



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 11 Maryland Avenue

Section III- DESCRIPTION OF WORK:

One story addition of study/home office, bath and covered porch to front of existing residence. Reduction of existing driveway and construction of new walkway to new covered porch.

Section III- CONTACT INFORMATION:

APPLICANT: Patrick M. Croke, Architect

ADDRESS: 20 Woodsbridge Road, Katonah, NY 10536

PHONE: 914-234-6093 MOBILE: 914-263-4850 EMAIL: patrick@pmcarchitect.com

PROPERTY OWNER:
Wendy Capriglione

ADDRESS: 11 Maryland Avenue, Armonk NY

PHONE: (914) 273-9189 MOBILE: _____ EMAIL: capriglione11@aol.com

PROFESSIONAL.: Patrick M. Croke, Architect

ADDRESS: 20 Woodsbridge Road, Katonah, NY 10536

PHONE: 914-234-6093 MOBILE: 914-263-4850

EMAIL: patrick@pmcarchitect.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.01-3-35



TOWN OF NORTH CASTLE
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

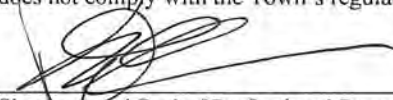
Application Name or Identifying Title: Caprigione addition Date: 9/7/21

Tax Map Designation or Proposed Lot No.: 108.01-3-35

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 7334 SF
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 3200
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
 x 10 = 0
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 3200
5. Amount of lot area covered by **principal building**:
1020 existing + 522 proposed = 1542
6. Amount of lot area covered by **accessory buildings**:
84 existing + 0 proposed = 84
7. Amount of lot area covered by **decks**:
384 existing + 0 proposed = 384
8. Amount of lot area covered by **porches**:
0 existing + 205 proposed = 205
9. Amount of lot area covered by **driveway, parking areas and walkways**:
1487 existing + -554 proposed = 933
10. Amount of lot area covered by **terraces**:
225 existing + 0 proposed = 225
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 3373

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


Signature and Seal of Professional Preparing Worksheet



9/7/21
Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

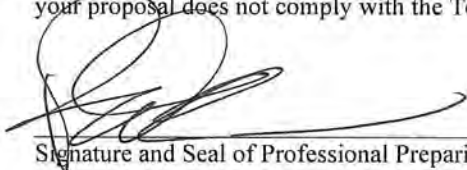
Application Name or Identifying Title: 11 Maryland Avenue Date: 9/7/21

Tax Map Designation or Proposed Lot No.: 108.01-3-35

Floor Area

- | | | |
|-----|---|----------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>7334 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>3084</u> |
| 3. | Amount of floor area contained within first floor:
<u>1020</u> existing + <u>522</u> proposed = | <u>1542</u> |
| 4. | Amount of floor area contained within second floor:
<u>762</u> existing + <u>0</u> proposed = | <u>762</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>205</u> proposed = | <u>205</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>84</u> existing + <u>0</u> proposed = | <u>84</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>2593</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



9/7/21
 Date



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Capriglione addition

Initial Submittal Revised Preliminary

Street Location: 11 Maryland Ave

Zoning District: R-1A Property Acreage: 17 Tax Map Parcel ID: 108.01-3-35

Date: 9/7/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	WIND DESIGN				Seismic Design Category
	Speed (MPH)	Topographic effects	Special wind region	Wind-borne debris zone	
30	115 MPH ultimate wind speed	No	Yes	No	C

Subject to damage from:			Winter design temp.	Ice barrier underlayment required	Flood hazards	Air freezing index	Mean annual temp.
Weathering	Frost line depth	Termite					
Severe	42"	Moderate - heavy	7° F	Yes	No	1160 (1500 or less)	49

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

- A. Scope of Work
- Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
 - Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

- B. Execution
- Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

- A. Materials
- Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
 - Bricks - Standard Modular Brick, color as specified by architect.
 - Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
 - Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

- B. Execution
- Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
 - Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
 - Anchor wall to adjacent construction with panel anchors.
 - Bond intersecting walls with masonry units or provide anchors spaced 0'-8" O.C.
 - Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
 - Do masonry work only when average daily temperature is above 40 degrees F. or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

- A. Materials
- Steel shapes, plates, and bars: ASTM A36.
 - Steel pipe: ASTM A501
 - High strength threaded fasteners: ASTM A325

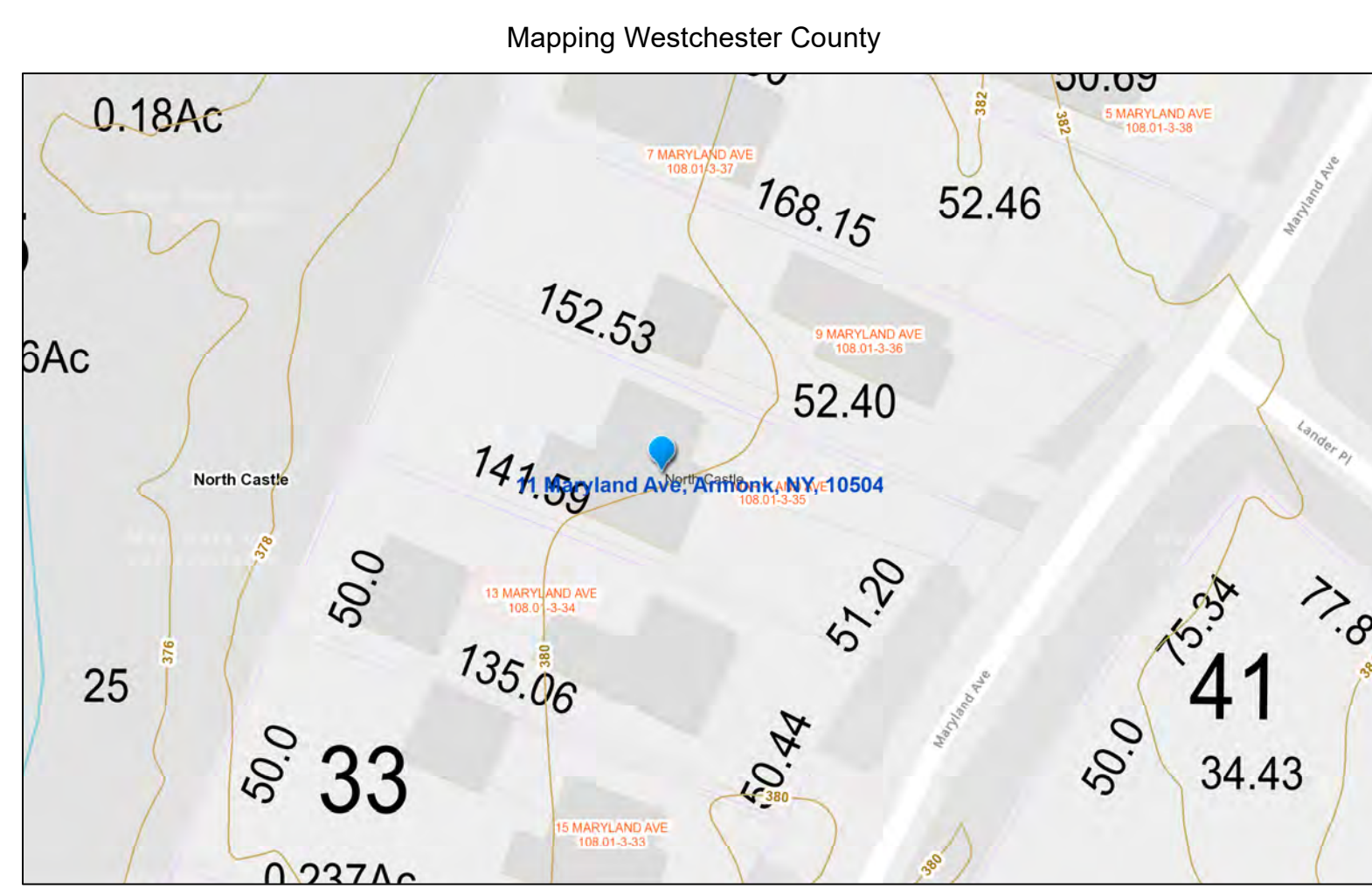
- B. Execution
- Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

- A. Materials
- Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
 - Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
 - TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
 - LVL as used on the drawings refers to 1.9 E Microlam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - PSL as used on the drawings refers to 2.0 E Microlam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhaeuser.
 - Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
 - Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
 - Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
 - Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
 - Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
 - All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
 - All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
 - Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

N 1/4
CITY OF NEW YORK



Zoning analysis

Proposed addition to existing residence
11 Maryland Avenue

Section: 108.01
Block: 3
Lot: 35
Zone: R-1A
Lot size (acres): 1
Lot size (square feet): 7,334

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size	40,000		7,334	No change	
Lot Frontage	125'		51.20'	No change	
Lot Width	125'		50.'	No change	
Lot Depth	150'		141.59'	No change	
Front yard (Feet)	50'		62.8'	37.5'	Existing 82.59' noted on the survey is an error
Side one (Feet)	25'		6	6	
Side two (Feet)	25'		7.25	7.25	
Rear yard (Feet)	40'		40.23'	40.23'	
Max. height, stories		2 1/2	2	2	
Max. height, feet		30'	25'	25	
Building coverage (SF)		880	1,104	1,777	12% max coverage
Gross land coverage (SF)		3,200	3,200	3,373	
Dwelling Unit size	1200		1,753	2,221	

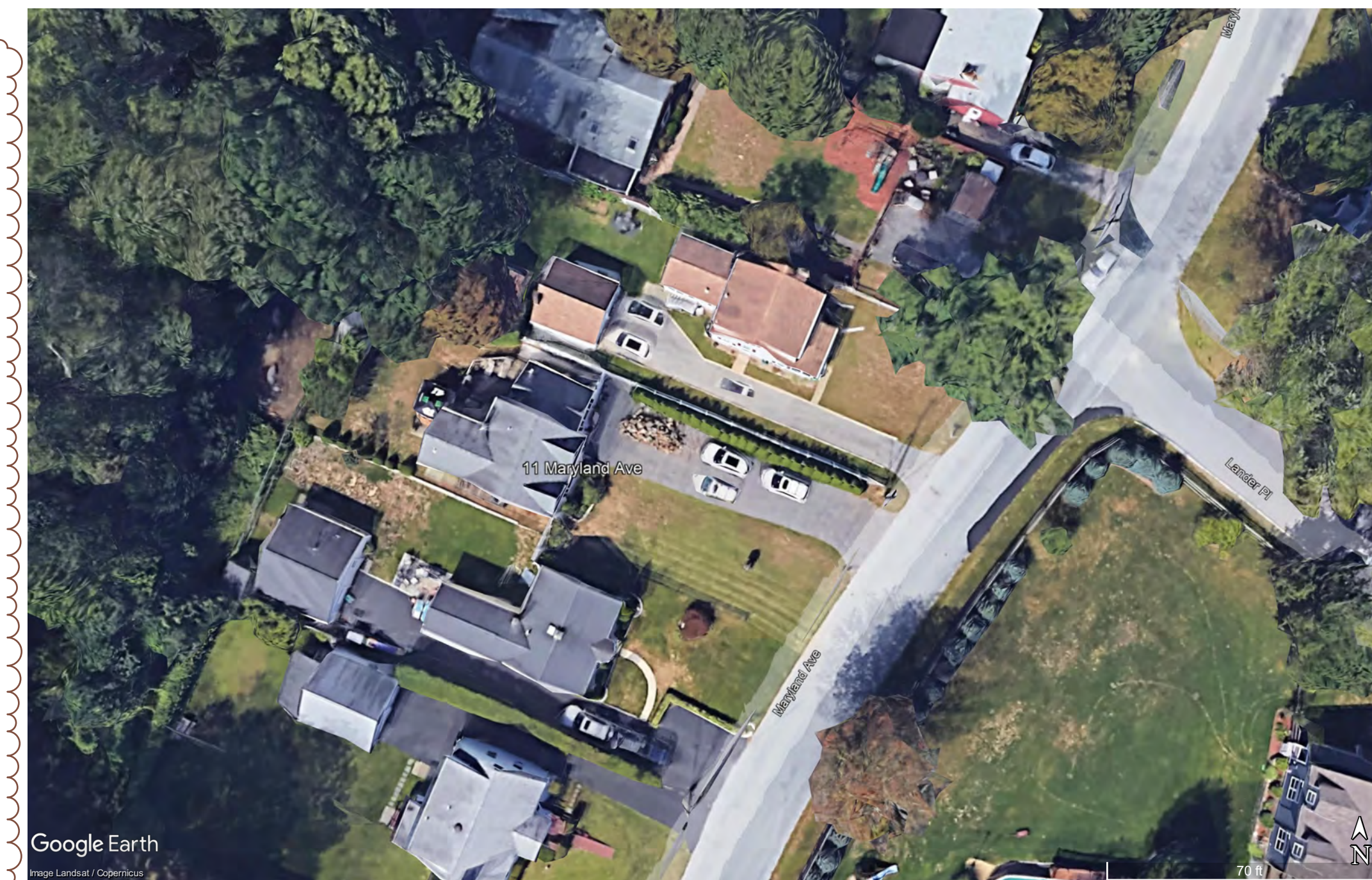
Building coverage summary

11 Maryland Avenue North Castle

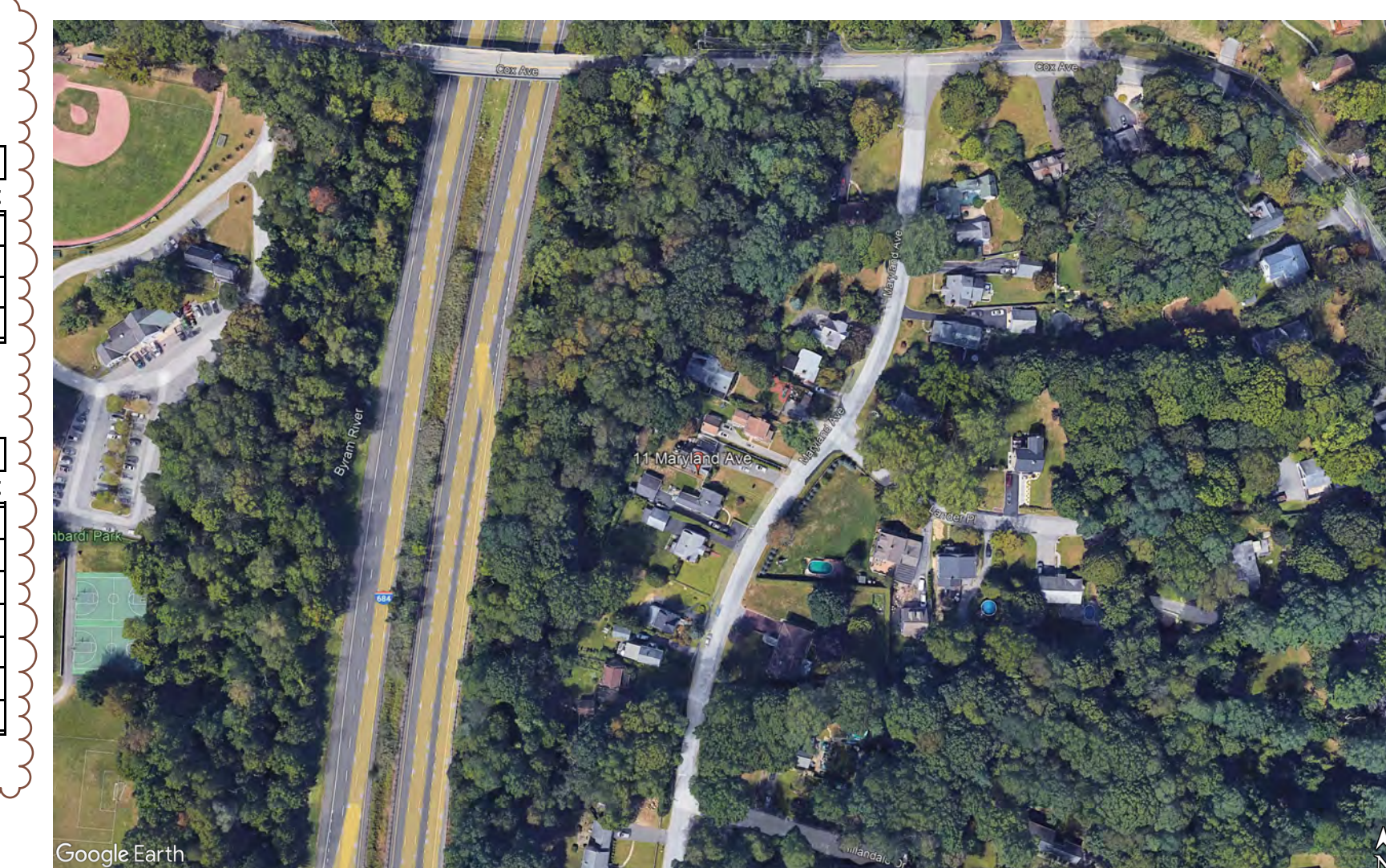
Section: 108.01
Block: 3
Lot: 35
Zone: R-1A
Lot size (acre): 0.17
7,334 SF
Max. building coverage: 12%
880 SF
Min. Dwelling Unit Size 1200
1,782 SF

Structure	Existing		Proposed		
	Foot print	% of lot	Change (SF)	Foot print	% of lot
Residence	1,020	13.91%	0	1,020	13.91%
Addition		0.00%	468	468	6.38%
Covered porch		0.00%	205	205	2.80%
Shed	84	1.15%	0	84	1.15%
Total building coverage	1,104	15.05%	0	1,777	24.23%

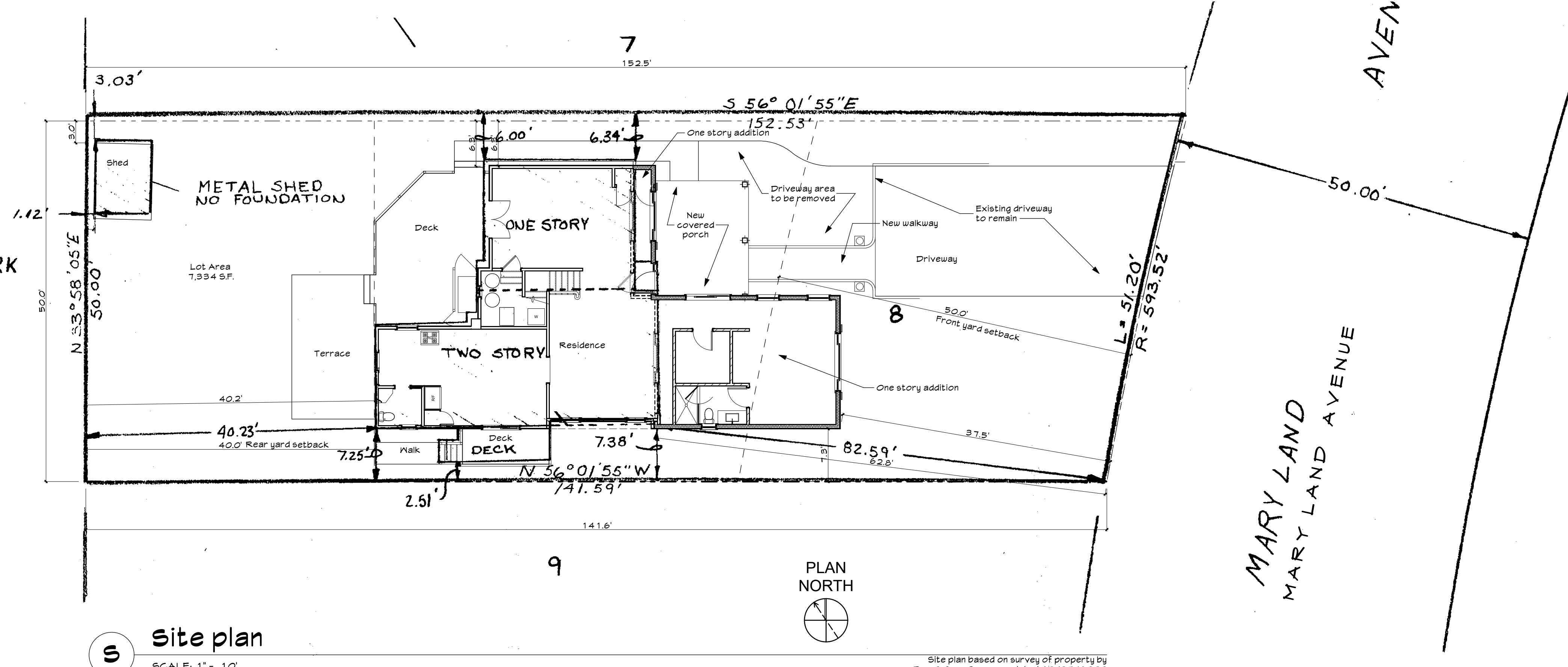
Structure	Existing		Proposed		
	Foot print	% of lot	Change (SF)	Foot print	% of lot
Building coverage (from above)	1,104	15.05%	0	1,777	24.23%
Driveway and walks	1,487	20.28%	0	1,487	20.28%
Removed drive and walks		0.00%	(641)	(641)	-8.74%
New walks		0.00%	87	87	1.19%
Terrace - rear	225	3.07%	0	225	3.07%
Deck - rear	316	4.31%	0	316	4.31%
Deck - side	68	0.93%	0	68	0.93%
Gross Land Coverage	3,200	43.63%	0	3,319	45.25%



Google Earth



Google Earth



Site plan
SCALE: 1" = 10'

Site plan based on survey of property by Roy G. Gary, Surveyor, dated 12/27/1999

Patrick M. Croke
Architect

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

011 - PROJECT REVISED 10/24/21 - CAPRIGLIONE ADDITION - 2 - DRAWING 12 1042 - CAPRIGLIONE RPRC - 2 10/24/21

No.	Description	Date
2	Zoning forms on A-1 corrected	09/07/21
1	RPRC submission	09/07/21

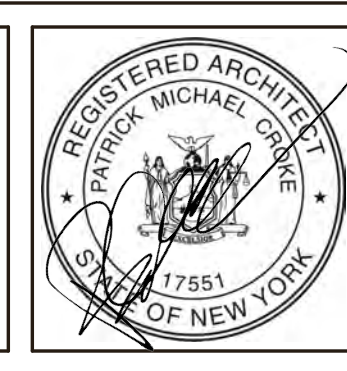
Revisions:

Project Name:
Capriglione Addition

11 Maryland Avenue
North Castle, N.Y.

Drawing Title:
Site plan and general notes

Date: 9/7/21
Revised as noted above
Project #: 21042
Scale: As noted



Drawing Number:
A-1



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NOTE: DO NOT SCALE DRAWINGS

011-Project Rev: 2 1042 - Caprigione Addition - Drawing: 2 1042 - Caprigione RPRC - 2 1042.rvt

No.	Description	Date
2	Zoning forms on A-1 corrected	09/07/21
1	RPRC submission	09/07/21

Revisions:

Project Name:
Caprigione Addition

11 Maryland Avenue
North Castle, N.Y.

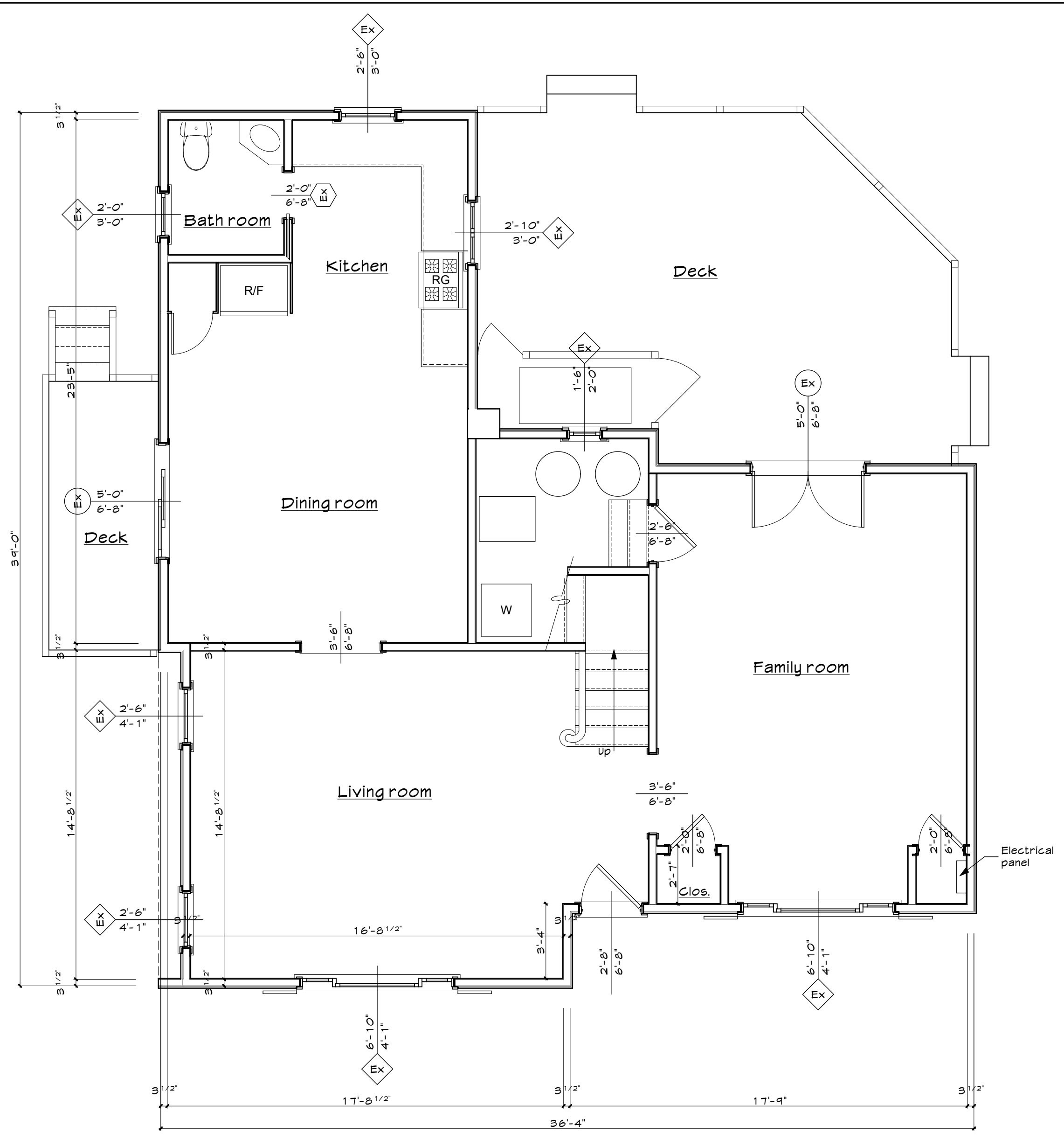
Drawing Title:
Floor plans and front elevation

Date: 4/7/21
Revised as noted above
Project #: 21042
Scale: As noted

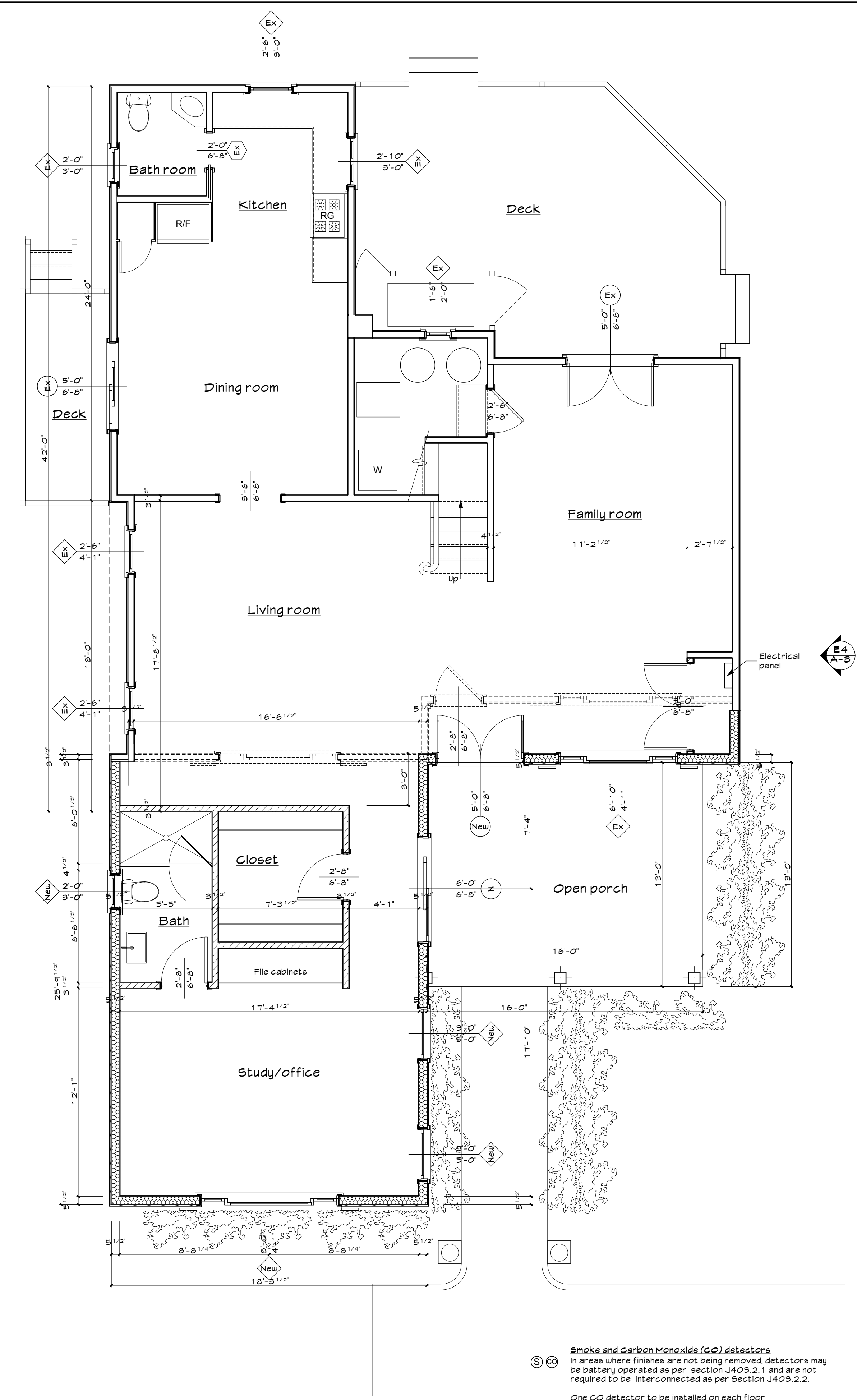
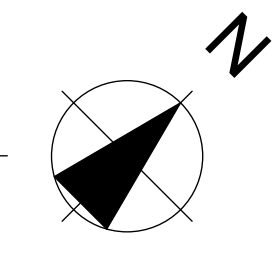


Drawing Number:

A-2



1e First floor plan - Existing conditions
SCALE: 1/4" = 1'-0"

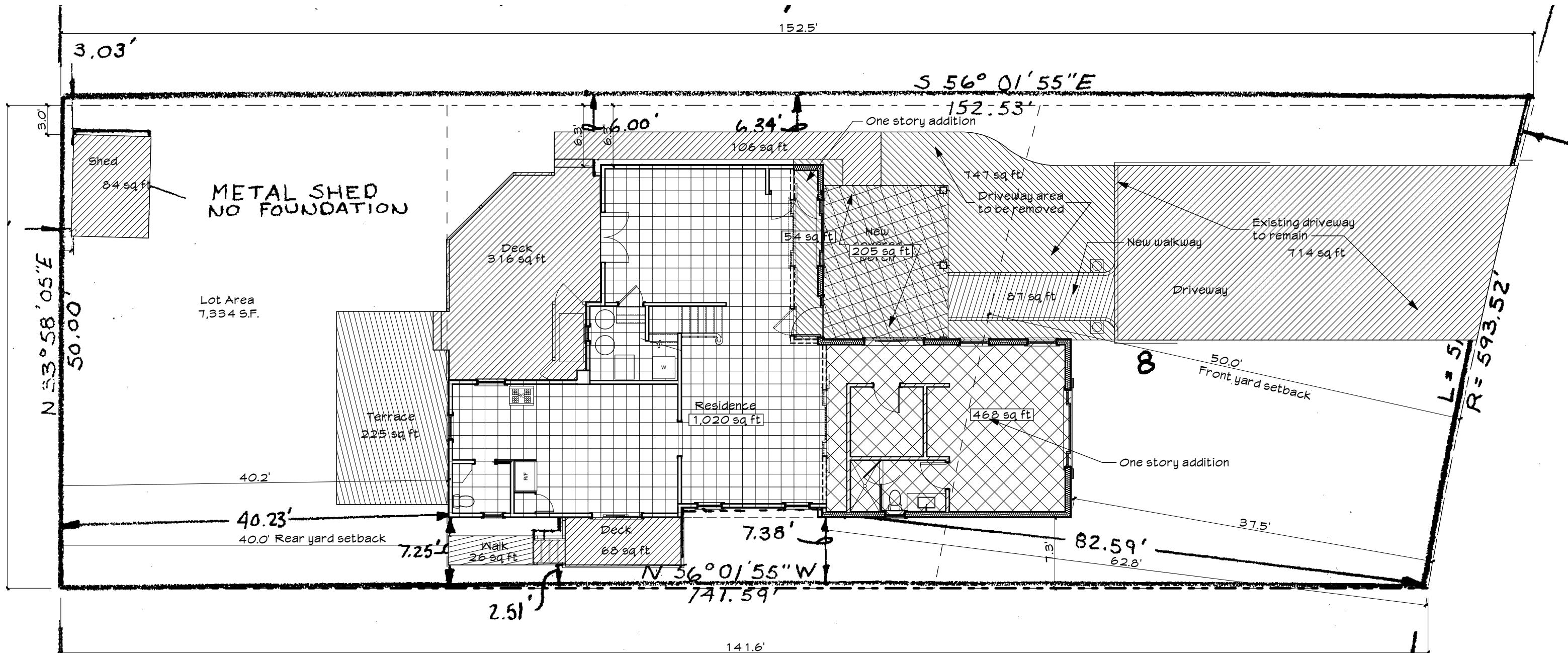


1r First floor plan - Renovation
SCALE: 1/4" = 1'-0"

Smoke and Carbon Monoxide (CO) detectors
In areas where finishes are not being removed, detectors may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2.
One CO detector to be installed on each floor.
A minimum of one smoke detector to be installed on each floor. One smoke detector to be installed in each bedroom of the second floor and one in the hall within 10' of the door to each bedroom.

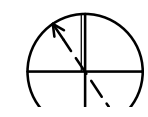


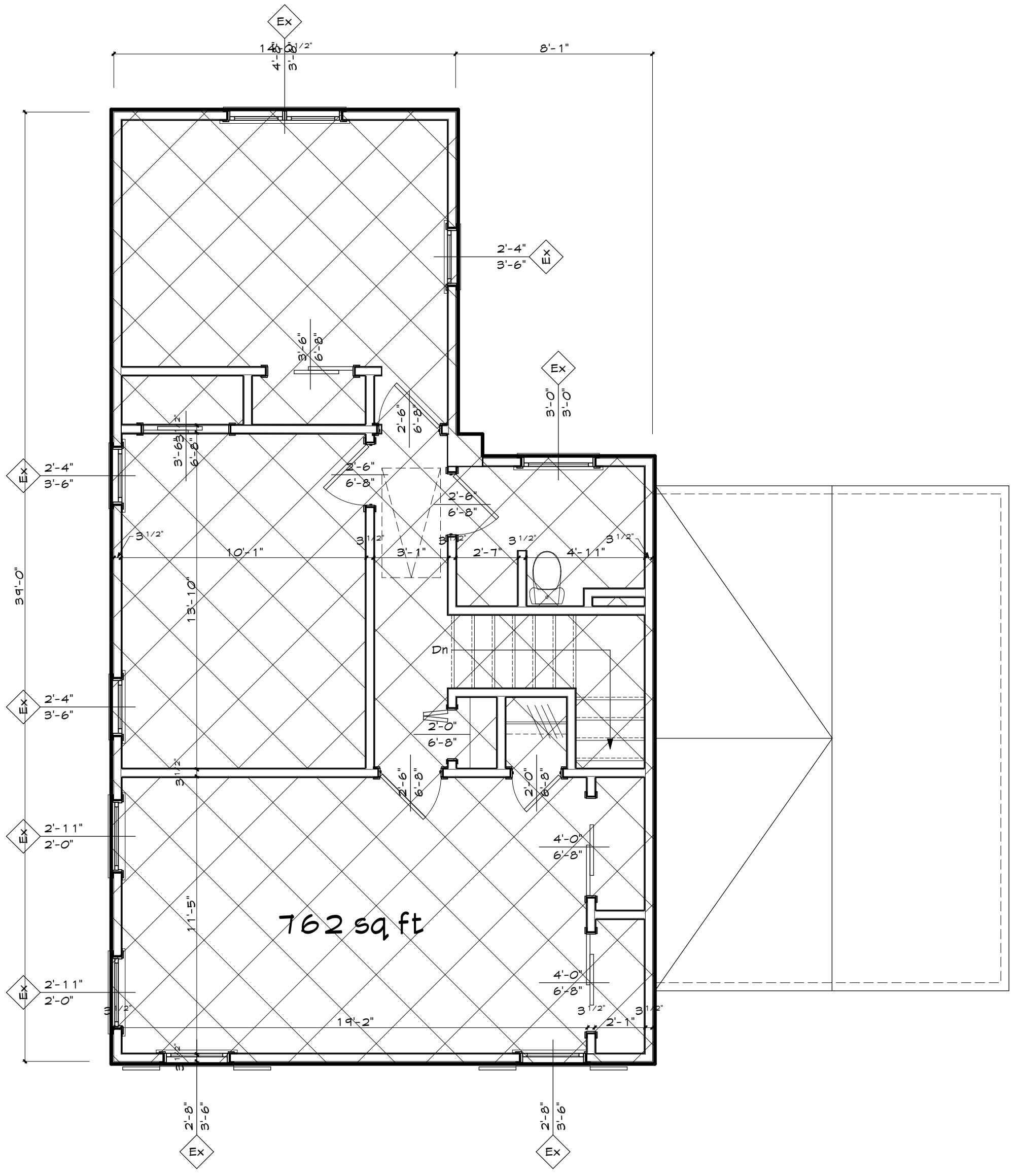
E1 Front elevation (East)
SCALE: 1/4" = 1'-0"



9

PLAN NORTH





2e Second floor plan - Existing conditions
 SCALE: 1/4" = 1' - 0"