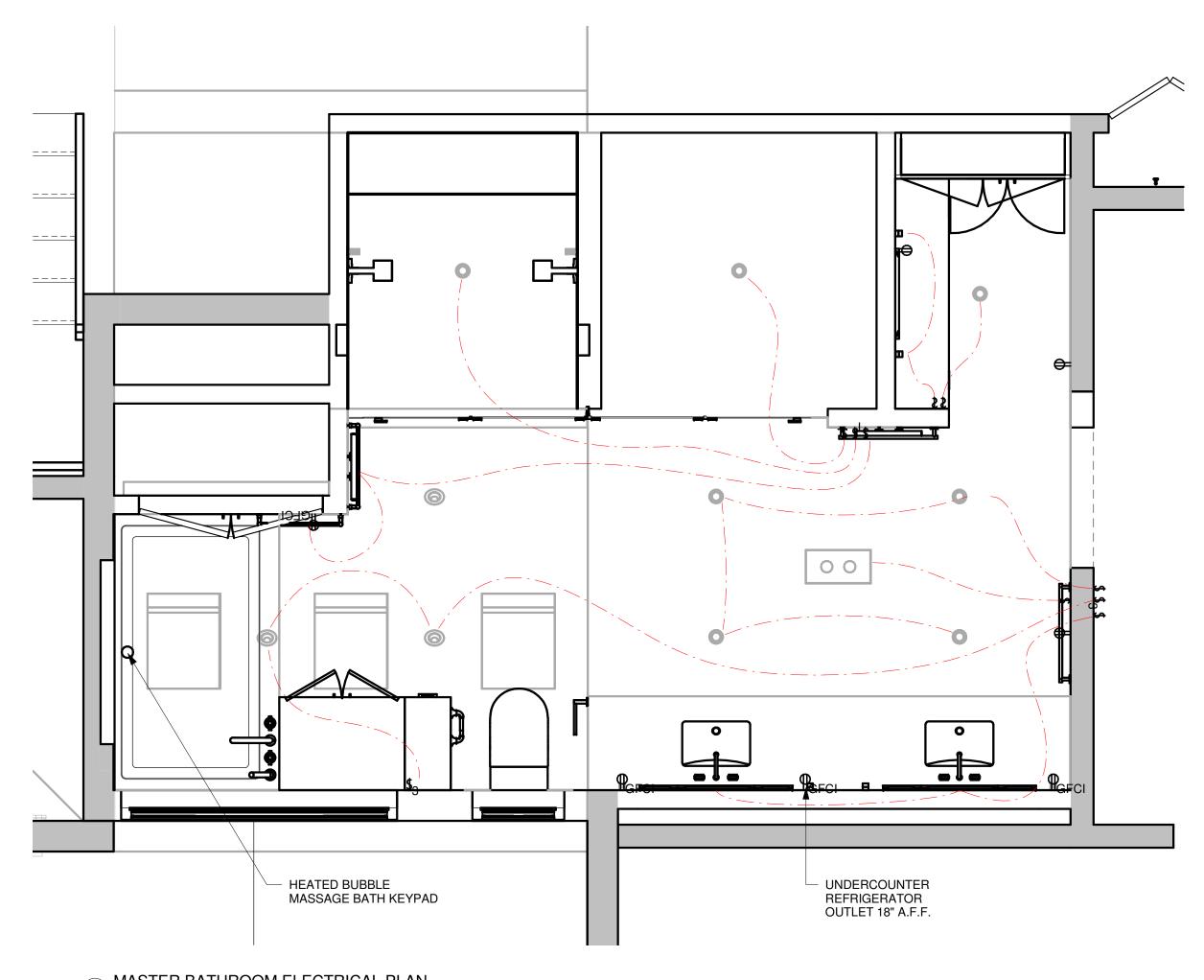
SEAL

DRAWING SET

DRAWING TITLE INTERIOR ELEVATIONS

PROJECT NO. DATE SCALE

Project Number Issue Date 1/2" = 1'-0" Author DRAWN BY A-103



1 MASTER BATHROOM ELECTRICAL PLAN 1/2" = 1'-0"

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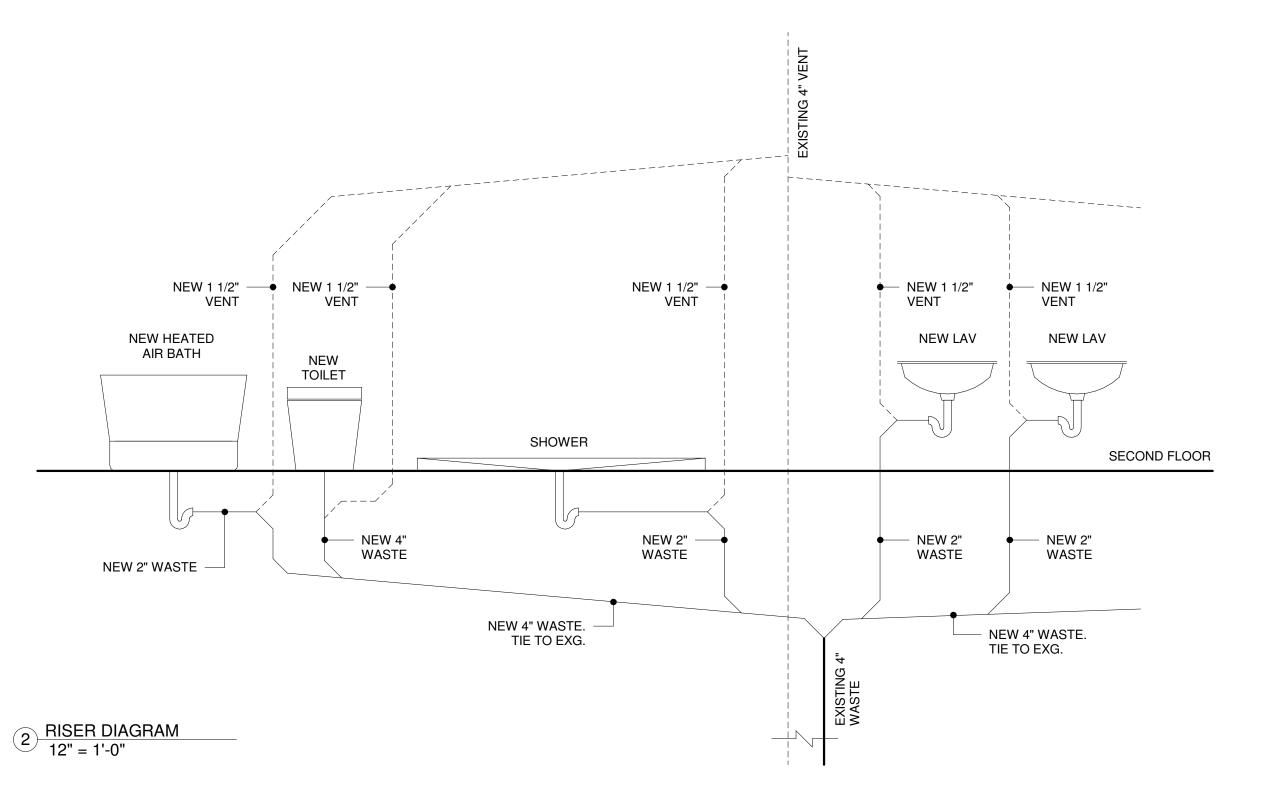
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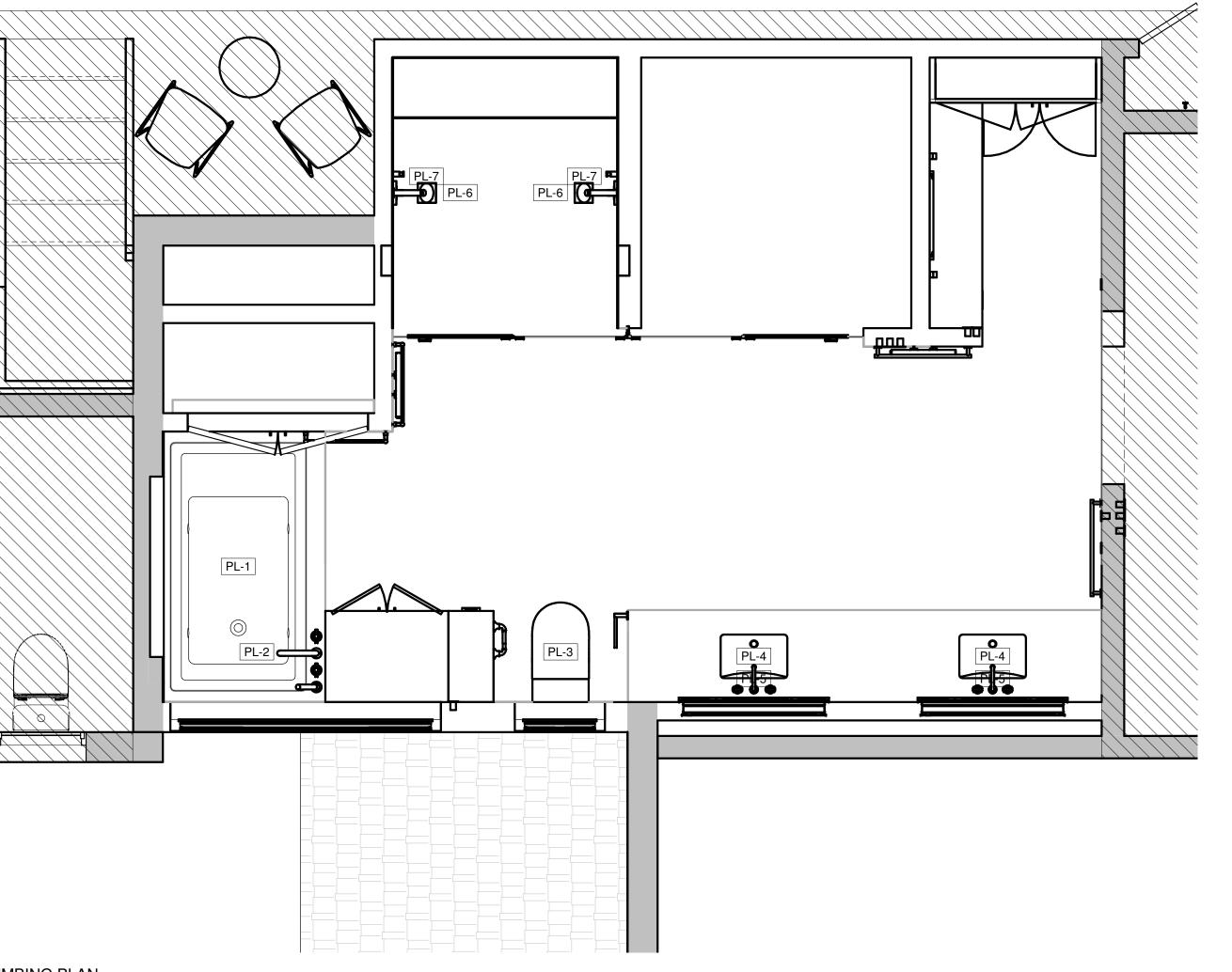
DRAWING TITLE SWITCH AND POWER PLANS

PROJECT NO. DATE SCALE

EN-100

	Plumbing Fixture Schedule								
Mark	Description	Count	Manufacturer	Model	Finish	Size	Comments Long		
.									
PL-1	Underscore rectangle heated BubbleMassage™ air bath	1	Kohler Co.	K-1173-GH-0	0 - White	66" x 36"	With K-7271-CP Brass Slotted Overflow Bath Drain in polished chrome		
PL-2	PARALLEL Single-handle deck-mount bath faucet with handshower	1	Kohler Co.	K-23488-4-CP	CP - Polished Chrome		Deck mount, 8-3/16" spout reach		
PL-3	Nexus WASHLET + C5 One-Piece Toilet - 1.28 GPF	1	Toto	MW6423084CEFG	#01 - Cotton	29 3/8" x 16 13/16"			
PL-4	Ladena Bathroom Sink	2	Kohler Co.	K-2214-0	0 - White	20 7/8" x 14 3/8"	With K-8998 P-Trap		
PL-5	Parallel™ Widespread bathroom sink faucet with lever handles	2	Kohler Co.	K-23484-4K-CP	CP - Polished Chrome				
PL-6	Parallel™ Rite-Temp shower trim	2	Kohler Co.	K-TS23503-4G-CP	CP - Polished Chrome				
PL-7	Shift [™] + Square 2.5 gpm multifunction handshower with Katalyst	2	Kohler Co.	K-21336-CP	CP - Polished Chrome		With Loure wall-mount handshower holder with supply elbow K-14791-CP in Polished Chrome and MasterShower 60" Shower Hose K-9514-CP in Polished Chrome		





1 PLUMBING PLAN 1/2" = 1'-0"

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COORDINATE BASE BUILDING WORKS

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SEAL

DRAWING SET

DRAWING TITLE RISER DIAGRAM

PROJECT NO. DATE SCALE

DRAWN BY PAGE NUMBER

P-100





Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair

Section III- DESCRIPTION OF WORK:

Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

ADDRESS: 58 JACKIN ROAD, BEDFARD, NY

ADDITION TO MASTER BATHLOOM
Section III- CONTACT INFORMATION:
APPLICANT: AUDREW KROMEN
ADDRESS: 58 Jackson Road BEDFORD, NX
PHONE: MOBILE: 914-552-2930 EMAIL: anxious 55550 gmail-com
PROPERTY OWNER:
ANDREW AND ANY CROSMEN
ADDRESS: SAME
PHONE:MOBILE:EMAIL:
PROFESSIONAL: AUDERSO W ALEXANDER ARCHITECTS
ADDRESS:
PHONE:MOBILE:MOBILE:
EMAIL: Spencer Canduson-alexander, com
Section IV- PROPERTY INFORMATION:
Zone: Tax ID (lot designation) 102.2 2 17



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Keamed Battlesom Initial Submittal Revised Preliminary Street Location: 58 Jacuss Road, Benged, M					
Zoning District: Property Acreage: 2.0\ Tax Map Parcel ID: 102.2 - 2 - 17					
Date:					
DEPARTMENTAL USE ONLY					
Date Filed: Staff Name:					
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.					
1. Plan prepared by a registered architect or professional engineer					
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets					
3. Map showing the applicant's entire property and adjacent properties and streets					
1. A locator map at a convenient scale					
The proposed location, use and design of all buildings and structures					
3. Existing topography and proposed grade elevations					
7. Location of drives					
B. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences					

RPRC COMPLETENESS REVIEW FORM

Page 2

	Description of method of water supply and sewage disposal and location of such facilities
<u> </u>	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
1.	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
12.	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<u> </u>	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.
Planni	information about the items required herein can be obtained from the North Castle ing Department. A copy of the Town Code can be obtained from Town Clerk or on the Castle homepage: http://www.northcastleny.com/townhall.html



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Applicat	ion Name or Identifying Title:	Andrew and Amy Kramer	Date: 8/24/2021
Тах Мар	Designation or Proposed Lot No.:	Section 102.2, Block 2 Lot 17 Town of Bedford	
Floor Ar	<u>ea</u>		
1.	Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	2.0 acres
2.	Maximum permitted floor area (pe	r Section 355-26.B(4)):	10,122
3.	Amount of floor area contained wit 2,983 existing + -0-		2,983
4. -	Amount of floor area contained wit 2,172 existing + 103		2,275
5. -	Amount of floor area contained wit		908
6. -	Amount of floor area contained wit	hin porches capable of being enclosed: _ proposed =	
7. -	Amount of floor area contained wit	thin basement (if applicable – see definition): _ proposed =	excluded (B)
8.	Amount of floor area contained wit	thin attic (if applicable – see definition): _ proposed =	
9.	Amount of floor area contained wit	thin all accessory buildings: _ proposed =	96
10. Pro	posed floor area: Total of Line	s 3 – 9 = _	6,262
and the	10 is less than or equal to Line 2, your project may proceed to the Residential oposal does not comply with the Town	our proposal complies with the Town's maxing Project Review Committee for review. If Linum's regulations.	num floor area regulations e 10 is greater than Line 2
Signatur	re and Seal of Professional Preparing	g Worksheet	Date