



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 58 Whipoorwill Road East

Section III- DESCRIPTION OF WORK:

New rear terrace under existing permit

Section III- CONTACT INFORMATION:

APPLICANT: Patrick M. Croke, Architect

ADDRESS: 20 Woodsbridge Road, Katonah, NY 10536

PHONE: 914-234-6093 MOBILE: 914-263-4850 EMAIL: patrick@pmcarchitect.com

PROPERTY OWNER: Qasim LLC, Mohsan Zafir, President

ADDRESS: 2322 Arthur Ave, Suite 208, Bronx, NY 10458

PHONE: (347) 740-4432 MOBILE: _____ EMAIL: rmzcontracting@aol.com

PROFESSIONAL.: Patrick M. Croke, Architect

ADDRESS: 20 Woodsbridge Road, Katonah, NY 10536

PHONE: 914-234-6093 MOBILE: 914-263-4850

EMAIL: patrick@pmcarchitect.com

Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) 107.02-3-29



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 58 Whipoorwill Road East Date: 09/07/2021

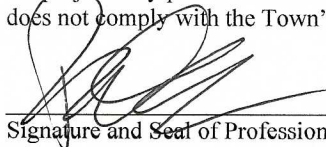
Tax Map Designation or Proposed Lot No.: 107.02-3-29

Gross Lot Coverage

- | | | |
|-----|---|-------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>7,938 s.f.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>3,381 s.f.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
<u>4.41</u> x 10 = <u> </u> | <u>44.1 s.f.</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>3,425 s.f.</u> |
| 5. | Amount of lot area covered by principal building :
<u>937 s.f.</u> existing + <u>0</u> proposed = | <u>937 s.f.</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks :
<u> </u> existing + <u>236</u> proposed = | <u>236 s.f.</u> |
| 8. | Amount of lot area covered by porches :
<u>185</u> existing + <u>0</u> proposed = | <u>185 s.f.</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>761</u> existing + <u>209</u> proposed = | <u>970 s.f.</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>493</u> proposed = | <u>493 s.f.</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>2,821 s.f.</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



Date 9/7/21



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

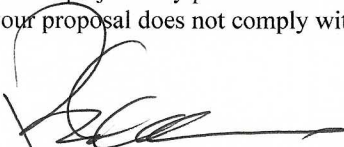
Application Name or Identifying Title: 58 Whipoorwill Road East Date: 09/07/2021

Tax Map Designation or Proposed Lot No.: 107.02-3-29

Floor Area

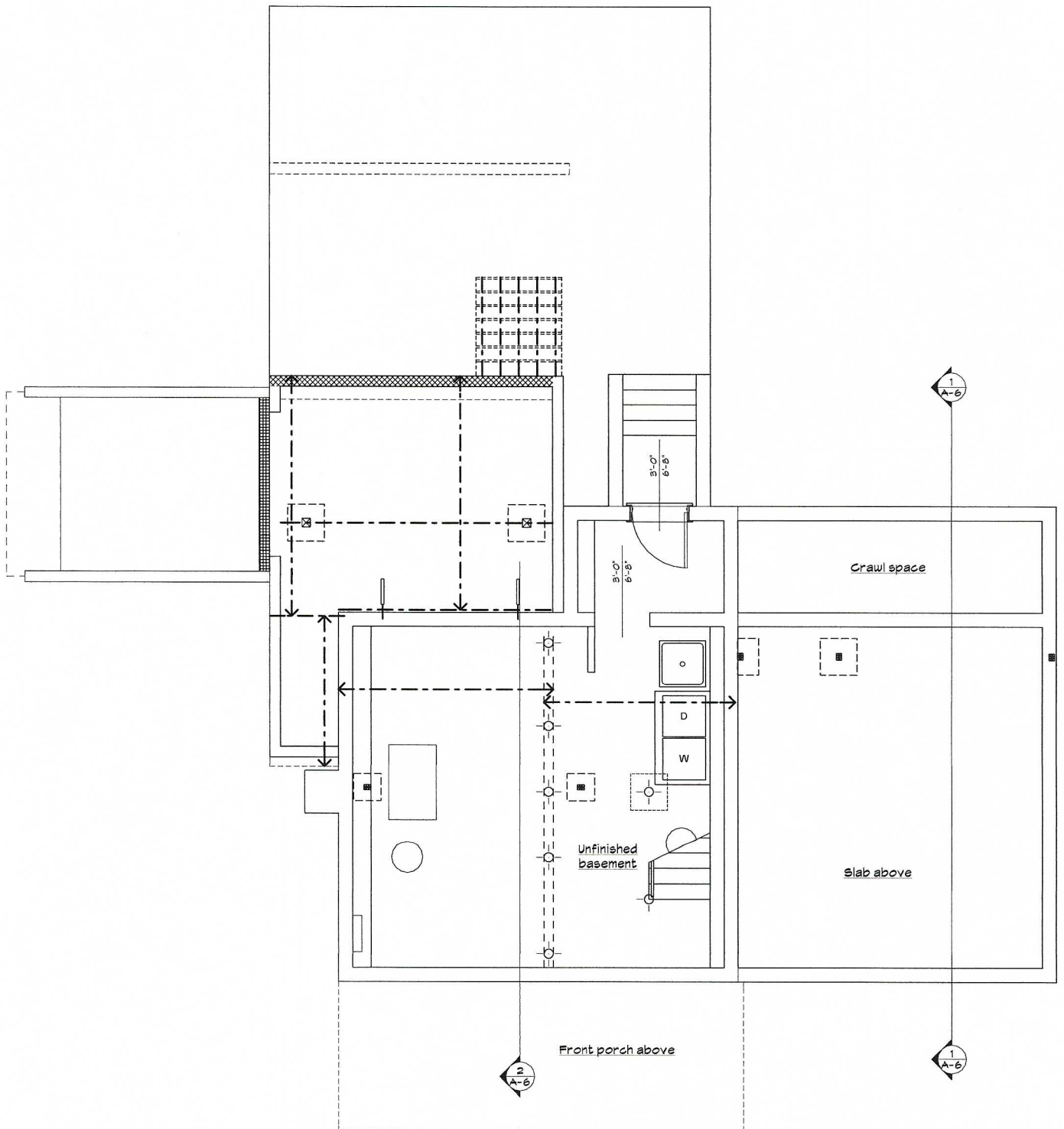
- | | | |
|-----|---|--------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>7,938 s.f.</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>3,234.5s.f.</u> |
| 3. | Amount of floor area contained within first floor:
<u>937 s.f.</u> existing + <u>0</u> proposed = | <u>937 s.f.</u> |
| 4. | Amount of floor area contained within second floor:
<u>437 s.f.</u> existing + <u>0</u> proposed = | <u>437 s.f.</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>185</u> existing + <u>0</u> proposed = | <u>185</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>1,559 s.f.</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

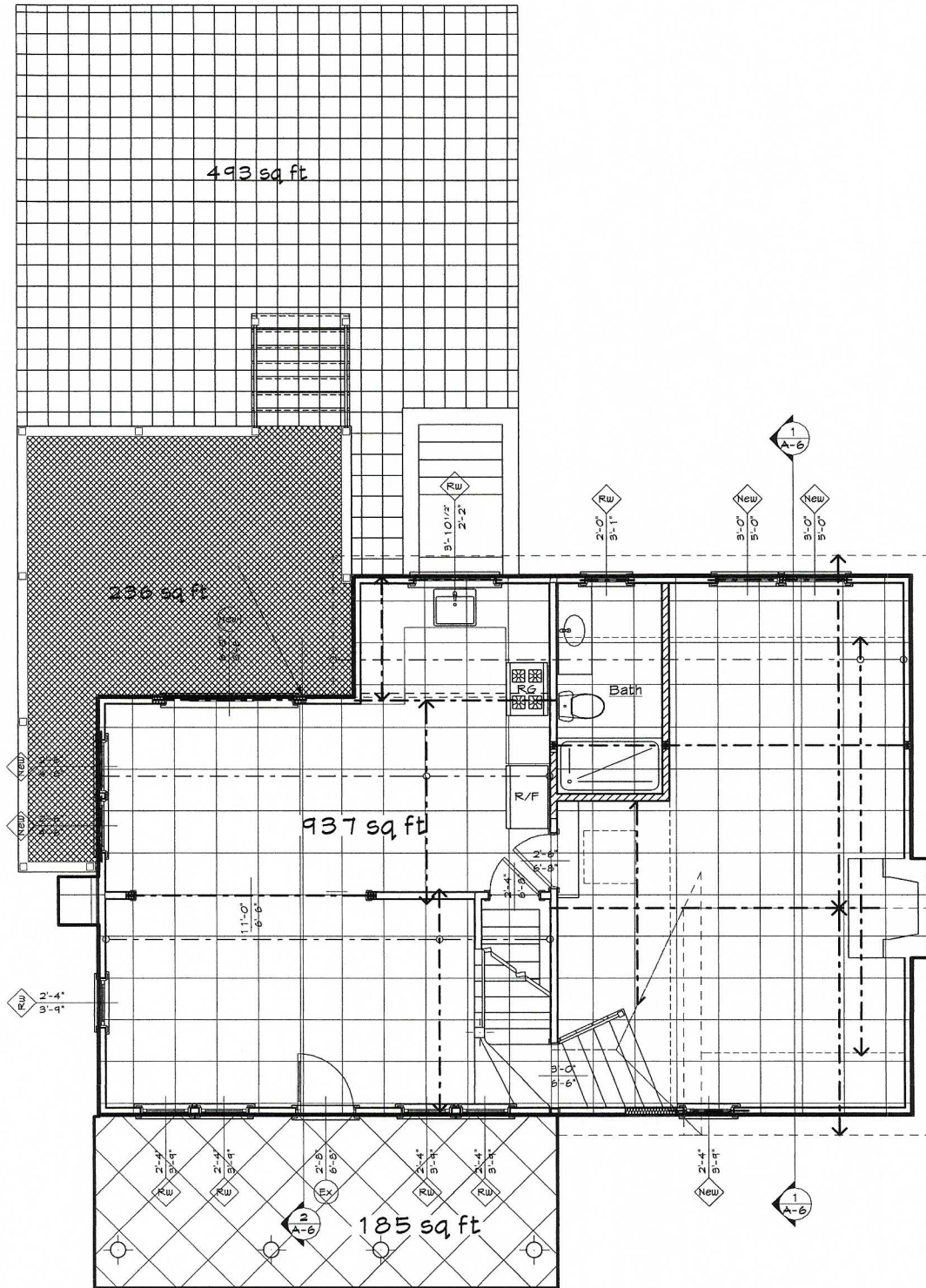

 Signature and Seal of Professional Preparing Worksheet



9/7/21
 Date



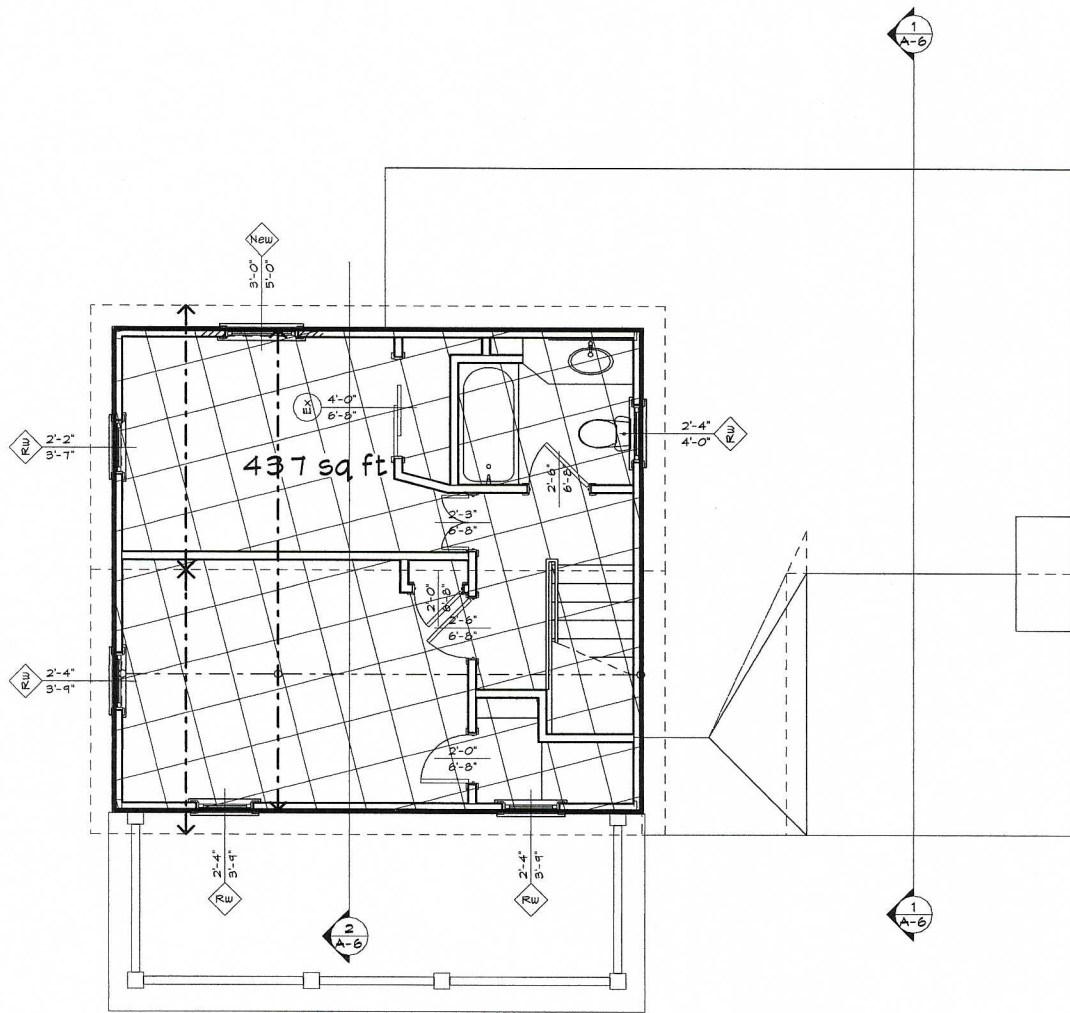
-1 **Basement plan - Renovation**
 SCALE: 1/4" = 1'-0"



1

First floor plan - Renovation

SCALE: 1/4" = 1'-0"



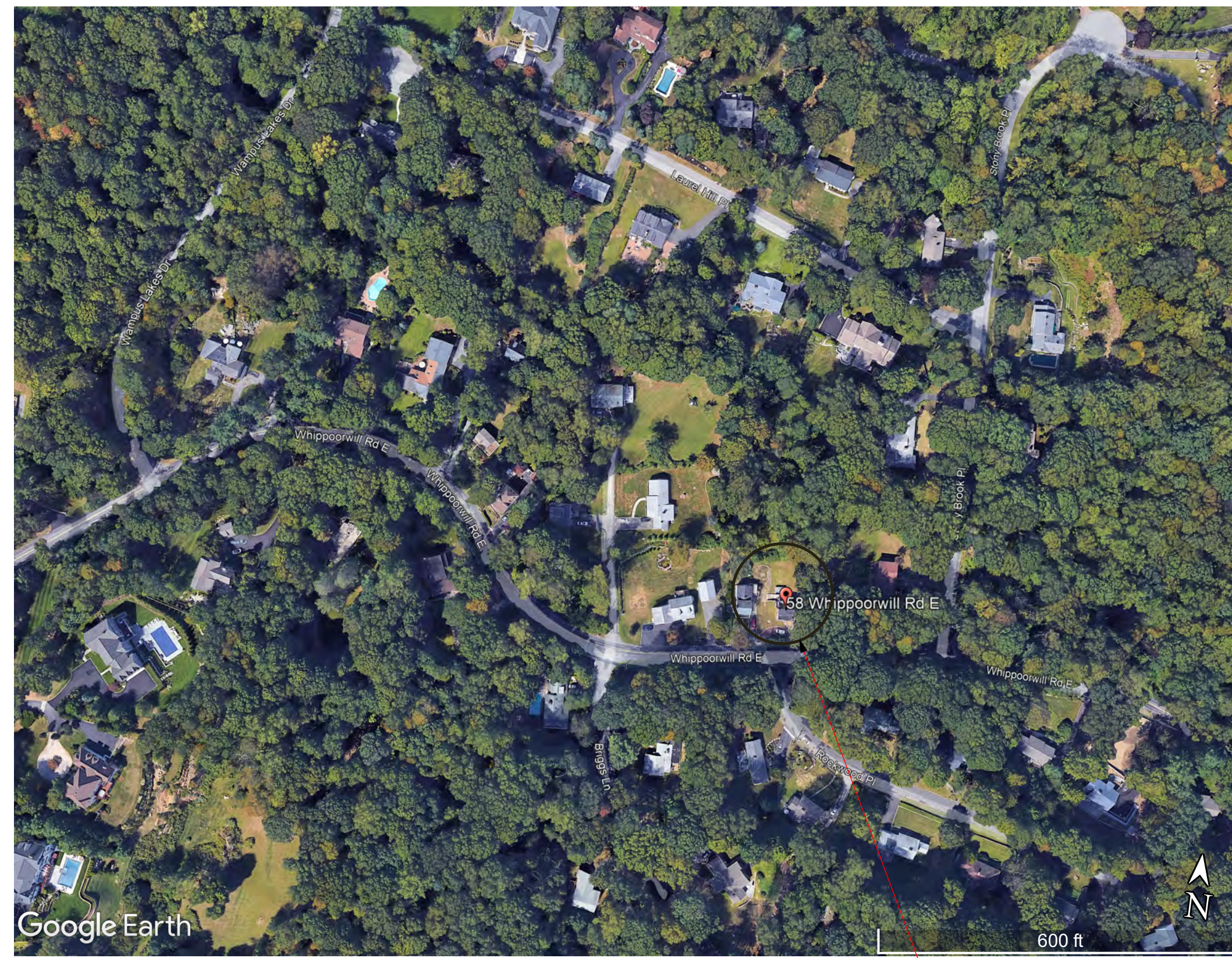
2 Second floor plan - Renovation

SCALE: 1/4" = 1' - 0"



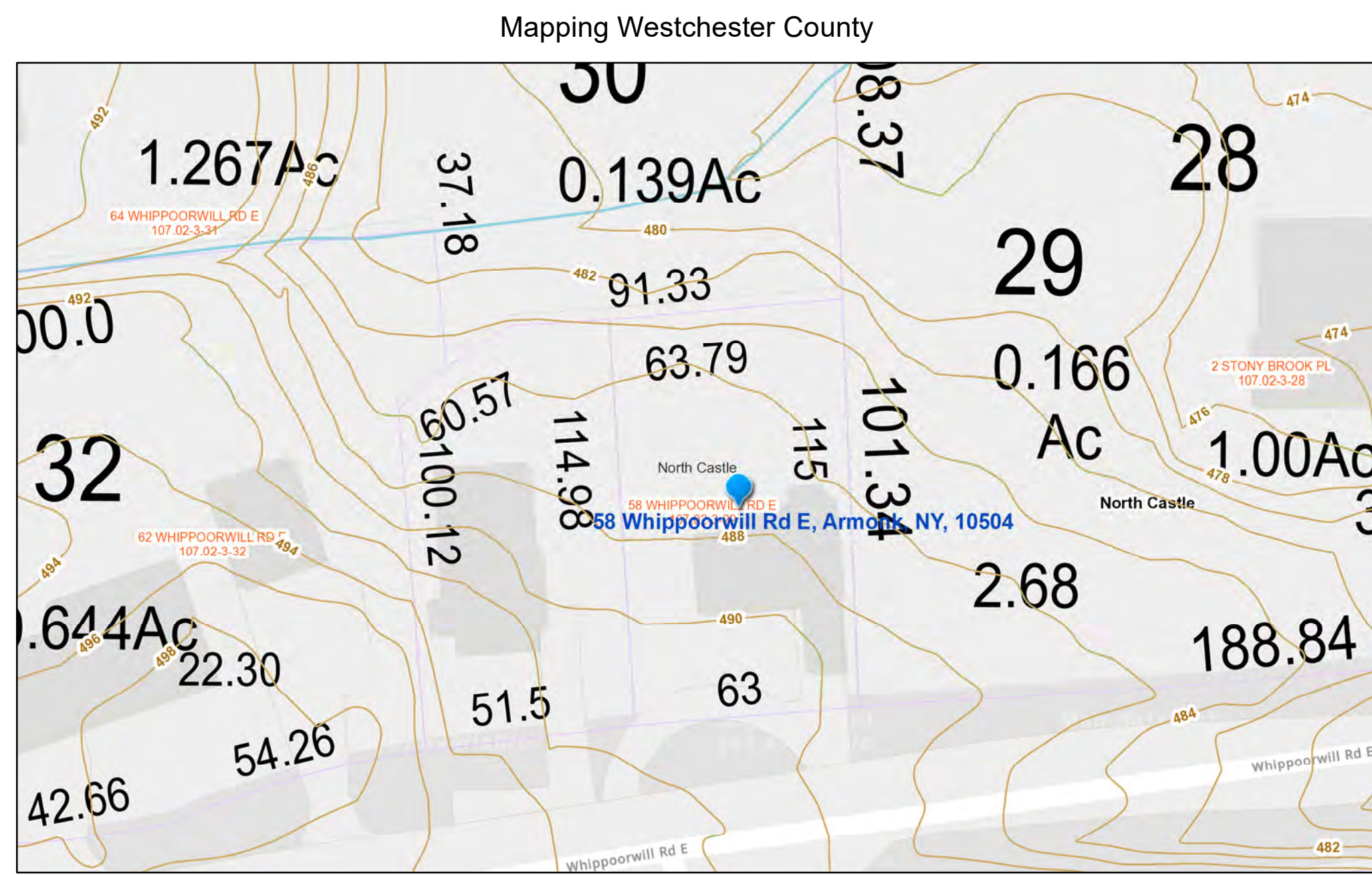
P1 Aerial Photo - Property

NO SCALE



P1 Aerial Photo - Adjacent Properties

NO SCALE



9/7/2021, 8:50:24 AM
Municipal Boundaries

1:564 0 25 50 100 ft

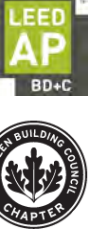
GIS
http://giswww.westchester.gov.com
Michael J. Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

M1 GIS Map with topography

NO SCALE

**Patrick M. Croke
Architect**

20 Woodsbridge Road
Katonah, New York 10536
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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

This project is designed in conformance with the 2020 Residential code of NYS

No.	Description:	Date:
10	RPRC submission	09/07/21
9	Revisions as per 7/20/21 site visit and 7/22/21 inspection report	08/18/21
8	Construction phase changes	01/12/21
7	Revised per Building department review comments dated 01/06/21	01/06/21
6	Revised per Building department review comments dated 11/06/20	11/10/20
5	Submission for new permit under new ownership	10/09/20
4	Window change at 2nd floor rear bedroom. Revisions to Drawings A-4 and A-5 only.	05/31/19
3	Additional notes about foundation wall under new deck (drawing A-2).	01/31/19
2	Slit fence added to site plan	01/14/19
1	RPRC submission	01/14/19

Revisions:

Project Name:

Renovation and new deck
58 Whippoorwill Rd E
Armonk, NY

Drawing Title:

Site Photo and map

Date: 09/07/21
Revised as noted above

Project #: 20051

Scale: As noted



Drawing Number:

A-0

Zoning analysis

Proposal for addition and renovation to existing residence
58 Whippoorwill Road, North Castle, NY

Parcel ID: Section 2, Block 2, Lot 21E
Zone: R-10
Lot size (acres): 0.182
Lot size (square feet): 7,938

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (Square feet)	10,000		7,938	No change	
Front yard (Feet)	30		25.59	25.59	1
Side #1 (Feet)	15		29.05	24' +/-	1
Side #2 (Feet)	15		0.58	0.58	1
Total two sides (Feet)	30		29.63	24.58' +/-	1
Rear yard (Feet)	30		48.75	48' +/-	1
Max. height, stories		2 1/2	2	2	
Max. height, feet		30'	22 +/-	22 +/-	
Frontage (Feet)	100		69	No change	
Width (Feet)	100		69	No change	
Depth (Feet)	100		114.98	No change	
Max. gross fl. Area (SF)		3235	1371	1371	
Gross land coverage (SF)		3,381	2,476	2,927	2
		30%	17.33%	14.70%	Percentage, 3
Building coverage		2,381	1,376	1,167	Square feet, 3

Remarks:

- 1 - Proposed setbacks are to the existing house or new deck, whichever is less.
- 2 - Land coverage as scaled from subdivision map. Driveway coverage increased from 681 SF to 705 SF for existing extension of second curb cut to Whippoorwill Road.
- 3 - Existing building coverage as per subdivision map

Table R301.2(1)

Climatic and Geographic Design Criteria

Ground Snow Load	WIND DESIGN				Seismic Design Category	Subject to damage from:			Winter design temp.	Ice barrier underlayment required	Flood hazards	Air freezing index	Mean annual temp.
	Speed (MPH)	Topographic effects	Special wind region	Wind-borne debris zone		Weathering	Frost line depth	Termite					
30	115 MPH ultimate wind speed	No	Yes	No	C	Severe	42"	Moderate - heavy	7° F	Yes	No	1160 (1500 or less)	49

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

A. Scope of Work

- 1) Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
- 2) Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

B. Execution

- 1) Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

A. Materials

- 1) Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
- 2) Bricks - Standard Modular Brick, color as specified by architect.
- 3) Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
- 4) Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

B. Execution

- 1) Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
- 2) Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
- 3) Anchor wall to adjacent construction with panel anchors.
- 4) Bond intersecting walls with masonry units or provide anchors spaced 0'- 8" O.C.
- 5) Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
- 6) Do masonry work only when average daily temperature is above 40 degrees F, or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

A. Materials

- 1) Steel shapes, plates, and bars: ASTM A36.
- 2) Steel pipe: ASTM A501
- 3) High strength threaded fasteners: ASTM A325

B. Execution

- 1) Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

A. Materials

- 1) Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
 - a) Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
 - b) TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
 - c) LVL as used on the drawings refers to 1.9 E Microlam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - d) PSL as used on the drawings refers to 2.0 E Microlam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - e) LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - f) Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
- 2) Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
- 3) Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
- 4) Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
- 5) Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
- 6) All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
- 7) All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
- 8) Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

Building coverage summary

58 Whippoorwill Road, North Castle, NY

Zone: R-10

Existing lot: Lot size (acre): 0.182 7,938 SF
Max. building coverage: 30% 2,381 SF
Max. gross land coverage: 3,381 SF

Existing coverage are noted on or scaled from survey dated 8/9/14 by David Scott Freeman, Land Surveyor

New building coverage numbers are based on the outer dimensions of the proposed addition

Structure/item/area	Existing			Proposed		
	Foot print	% of lot	Change (SF)	Foot print	% of full lot	
Residence - Existing	1,167	14.70%	0	1,167	14.70%	
Car port	209	2.63%	(209)	0	0.00%	
(Existing total building coverage of 1376 SF as per subdivision map)						
Total building coverage	1,376	17.33%	(209)	1,167	14.70%	
Max. allowed building coverage: Percent 30%, SF 2,381						

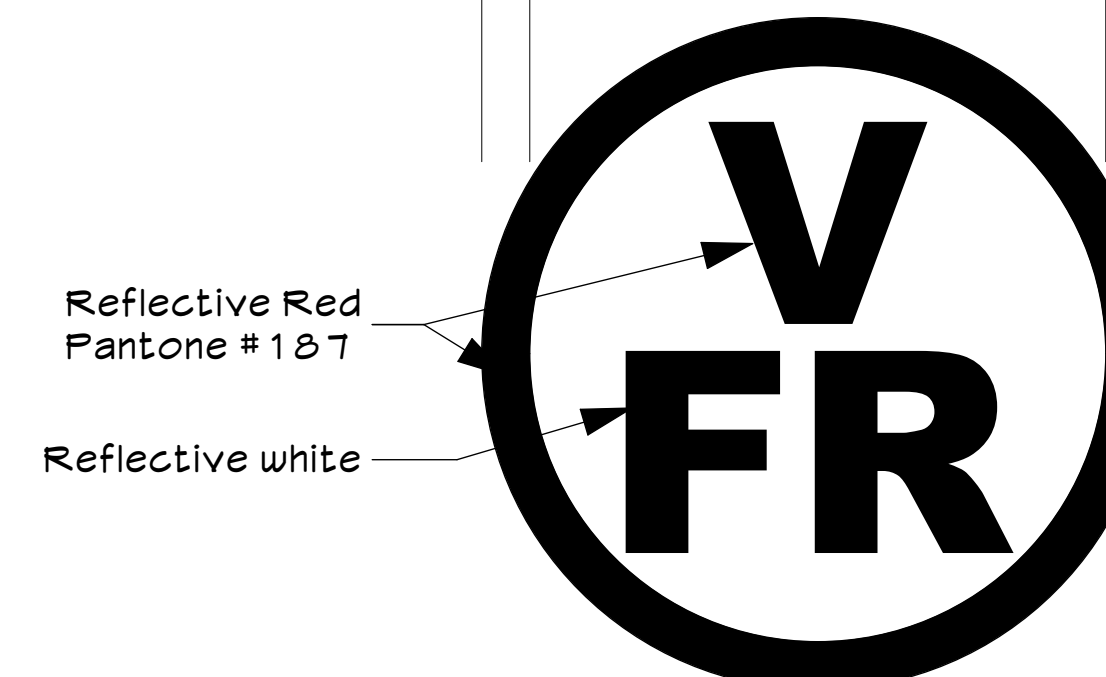
Structure/item/area	Existing			Proposed		
	Foot print	% of lot	Change (SF)	Foot print	% of full lot	
Building coverage (from above)	1,376	17.33%	(209)	1,167	14.70%	
Existing deck at rear	31	0.39%	(31)	0	0.00%	
New deck at rear	0	0.00%	236	236	2.97%	
Back recessed area	235	2.96%	(235)	0	0.00%	
Back recessed area ramp and walls	61	0.77%	0	61	0.77%	
Free standing wall	12	0.15%	(12)	0	0.00%	
Walks	56	0.71%	0	56	0.71%	
Driveways - Increase is area under carport	705	8.88%	209	914	0.00%	
New Terrace	0	0.00%	493	493	0.71%	
Total gross land coverage	2,476	31.19%	451	2,927	6.21%	
Max. allowed gross land coverage: 3,381 SF						

Google Maps 58 - 60 Whippoorwill Road East



Imagery ©2019 Google, Map data ©2019 Google 50 ft

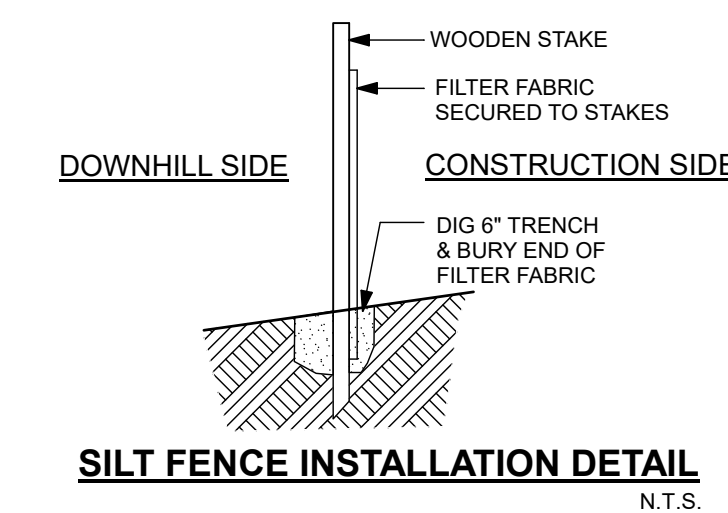
1/2" 6" 1/2"



DO Placard

SCALE: 1 : 2 (Half Full Size)

This structure contains pre-engineered wood construction in floors and roofs. The required notification placard shown above, shall be installed on the exterior of the building in a location to be approved by the building department.



SILT FENCE INSTALLATION DETAIL N.T.S.



Our 50 Series Replacement double-hung features a slim profile that allows for maximum light and a clean design for more of a contemporary style.

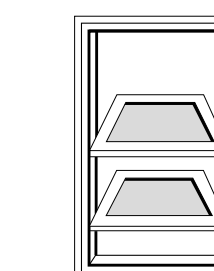
Simplified design

Flat exterior frame for a clean and modern appearance.



Easy cleaning

Tilt-in feature for easy cleaning from inside your home.



Flexible ventilation

Double-hung windows have two operating sash that move up and down and allow venting from the top and bottom. This window also features vent latches for the option of partial ventilation.



Easy installation to save you time

Custom sizes ensure an exact fit while pre-drilled installation holes save you time.



Weatheright performance

Dual weatherstripping helps seal out dust, wind and water. The Standard lock pulls the sash tight to seal out elements.



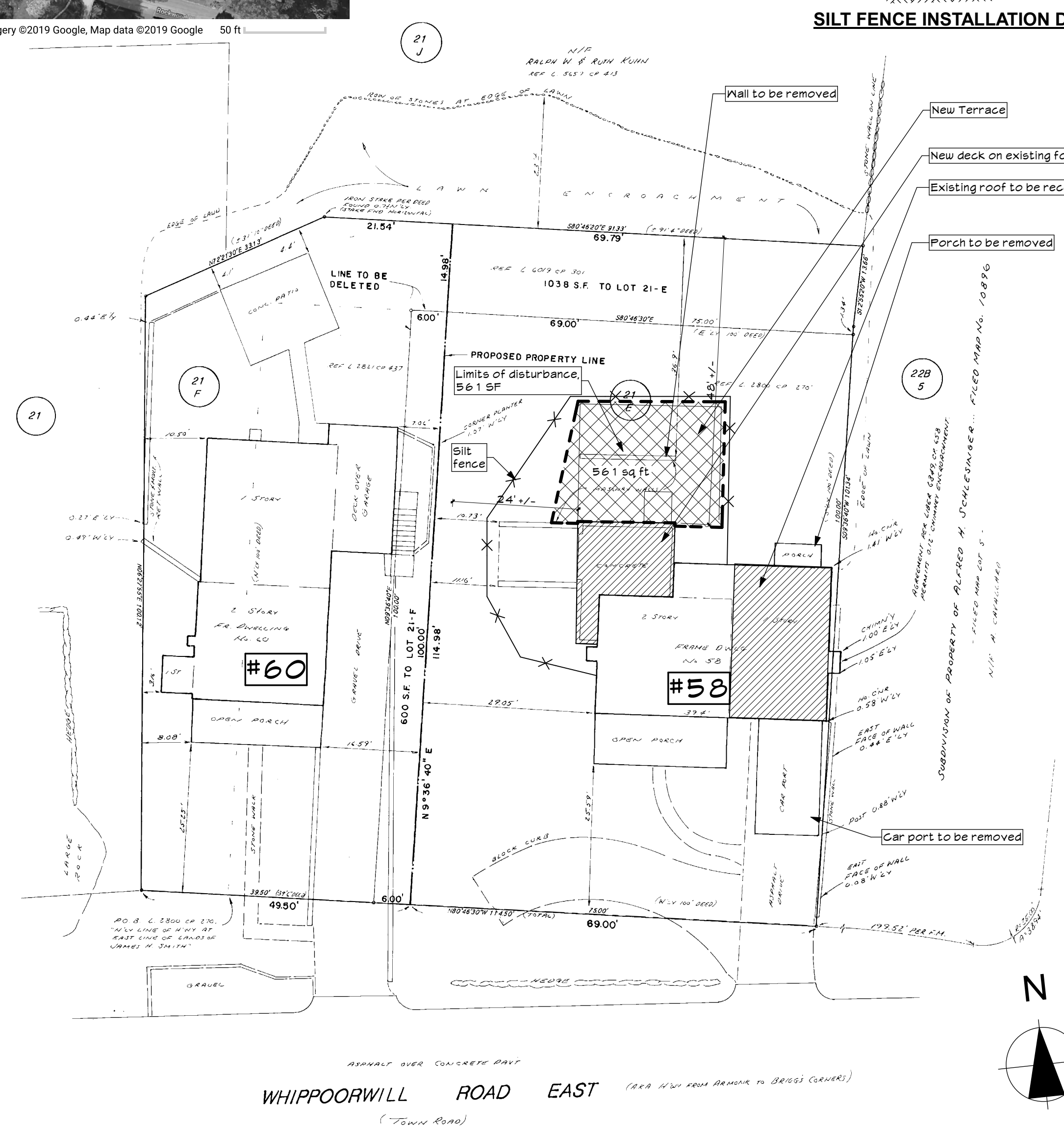
Exterior colors
White Beige

DID YOU KNOW?

This window is also available in a single-hung where only the bottom sash opens and tilts in for cleaning.

50 Series Replacement Double-Hung	Clear/Air	2.2mm	Intercept	0.48	0.62	0.65	-	-	-	-	Intercept	0.48	0.50	0.58	-	-	-	-	-
		3.0mm	Intercept	0.48	0.61	0.64	-	-	-	-	Intercept	0.49	0.50	0.57	-	-	-	-	-
	Low-E/Air	2.2mm	Intercept	0.34	0.29	0.55	-	-	-	-	Intercept	0.34	0.29	0.49	-	-	-	-	-
		3.0mm	Intercept	0.35	0.29	0.54	-	-	-	-	Intercept	0.36	0.29	0.48	-	-	-	-	-
	Low-E/Argon	2.2mm	Intercept	0.30	0.29	0.55	-	NC	-	-	Intercept	0.30	0.29	0.49	-	NC	-	-	-
		3.0mm	Intercept	0.30	0.29	0.54	-	NC	-	-	Intercept	0.31	0.29	0.48	-	-	-	-	-
	Low-E SmartSun™/Air	2.2mm	Intercept	0.34	0.25	0.50	-	-	-	-	Intercept	0.34	0.23	0.44	-	-	-	-	-
		3.0mm	Intercept	0.35	0.25	0.49	-	-	-	-	Intercept	0.35	0.23	0.44	-	-	-	-	-
	Low-E SmartSun™/Argon	2.2mm	Intercept	0.30	0.25	0.50	-	NC	SG	-	Intercept	0.30	0.23	0.44	-	NC	SG	-	-
		3.0mm	Intercept	0.30	0.25	0.49	-	NC	SG	-	Intercept	0.31	0.23	0.44	-	-	-	-	-
	Low-E PassiveSun®	2.2mm	Intercept	0.34	0.45	0.58	-	-	-	-	Intercept	0.34	0.40	0.50	-	-	-	-	-
		3.0mm	Intercept	0.35	0.44	0.56	-	-	-	-	Intercept	0.36	0.40	0.50	-	-	-	-	-
	Low-E PassiveSun®/Argon	2.2mm	Intercept	0.30	0.45	0.56	-	-	-	-	Intercept	0.30	0.41	0.50	-	-	-	-	-
		3.0mm	Intercept	0.31	0.45	0.56	-	-	-	-	Intercept	0.32	0.40	0.50	-	-	-	-	-
	Low-E PassiveSun® HeatLock®	2.2mm	Intercept	0.31	0.38	0.56	-	-	-	-	Intercept	0.31	0.34	0.50	-	-	-	-	-
		3.0mm	Intercept	0.31	0.37	0.56	-	-	-	-	Intercept	0.32	0.33	0.50	-	-	-	-	-
Low-E PassiveSun® HeatLock®/Argon	2.2mm	Intercept	0.28	0.37	0.56	-	NC	-	-	Intercept	0.28	0.34	0.50	-	NC	-	-	-	
	3.0mm	Intercept	0.28	0.37	0.56	-	NC	-	-	Intercept	0.29	0.33	0.50	-	-	-	-	-	
Low-E Sun/Air	2.2mm	Intercept	0.34	0.23	0.43	-	-	-	-	Intercept	0.34	0.20	0.38	-	-	-	-	-	
	3.0mm	Intercept	0.34	0.23	0.43	-	-	-	-	Intercept	0.35	0.20	0.38	-	-	-	-	-	
Low-E Sun/Argon	2.2mm	Intercept	0.30	0.22	0.43	-	NC	SG	-	Intercept	0.30	0.20	0.38	-	NC	SG	-	-	
	3.0mm	Intercept	0.30	0.22	0.43	-	NC	SG	-	Intercept	0.31	0.20	0.38	-	-	-	-	-	

RW Replacement window specs



s Site plan SCALE: 1/16" = 1'-0"

Site plan based on survey by Kenneth B. Salzmann dated 9/7/1990

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NOTE: DO NOT SCALE DRAWINGS

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Revisions:

Project Name:

Renovation and new deck
58 Whippoorwill Rd E
Armonk, NY

Drawing Title:

Site plan and general notes

Date:

09/07/21

Revised as noted above

Project #:

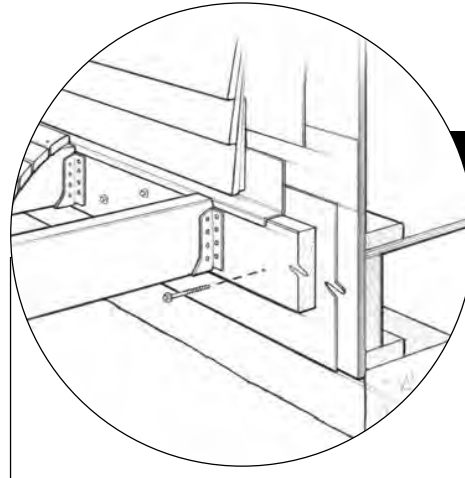
20051

Scale:

As noted

Drawing Number:

A-1



DECK LEDGER TO RIM JOIST

CONNECTION DETAILS

The LedgerLOK Ledger Board Fastener has been designed specifically for attaching the deck ledger to a rim joist or band board of the house in a code compliant manner. When installed as instructed in this bulletin, the LedgerLOK can be used to replace the 1/2" Log Screws called for in Chapter 5 of the International Residential Code (IRC).

In addition, the proprietary coating on this fastener exceeds the corrosion protection provided by code approved hot-dipped galvanized coatings.

INSTALLATION PROCEDURES

- Choose 3-5/8" or 5" LedgerLOK so that threads fully engage the rim material and fastener tip extends beyond the inside face of the rim joist.
- Use a high torque, 1/2" variable speed drill (18V if cordless).
- Follow the minimum spacing and fastening patterns from Figure 1 and Table 1.
- Install fasteners through the ledger and sheathing. Continue into the rim joist until the washer head is down firm and flush to the ledger board. Do not overdrive.

CORROSION STATEMENT

The proprietary galvanized and polymer coating applied to the LedgerLOK has been tested under the current ICC standard for evaluating corrosion resistance in treated lumber (AC257) and deemed suitable alternative to code-approved hot-dipped galvanized coatings when exposed to ground contact ACO preservative treatment in wet-use conditions. A statement of this compliance can be found in the ICC Evaluation Report for LedgerLOK (ESR #1078), available online at icc-es.org or the FastenMaster website. For applications within 1,000 feet of saltwater, we recommend the use of a stainless steel fastener.

SPACING REQUIREMENTS

- Fasteners should be staggered in a "V" pattern and spaced as follows:
- A. Minimum end distance = 3-3/4"
 - B. Minimum edge distance = 2"
 - C. On-center spacing = Per Table 1

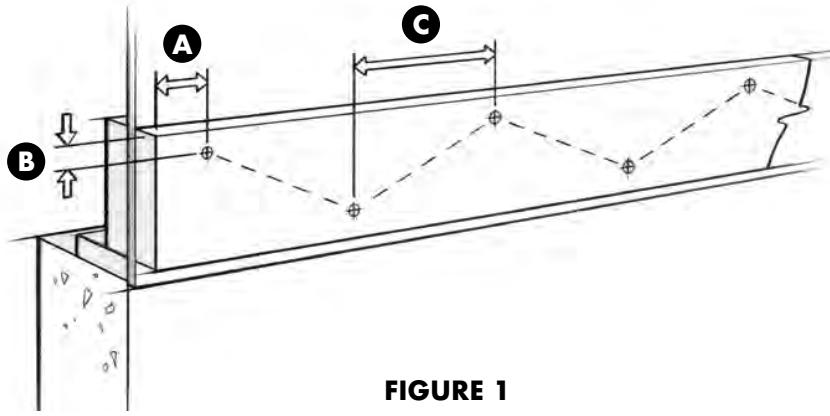


FIGURE 1

Effective December 1, 2017. Please reference our website to ensure that you are using the most up to date version.
 153 BOWLES ROAD, AGAWAM, MA 01001 413-789-0252 800-518-3569 WWW.FASTENMASTER.COM

FASTENING PATTERN

Determine the proper spacing of LedgerLOK fasteners from Table 1 below based on:

- Live load requirement for your local code
- Rim material that you are attaching to
- Deck material being attached to the house
- Joist span as measured from the ledger to the first supporting beam

TABLE 1: Fastening pattern for attachment of ledger to rim board using LedgerLOK

Live Load	Ledger Material	Rim Material	Spacing between fasteners (in inches) based on Joist Spans of:						
			6' or Less	Up to 8'	Up to 10'	Up to 12'	Up to 14'	Up to 16'	Up to 18'
40 psf	Doug. Fir or S. Pine	2x Lumber	24	18	14	12	10	9	8
		EW Rim	25	19	15	12	10	9	8
	Hem Fir	2x Lumber	20	15	12	10	8	7	6
		EW Rim	25	19	15	12	10	9	8
60 psf	Doug. Fir or S. Pine	2x Lumber	17	13	10	8	7	6	5
		EW Rim	18	13	10	9	7	6	6
	Hem Fir	2x Lumber	14	11	8	7	6	5	4
		EW Rim	18	13	10	9	7	6	6

LedgerLOK fastening patterns outlined in this table provide equal or better performance to log screw patterns in the 2009, 2012 and 2015 IRC in accordance with IRC sections R104.1.1 and in accordance with generally accepted engineering practice. Design values used to create these patterns were derived from individual fastener testing under ICC Acceptance Criteria AC233 (ESR #1078) as well as full system testing directly comparing log screw and LedgerLOK performance in ledger to rim connections using generally accepted industry standards used to generate the IRC fastener spacing tables for log screws.

- Ledger materials must be a minimum of 2 x 8 nominal dimensional pressure-preservative-treated No. 2 lumber from any of the following species: Hem-Fir, SPF, Douglas Fir or Southern Pine.
- Rim joist materials must be either solid sawn 2x lumber or engineered wood specifically designated by the manufacturer as rim material. 2x lumber may be of any species greater than 0.42 specific gravity, including SPF, HF or DF. Engineered Wood (EW) Rim may be OSB, LSL or LVL material measuring 1" or greater in thickness.
- Sheathing of 15/32" or 7/16" OSB may separate the ledger and rim but must be attached per code. For additional materials between ledger and rim, please refer to the guidelines below.

Wet service conditions have been tested for and applied to the patterns above. No further reductions for wet service need to be applied.

The code-standard dead load for building materials of 10 pounds per square foot is assumed in all calculations above.

As required by IRC Section 507.2.1, the calculations and installation instructions found in this bulletin have been reviewed and found to be in accordance with accepted engineering practices. For a copy of the engineer stamped/sealed letter or further technical information to support this bulletin, please contact FastenMaster at 800-518-3569.

GENERAL FASTENING GUIDELINES

- The LedgerLOK is not designed for attachment to masonry/concrete or over stucco, siding, rigid foam insulation or brick veneer.
- Connections and joints shall be properly finished to prevent water from contacting the rim joist.
- Where a positive connection to the rim joist cannot be verified through inspection, decks shall be self supporting.
- Ledgers should not be attached over cantilevered portions of the house where the rim is unsupported by a foundation.
- For ledgers being attached to open web floor trusses, consult "Attachment of Residential Deck Ledger to Metal Plats Connected Wood Truss Floor System" published by the Structural Building Component Association for proper design methods. This Technical Note can be found at www.sbcindustry.com.
- Wood structural panel sheathing or gypsum board sheathing not exceeding 1" in thickness shall be permitted provided that the maximum distance between the inner face of the ledger board and the outer face of the rim joist is no greater than 1" and is properly fastened to the rim.
- Under the following conditions, the LedgerLOK may still be approved but a design professional should be consulted for proper spacing requirements:
 - In areas where live load requirements exceed 60 psf or snow load requirements exceed 70 psf.
 - For decks designed to carry increased dead loads (ex: hot tubs, stationary planters).
 - Three-season or fully enclosed decks supporting an overhead roof.
- All local code requirements as well as guidelines set forth in this technical bulletin must be followed for patterns outlined above to be applicable.

Ledger Connections

Lateral Support at Band Joist

For decks that are partially supported by an adjacent structure (such as a house), the connection between the deck and that structure is vital. A bolted or screwed ledger-to-rim-board connection is suitable to support gravity loads; however, in some cases the building codes require a connection that is able to resist lateral loads. In these situations, tension ties are typically called out to tie the joists of the deck directly to the structure.

DTT Deck tension ties are a safe, cost-effective solution designed to meet or exceed lateral-load code requirements for deck construction.

DTT12 satisfies the 2015/2018 IRC provision for a 750 lb. lateral-load connection to the house at four locations per deck. This code detail permits the lateral connection from the deck joists to be made to top plates, studs or headers within the supporting structure.

DTT2 can be used to satisfy the 2015/2018 IRC provision for a 1,500 lb. lateral-load connection at two locations per deck.

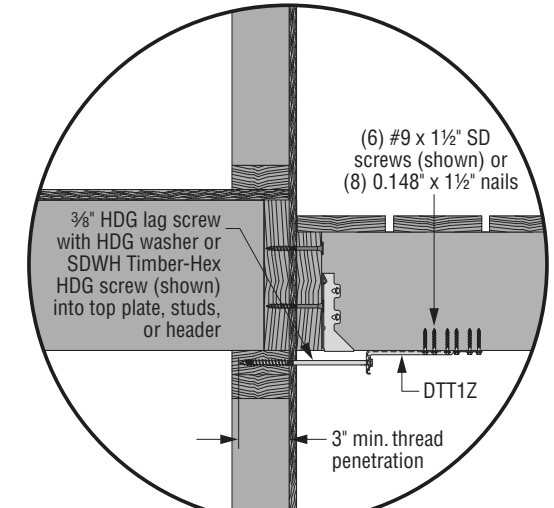
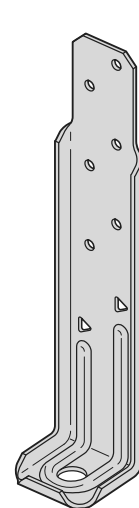


Figure 2 Typical DTT12 Deck-to-House Lateral-Load Connection



DTT12 Deck Tension Tie

Building Code Requirements

- The deck shall be positively anchored to the primary structure and designed for both the vertical and lateral loads in accordance with Figure R507.8 (2015 IRC Figure R507.1).

IRC 2018 Section R507.8
 IRC 2015 Section R507.1

- Where the lateral-load connection is permitted to be installed per Figure 1, holdown tension devices shall be installed in not less than two locations per deck, within 24 inches of each end of the deck, and have an allowable stress design capacity not less than 1,500 lb.

IRC 2018 Section R507.9.2
 IRC 2015 Section R507.2.4

- Where the lateral-load connections are provided in accordance with Figure 2, the holdown device shall be within 24 inches of each end of the deck, and have an allowable stress design capacity of not less than 750 lb.

IRC 2018 Section R507.9.2
 IRC 2015 Section R507.2.4



Conservation Construction New York State, Residential

Energy and fenestration requirements

12.1.2) of the 2020 Residential Code of New York State)

Westchester, Suffolk and Nassau Counties and NYC

Element	Maximum U-factor	Minimum R-value (c)	Depth of insulation
Roof	0.32		
Basement	0.55	49 (d, e)	
Attic		20 cavity or 13 cavity +5 continuous	
Interior		8/13	
Exterior		19	
Window		10/13	
Door		10	2 ft
Slab		5 under full slab plus 10 vert edge	2 ft

All existing portions of the building shell that are not R-10 continuous insulated shall have cavities filled with insulation as per Note C.

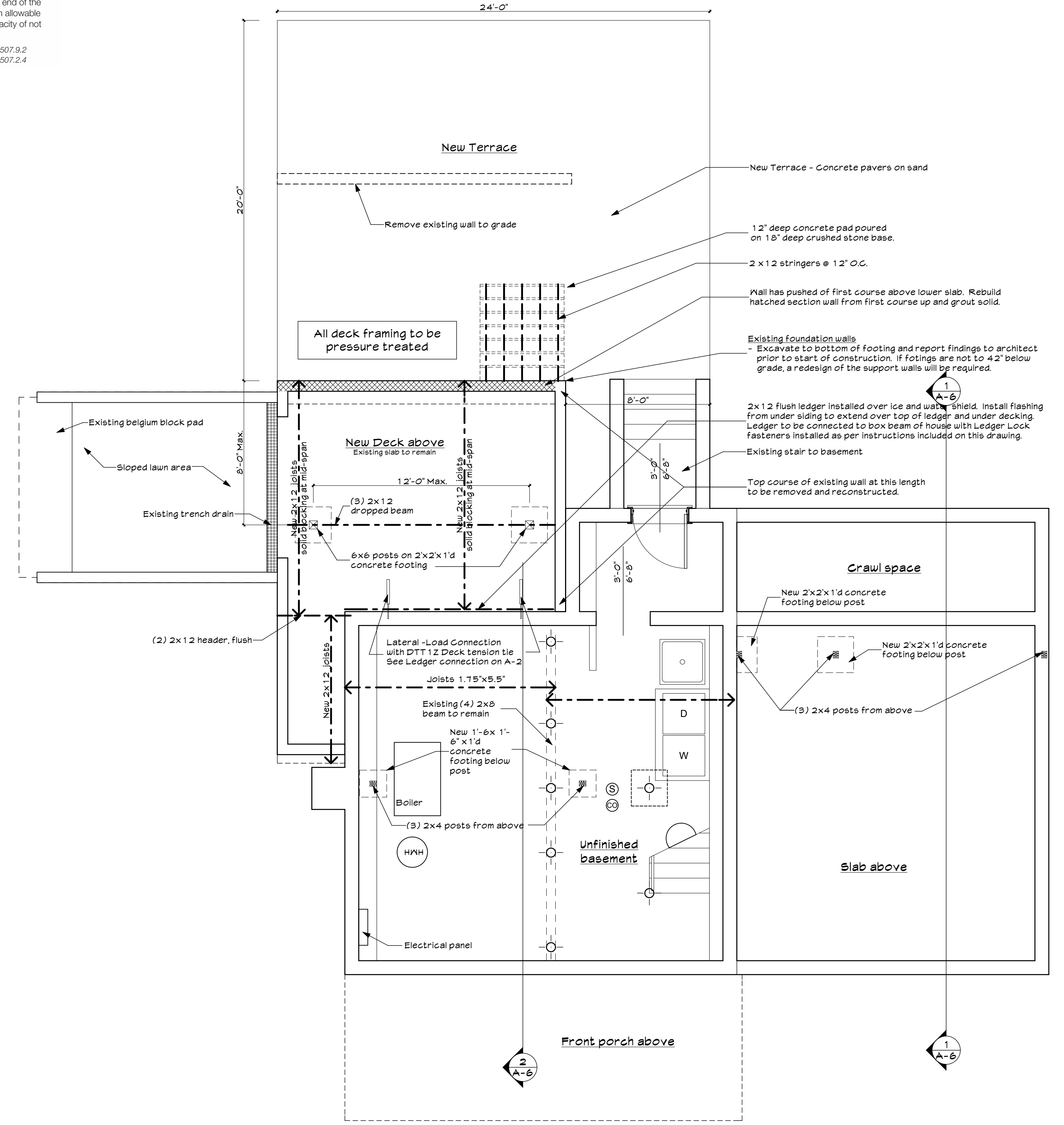
(a) The second R-value applies to the exterior of the mass wall.

(b) The first value shown represents minimum "R" value of continuous insulated sheathing on the interior or exterior of the wall, the second value shown represents minimum "R" value of cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

(c) Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/(inch). (N1109.1.1 (R503.1.1) of the 2020 Residential Code of New York State)

(d) Ceilings with attic spaces - Where R-49 installation is required in ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

(e) Ceilings without attic spaces - Where greater than R-30 installation is required in roof/ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)



-1- Basement plan - Renovation

SCALE: 1/4" = 1' - 0"

Smoke/CO detector, hard wired and interconnected where possible. (Smoke and Carbon Monoxide (CO) detector may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2)

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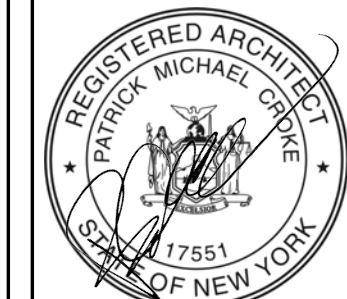
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10	RPRC submission	09/07/21
9	Revisions as per 7/20/21 site visit and 7/22/21 inspection report	08/18/21
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3	Additional notes about foundation wall under new deck (drawing A-2)	01/31/19
2	Silt fence added to site plan	01/14/19
1	RPRC submission	01/14/19

Revisions:

Project Name:
Renovation and new deck
 58 Whipoorwill Rd E
 Armonk, NY

Drawing Title:
Basement floor plan

Date: 09/07/21
 Revised as noted above
 Project #: 20051
 Scale: As noted



Drawing Number:

A-2

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Demolition general notes:

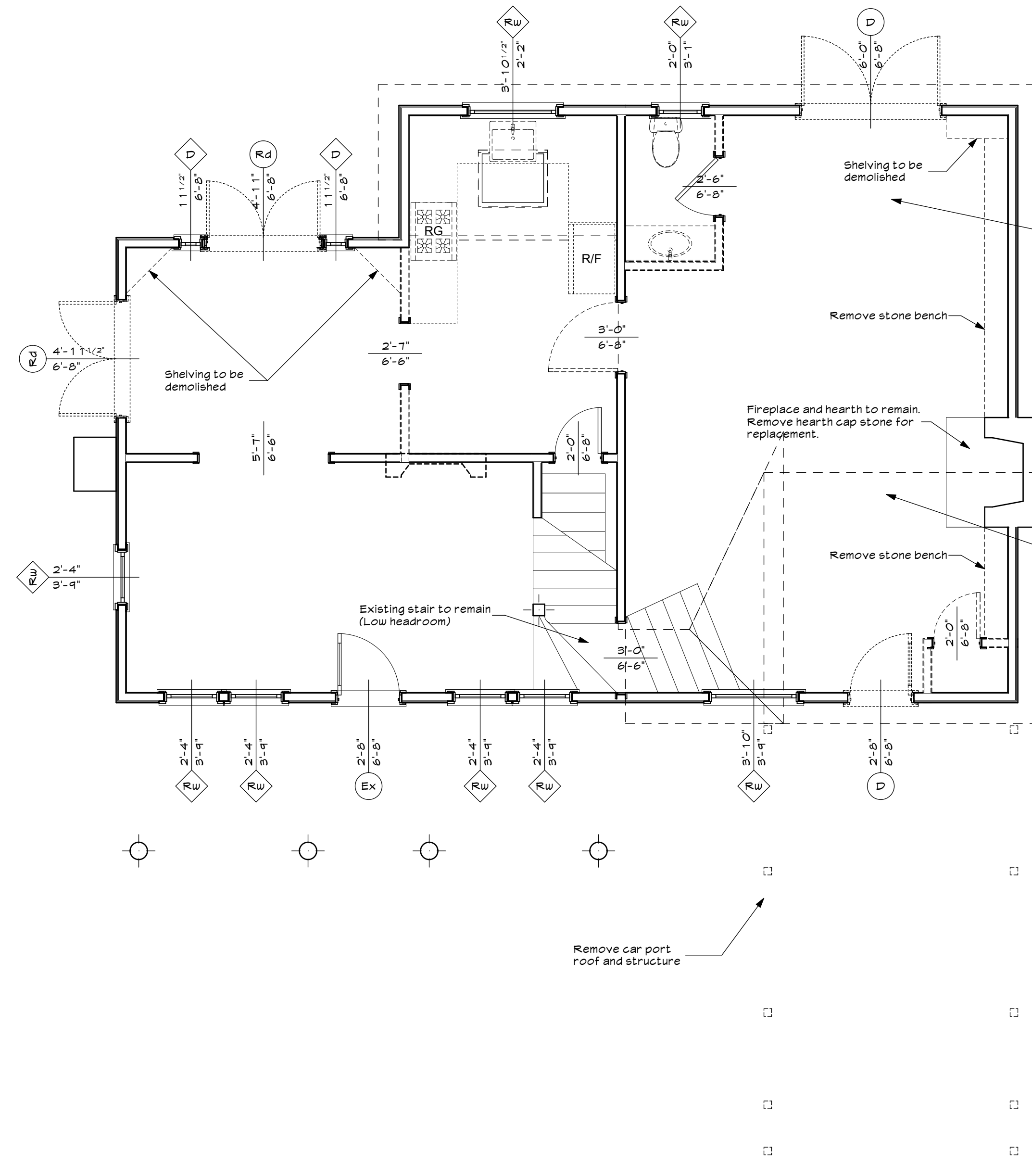
- Maintain weatherproof exterior building enclosure at all areas to the maximum extent practical.
- Take care to prevent water, humidity and construction damage.
- Demolish and remove components in an orderly and careful manner, in logical and safe sequence.
- Protect existing supporting structural members and all items which are to remain. Protect all portions of the building adjacent to or affected by the demolition.
- Provide shoring and bracing to support all areas which are to remain.
- All demolished materials are to be removed and legally disposed of off-site.
- All plumbing, heating, air conditioning and electrical services encountered during demolition shall be properly disconnected and removed if not in use or rerouted as needed for lines to be left in use during construction or feeding other area of the building.
- Provide adequate temporary GFI circuits and lighting for the intended work and crew.
- Provide temporary site toilets for the workers for the duration of the project.

Window/Door schedule

	Replacement window (Rw) within existing window frame or door unit (Rd) within existing door rough opening
	Replacement style window or door in new trimmed frame to match existing
	Existing to remain
	To be removed and wall patched
	To be salvaged and relocated

Wall schedule

	New 2x6 interior
	New 2x4 interior
	Existing 2x4 exterior
	Existing 2x4 interior
	Existing walls to be demolished



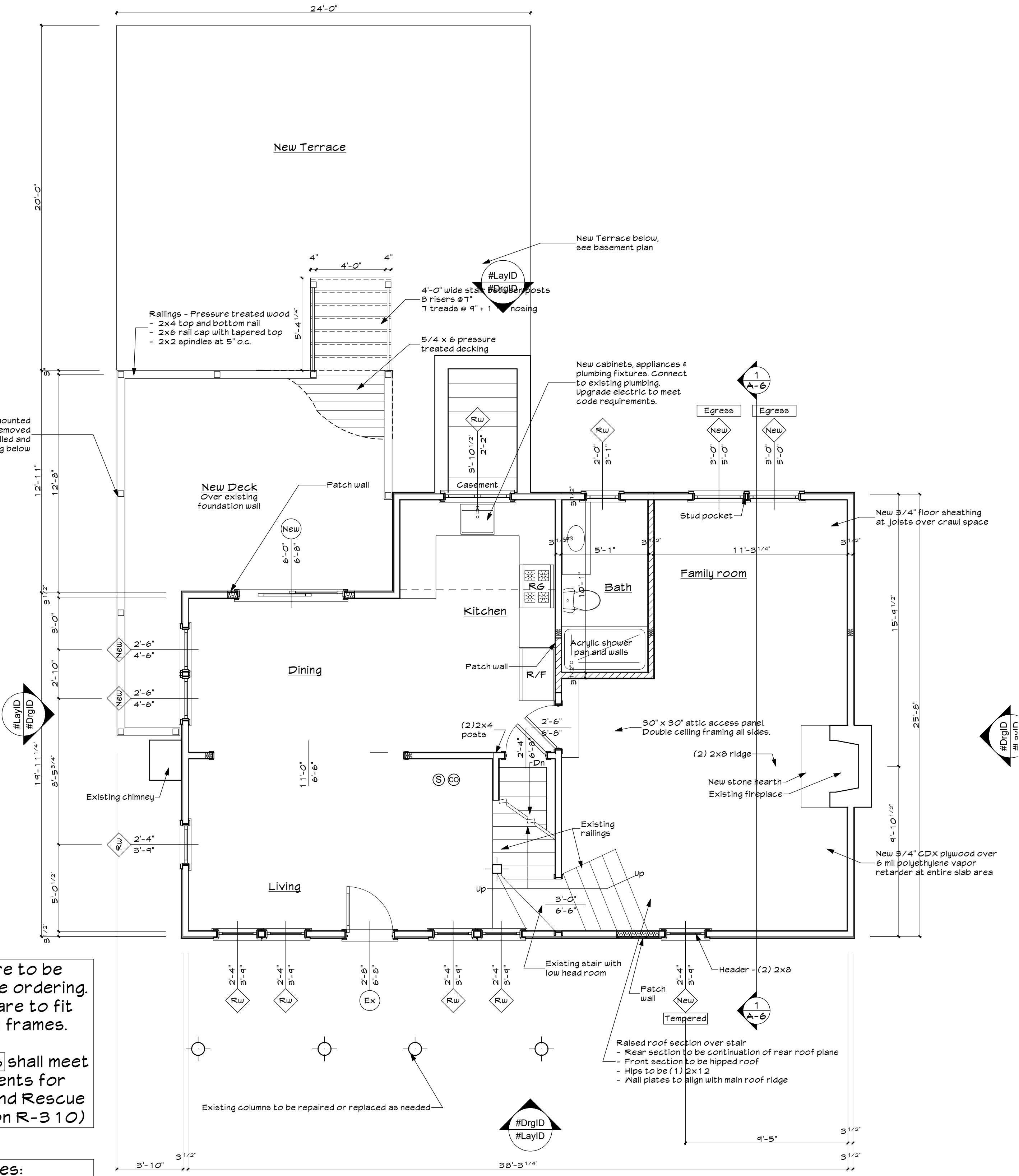
1e First floor plan - Existing / Demo
SCALE: 1/4" = 1' - 0"

All window sizes are to be verified in field before ordering. Replacement units are to fit snugly into existing frames.

Units noted as [Egress] shall meet the code requirements for Emergency Escape and Rescue Openings (IRC section R-3 10)

Fastener Notes:

- All drywall screws used in framing are to be removed and replaced with code compliant fasteners
- All joist hangers to have fasteners installed as per manufacturers specifications and installation notes

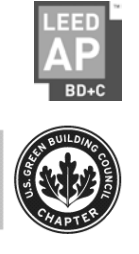


1 First floor plan - Renovation
SCALE: 1/4" = 1' - 0"

Smoke/CO detector, hard wired and interconnected where possible. (Smoke and Carbon Monoxide (CO) detector may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2)

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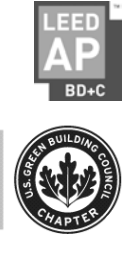
Project Name:
Renovation and new deck
58 Whipoorwill Rd E
Armonk, NY

Drawing Title:
1st floor plans

Date: 09/07/21
Project #: 20051
Scale: As noted



Drawing Number:
A-3



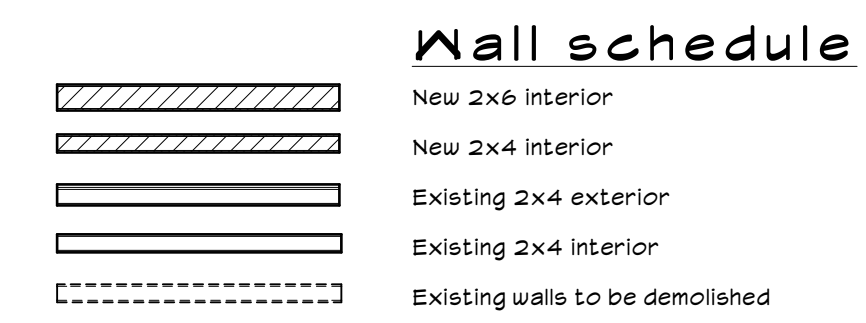
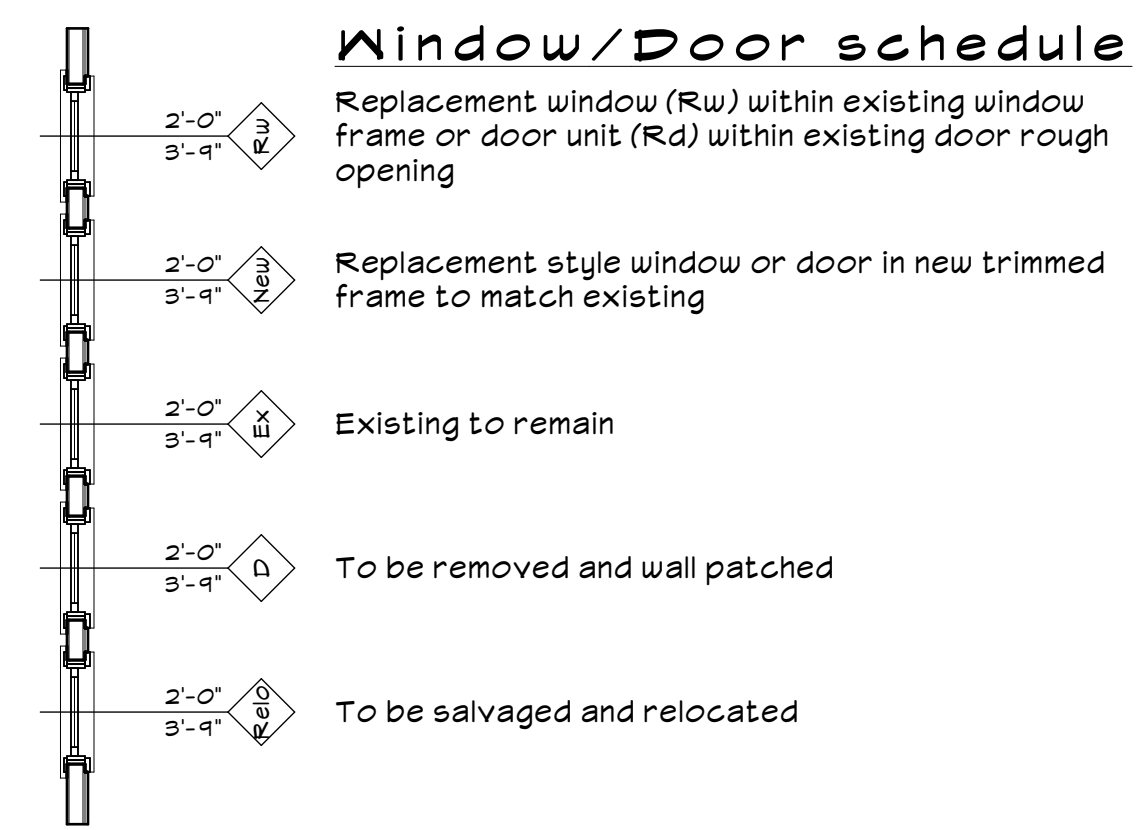
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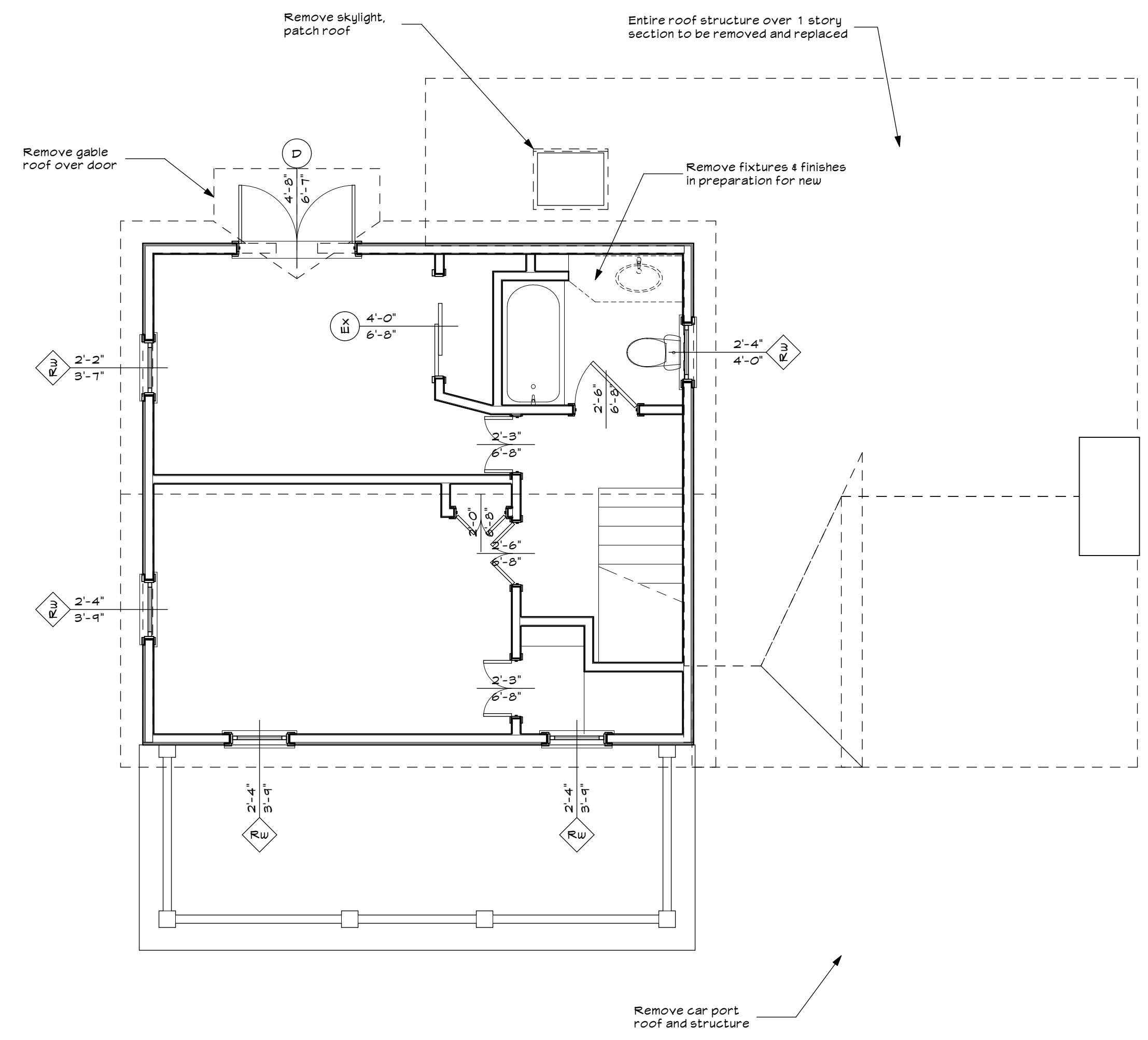
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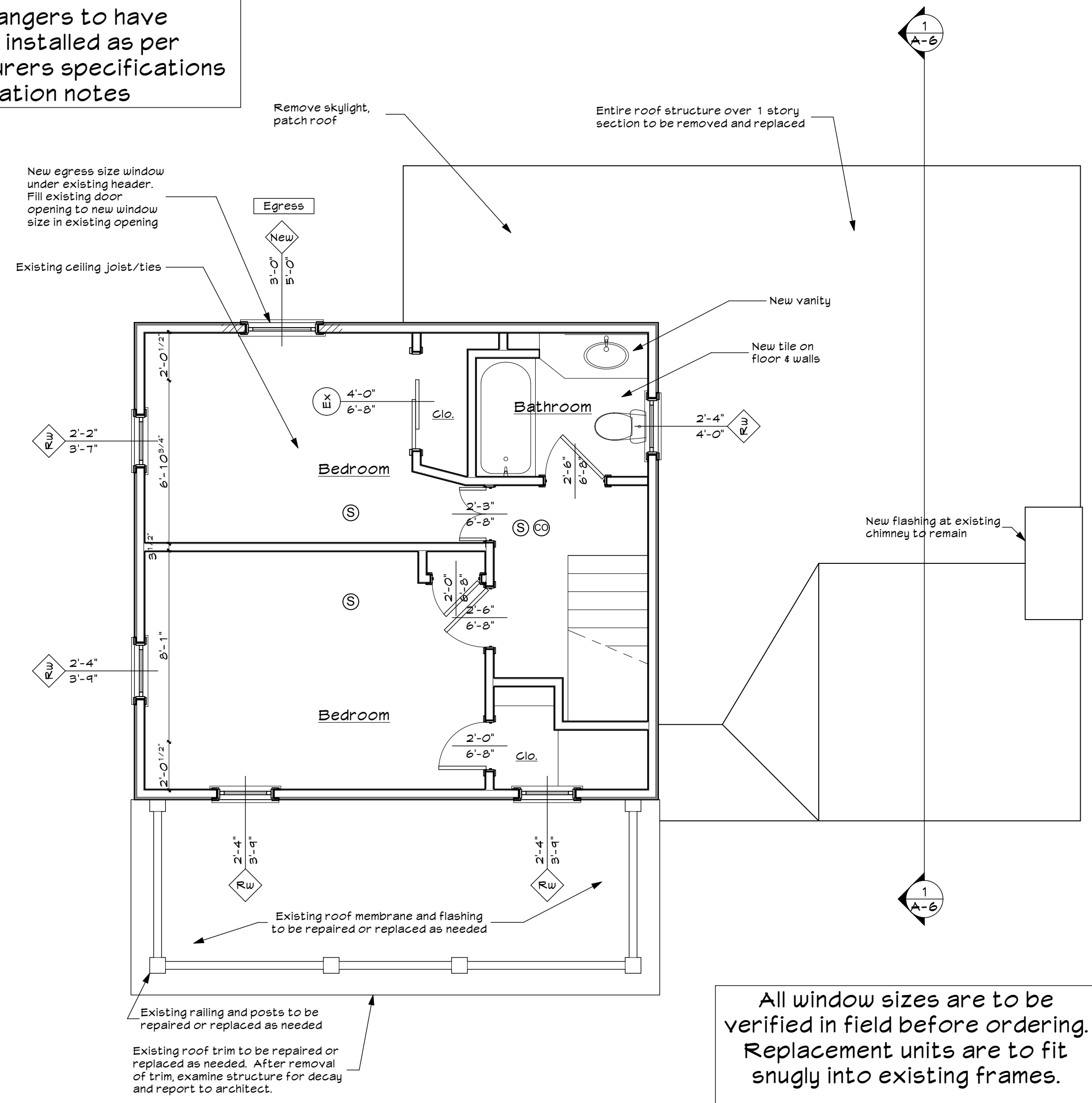


Fastener Notes:

- All drywall screws used in framing are to be removed and replaced with code compliant fasteners
- All joist hangers to have fasteners installed as per manufacturers specifications and installation notes



2e Second floor plan - Existing / Demo
SCALE: 1/4" = 1' - 0"



All window sizes are to be verified in field before ordering. Replacement units are to fit snugly into existing frames.

Units noted as **Egress** shall meet the code requirements for Emergency Escape and Rescue Openings (IRC section R-3 10)

2 Second floor plan - Renovation
SCALE: 1/4" = 1' - 0"

Smoke/CO detector, hard wired and interconnected where possible. (Smoke and Carbon Monoxide (CO) detector may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2)

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Revisions:

Project Name:
Renovation and new deck
58 Whippoorwill Rd E
Armonk, NY

Drawing Title:
Second floor plans

Date: 09/07/21
Revised as noted above
Project #: 20051
Scale: As noted



Drawing Number:





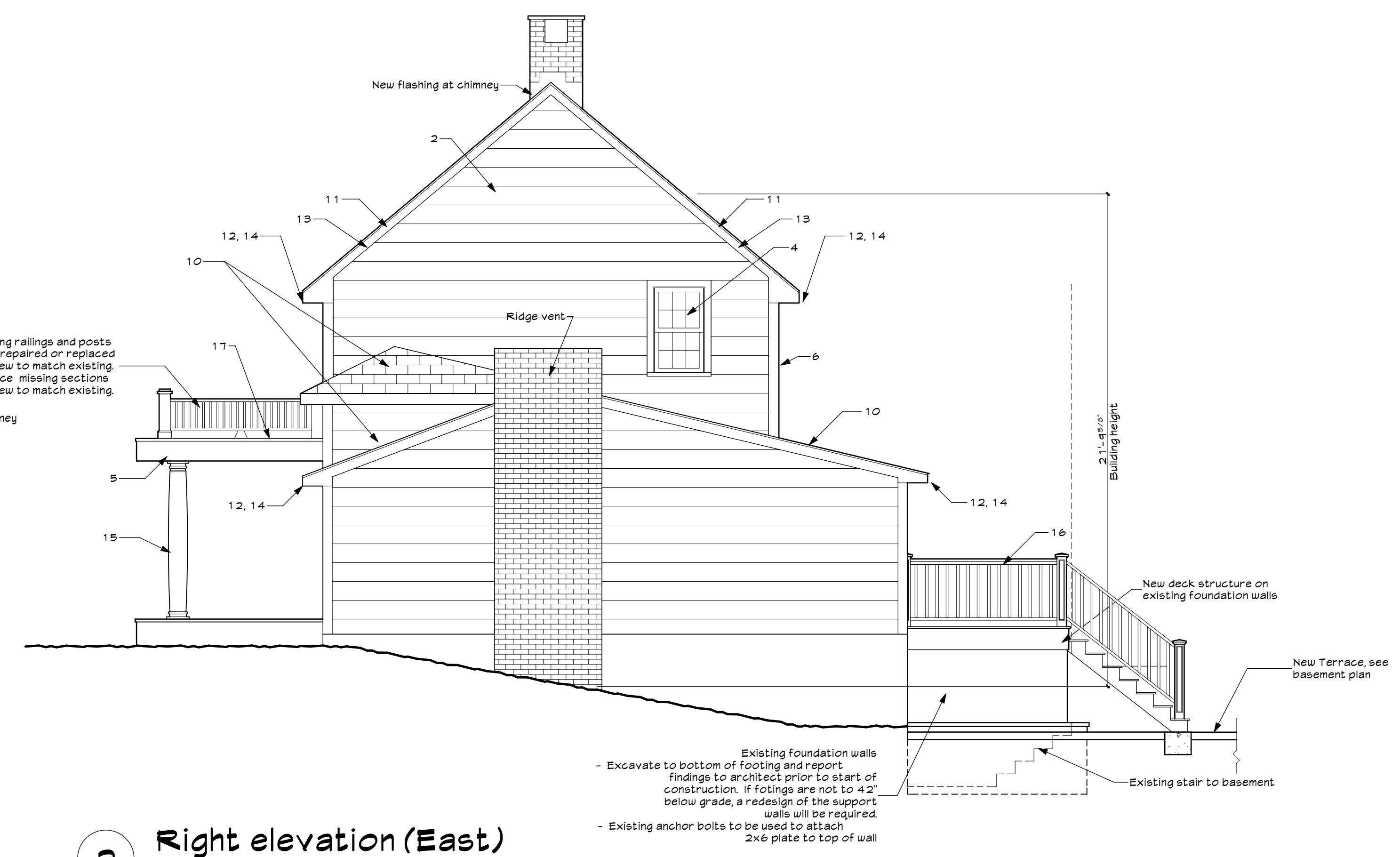
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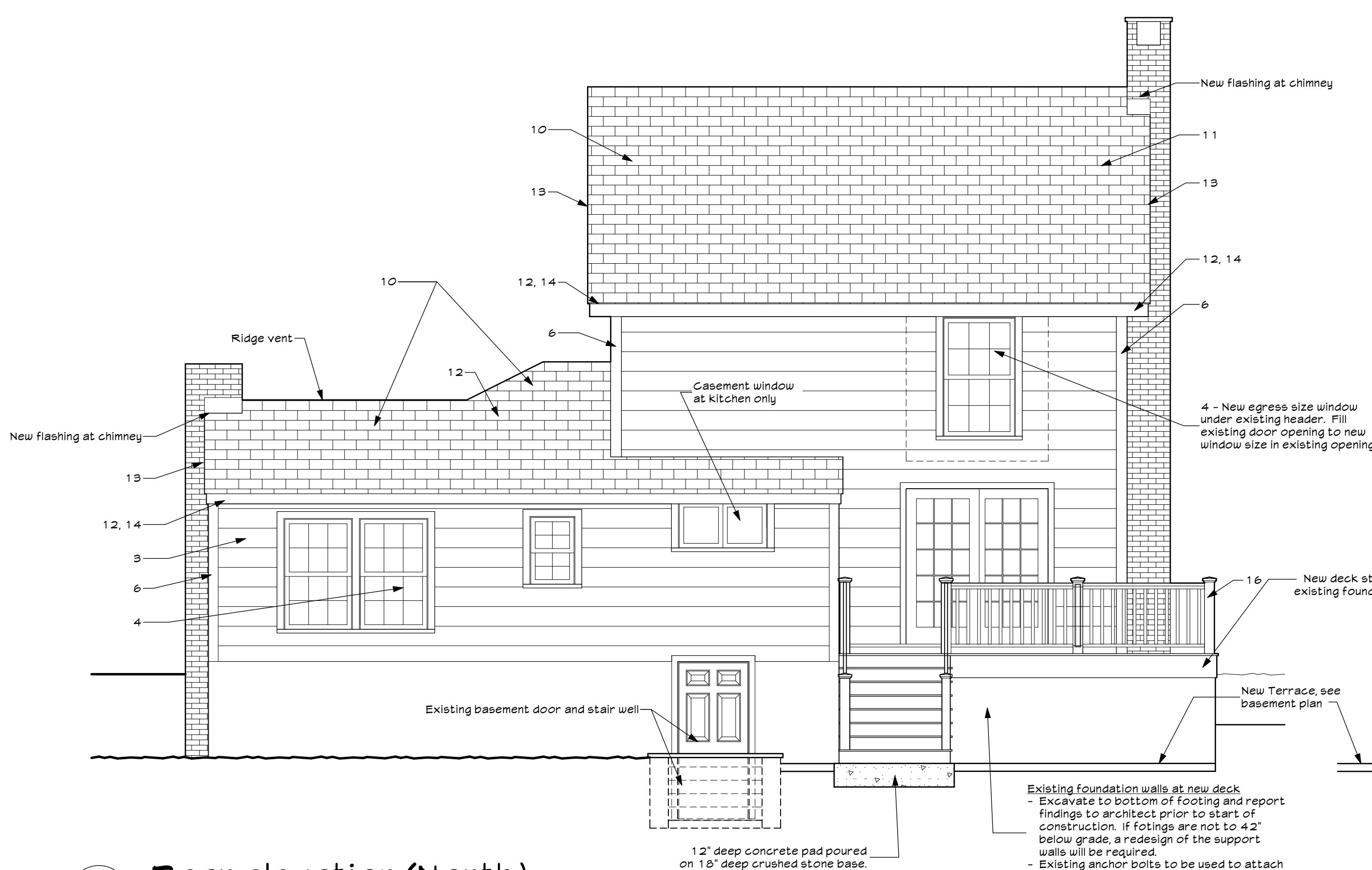


1 Front elevation (South)
SCALE: 1/4" = 1' - 0"

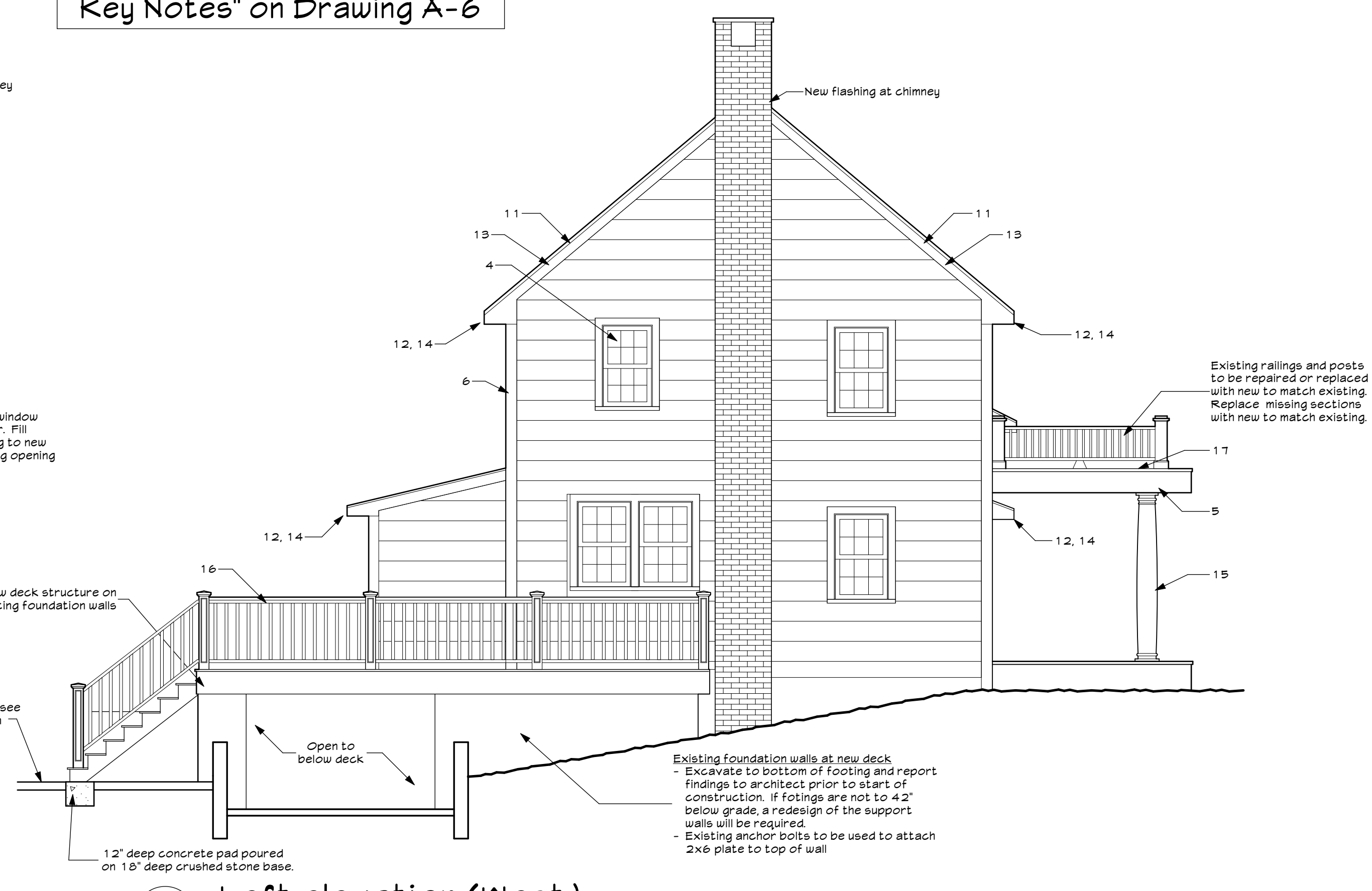


2 Right elevation (East)
SCALE: 1/4" = 1' - 0"

See "Elevation and Section Key Notes" on Drawing A-6



3 Rear elevation (North)
SCALE: 1/4" = 1' - 0"



4 Left elevation (West)
SCALE: 1/4" = 1' - 0"

No.	Description	Date
10	RPRC submission	09/07/21
9	Revisions as per 7/20/21 site visit and 7/22/21 inspection report	08/18/21
8	Construction phase changes	01/12/21
7	Revised per Building department review comments dated 01/06/21	01/06/21
6	Revised per Building department review comments dated 11/06/20	11/10/20
5	Submission for new permit under new ownership	10/09/20
4	Window change at 2nd floor rear bedroom	05/31/19
3	Revisions to Drawings A-4 and A-5 only	01/31/19
2	Additional notes about foundation wall under new deck (drawing A-2)	01/31/19
1	Silt fence added to site plan	01/14/19
1	RPRC submission	01/14/19

Revisions:

Project Name:
Renovation and new deck
58 Whipoorwill Rd E
Armonk, NY

Drawing Title:
Elevations

Date: 09/07/21
Revised as noted above
Project #: 20051
Scale: As noted



Drawing Number:

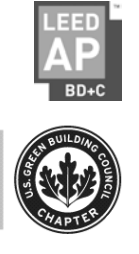
A-5

Elevation and section key notes

- 1 - FOUNDATION WALL
- 2 - FLOOR ASSEMBLY
 - Existing CMU foundation walls
 - Finish flooring (as per owner)
 - o 3/4" strip oak flooring
 - o 1/2" PTB plywood underlayment for carpet
 - o 1/2" cement backer board for tile
 - Existing subfloor or new 3/4" T&G floor sheathing glued
 - Floor joists as per plan
 - Insulation as per "Energy Conservation Construction Code" table on Drawing A-2
- 3 - EXTERIOR WALL ASSEMBLY
 - Siding to match existing
 - TYVEK housewrap
 - 1/2" CDX plywood sheathing
 - 2x6 studs @ 16" o.c.
 - Insulation as per "Energy Conservation Construction Code" table on Drawing A-2
 - 1/2" gypsum wall board
- 4 - EXTERIOR WINDOWS & DOORS
 - Replacement windows placed within existing frames. Exterior trim to remain.
 - New units (where indicated) to match replacement units in frame and trim to match existing
 - OPTIONAL - Non-operable shutters attached to wall
- 5 - EXTERIOR TRIM
 - Existing trim to remain. Repair or replace as needed.
- 6 - CORNER BOARDS
 - Match existing OR
 - Existing trim to remain. Repair or replace as needed.
- 7 - INTERIOR WALL ASSEMBLY
 - 2x4 studs @ 16" o.c.
 - 1/2" gypsum wall board on both sides
 - 1/2" gypsum on 2" metal furring/studs around chimney
- 8 - INTERIOR DOORS
 - Style to be selected by owner
 - Refer to floor plans for size, location and orientation
- 9 - INTERIOR TRIM
 - Style to be selected by owner
- 10 - PITCHED ROOF ASSEMBLY - New
 - Architectural style shingles. Style and color to be selected by owner
 - Ice & water shield at all eaves, valleys and roof to wall joints, typical
 - 15lb. felt paper
 - 5/8" CDX plywood sheathing
 - Roof rafters as per plan. Simpson H2.5a hurricane ties connection to wall plate.
 - Ceiling joists- as per plan
 - Insulation as per "Energy Conservation Construction Code" table on Drawing A-2
 - Plastic vent channels at cathedral ceilings and at eaves
 - Continuous ridge vent where there are no existing gable vents
- 11 - PITCHED ROOF ASSEMBLY - Existing
 - Architectural style shingles. Style and color to be selected by owner
 - Ice & water shield at all eaves, valleys and roof to wall joints, typical
 - 15lb. felt paper
 - Replace sheathing where needed. Sheathing to be 5/8" CDX plywood sheathing as a minimum
 - Continuous ridge vent where there are no existing gable vents
- 12 - EAVE ASSEMBLY
 - Existing trim to remain. Repair or replace as needed.
 - New construction to match existing
 - Continuous aum vent at all new soffits, white
- 13 - RAKE ASSEMBLY
 - Existing trim to remain. Repair or replace as needed.
- 14 - ROOF WATER DRAINAGE
 - Seamless white aluminum gutters and leaders (not shown on plans and elevations)
 - Drain into boot and solid PVC pipe separate from footing drains, run to daylight
- 15 - EXTERIOR COLUMNS
 - Existing columns to remain. Repair as needed.
 - If columns are not repairable, replace with new to match existing
- 16 - EXTERIOR RAILINGS - NEW
 - Pressure treated material U.O.N, select material for best appearance and quality sand completely prior to paint/stain
 - 2x4 top and bottom rail
 - 2x2 spindles @ 5" o.c. max
 - 2x6 top cap, route decorative detail at top edges with pitch for water runoff. Top of cap at 36" above deck.
 - 4x4 posts @ 8' o.c. max, bolted to deck structure
- 17 - FLAT ROOF ASSEMBLY - Over existing structure
 - Modified bituminous roofing system over base sheet
 - Flashing over cant strip - up abutting wall 12" minimum and 36" min. below shingles on abutting pitched roofs.
 - Flashing 12" min. up railing posts.
 - White aluminum drip edge over 1x3 edge moulding over existing fascia

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NOTE: DO NOT SCALE DRAWINGS

This project is designed in conformance with the 2020 Residential code of NYS

No.	Description:	Date:
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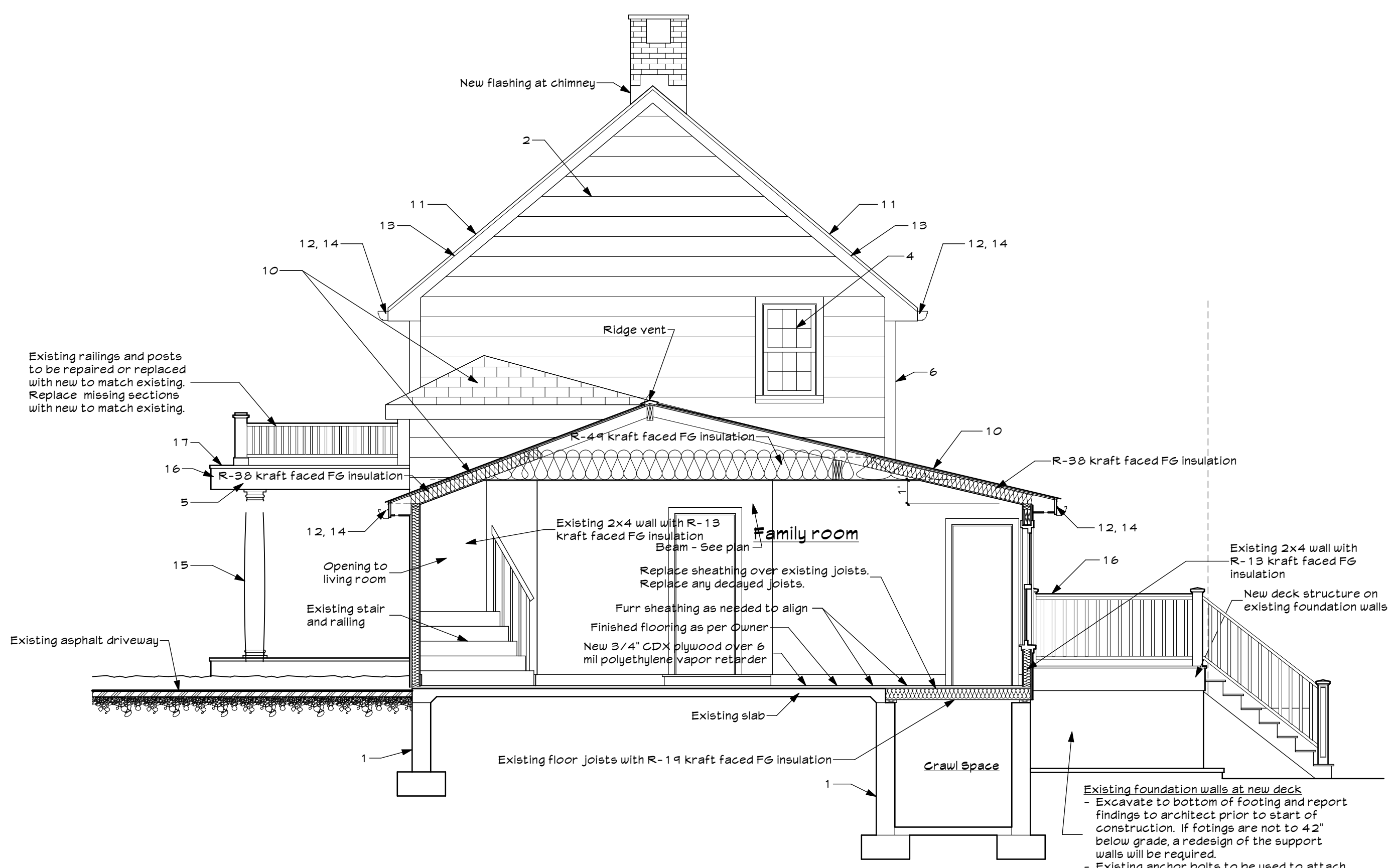
Drawing Title:
Sections and details

Date: 09/07/21
Revised as noted above
Project #: 20051
Scale: As noted

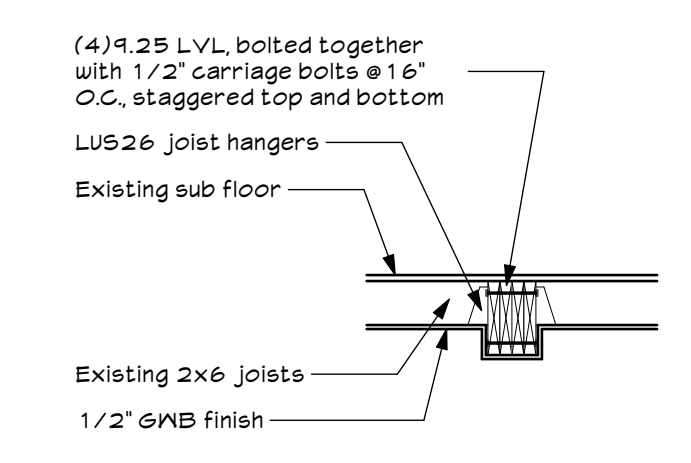


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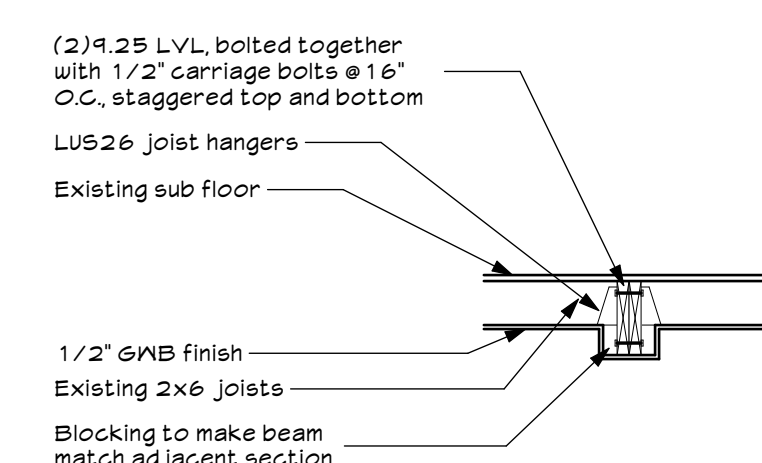
A-6



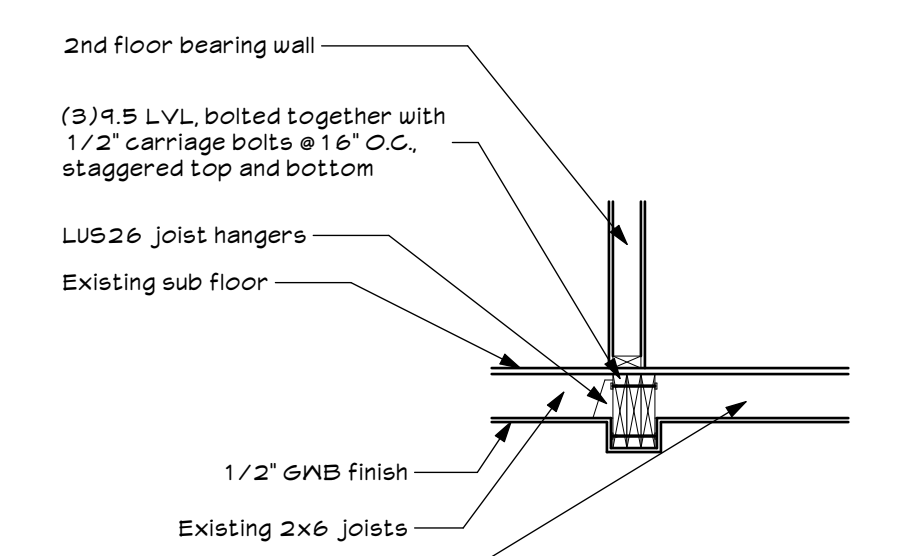
1 Family room section
SCALE: 1/4" = 1'-0"



A 4 LVL beam
SCALE: 1/2" = 1'-0"
Beams at Living room



B 2 LVL beam
SCALE: 1/2" = 1'-0"



C 3 LVL beam
SCALE: 1/2" = 1'-0"
Beams at Kitchen

3 Beam details
SCALE: 1/2" = 1'-0"