

Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

## **RPRC COMPLETENESS REVIEW FORM**

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: FEUERSTEIN RESIDENCE
Initial Submittal Revised Preliminary
Street Location: 9 SEYMOUR PLACE WEST
Zoning District: R-2A Property Acreage: 2.35 Tax Map Parcel ID: 108.02-1-63
Date: 09-01-21
DEPARTMENTAL USE ONLY
Date Filed: Staff Name:
Preliminary Plan Completeness Review Checklist tems marked with a are complete, items left blank <sup>(</sup> are incomplete and must be completed, "NA" means not applicable.
1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
1. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
B. Existing topography and proposed grade elevations
7. Location of drives
3. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

#### **RPRC COMPLETENESS REVIEW FORM**

Page 2

<b>.</b>	Description of method of water supply and sewage disposal and location of such facilities
<b>1</b> 0.	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<b>1</b> .	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<b></b> 12.	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
3.	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <u>http://www.northcastleny.com/townhall.html</u>

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

## **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION**

Section I- PROJECT

ADDRESS: 9 SEYMOUR PL. WEST

Section III- DESCRIPTION OF WORK:

INTERIOR ALTERATIONS ON FIRST AND SECOND FLOORS. NEW ROOFLINE AT FRONT.

SMALL ADDITION TO KITCHEN, ADD WOOD FIREPLACE. REPLACE REAR TERRACE.

REMOVE FRONT TERRACE, ADD NEW STONE WALK. NEW GENERATOR.

#### Section III- CONTACT INFORMATION:

APPLICANT: JESSICA	FEUERSTEIN	
ADDRESS: 9 SEYMOUR		
PHONE:	301-257-8624	JESS FEUERSTEIN@GMAIL.COM
PROPERTY OWNER: JESS	SICA FEUERSTEIN	
ADDRESS: 9 SEYMOUR	R PL. WEST	
PHONE:	301-257-8624	JESS FEUERSTEIN@GMAIL.COM
PROFESSIONAL: TIMOT	HY P. LENER, ARCHITE	СТ
ADDRESS: 57 WHEELE	R AVENUE, PLEASANT	/ILLE, NY 10570
	<sub>MOBILE:</sub> 914-5	
EMAIL: TPL.ARCH@C	GMAIL.COM	
Section IV- PROPERTY	INFORMATION:	
Zone: R-2A	Tax ID (lot designation) 10	08.02 - 1 - 63



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

#### PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

## FLOOR AREA CALCULATIONS WORKSHEET

Applicat	tion Name or Identifying Title:	09-01-21	Date:	
Tax Map	p Designation or Proposed Lot No.:	108.02-1-63		
Floor A1	rea			
1.	Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	102741	
2.	Maximum permitted floor area (pe	r Section 213-22.2B):	13076	
3.	Amount of floor area contained wit <u>1989</u> existing + <u>104</u>			
4.	Amount of floor area contained wit $2036$ existing +0	hin second floor: _ proposed =	2036	
5.			583	
6.		hin porches capable of being enclosed: _ proposed =	59	
7.	Amount of floor area contained wit	hin basement (if applicable – see definition): _ proposed =	0	
8.		hin attic (if applicable – see definition): _ proposed =	288	
9.	$  \underline{ 0 } existing + \underline{ 0 } $		0	
10.	Proposed floor area: Total of Lines	s 3 – 9 =	5059	

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

09-01-21 Date

Signature and Seal of Professional Preparing Worksheet



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#### **GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Applic	ation Name or Identifying Title: 09-01-21	Date:09/21
Tax M	ap Designation or Proposed Lot No.: 108.02-1-63	
<u>Gross l</u>	Lot Coverage	
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	102741
2.	Maximum permitted gross land coverage (per Section 213-22.2C):	13076
3.	BONUS maximum gross land cover (per Section 213-22.2C):	
	Distance principal home is beyond minimum front yard setback $90 \times 10 =$	0
4.	<b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3	5059
5.	Amount of lot area covered by <b>principal building:</b> 1989 existing +104 proposed =	
6.	Amount of lot area covered by <b>accessory buildings:</b> <u>2036</u> existing + <u>0</u> proposed =	
7.	Amount of lot area covered by <b>decks:</b> <u>665</u> existing + <u>-82</u> proposed =	2036
8.	Amount of lot area covered by <b>porches:</b> <u>59</u> existing + <u>0</u> proposed =	583
9.	Amount of lot area covered by <b>driveway, parking areas and walkways:</b> <u>0</u> existing + <u>0</u> proposed =	59
10.	Amount of lot area covered by <b>terraces:</b> <u>220</u> existing + <u>68</u> proposed =	0
11.	Amount of lot area covered by <b>tennis court, pool and mechanical equip:</b> <u>0</u> existing + <u>0</u> proposed =	288
12.	Amount of lot area covered by <b>all other structures:</b> <u>0</u> existing + <u>0</u> proposed =	0
13.	Proposed <b>gross land coverage:</b> Total of Lines $5 - 12 =$	7652

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

SHEET INDEX	GENERAL NOTES			ABBREVIATIONS			
<ul> <li>C1 COVER SHEET - CODE AND BID INFORMATION</li> <li>PS1 SPECIFICATIONS</li> <li>S1 SITE PLAN &amp; AREA DIAGRAMS</li> <li>A1 BASEMENT PLAN</li> <li>A2 DEMOLITION PLANS</li> </ul>	<ol> <li>I, TIMOTHY P. LENER, R.A. CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IN MY PROFESSIONAL OPINION, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ECCCNYS RESIDENTIAL PROVISIONS.</li> <li>G.C. SHALL REVIEW PLANS AND NOTES PRIOR TO START OF WORK. ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCY.</li> </ol>	A.C.AIR CONDITIONINGADJADJUSTABLEA.F.F.ABOVE FIN. FLOORALT.ALTERNATEALUM.ALUMINUMAPPROX.APPROXIMATEARCH.ARCHITECTASPH.ASPHALTAUTOAUTOMATIC	E. EAST EA. EACH E.E.R.O. EMERGENCY ESCAPE AND RESCUE OPNG. E.W. EACH WAY ELEC. ELECTRICAL ELEV. ELEVATION EMER. EMERGENCY ENCL. ENCLOSURE	I.D. INSIDE DIAMETER IN. INCH INCL. INCLUDE INSUL. INSULATION INT. INTERIOR INV. INVERT	O.A. OBS. O.C. O.D. OPNG. OPP. O.S.B.	OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE ORIENTED STRAND BOARD	SQ. S.S. STD. STL. STOR. STRL. SUSP. SYM.
<ul> <li>A3 FIRST &amp; SECOND FLOOR PLANS</li> <li>A4 FRAMING FLOOR PLANS &amp; DETAILS</li> <li>A5 EAST &amp; WEST ELEVATIONS &amp; DETAILS</li> <li>A6 NORTH &amp; SOUTH ELEVATIONS &amp; DETAILS</li> <li>A7 INTERIOR ELEVATIONS</li> <li>E1 ELECTRICAL FIXTURE LAYOUTS</li> <li>E2 ELECTRICAL FIXTURE LAYOUTS</li> </ul>	<ol> <li>ANY FIELD DIMENSION THAT VARIES MORE THAN 3" FROM THE WRITTEN PLAN DIMENSION SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR A FIELD INSPECTION ANDVERIFICATION.</li> <li><u>ABSOLUTELY NO CHANGES MAY BE MADE</u> TO THE DESIGN, SPECIFICATIONS, OR BUILDING OF THIS PROJECT WITHOUT WRITTEN CONSENT OF THE ARCHITECT PRIOR TO CONSTRUCTION OF SUCH CHANGE. CONTRACTOR WILL ASSUME RESPONSIBLITY TO RECTIFY ANY SUCH UN- APPROVED CHANGE AT HIS EXPENSE.</li> <li>ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS . DO NOT SCALE PRINTS. PLUS OR MINUS DIMENSIONS ARE SHOWN DUE TO VARIATIONS IN EXISTING CONDITIONS. PLEASE TAKE NOTE OF ALL "START POINT" AND "ALIGN" NOTES AS INDICATED ON PLANS. REVIEW QUESTIONABLE DIMENSIONS</li> </ol>	AVG.AVERAGEAWN.AWNINGBD.BOARDBLK.BLOCKBLDG.BUILDINGBM.BEAMBSMT.BASEMENTB.O.BY OWNERBOT.BOTTOMB.R.BEDROOM	EQ.EQUALEQIP.EQUIPMENTEXEXIST.EXISTINGEXH.EXHAUSTEXP.EXPANSIONEXPO.EXPOSUREEXT.EXTERIORF.D.FLOOR DRAINFDFIRE DOORFDTN.FOUNDATION	JST. JOIST JT. JOINT K.D. KILN DRIED KIT. KITCHEN L. LONG OR LENGTH LAB. LABRATORY LAM. LAMINATE(D)	P.B.O. PL. P.L. PLAS. PLY. PR. PNT. P.S.F. P.S.I.	PURCHASED BY OWNER PLATE PROPERTY LINE PLASTER PLYWOOD PAIR PAINT POUNDS PER SQUARE FOOT POUNDS PER	T. T.B. TEL. TEMP. TERR. T & G THK. T.J.I. T.O.C. T.O.W. T.O.P.
BID NOTES	WITH ARCHITECT PRIOR TO INSTALLATION OF ANY MATERIALS.		F.F. FIRST OR FIN. FLR. F.G. FIBERGLASS	LAV. LAVATORY LB. POUND	P.T.	SQUARE INCH PRESSURE TREATED	T.V. TYP.
<ul> <li>WHERE MATERIAL IS MENTIONED IN THE PLANS AND SPECIFICATIONS BY MANUFACTURER'S NAME, NO SUBSTITUTIONS WILL PE PERMITTED WITH OUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. SUBSTITUTIONS MUST BE OF EQUAL OR BETTER QUALITY. ANY SUBSTITUTIONS WITHOUT PRIOR APPROVAL ARE AT THE CONTRACTOR'S RISK AND MAY BE REJECTED.</li> <li>THE FOLLOWING ITEMS WILL BE PURCHASED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION OF INSTALLATION:</li> <li>1. KITCHEN CABINETRY (G.C. WILL BUILD SOFFITS IF REQUESTED)</li> </ul>	<ul> <li>6. ALL MATERIALS SHALL BE NEW AND INSTALLED AS SHOWN ON DRAWINGS AND AS PER MANUFACTURERS SPECIFICATIONS. MATERIAL OR PRODUCT SUBSTITUTION OF EQUAL QUALITY SHALL BE PERMITTED ONLY UPON RECEIVING CONSENT FROM THE ARCHITECT.</li> <li>7. THE G.C. SHALL BE RESPONSIBLE TO FORWARD THE WINDOW ORDER (FROM THE SUPPLIER) TO THE ARCHITECT FOR REVIEW. NO WINDOW ORDER SHALL BE FINALIZED WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION. ARCHITECT WILL NOT BE RESPONSIBLE FOR INACCURACIES OF WINDOW ORDER.</li> <li>8. THE OWNER WILL APPLY FOR THE BUILDING PERMIT AND PAY THE REQUIRED FEE AND SHALL BE RESPONSIBLE TO ORDER AND PAY FOR ALL PROPERTY SURVEYS.</li> </ul>	CAB. CABINET C.B. CATCH BASIN C.C. CLOSED CELL CEM. CEMENT CER. CERAMIC C.I. CAST IRON CIR. CIRCLE C.L. CENTER LINE CLG. CEILING CLCLOS. CLOSET CLR. CLEAR	FIN.FINISHEDFL.FLASHING (ELEV)FL.FLUSH (PLANS)FLR.FLOORFLOR.FLOURESCENTF.P.FIREPLACEFT.FOOT OR FEETFTG.FOOTINGFURR.FURRING	LDR. LEADER LDR. LEADER L.F. LINEAR FEET L.L. LIVE LOAD LT. LIGHT L.V.L. LAMINATED VENEER LUMBER LVR. LOUVER L.V.P. LUXURY VINYL PLANK MAX. MAXIMUM M.C. MEDICINE CABINET	QTY.	QUANTITY RISER RADIUS ROOF DRAIN REFER REFRIDERATOR	U.L. UNFIN UN.O. V.B.
<ol> <li>KITCHEN APPLIANCES (SINKS, REF., RANGE, HOOD, MICROWAVE, COMPACTORS, ETC.).</li> <li>BATHROOM FIXTURES (TUBS, SINKS, VANITIES, FAUCETS, ETC.).</li> <li>BATHROOM ACCESSORIES (GLASS DRS, MED. CAB., PAPER HOLDERS, TOWEL BARS, ETC.)</li> <li>FLOOR AND WALL TILE. GROUT SHALL ALSO BE PURCHASED BY OWNER.</li> <li>LIGHTING FIXTURES ONLY AS NOTED ON ELECTRICAL SCHEDULE.</li> <li>EXTERIOR ENTRANCE DOORS (3).</li> <li>DOOR HARDWARE (G.C. SHALL PREPARE SCHEDULE FOR OWNER).</li> <li>WASHING MACHINE AND DRYER.</li> <li>WOOD BURNING FIREPLACE, MANTEL AND DOORS. (G.C. TO SUPPLY ALL FLUE PIPES)</li> </ol>	<ul> <li>9. G.C. SHALL BE RESPONSIBLE TO SECURE ALL OTHER PERMITS FOR CONSTRUCTION, AND SHALL BE RESPONSIBLE TO SUBMIT WESTCHESTER COUNTY HOME IMPROVEMENT LICENSE AND INSURANCE'S (LIABILITY, DISABILITY, WORKERS COMP.) TO THE GOVERNING AUTHORITIES.</li> <li>10. G.C. SHALL ACQUIRE THE APPROVED PERMIT FROM THE BUILDING DEPARTMENT AND POST IT ON THE HOUSE AS REQUIRED. NO WORK SHALL COMMENCE UNTIL THE BUILDING PERMIT IS PROPERLY POSTED ON THE HOUSE AS REQUIRED.</li> <li>11. THE <u>OWNER SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY</u> UPON</li> </ul>	C.O. CLEAN OUT COL. COLUMN CONC. CONCRETE CONST. CONSTRUCTION CONT. CONTINUOUS CNTR. COUNTER C.T. CERAMIC TILE CTR. CENTER CU. FT. CUBIC FOOT	GAL.GALLONGAR.GARAGEGALV.GALVANIZEDG.B.GRAB BARG.C.GENERALCONTRACTORGL.GLASSGR.GRADEGYP.GYPSUMG.W.B.GYPSUM WALL BD.	MDF MED. DENSITY FIBER MECH. MECHANICAL MEM. MEMBRANE MFR. MANUFACTURER MIN. MINIMUM MIRR. MIRROR MISC. MISCELLANEOUS MLDG. MOULDING M.O. MASONRY OPENING MTL. METAL	REG. REINF. REQ. REV. RM. R.O. S. S.C.	REGISTER REINFORCED REQUIRED REVISED ROOM ROUGH OPENING SOUTH SOLID CORE	VERT. V.I.F. W. W/ W/O W.C. WD. W.P.
ALL BIDS SHALL BE SUBMITTED BY EMAIL TO BOTH THE OWNER AND THE ARCHITECT WITHIN 30 DAYS OF RECEIVING THE PLANS UNLESS OTHERWISE SPECIFIED BY THE OWNER.ALL BIDS SHALL REFERENCE EACH DRAWING AND THE LATEST DATE SHOWN IN THIS SET OF CONSTRUCTION DOCUMENTS AT THE TOP OF THEIR BID SUBMISSION FORM. UNLESS NOTED ABOVE OR SPECIFICALLY OMITTED IN WRITING WITHIN THE CONTRACTOR'S BID,THE GENERAL CONTRACTOR WILL BE RESPONSIBLE TO PURCHASE AND INSTALL ALL OTHER ITEMS SHOWN ON THE PLANS TO FULLY COMPLETE THE PROJECT AS INTENDED. ALL BIDDERS ARE REQUIRED TO SUBMIT A DETAILED SCHEDULE OF VALUES WITH THEIR BID. THE SCHEDULE OF VALUES SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:1. DEMOLITION10. GYPSUM WALLBOARD & TAPING 2. FRAMING & SHEATHING2. FRAMING & SHEATHING11. INTERIOR DOORS & MILLWORK3. ROOFING & FLASHING12. BUILT IN CABINETRY, CUBBIES, BENCHES, ETC.5. WINDOWS & EXTERIOR DOORS13. KITCHEN CABINET INSTALLATION4. EXTERIOR SIDING & MILLWORK14. WOOD FLOORS5. GUTTERS & LEADERS15. TILE WORK6. ELECTRICAL16. SITE WORK MASONRY7. PLUMBING17. PAINTING8. HEATING & AIR CONDITIONING18. CLEAN UP & MISCELLANEOUS	COMPLETION OF WORK AFTER THE CONTRACTOR HAS A FINAL INSPECTION WITH THE BUILDING DEPARTMENT.	DBL. DOUBLE DEPT. DEPARTMENT DET. DETERMINE D.F. DOUGLAS FIR DIA. DIAMETER D.L. DEAD LOAD DIM. DIMENSION DN. DOWN D.H. DOUBLE HUNG DR. DOOR D.W. DISHWASHER DWR. DRAWER DWG. DRAWING	H.B. HOSE BIB H.C. HOLLOW CORE HDWD. HARDWOOD HDWR. HARWARE HORIZ. HORIZONTAL HR. HOUR HT. HEIGHT H.V.A.C. HEATING, VENTILATION, AIR CONDITIONING H.W. HOT WATER H.W.H. HOT WATER HEATER	N. NORTH N.I.C. NOT IN CONTRACT NO. OR # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE	SCHED. S.C.F.D. SECT. SHOW. SH. SHT. SIM. SKLT. SPEC. S.P.F.	SCHEDULE	W.R. W.R.B. WSHR. WT. W.W.F. X.L.

9. INSULATION



# THE FEUERSTEIN RESIDENC

SQ. S.S. STD.	SQUARE STAINLESS STEEL STANDARD	BUILDING CODE IN EFFEC	DING CODE C CT: 2020 RESIDENTIAL COD ICATION: R-3 OCCUPANCY				OCUMENT COPYRIGHT © Drawings and specifications are protected by copyright laws and	shall remain the property of Timothy P. Lener, Architect, P.C. Any use or reproduction, in whole or in nort of these documents	or in party or these unconnected without written authorization by contact is strictly prohibited. www.TimLener.com
STL. STOR. STRL.	STEEL STORAGE STRUCTURAL		.C.C.N.Y.S. CO		NCE			7	ŗ
SUSP. SYM.	SUSPENDED SYMETRICAL	BUILDING TYPE: ONE & TWO DESIGN TEMPERATURE: 0 DE	FAMILY DWELLING.	DESIGN DEG	REE DAYS	: 4500-5400	ns and additions violation of Jew York State	of this drawing ed to others of h any work or	opero outer nation to when use have been prepared without the express written consent of Timothy P. Lener, Architect.
T.	TREAD	CODE DESIGN METHOD: PRE TABLE 1102.1.2 INSULA	<mark>SCRIPTIVE BUILDING ENV</mark> TION AND FENESTRATION		<u>~</u>	PONENT	Unauthorized alterations to this drawing are a v serion 7209(7) of the Ne		- <u> </u>
T.B. TEL. TEMP.	TOWEL BAR TELEPHONE TEMPERED	CLIMATE FENESTRATION ZONE U-FACTOR	U-FACTOR GLAZED - SH		JE WAL	OD FRAME LL R-VALUE	Unauthorize to this dra section 72004	education lav shall be copie used in conn	project outer trans to been prepared wit written co Timothy P. Len
TERR. T & G THK.	TERRACE TOUNGE & GROOVE THICK	4A0.32MASS WALLFLOORR-VALUER-VALUE	0.55 0.40 BASEMENT WALL R-VALUE	49 SLAB R-VA & DEPT	ALUE CRA	OR 13 + 5 AWL SPACE LL R-VALUE			
T.J.I. T.O.C. T.O.W.	TRUSS JOIST INC. TOP OF CURB TOP OF WALL	8/13 19	10/13	10, 2 F		10/13		O	
T.O.P. T.V. TYP.	TOP OF PLATE TELEVISION TYPICAL						le	nc	
							o th	Je	York
U.L. UNFIN.	UNDERWRITERS LABRATORY UNFINISHED						on t	Sic	New ot: 63
UN.O.	UNLESS NOTED OTHERWISE						ratior	Ö	ionk, 1 L
V.B.	VAPOR BARRIER						Iter		Block:
V.B. VERT. V.I.F.	VERTICAL VERIFY IN FIELD						d A	n	West, .02
W	WEGT						n and	G1.	Place n: 108
W. W/ W/O	WEST WITH WITHOUT						Addition	rst	Seymour Place Section: 108
W.C. WD. W.P.	WATER CLOSET WOOD WATERPROOF						iddi	lei	9 Seyi
W.R. W.R.B.	WEATHER RESISTANT WEATHER RESISTIVE BARRIER						A	G	
WSHR. WT. W.W.F.	WASHING MACHINE WEIGHT WELDED WIRE FABRIC								
X.L.	EXTRA LARGE								
		THIS HOME IS CONNECTE	RTMENT OF	O 5-BEDROOM S	SEPTIC SYS	TEM.			
		<u>NO</u> NEW BEDROOMS ARE BEING ADDED TO THIS RESIDENCE. ONE FIRST FLOOR BEDROOM IS BEING REMOVED FOR FUTURE RELOCATION ON THE SECOND FLOOR. 104 SF OF HABITABLE IS BEING ADDED, THERFORE NO EXPANSION OF THE SEPTIC							
		SYSTEM IS REQUIRED BY	PE CONSTRU	ICTION	NOTE			- `	
		THIS PROJECT UTILIZES PRE ACCORDANCE WITH TITLE	E-ENGINEERED WOOD CON 19 NYCRR PART 1265, THE	ISTRUCTION (P OWNER SHALL	W). IN BE RESPO	NSIBLE TO		P.C	10570
		THE EXTERIOR ELECTRICAL	AFFIX A TRUSS IDENTIFICATION SIGN OR SYMBOL (AS SHOWN BELOW) ADJACENT TO THE EXTERIOR ELECTRICAL BOX. CIRCLE SHALL BE 6" DIAMETER WITH 2" STROKE. TEXT AND CIRCLE COLOR TO BE REFLECTIVE RED PANTONE #187 AND INNER CIRCLE						York 1 I.com
		SHALL BE REFLECTIVE WHITE. GO TO: WWW.SAFETYSIGN.COM/TRUSS-SIGNS.						itec	New J gmail.c
		FLOOR AND ROOF FRAMING						rchi	Pleasantville, New -Mail: tpl.arch@gmail
		Image: Smoke/carbon monoxide detector note					Ā	easant [ail: tpl	
		G.C SHALL BE RESPONSIBLE TO INSURE THAT SMOKE DETECTORS/ALARMS BE LOCATED ON EACH FLOOR AND IN ALL SLEEPING ROOMS, ONE CARBON MONOXIDE DETECTOR/ALARM SHALL BE ON EACH FLOOR, ONE HEAT DETECTOR SHALL BE LOCATED						ler,	203, Pl E-M
		IN THE GARAGE, AS PER SECTION R314 & R315 OF THE 2020 RESIDENTIAL CODE OF N.Y.S. ALL DETECTORS/ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP, UL APPROVED. ALL DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT						Let	Suite 20 -1220
		ACTUATION OF ONE ALARM CONNECTED TO CENTRAL SE	WILL ACTIVATE ALL ALA	RMS. ALL ALAF	RMS SHALI			Р.	venue, S 914-747-1
		KING	AND JACK S' 2020 RCNYS TABLE RG		BLE			hy	<
		SIZE OF OPENING (FEET-INCHES)	1	C. STUD SPAC	ING OF KING S'	TUDS		not	Wheeler Phon
		UP TO 3'-6" 3'-6" TO 5'-0"	1 1		1 2			Time	57 \
		5'-0" TO 8'-0" 8'-0" TO 10'-6" 10'-6" TO 13'-0"	2 2 3		2 3 3			<b>`</b>	
		13'-0" TO 16'-0" 16'-0" TO 18'-0"	3		<u> </u>		-		
		DESIGN LOAD		IAL STR					
		FLOOR: (LL+DL)	2000 PSFCONCRETE FO55 PSFCONCRETE SL30 PSFDIMENSIONAL		ALLS:	3500 PSI 3500 PSI 950 PSI			
		· · · · · · · · · · · · · · · · · · ·	65 PSF ENGINEERED 1 00 PSF STRUCTURAL	LUMBER (LVL): STEEL:		2600 PSI 66,000 PSI			
		CLIMATIC & C	<b>GEOGRAPHIC</b> 2020 RCNYS TABLE R3		N CRI	ΓERIA		D ~- '	075
		GRND. WIND DESIGN SEISMU SNOW SPEED TOPO SP. DEBRIS DESIGN	I FROST LINE	UNDER UNDER DESIGN LAYMEN	R- NT FLOOD F	AIR MEAN REEZE ANNUAL		Revisi e: 09/0	
		(PSF)(MPH)EFF.REG.ZONECAT.30115NOYESNOB	WEATHR'GDEPTH (IN.)TERMITISEVERE42MODERATTO HEAVY	E 10 VES	NO	NDEX TEMP. 1500 RLESS 50		Do No cale Pr	ints
~ -		MANU	AL J DESIGN	CRITER		HEATING	]	Sheet N	<b>√</b> 0.
		ELEVATIONLATITUDEWINTER HEATING2924112	SUMMER ALTITUDE COOLING CORRECTION FACTOR 87 NONE	INDOOR DESIGN TE TEMPERATURE 72	DESIGN MPERATURE COOLING 75	HEATING TEMPERATURE DIFFERENCE 60		C	1
			87     NONE       OINCIDENT     WET       BULB     DAILY RANGE	WINTER	SUMMER HUMIDITY		<b> </b>		
		Difference   Inference     12   N/A	72 M	N/A	N/A		F	euerste	ein

# WINDOW & EXTERIOR DOOR NOTES

PERMA-SHIELD CLADDING. PROVIDE FACTORY APPLIED EXTENSION JAMBS.

2. INTERIOR FINISH SHALL BE: NATURAL PINE. VINYL JAMB TRACK SHALL BE WHITE. 2. GLAZING SHALL BE: LOW "E-4" WITH ARGON GAS. U-FACTOR=.31 SHGC = .28

3. GRILLES SHALL BE: 7/8" REMOVABLE INTERIOR WOOD GRILLES. COORDINATE ALL GRILLE PATTERNS AS SHOWN ON ELEVATIONS. PROVIDE NEW WOOD GRILLES AT ALL EXISTING WINDOWS TO REMAIN WHERE SHOWN ON PLANS.

4. INSECT SCREENS SHALL BE: FULL FIBERGLASS MESH, COLOR TO MATCH WINDOW EXTERIOR. 5. LOCK AND KEEPER STYLE SHALL BE: ESTATE (INCLUDING ALL EXISTING WINDOWS)

11. INSECT SCREENS SHALL BE: GLIDING FIBERGLASS SCREEN PANEL, FRAME COLOR TO MATCH DOOR EXTERIOR.

12. HARDWARE STYLE SHALL BE: ANVERS

14. FRONT ENTRANCE DOOR SYSTEM AND MUDROOM DOOR TO GARAGE SHALL BE: "SIMPSON" FIR. DOOR MODEL: 7282 PRIMED WITH SHAKER STICKING AND 3/4" MDF FP. SIDELITE MODEL: 1701 WITH SHAKER STICKINGWITH LOW-E. OWNER WILL PROVIDE "EMTEK" HARDWARE.

15. MUD ROOM AND KITCHEN DOORS SHALL BE: "SIMPSON" FIR WITH LOW-E AND SDL. DOOR MODEL: 7504 PRIMED WITH SHAKER STICKING AND 3/4" MDF FP. **OWNER WILL PROVIDE "EMTEK" HARDWARE** 

16. THE G.C. SHALL BE RESPONSIBLE TO FORWARD THE WINDOW ORDER (FROM THE SUPPLIER) TO THE ARCHITECT FOR REVIEW. NO WINDOW ORDER SHALL BE FINALIZED WITHOUT THE ARCHITECT'S AUTHORIZATION. NO WINDOWS OR DOORS SHALL BE CHANGED BY THE BUILDER OR OWNER WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

19. ALL EXISTING WINDOWS SHALL BE PREPARED FOR NEW REMOVABLE GRILLES BY REMOVING ALL PLASTIC GRILLES AND GROMMETS, PATCHING AND SANDING ALL HOLES, AND COMPLETE PAINTING OF ALL UNITS TO MATCH NEW WINDOWS.

3. SEAL THE BOTTOM PLATE AND THE TOP PLATE OF EXTERIOR WALLS AND WALLS TO THE ATTIC WITH CAULK OR SILL SEAL.

5. BLOCK, CAP, AND SEAL ANY CHASE WAYS THAT WOULD ALLOW UNCONDITIONED AIR TO ENTER INTO THE CONDITIONED BUILDING ENVELOPE.

OR FOAM.

# DEMOLITION

. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION WITHIN THE PROJECT AREA.

2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.

4. G.C. SHALL PROVIDE TEMPORARY SUPPORT OF ALL BEARING WALLS TO BE REMOVED.

5. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

6. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.

7. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE BY G.C. IN A MANNER WHICH IS LEGALLY CONFORMING TO THE LOCAL MUNICIPAL ORDINANCES.

8. G.C. SHALL PROTECT AREAS NOT IN THE SCOPE OF WORK FROM DAMAGE AND DUST DURING DEMOLITION AND CONSTRUCTION.

9. REMOVE ALL WINDOWS AND DOORS INCLUDING FRAMES WHERE NOTED.

10. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.

11. REPLACE ANY PLUMBING AND/OR ELECTRICAL LINES WITHIN CONSTRUCTION NON-CONFORMING WITH APPLICABLE CODES.

12. REMOVE ALL EXISTING ROOF SHINGLES (DOWN TO SHEATHING) FROM HOUSE. REPLACE

ROTTED PLYWOOD SHEATHING AS REQUIRED. 13. REMOVE ALL FINISHED FLOORING FROM THE FIRST FLOOR AND THE SECOND FLOOR HALL

# FOUNDATION

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT EXCEED 3" FROM WRITTEN DIMENSIONS ON THE PLANS.

ALL FOOTINGS MUST BEAR ON SOLID, UNDISTURBED SOIL BELOW FROSTLINE AND SHALL HAVE A MINIMUM OF TWO (2) # 4 REINFORCING BARS IN BOTH DIRECTIONS.

3. CONCRETE: DESIGN OF ALL CONCRETE SHALL CONFORM WITH THE LATEST EDITION OF ACI SPECIFICATIONS AND PRODUCED IN AN APPROVED MIXING PLANT IN ACCORDANCE WITH ASTM REQUIREMENTS. CONCRETE STRENGTHS FOR VARIOUS USES SHALL BE AS SPECIFIED IN THE FOLLOWING SCHEDULE; (MINIMUM COMPRESSIVE STRENGTH, F'C AT 28 DAYS)

I. FOOTINGS, FOUNDATIONS, INTERIOR FLOOR SLABS: 3500PSI II. EXTERIOR AND GARAGE FLOOR SLABS: 3500PSI

4. ALL REINFORCING BARS TO BE #4. SEE WALL SECTION(S) FOR RE-BAR PLACEMENT. REINFORCING STEEL FOR CMU TO BE GRADE 60 DEFORMED BARS (EXCEPT FOR TIES TO BE PLAIN) AND CONFORM TO ASTM SPECIFICATIONS.

5. FLAGSTONES SHALL BE "ARCHITECTURAL BLUESTONE" SET IN A 3/4-INCH (MIN.) CEMENT MORTAR BED. FLAGSTONE TO BE 1-INCH THICK. ALL EXTERIOR SURFACES SHALL BE PITCHED FOR DRAINAGE. CONTRACTOR SHALL SUBMIT STONE AND MORTAR SAMPLES FOR THE OWNER'S **REVIEW AND APPROVAL.** 

6. FILLED AREAS TO BE MECHANICALLY COMPACTED IN 6 INCH LIFTS.

# FRAMING

. DIMENSIONAL FRAMING LUMBER SHALL BE NO. 2 DOUGLAS FIR, Fb=950 PSI (MIN.).

2. LAMINATED VENEER LUMBER (LVL) SHALL BE Fb=2600 PSI AND PARALLAM (PSL) SHALL BE Fb=2900 PSI. ENGINEERED I-JOISTS (TJI) AND LAMINATED VENEER LUMBER (LVL) SHALL BE BY TRUSS JOIST MACMILLAN OR APPROVED EQUAL BY ARCHITECT. ALL ENGINEERED MATERIALS SHALL BE STORED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.

3. ALL MUDSILL PLATES SHALL BE PRESSURE TREATED DOUBLE 2 x 6 LAID ON FIBERGLASS SILL SEALER AND CAULKED ALONG THE INTERIOR PERIMETER AT THE TOP OF FOUNDATION.

4. ROOF SHEATHING SHALL BE 5/8" EXTERIOR GRADE PLYWOOD, NAILED TO EACH RAFTER.

5. WALL SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD OR 1/2" ZIP-WALL ENGINEERED PANELS AS MANUFACTURED BY HUBER ENGINEERED WOODS. PLAIN ORIENTED STRAND BOARD (O.S.B.) IS NOT ACCEPTABLE.

6. SUBFLOOR TO BE ADVANTECH 3/4-IN. TOUNGE AND GROOVE HIGH DENSITY ENGINEERED PANEL BY HUBER ENGINEERED WOODS OR APPROVED EQUAL, GLUED AND NAILED TO FLOOR JOISTS. ADHESIVE TO BE CONTECH PL-400.

7. PROVIDE PROPERLY SIZED GALVANIZED METAL JOIST HANGERS BY SIMPSON AT ALL FLUSH CONNECTIONS. ALL NAILING OF HANGERS MUST BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.

8. ALL SOLID (P.T. OR PSL) AND BUILT-UP (2x D.F.) WOOD POSTS SHALL BE CONTINUOUS (WITH SOLID BLOCKING AS REQUIRED) TO FOUNDATION WALLS OR GIRDERS.

9. ALL EXTERIOR METAL ANCHORS, FASTENERS, BOLTS, ETC. SHALL BE HOT DIPPED GALVANIZED STEEL.

0. FIREBLOCKING: IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

SEE DIAGRAM FOR ALL FIREBLOCKING LOCATIONS.

FIREBLOCKING MATERIALS: FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS. A) TWO-INCH (51 MM) NOMINAL LUMBER. B) TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.

- C) ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS. D) ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY
- E) 3/4-INCH (19.1 MM) PARTICLEBOARD. F) ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
- G) ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
- H) BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. I) CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- 11. PROVIDE HURRICANE ANCHORS ("SIMPSON" H-2.5) AT ALL RAFTERS.
- 12. MAINTAIN 2" CLEARANCE FROM MASONRY CHIMNEY AND FROM METAL FLUES.
- 13. ALL ROLLED STEEL SHALL BE TYPE A-992 WITH AN Fb = 50,000 PSI MINIMUM.

14. ALL STEEL, INCLUDING BEARING PLATES SHALL BE SHOP PRIMED AND RECIEVE A SECOND COAT IN THE FIELD UPON COMPLETION.

# PROJECT SPECIFICATIONS

## 1. WINDOWS SHALL BE: "ANDERSEN" 400 SERIES TILT-WASH (TW) WOOD WITH WHITE

6. HARDWARE FINISH SHALL BE: WHITE

7. GLIDING PATIO DOOR AND TRANSOM SHALL BE: "ANDERSEN" (FWGD) A-SERIES WOOD WITH WHITE PERMA-SHIELD CLADDING. PROVIDE FACTORY APPLIED EXTENSION JAMBS.

8. INTERIOR FINISH SHALL BE: NATURAL PINE.

9. GLAZING SHALL BE: LOW "E2" WITH ARGON GAS. U-FACTOR = .32 SHGC = .23

10. GRILLES SHALL BE: 7/8" FULL DIVIDED LITES (FDL). COORDINATE ALL GRILLE PATTERNS AS SHOWN ON ELEVATIONS.

13. HARDWARE FINISH SHALL BE: SATIN NICKEL

17. PROVIDE MEMBRANE SILL PAN FLASHING AT ALL WINDOWS WITHIN 8" OF ANY ROOF.

18. PROVIDE B.E. ALUM. DRIP CAP FLASHING AT ALL WINDOW AND DOOR HEADS.

## AIR SEALING

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORADNCE WITH SECTION R402.4 OF THE R.C.N.Y.S. AREAS TO BE SEALED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING AREAS.

I. SEAL AROUND WINDOWS AND EXTERIOR DOORS WITH BACKER ROD. CAULK. OR NON-EXPANDING SPRAY FOAM.

2. SEAL ALL ELECTRICAL, PLUMBING AND HVAC PENETRATIONS BETWEEN CONDITIONED AND UNCONDITIONED SPACE WITH CAULK OR SPRAY FOAM.

4. SEAL BAND JOISTS WITH CAULK, SPRAY FOAM, OR GASKETING BETWEEN TOP PLATE AND BAND JOIST AND BETWEEN BAND JOIST AND SUB-FLOOR. ANY PENETRATIONS IN THE BAND JOIST MUST BE SEALED WITH CAULK OR SPRAY FOAM. ANY JOISTS OR OTHER CAVITIES THAT SPAN FROM CONDITIONED TO UNCONDITIONED SPACES MUST BE BLOCKED OFF AND AIR SEALED.

6. EXTERIOR WALLS BEHIND TUB AND SHOWER ENCLOSURES SHOULD BE INSULATED. PRIOR TO INSTALLING THE TUB OR SHOWER, A RIGID AND DURABLE AIR BARRIER SHOULD BE INSTALLED TO BE IN DIRECT CONTACT WITH THE INSULATION.

7. INSTALL INSULATION WIND BAFFLES TO BLOCK WIND WASHING AT ALL ATTIC EAVE BAYS IN ROOF ASSEMBLIES WITH SOFFIT VENTS.

8. FOR CANTILEVERED FLOOR SYSTEMS OR FLOORS ABOVE A GARAGE AN AIR BARRIER MUST BLOCK ANY EXPOSED EDGES OF INSULATION.

9. FOR FIREPLACE CAVITIES ON EXTERIOR WALLS, A RIGID AIR BARRIER MUST BE FULLY ALIGNED WITH THE INSULATED FRAMING IN THE FRAMED SHAFT BEHIND THE FIREPLACE AND ANY GAPS ARE FULLY SEALED WITH FOAM, CAULK OR TAPE.

10. FOR PORCH ROOFS, A RIGID AIR BARRIER MUST BE INSTALLED AT THE INTERSECTION OF THE PORCH ROOF AND EXTERIOR WALL.

11. FOR DROPPED CEILINGS, A RIGID AIR BARRIER MUST BE FULLY ALIGNED WITH INSULATED FRAMING AND ANY GAPS ARE FULLY SEALED WITH CAULK OR FOAM.

12. RECESSED LIGHT FIXTURES, IF INSTALLED IN INSULATED CAVITIES SUCH AS THE CEILING BETWEEN THE HOUSE AND THE ATTIC, SHOULD BE RATED IC (INSULATION CONTACT) AND AIR-TIGHT. ONCE INSTALLED THEY SHOULD BE SEALED TO THE DRYWALL WITH GASKET, CAULK

13. ALL HOLES OR PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH A MATERIAL CAPABLE OF STOPPING AIRFLOW SUCH AS CAULK, FOAM OR RIGID MATERIAL. FIBROUS INSULATION DOES NOT STOP AIR-FLOW.

# FLOOR PLANS

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT EXCEED 3" FROM WRITTEN DIMENSIONS ON THE PLANS.

2. SEE PLANS PREPARED BY KITCHEN DESIGNER FOR CABINET, PLUMBING FIXTURE AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED, REVIEW WITH ARCHITECT.

3. ALL APPLIANCES (INCLUDING WASHER AND DRYER) SHALL BE SUPPLIED BY OWNER AND INSTALLED BY THE G.C. OWNER SHALL BE RESPONSIBLE TO PROVIDE G.C. WITH ALL SPECIFICATIONS FOR INSTALLATION, INCLUDING TYPE OF FUEL/POWER, PLUMBING & ELECTRICAL OFFSETS ETC. PROVIDE WATER LINE TO REFRIGERATOR. PROVIDE GAS LINE FROM PROPANE TANK TO OVEN.

4. KITCHEN CABINETS, BATH ROOM VANITIES, BUILT-IN CABINETRY AND PLUMBING FIXTURES SHALL BE SELECTED BY OWNER.

5. PROVIDE SOUND DEADENING BATTS AT ALL INTERIOR WALLS ENCLOSING BATHROOMS AND MASTER BEDROOM.

6. PROVIDE 5/8- IN. GYPSUM WALL BOARD (G.W.B.) THROUGHOUT WALLS AND CEILING, EXCEPT AT BATHROOMS, WHICH SHALL BE 1/2" WATER RESISTANT GYPSUM WALLBOARD (G.W.B.). ALL GARAGE WALLS AND CEILING SHALL BE 5/8" TYPE-X GYPSUM WALLBOARD (G.W.B.).

7. PRIME AND PAINT ALL DRYWALL (3 COATS; 1 PRIME & 2 FINISH). STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER FOR REVIEW AND APPROVAL.

8. NEWEL POSTS: SHALL BE BOX STYLE POSTS TO MATCH THE EXISTING DESING, SLIGHLY SMALLER, SECURELY ANCHORED TO STAIR AND FLOOR.

9. <u>BALUSTERS:</u> SHALL BE 2 x 2 POPLAR (MAX. CLEAR OPENING LESS THAN 4"). SUBMIT SAMPLES FOR OWNER'S REVIEW AND SELECTION.

10. RAILINGS AND GUARDS: SHALL BE PROVIDED AT ALL STAIRS GREATER THAN 3 RISERS. ALL RAILINGS AND GUARDS TO BE 36" HIGH. ALL HANDRAILS AT STAIRS SHALL BE GRASPABLE AS PER 2020 R.C.N.Y.S. SECTION R311.7.8.3. SEE DETAILS ON PLANS. SUBMIT SAMPLES FOR OWNER'S **REVIEW AND SELECTION.** 

11. INTERIOR DOORS SHALL BE 1 3/4" 2-PANEL SOLID CORE MASONITE, PAINT GRADE. INTERIOR DOOR LEADING TO THE GARAGE SHALL BE SOLID CORE, FIRE RATED FOR 20 MINUTES AND SHALL HAVE SELF CLOSING HINGES NOTED ON PLANS AS S.C.F.D.

12. INTERIOR MILLWORK SHALL BE POPLAR, MDF, OR KILN-DRIED FINGERJOINTED PINE SUPPLIED BY "GARDEN STATE MILLWORK METRO COLLECTION" OR APPROVED EQUAL

DOOR, WINDOW, AND TRIMMED OPENING CASINGS SHALL BE: MCC 412 BASE MOULDINGS SHALL BE: MCB 712 CROWN MOULDINGS SHALL BE: MCOV8

13. WOOD FLOORS: FLOORING SHALL BE MADE FROM QUALITY LUMBER THAT HAS BEEN KILN-DRIED. THE STORAGE AND INSTALLATION OF WOOD FLOORING SHALL BE AT TEMPERATURE AND HUMIDITY LEVELS NEAR THAT OF OCCUPANCY. ALLOW FOR SEVERAL DAYS TO A WEEK OR MORE, FOR THE FLOORING TO BECOME ACCLIMATED TO JOB SITE CONDITIONS. WOOD FLOORING SHALL BE 25/32-IN. THICK (MIN.) SELECT GRADE TONGUE AND GROOVE SOLID 4 1/4" WHITE OAK STRIPS, SECURELY NAILED TO FLOOR JOISTS OVER A LAYER OF ROSIN PAPER. FINISH: OAK FLOORS SHALL BE SANDED SMOOTH AND EVEN, AND RECEIVE ONE (1) COAT SEALER AND TWO (2) COATS OF AN OAK FLOOR POLYURETHANE FINISH. REVIEW STAINING AND FINISH WITH OWNER. PROVIDE UP TO 6 COLOR SAMPLES.

14. TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION). TILE ON SHOWER WALLS AND TUB SURROUNDS SHALL BE OVER 1/2" "DUR-ROCK" CEMENT BACKER BOARD OR EQUAL TILE BACKER. TILE ON ALL OTHER WALLS (IE: WAINSCOT AND BACKSPALASH) SHALL BE OVER 1/2" MOISTURE RESISTANT G.W.B. PROVIDE DITRA-HEAT™ ELECTRIC FLOOR HEATING UNCOUPLING MAT BY "SCHLUTER SYSTEMS" WHERE SHOWN ON PLANS BELOW TILE FLOOR. PROVIDE SEPARATE THERMOSTAT. WIRING AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION.

15. UNLESS NOTED OTHERWISE ON THE FLOOR PLANS, ALL INTERIOR MILLWORK AND CABINETRY (EXCEPT KITCHEN AND BATH) SHALL BE FABRICATED AND INSTALLED BY THE G C THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO: BUILT-IN CABINETS, CUBBIES, BENCHES, BANQUETTES SHELVING IN PANTRIES, LINEN CLOSETS, BROOM CLOSETS AND CLOTHES CLOSETS THESE ITEMS SHALL BE FABRICATED WITH 3/4" BIRCH VENEER PLYWOOD AND SOLID WOOD EDGES. PROVIDE (5) FIXED SHELVES AT PANTRY EACH LINEN CLOSET. REVIEW DESIGN AND DETAILS IN FIELD WITH OWNER AND ARCHITECT.

16. POCKET DOORS SHALL BE SITE HUNG (NOT PRE-HUNG) WITH HEAVY DUTY ALUMINUM TRACK AND TROLLEY SYSTEM.

17. PROVIDE ALL DOOR AND CABINET HARDWARE AS NEEDED. PREPARE AND REVIEW HARDWARE SCHEDULE WITH OWNER. HARDWARE SHALL BE SELECTED BY OWNER.

18. OWNER WILL SUPPLY A MANUFACTURED WOOD BURNING FIREPLACE, STONE SURROUND, AND STONE HEARTH AT FIREPLACE, ALL TO BE VERIFIED IN THE FIELD WITH THE OWNER AND ARCHITECT. G.C. SHALL INSTALL ALL MATERIALS SELECTED.

19. INSULATION: ALL INSULATION SHALL BE OPEN CELL (R-3.5/IN.) OR CLOSED CELL (R-6.5/IN.) SPRAY-FOAM (S.P.F.) OR FIBERGLASS (F.G.) BATTS WITH PAPER VAPOR BARRIER (SEE DETAILS). INSULATOR SHALL SUPPLY BUILDING DEPARTMENT WILL SPECIFICATIONS SHEETS AND APPLICATION CERTIFICATION. ALL EXPOSED SPRAY FOAM INSULATION SHALL BE SPRAYED WITH INTUMESCENT PAINT COATING FOR 15 MIN. FIRE PROTECTION RATING AS PER IRC AND NYS CODES AND MANUFACTURERS SPECS.

FLOORS SHALL BE: R-30 CLOSED CELL SPF. WALLS SHALL BE: R-20 CLOSED CELL SPF OR R-15+3 FIBERGLASS ROOF RAFTERS SHALL BE: R-49 CLOSED CELL SPF.

ALL PIPES AND DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED. ALL INSULATION SHALL BE IN ACCORDANCE WITH THE ENERGY CODES OF THE 2020 RCNYS.

# ELEVATIONS

1a. ROOFING SHALL BE ARCHITECTURAL ASPHALT LAMINATED SHINGLES BY "CERTAINTEED LANDMARK SERIES", "GAF TIMBERLINE HD", OR APPROVED EQUAL TO MATCH EXISTING AS CLOSE AS POSSIBLE. ROOFING WARRANTY SHALL BE LIFETIME. PROVIDE OWNER WITH SAMPLES PRIOR TO FINAL ORDERING. ALL ROOFING SHALL BE APPLIED OVER A SYNTHETIC MEMBRANE SUBSTRATE "GAF DECK ARMOR" OR EQUAL.

1b. METAL ROOFING SHALL BE "PAC-CLAD" 24 GAUGE GALVANIZED STEEL RAISED SEAM ROOFING (14" O.C.) AS MANUFACTURED BY PETERSON ALUMINUM OR APPROVED EQUAL. FINISH SHALL BE KYNAR 500 APPLIED TO G90 GALVANIZED STEEL SHEETS. COLOR TO BE SELECTED BY OWNER. ROOFING WARRANTY SHALL BE LIFETIME. ALL ROOFING SHALL BE APPLIED OVER A SYNTHETIC MEMBRANE SUBSTRATE "GAF DECK ARMOR" OR EQUAL.

2. ICE SHIELD: PROVIDE SELF-SEALING RUBBERIZED ASPHALT AND POLYETHYLENE WATERPROOF MEMBRANE AT ALL EAVES, VALLEYS AND CRICKETS UNLESS SPECIFIED OTHERWISE ON PLANS. MEMBRANE TO BE ICE AND WATER SHIELD BY DUPONT. 66" WIDE MINIMUM (2 COURSE OF 36" WITH 6" LAPS) AT ALL EAVES, 36" AT ALL VALLEYS AND CRICKETS.

3. PROVIDE BAKED ENAMEL ALUMINUM FLASHING AT ALL HORIZONTAL TO VERTICAL INTERSECTIONS. FLASHING OVER FRIEZES, WINDOW AND DOOR HEADS AND WATER TABLES SHALL MATCH THE COLOR OF THE MILLWORK AS CLOSE AS POSSIBLE. FLASHING ADJACENT TO ROOF SHALL MATCH ROOF COLOR AS CLOSE AS POSSIBLE.

4. ALL EXTERIOR WALL SHEATHING SHALL BE PROPERLY COVERED WITH A DRAINABLE HOUSEWRAP RAINSCREEN: "DRAINWRAP" BY "TYVEK", "HYDRO-GAP" BY BENJAMIN OBDYKE OR ARCHITECT APPROVED EOUAL. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

5. HORIZONTAL LAP SIDING SHALL BE RED CEDAR BOARDS PRIMED ON ALL 6 SIDES AND PAINTED TO MATCH EXISTING. MATCH EXPOSURE TO WEATHER.

6. ALL EXTERIOR MOULDING PROFILES SHALL BE BY CPVC (CELLULAR POLY-VINYL-CHLORIDE) BY "AZEK", "FYPON" OR EQUAL. ALL FLAT STOCK MILLWORK (1x & 5/4 THICKNESS) AND BEADED BOARDS (5/8"x 5 1/4") SHALL BE BY "BORAL" "TRUEXTERIOR TRIM". ALL MILLWORK SHALL BE STORED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EXTERIOR MILLWORK SHALL BE FASTENED WITH STAINLESS STEEL NAILS, PATCHED AND PAINTED WITH 2 COATS OF PREMIUM EXTERIOR PAINT.

7. GUTTERS AND LEADERS SHALL BE SEAMLESS BAKED ENAMEL (B.E.) ALUMINUM. PROVIDE 5" K-STYLE GUTTERS WITH 3"x4" LEADERS. COLOR SHALL MATCHEXISTING. REVIEW LOCATIONS AND DETAILS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.

8. PROVIDE CPVC J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC.

# H.V.A.C.

. WORK INCLUDED: CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO COMPLETE ALL HVAC WORK AND RELATED WORK AS SPECIFIED HEREIN AND SHOWN OR INTENDED ON THE CONSTRUCTION DOCUMENTS. REMOVE ALL HYDRONIC HEATING FROM ENTIRE HOUSE.

<u>2. CODE:</u> G.C. SHALL BE RESPONSIBLE TO ENSURE THAT ALL HVAC SYSTEMS AND COMPONENTS COMPLY WITH ALL APPLICABLE CHAPTERS (13 THROUGH 24) OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (ECCCNYS).

3. HEATING: SHALL BE A NEW HYDRO-AIR SYSTEM. CONTRACTOR SHALL PROVIDE A NEW PROPANE GAS FIRED, HOT-WATER BOILER BY WEIL-MCLAIN, PEERLESS, OR EQUAL DESIGNED TO MEET THE DEMAND OF THE ENTIRE HOUSE. BOILER SHALL BE LOCATED IN THE EXISTING BASEMENT AND SHALL BE A DIRECT-VENT TYPE. CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS TO SYSTEM AS REQUIRED, INCLUDING PROPER LOCATION OF THERMOSTATS, DUCTS. AND PIPING AS REOUIRED. THE NEW BOILER SHALL BE INSTALLED TO MEET ALL FIRE CODES. PROVIDE WRITTEN H.V.A.C. SYSTEM DETAILS IN BID PROPOSAL.

4. HEATING DESIGN CRITERIA: HEATING SYSTEM SHALL MEET THE LATEST EDITION OF ASHREA SPECIFICATIONS. THE SYSTEM SHALL BE GUARANTEED TO MAINTAIN AN INDOOR TEMPERATURE OF 68 DEGREES WHEN OUTDOOR TEMPERATURE IS BELOW 0 DEGREES. HVAC CONTRACTOR SHALL PROVIDE DRAWINGS AND SPECIFICATIONS FOR THE PROPOSED WORK IF REQUIRED BY THE LOCAL BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A LICENCED MECHANICAL ENGINEER TO PREPARE ANY SUCH DRAWINGS.

5. AIR CONDITIONING: PROVIDE A NEW, COMPLETE A/C SYSTEM FOR THE ENTIRE FIRST FLOOR. MAKE MODIFICATIONS TO THE EXISTING SECOND FLOOR A/C SYSTEM AS REQUIRED. CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM, INCLUDING CONDENSORS, AIR HANDLERS, DUCTWORK, SUPPLY AND RETURN REGISTERS, AND THERMOSTATS. SYSTEM SHALL BE LENNOX. AMERICAN STANDARD, CARRIER OR OWNER APPROVED EOUAL AND SHALL MAINTAIN AN INDOOR TEMPERATURE OF 78 DEGREES DRY BULB WHEN THE OUTDOOR TEMPERATURE IS 95 DEGREES DRY BULB.

6. BALANCING: CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.

7. WHOLE HOUSE VENTILATION: AS PER SECTION M1505 OF THE 2020 R.C.N.Y.S. CONTRACTOR SHALL PROVIDE AN ENERGY RECOVERY VENTILATION (E.R.V.) UNIT AS MANUFACTURED BY AMERICAN STANDARD OR EQUAL DESIGNED TO PROVIDE ADEQUATE FRESH AIR AND REDUCE HUMIDITY LEVELS. THIUS SYSTEM SHALL BE LOCATED INTHE EXISTING ATTIC AND CONNECTED TO THE EXISTING DUCTWORK.

8. TESTING: THE HVAC CONTRACTOR SHALL HAVE ALL AIR HANDLERS AND DUCTS LOCATED IN UNCONDITIONED SPACES BLOWER-TESTED FOR AIR TIGHTNESS AND CERTIFIED BY A THIRD PARTY ADMINISTRATOR AS REQUIRED BY THE 2020 RCNYS PRIOR TO INSTALLATION OF INSULATION.

ONE OF THE FOLLOWING CRITERIA MUST BE MET: 1) ROUGH-IN TOTAL LEAKAGE TEST WITH AIR HANDLER INSTALLED: LESS THAN OR EQUAL TO 6 CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF

0.1 INCHES W.G. 2) ROUGH-IN TOTAL LEAKAGE TEST WITHOUT AIR HANDLER INSTALLED: LESS THAN OR EQUAL TO 4 CFM PER 100 SF OF CONDITIONED FLOOR AREA.

3) POST-CONSTRUCTION LEAKAGE TO OUTDOORS TEST: LESS THAN OR EQUAL TO 8 CFM PER 100 SF OF CONDITIONED FLOOR AREA. 4) POST-CONSTRUCTION TOTAL LEAKAGE TEST (INCLUDING AIR HANDLER ENCLOSURE) LESS

THAN OR EQUAL TO 12 CFM PER 100 SF PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G.

9. RANGE HOOD MAKE-UP AIR: 1) AS PER SECTION M1503.6 (2020 RCNYS): WHEN KITCHEN EXHAUST FAN EXCEEDS 400 CFM, MAKE UP IS REQUIRED. PROVIDE BROAN 6" UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER WITH PRESSURE SENSOR KIT MOUNTED TO RANGE HOOD VENT. PROVIDE BROAN 641 WALL CAP. PROVIDE ADDITIONAL ALUMINUM DUCTS AS NEEDED TO TIE INTO THE RETURN SIDE OF THE HVAC DUCT SYSTEM. IF NO DUCTWORK IS AVAILABLE, PROVIDE A GRILL IN THE FLOOR, WALL OR CABINET TOE-SPACE AREA A MINIMUM OF 5 FEET FROM THE RANGE HOOD. REVIEW EXACT LOCATION AND DIMENSIONS WITH OWNER AND ARCHITECT IN FIELD.

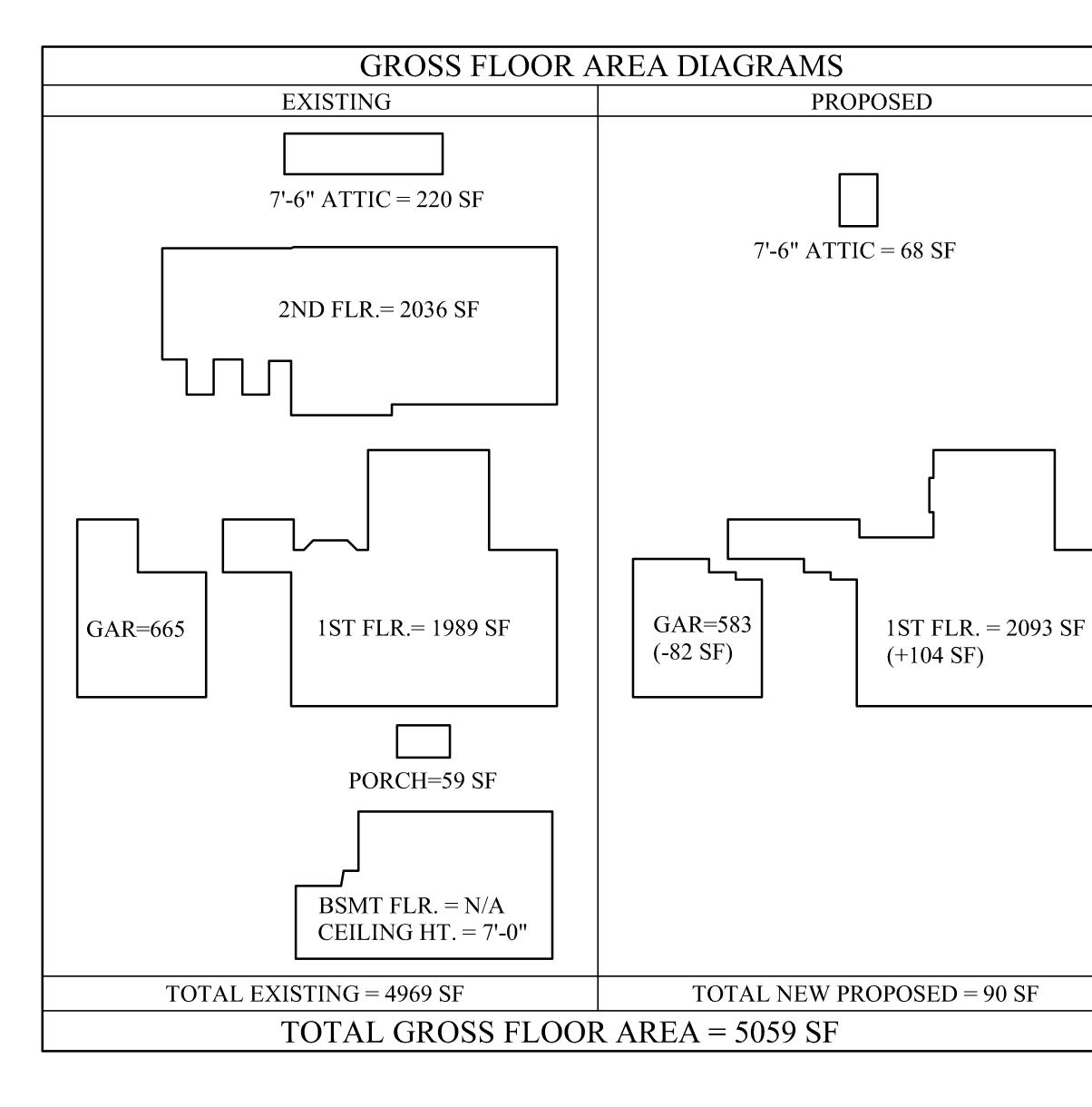
10. EXHAUST DUCTS: VENT ALL BATHROOM FANS, CLOTHES DRYER AND COOKING RANGE EXHAUST FAN DIRECTLY TO THE EXTERIOR WITH RIGID SMOOTH-WALL METAL DUCTS AND SCREENED DAMPERS. BATHROOM EXHAUST FAN DUCT TO TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS AND DOORS. DRYER DUCTS TO TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDING.

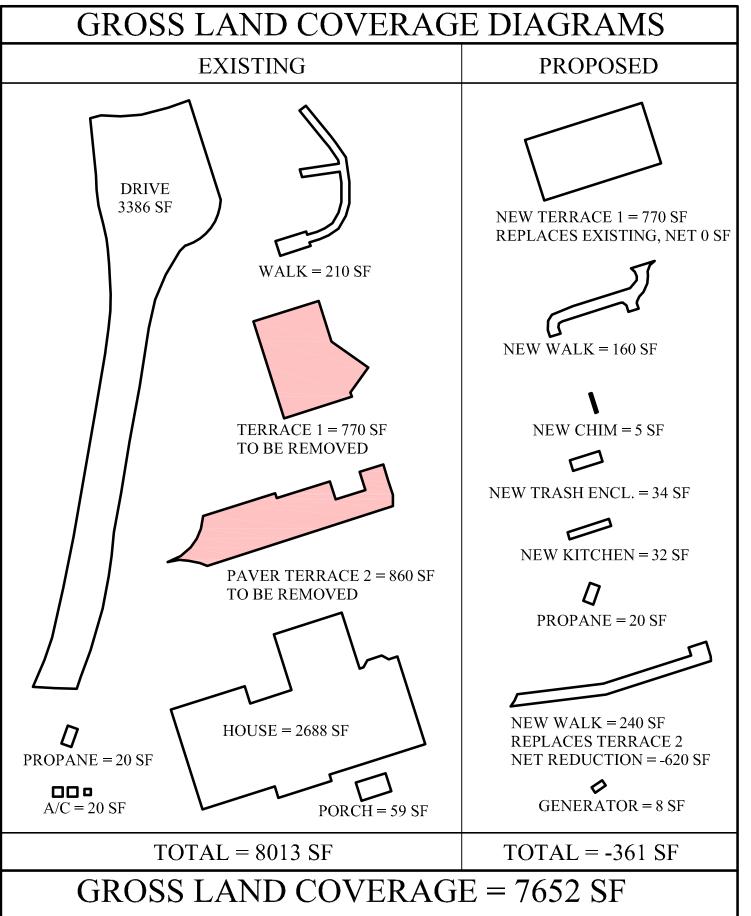
**11. MISCELLANEOUS:** 

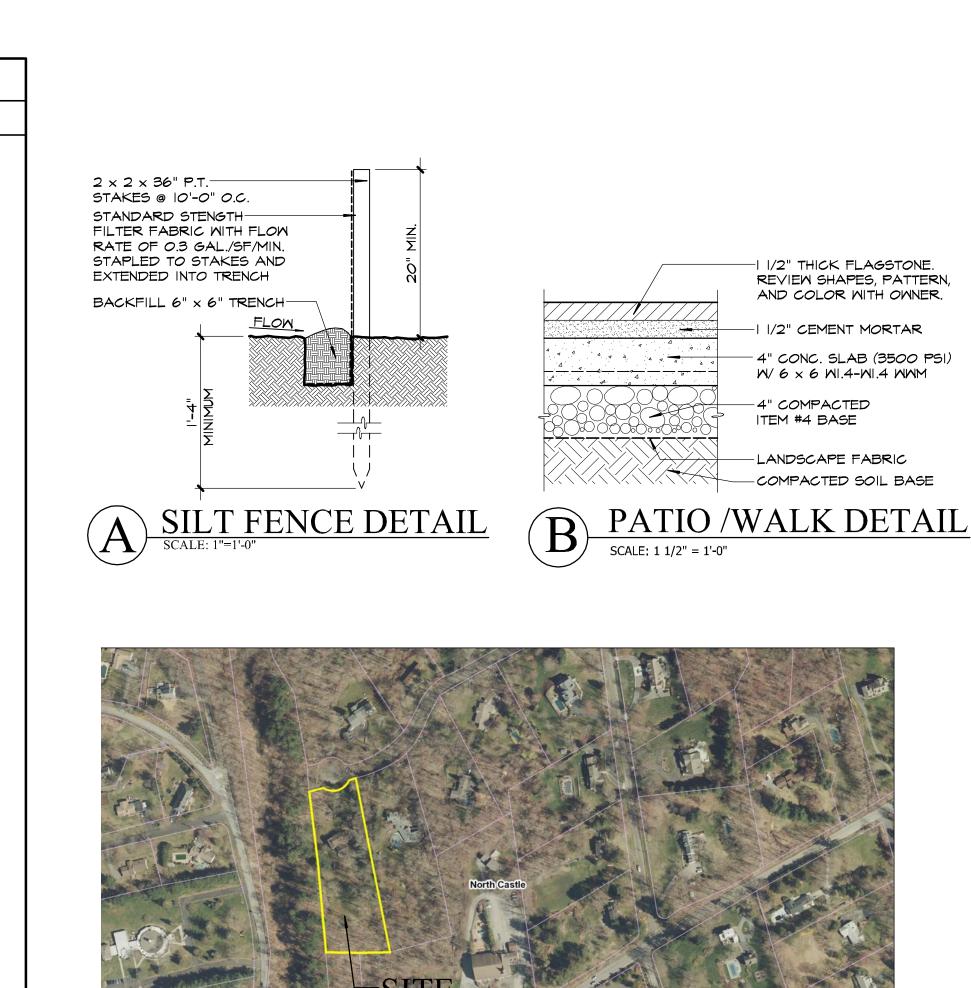
1) AS PER SECTION R303.4 (2020 RCNYS): WHOLE HOUSE MECHANICAL VENTILATION IS REQUIRED 2) AS PER SECTION N1103.5.3 (2020 RCNYS): HOT WATER PIPING SHALL BE INSULATED THROUGHOUT THE STRUCTURE WITH MINIMUM R-3 WHEN: a. PIPING IS <sup>3</sup>/<sub>4</sub>" OR LARGER **b. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS** 

3) ALL HOT & COLD WATER LINES OUTSIDE THERMAL ENVELOPE SHOULD BE INSULATED.

Unauthorized alterations and additions to this drawing are a violation of section 7209(2) of the New York State	education law no part of this drawing shall remain the property of shall be copied, disclosed to others or Timothy P. Lener, Architect, P.C. used in connection with any work or Any use or reproduction, in whole	Project outed that not which usey takes of it part, or uses urgometrication by written authorization by written consent of contact is strictly prohibited. Timothy P. Lener, Architect.	
Addition and Alteration to the	Feuerstein Residence	9 Seymour Place West, Armonk, New York Section: 108.02 Block: 1 Lot: 63	
• A R C H I T E C T •	Timothy P. Lener, Architect, P.C.	57 Wheeler Avenue, Suite 203, Pleasantville, New York 10570 Phone: 914-747-1220 E-Mail: tpl.arch@gmail.com	
S	Revis e: 09/ Do No cale Pr Sheet N	01/21 ot ints	







ZONING COMPLIANCE TABLE						
ZONE: F	ZONE: R-2A SECTION 108.02, BLOCK 1, LOT 63					
BULK REGULATION	REQUIRED	EXISTING	PROPOSED			
MIN. LOT AREA	87120 S.F.	102714 S.F.	102714 S.F.			
MIN. LOT FRONTAGE	150 FT.	179 FT.	179 FT.			
MIN. LOT WIDTH	150 FT.	162 FT.	162 FT.			
MIN. LOT DEPTH	150 FT.	573 FT.	573 FT.			
MIN. FRONT YARD	50 FT.	136.8 FT.	136.8 FT.			
MIN. ONE SIDE YARD	30 FT.	. 33.1 FT.	33.1 FT.			
MIN. REAR YARD	50 FT.	364.0 FT.	364.0 FT.			
MAX. BUILDING HEIGHT (FT.)	30 FT.	25.50 FT.	25.50 FT.			
MAX. WALL HEIGHT (FT.)	38 FT.	24.50 FT.	31.00 FT.			
MAX. BLDG. COVERAGE	8% (8217 S.F.)	2.6% (2747 S.F.)	2.7% (2818 S.F.)			
MAX. GROSS LAND COVERAGE	19708 S.F.	8013 S.F.	7652 S.F.			
MAX. GROSS FLOOR AREA	13076 S.F.	4836 S.F.	5059 S.F.			

AERIAL LOCATION MAP

# SITE PLAN NOTES

1. G.C SHALL CALL 811 FOR DIG SAFELY NY AND FOLLOW ALL INSTRUCTIONS FOR PROPER NOTIFICATIONS AND MARK-OUTS. G.C. SHALL NOT BEGIN ANY EXCAVATION UNTIL IT'S CONFIRMED THAT ALL NOTIFIED UTILITIES HAVE EITHER RESPONDED TO THE STAKEOUT REQUEST—MARKINGS AT A SITE DO NOT INDICATE THE SITE HAS BEEN CLEARED FOR EXCAVATION.

2. STORMWATER MITIGATION IS NOT REQUIRED, LESS THAN 250 SF NEW IMPERVIOUS AREA.

3. CLEARING/GRADING LIMIT LINES SHALL BE CLEARLY DELINEATED WITH APPROPRIATE EROSION CONTROLS IN THE FIELD AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. NO ENCROACHMENT BEYOND THESE LIMITS BY WORKERS OR MACHINERY SHALL BE PERMITTED.

4. WORK INCLUDED: GENERAL CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT REQUIRED TO FULLY COMPLETE ALL EXCAVATION, AND RELATED SITE WORK AS SPECIFIED HEREIN AND SHOWN OR INTENDED ON THE CONSTRUCTION DOCUMENTS.

5. WORK NOT INCLUDED: GENERAL CONTRACTOR SHALL SUBMIT UNIT PRICE PER CUBIC YARD FOR ROCK REMOVAL. ONLY ROCK THAT CANNOT BE DUG WITH A BULLDOZER AND BOULDERS OVER ONE CUBIC YARD SHALL BE CONSIDERED ROCK EXCAVATION.

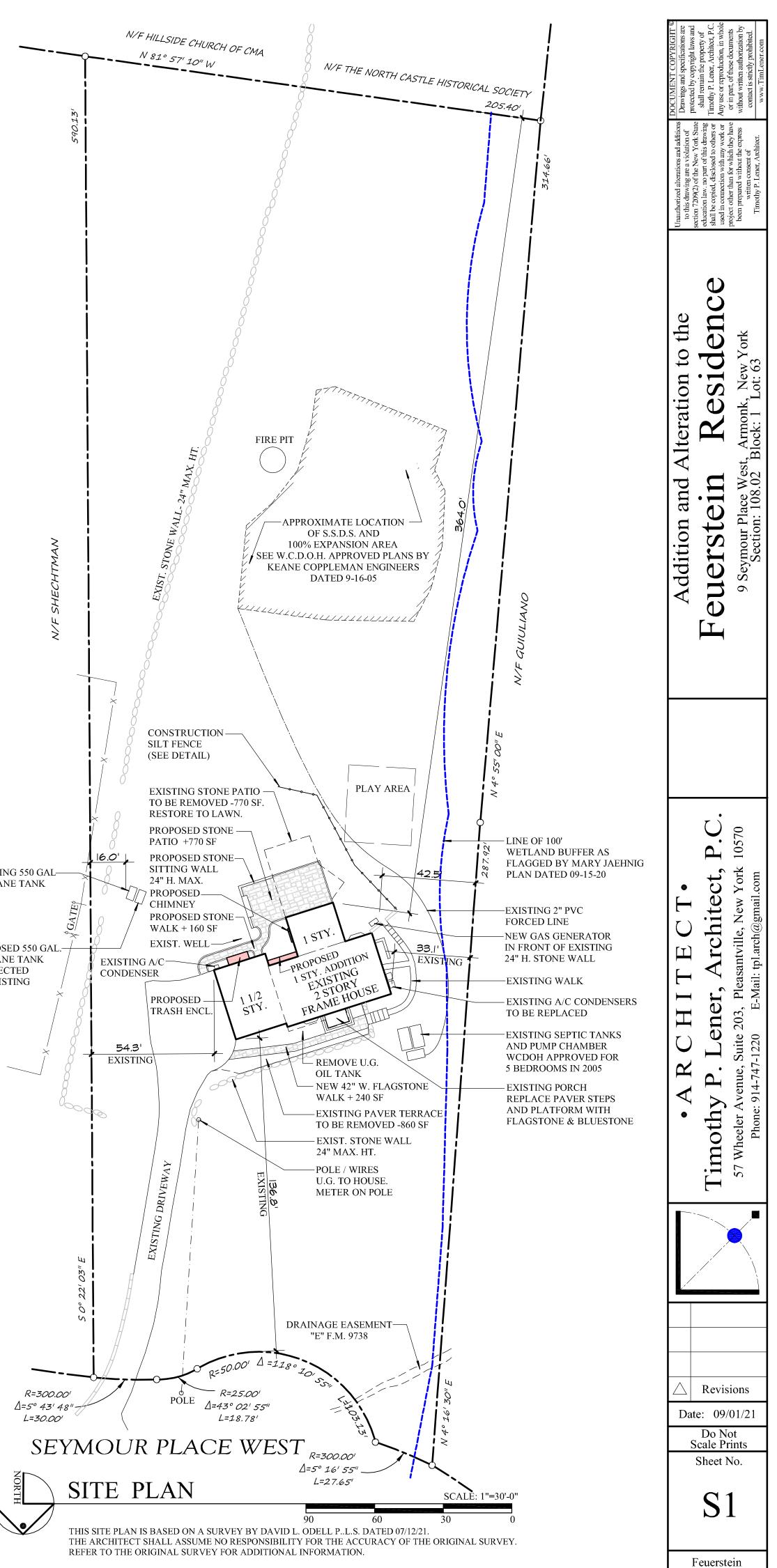
6. SITE PREPARATION: COMPLETELY REMOVE ALL TREE STUMPS AS NEEDED FOR CONSTRUCTION AND SITE WORK. STRIP AND STORE ALL TOPSOIL WITHIN CONSTRUCTION AREA FOR RE-USE.

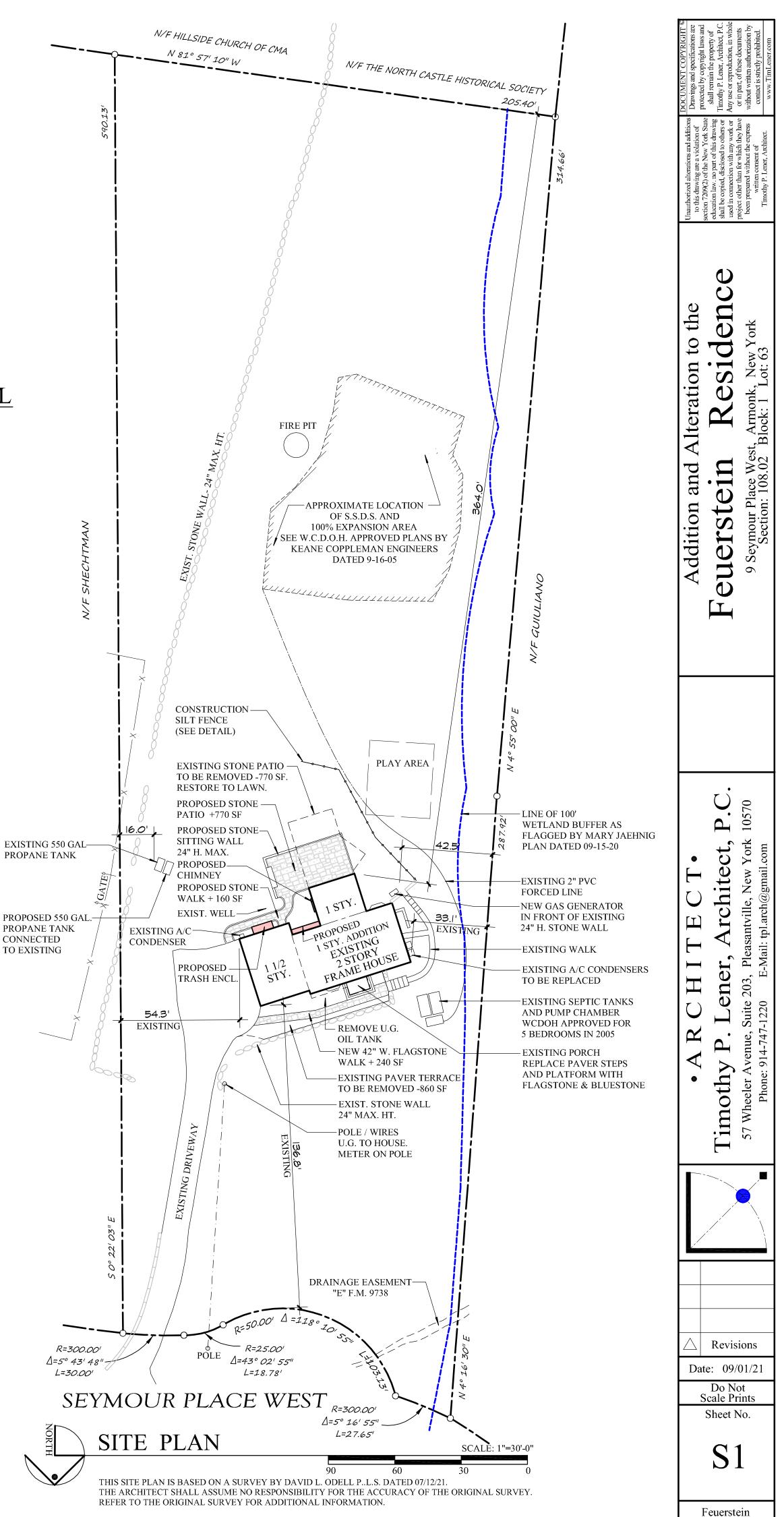
7. FINISH GRADES: SPREAD TOPSOIL EVENLY OVER ALL AREAS THAT HAVE BEEN PROPERLY PREPARED SO IT SHALI BE 6-IN. DEEP AFTER SETTLEMENT. PITCH ALL AREAS AWAY FROM HOUSE. OWNER WILL BE RESPONSIBLE FOR **RE-SEEDING THE GRASS AREAS.** 

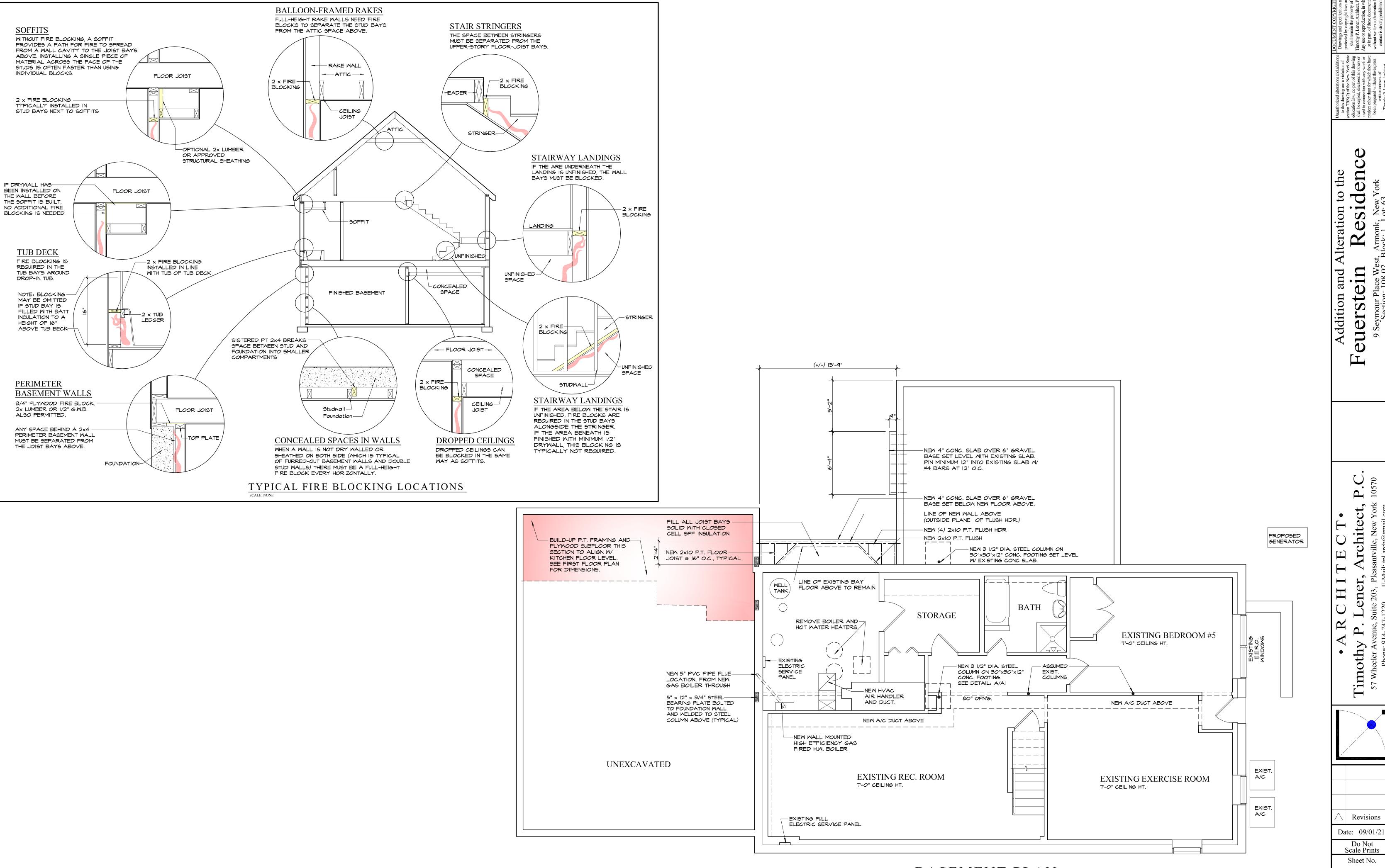
8. CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPING AND REPLACE ANY DAMAGE THERETO.

PROPANE TANK

PROPOSED 550 GAL.-PROPANE TANK CONNECTED TO EXISTING







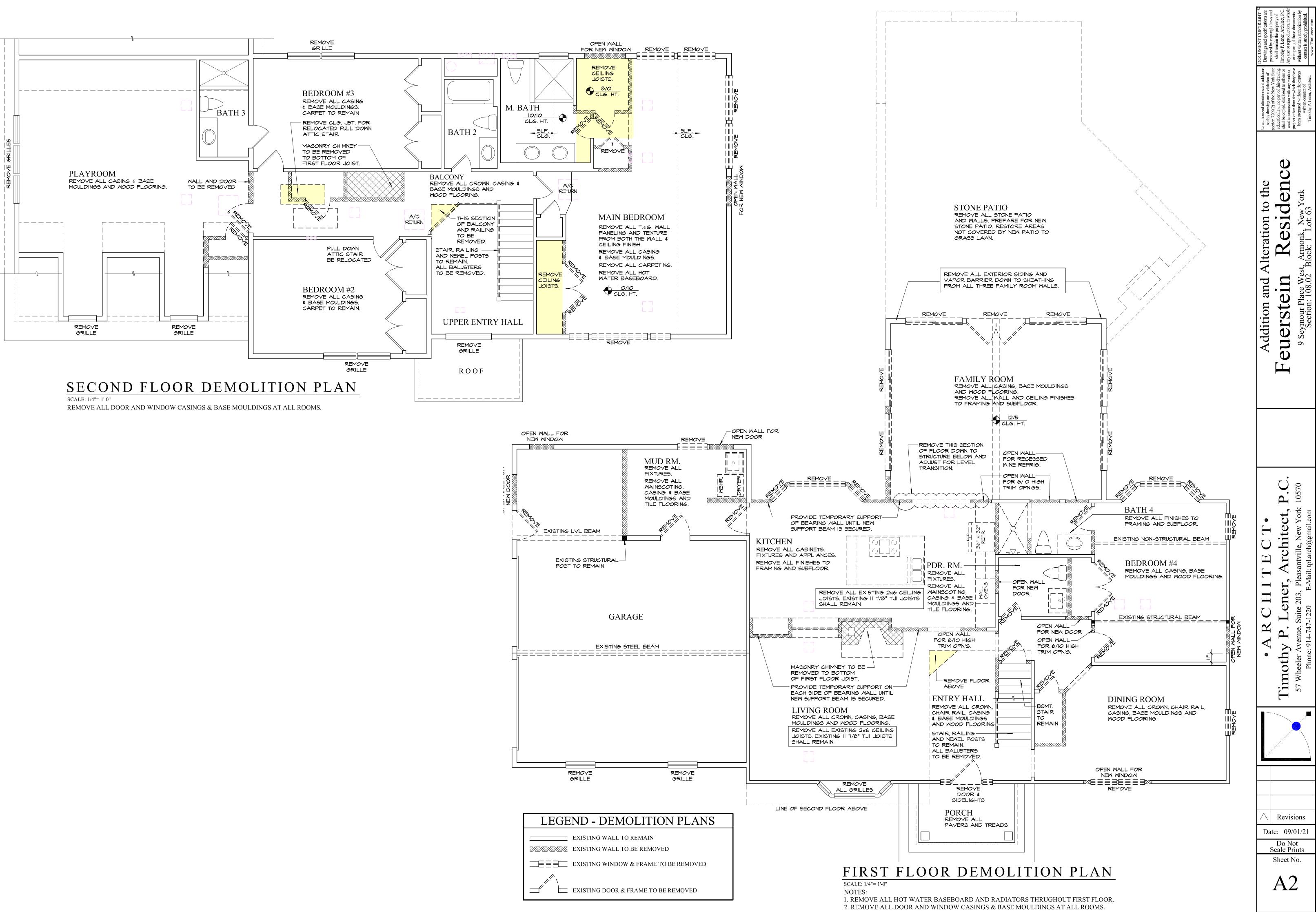
SCALE: 1/4"= 1'-0"

# BASEMENT PLAN

ALL EXISTING FINISHED ROOMS HAVE CERTIFICATE OF OCCUPANCIES AS PART OF A 2005 ALTERATION. SEE PLANS AT TOWN OF NORTH CASTLE BUILDING DEPARTMENT.

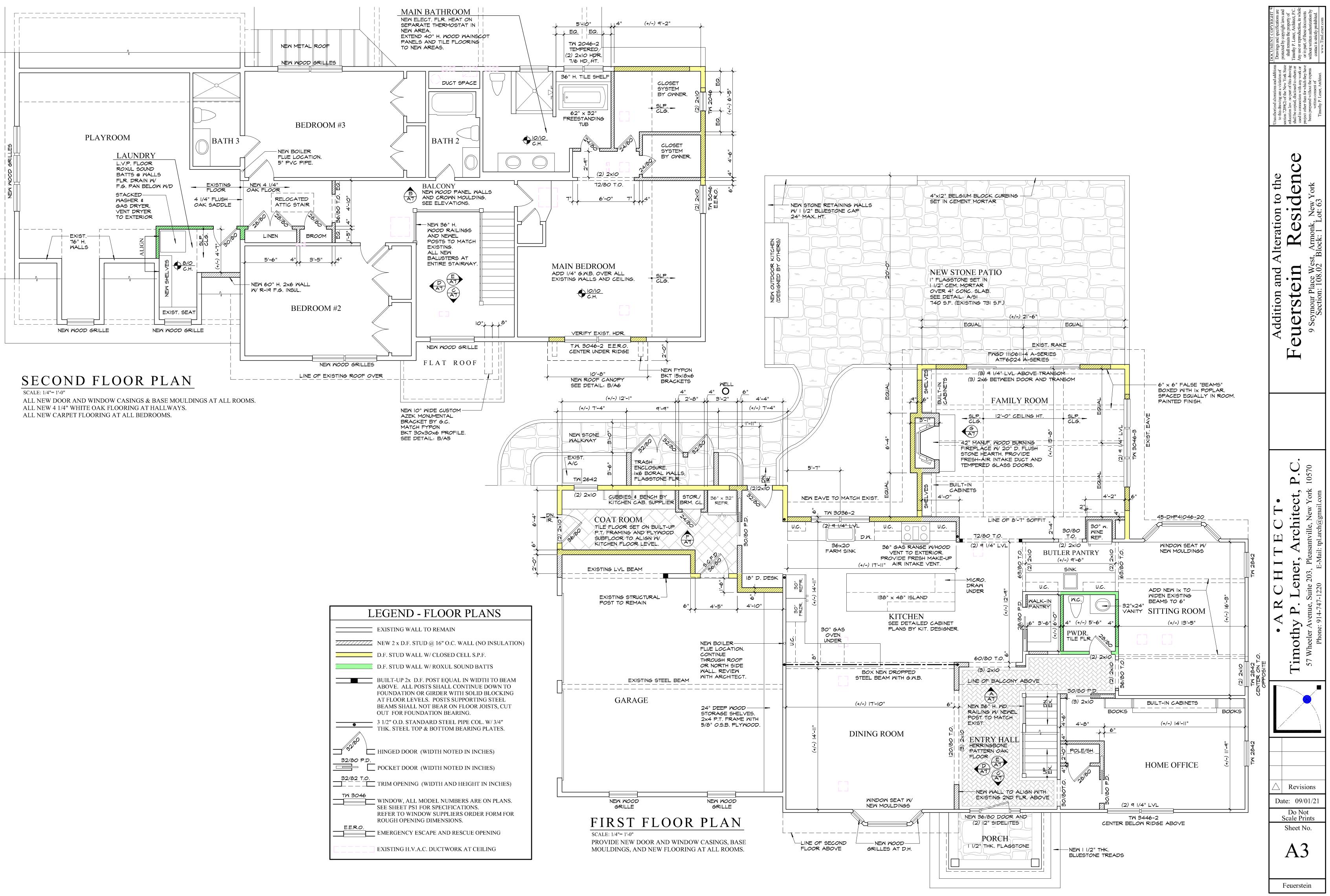
Al

Feuerstein

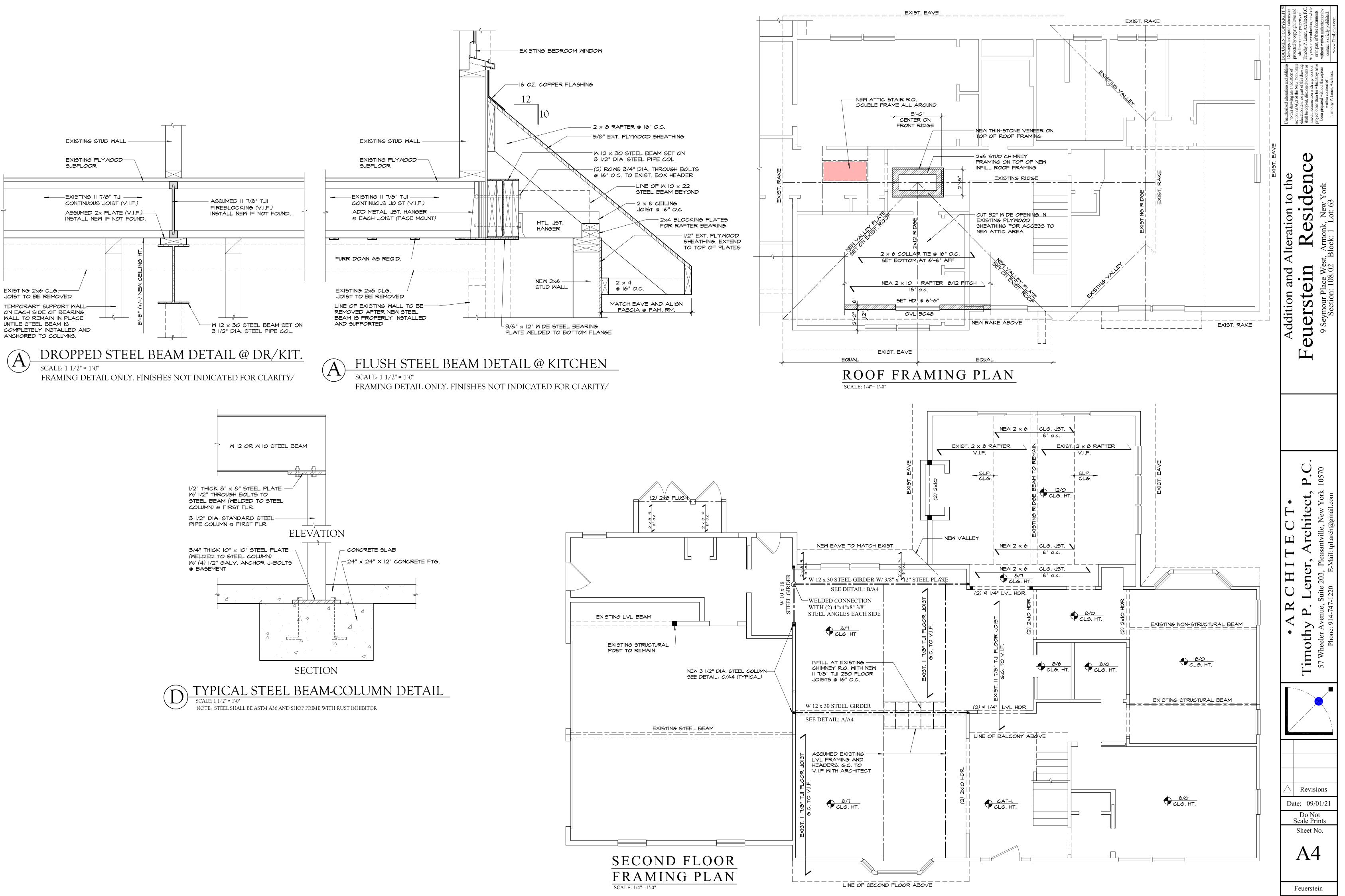


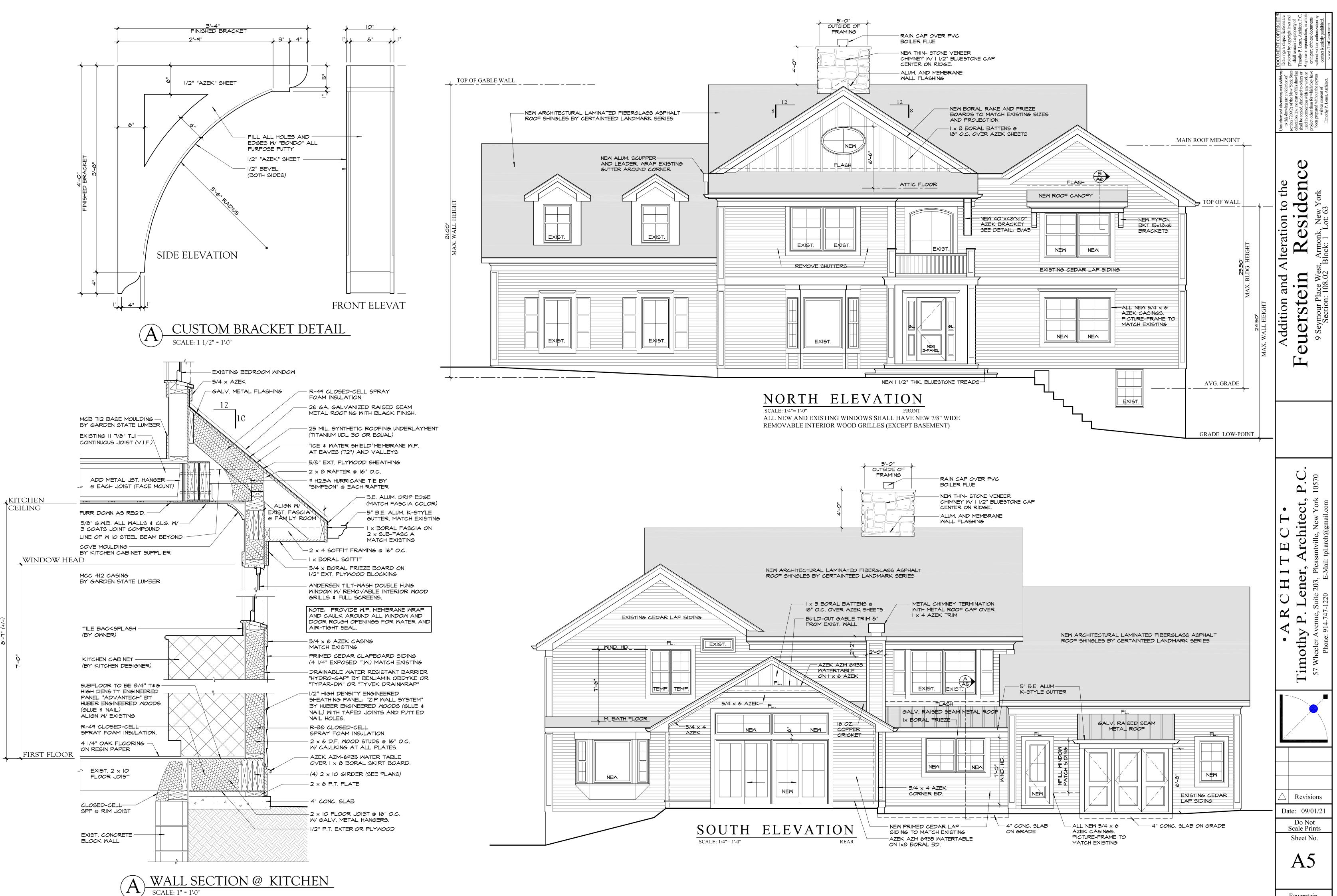
3. REMOVE ALL WOOD AND TILE FLOORING AT ALL ROOMS.

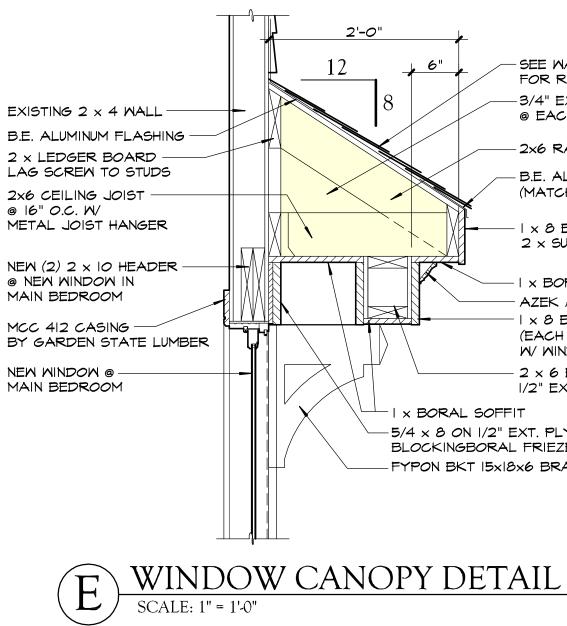
Feuerstein

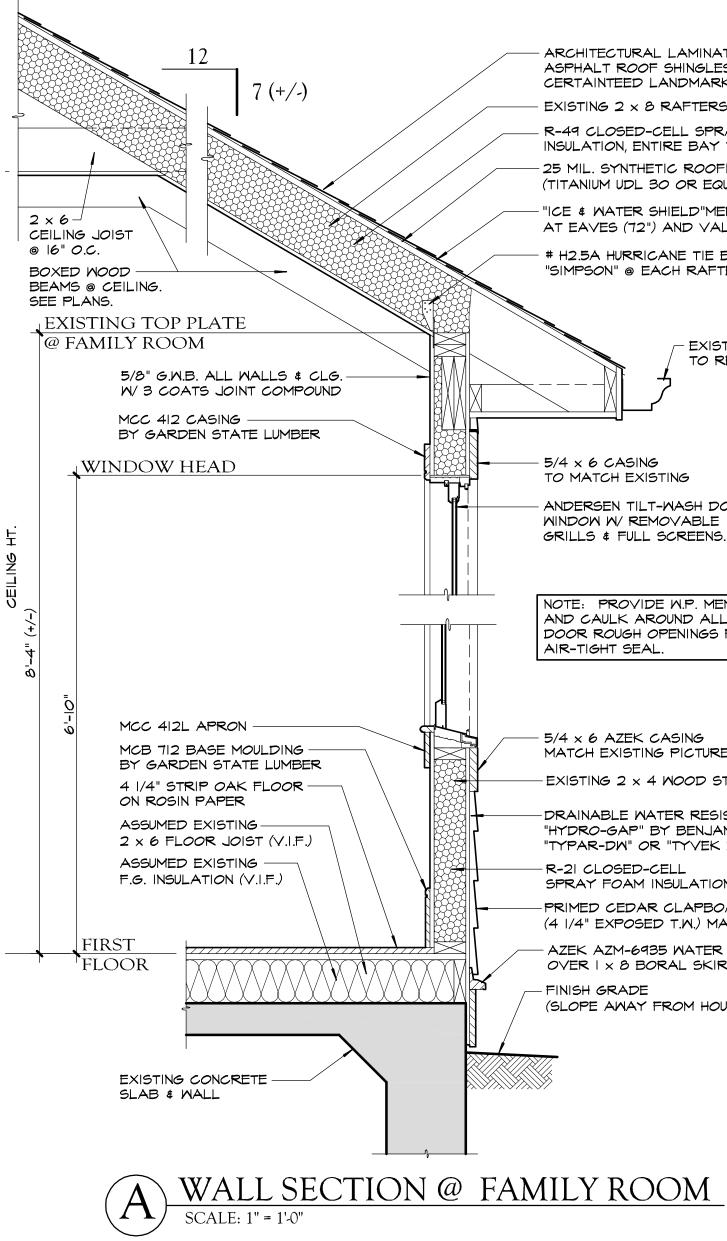


L	EGEND - FLOC
	EXISTING WALL TO REMAI
	NEW 2 x D.F. STUD @ 16" O.
	D.F. STUD WALL W/ CLOSE
	D.F. STUD WALL W/ ROXUL
	BUILT-UP 2x D.F. POST EQU ABOVE. ALL POSTS SHALL FOUNDATION OR GIRDER V AT FLOOR LEVELS. POSTS BEAMS SHALL NOT BEAR O OUT FOR FOUNDATION BE
	3 1/2" O.D. STANDARD STEE THK. STEEL TOP & BOTTOM
32/80 P.D.	HINGED DOOR (WIDTH NO
	POCKET DOOR (WIDTH NO TRIM OPENING (WIDTH AN
TW 3046	WINDOW, ALL MODEL NUM SEE SHEET PS1 FOR SPECIF REFER TO WINDOW SUPPL
E.E.R.O.	ROUGH OPENING DIMENSIO
	EXISTING H.V.A.C. DUCTWO









## -SEE WALL SECTION FOR ROOF CONSTRUCTION -3/4" EXT. PLYWOOD GUSSETT (YELLOW) @ EACH RAFTER & CEILING JOIST

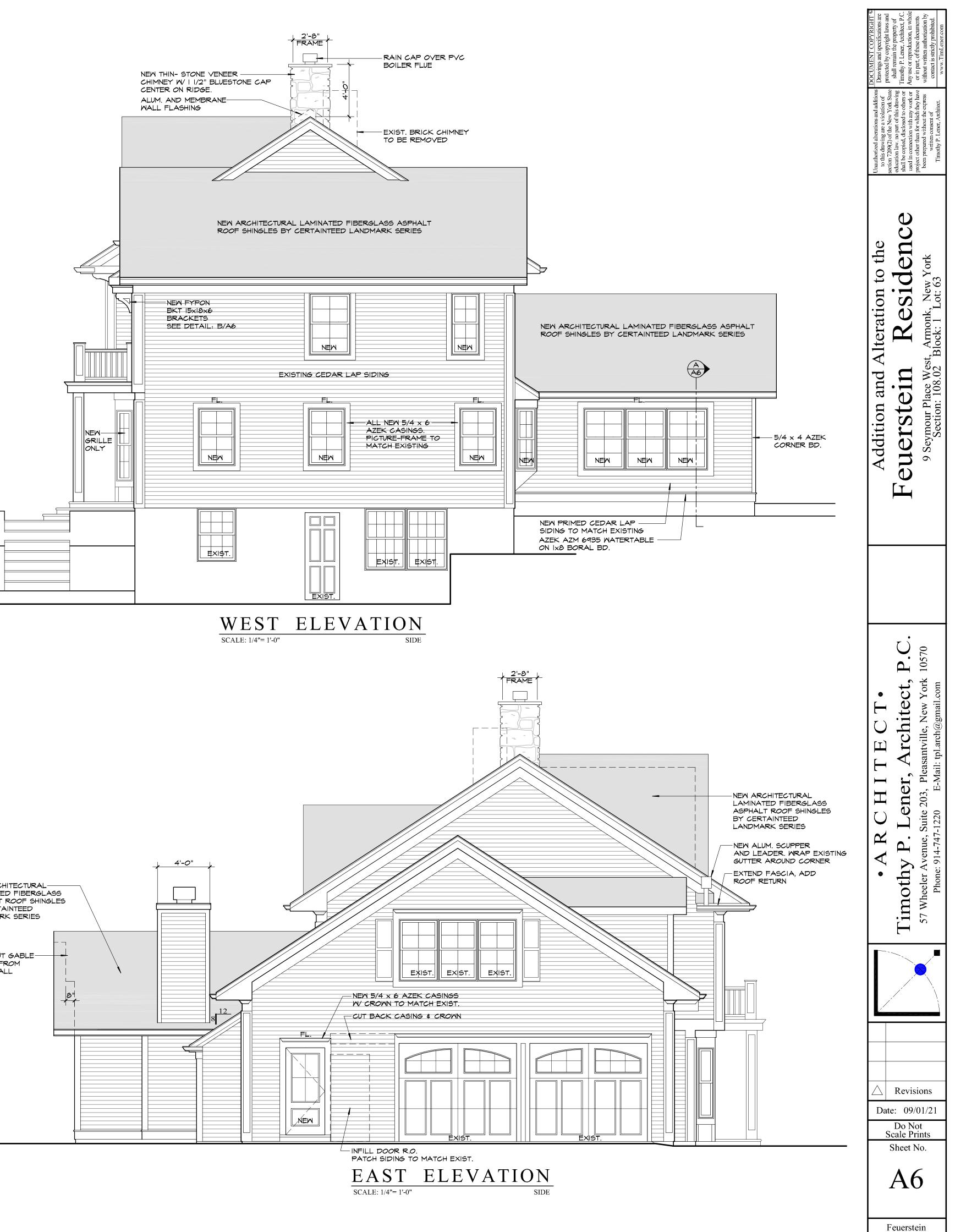
- 2×6 RAFTER @ 16" O.C. - B.E. ALUM. DRIP EDGE (MATCH FASCIA COLOR)

I X 8 BORAL FASCIA ON 2 x SUB-FASCIA

I X BORAL SOFFIT - AZEK AZM 52, 3" CROWN I × 8 BORAL FRIEZE (EACH SIDE) ALIGN BOTTOM W/ WINDOW HEAD  $-2 \times 6$  BOXED W/

1/2" EXT. PLYWOOD EACH SIDE

#### -5/4 × 8 ON 1/2" EXT. PLYWOOD BLOCKINGBORAL FRIEZE -FYPON BKT 15x18x6 BRACKET



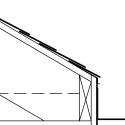
### ARCHITECTURAL LAMINATED FIBERGLASS ASPHALT ROOF SHINGLES BY CERTAINTEED LANDMARK SERIES EXISTING 2 × 8 RAFTERS @ 16" O.C.

R-49 CLOSED-CELL SPRAY FOAM INSULATION, ENTIRE BAY TO RIDGE.

25 MIL. SYNTHETIC ROOFING UNDERLAYMENT (TITANIUM UDL 30 OR EQUAL)

"ICE & WATER SHIELD"MEMBRANE W.P. AT EAVES (72") AND VALLEYS

# H2.5A HURRICANE TIE BY "SIMPSON" @ EACH RAFTER



- EXISTING GUTTER TO REMAIN.

#### $5/4 \times 6$ Casing TO MATCH EXISTING

ANDERSEN TILT-WASH DOUBLE HUNG WINDOW W/ REMOVABLE INTERIOR WOOD GRILLS & FULL SCREENS.

NOTE: PROVIDE W.P. MEMBRANE WRAP
AND CAULK AROUND ALL WINDOW AND
DOOR ROUGH OPENINGS FOR WATER AND
AIR-TIGHT SEAL.

 $5/4 \times 6$  AZEK CASING MATCH EXISTING PICTURE FRAME

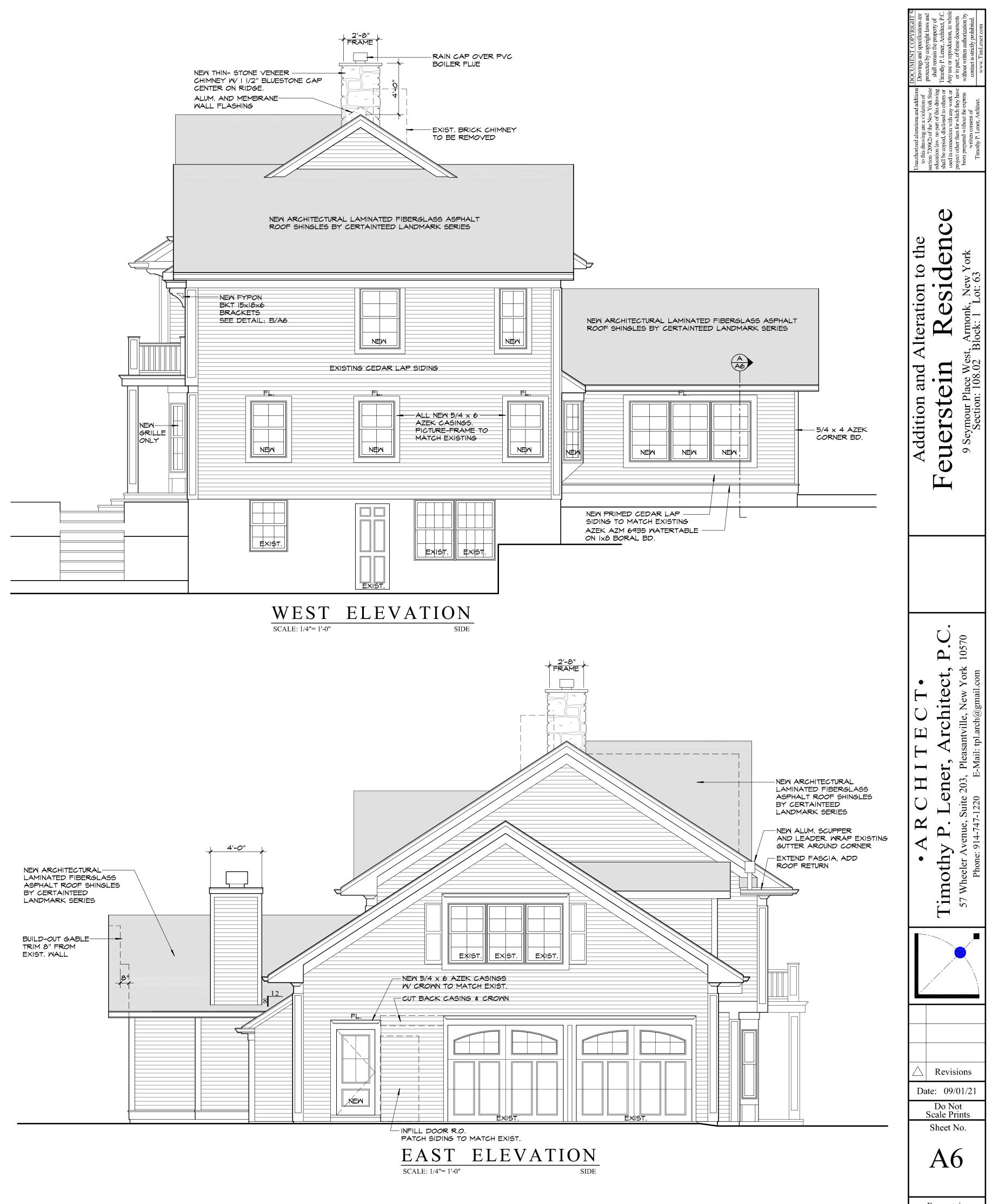
-EXISTING  $2 \times 4$  WOOD STUDS.

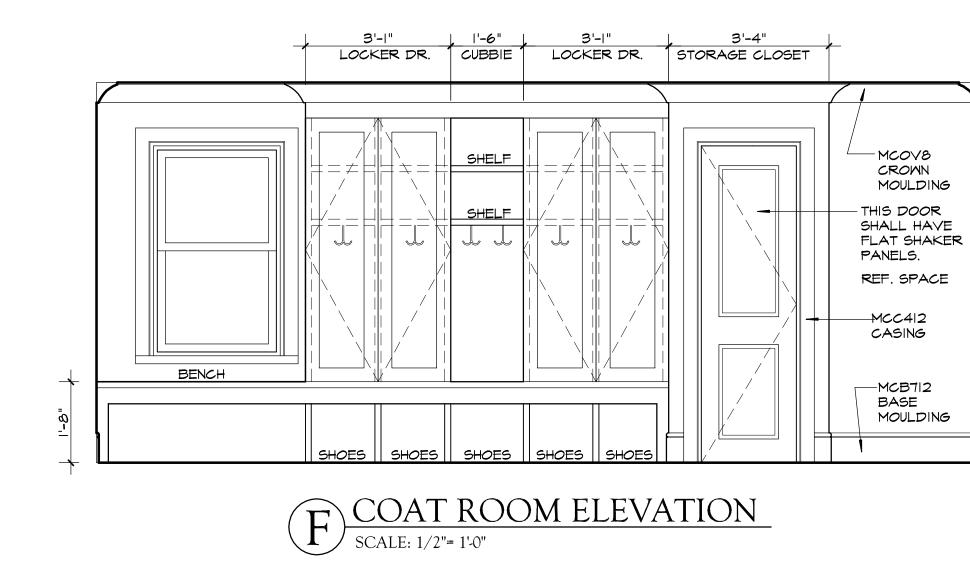
DRAINABLE WATER RESISTANT BARRIER "HYDRO-GAP" BY BENJAMIN OBDYKE OR "TYPAR-DW" OR "TYVEK DRAINWRAP" R-21 CLOSED-CELL

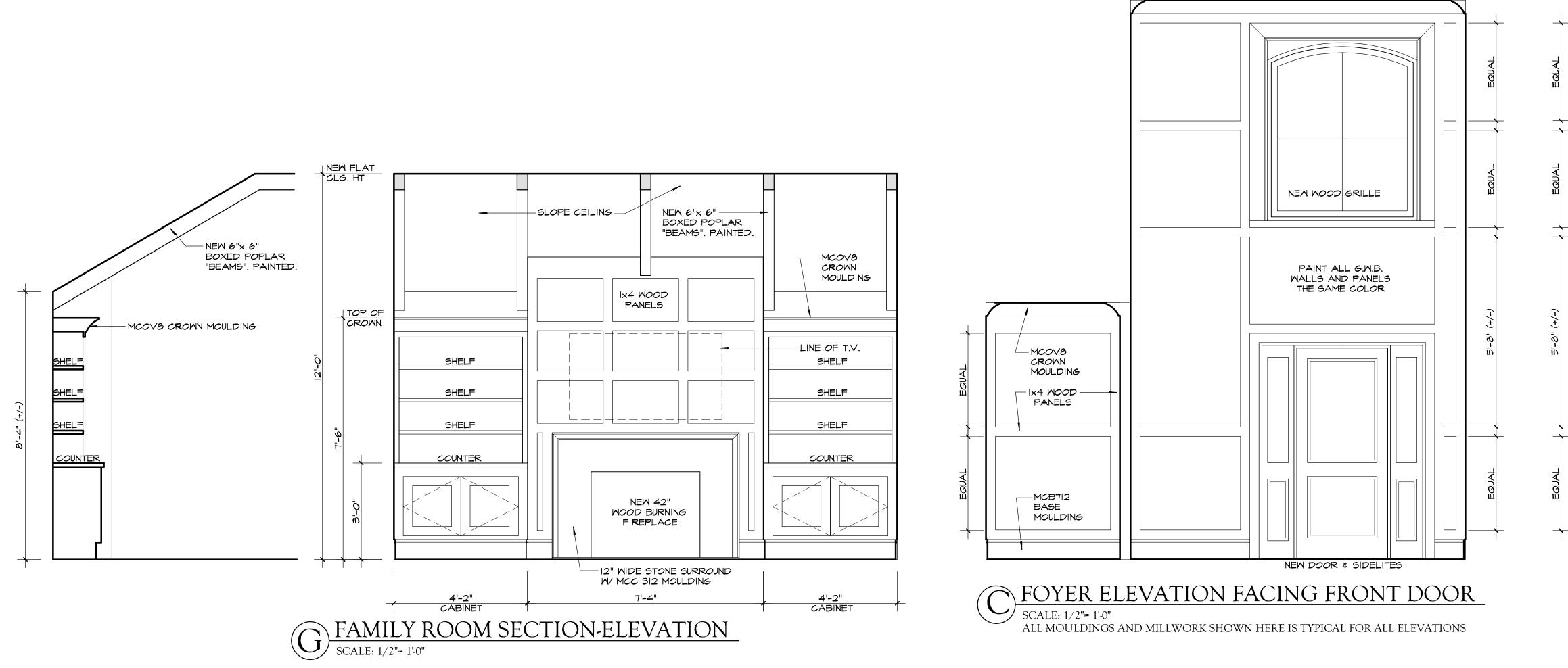
SPRAY FOAM INSULATION PRIMED CEDAR CLAPBOARD SIDING (4 1/4" EXPOSED T.W.) MATCH EXISTING

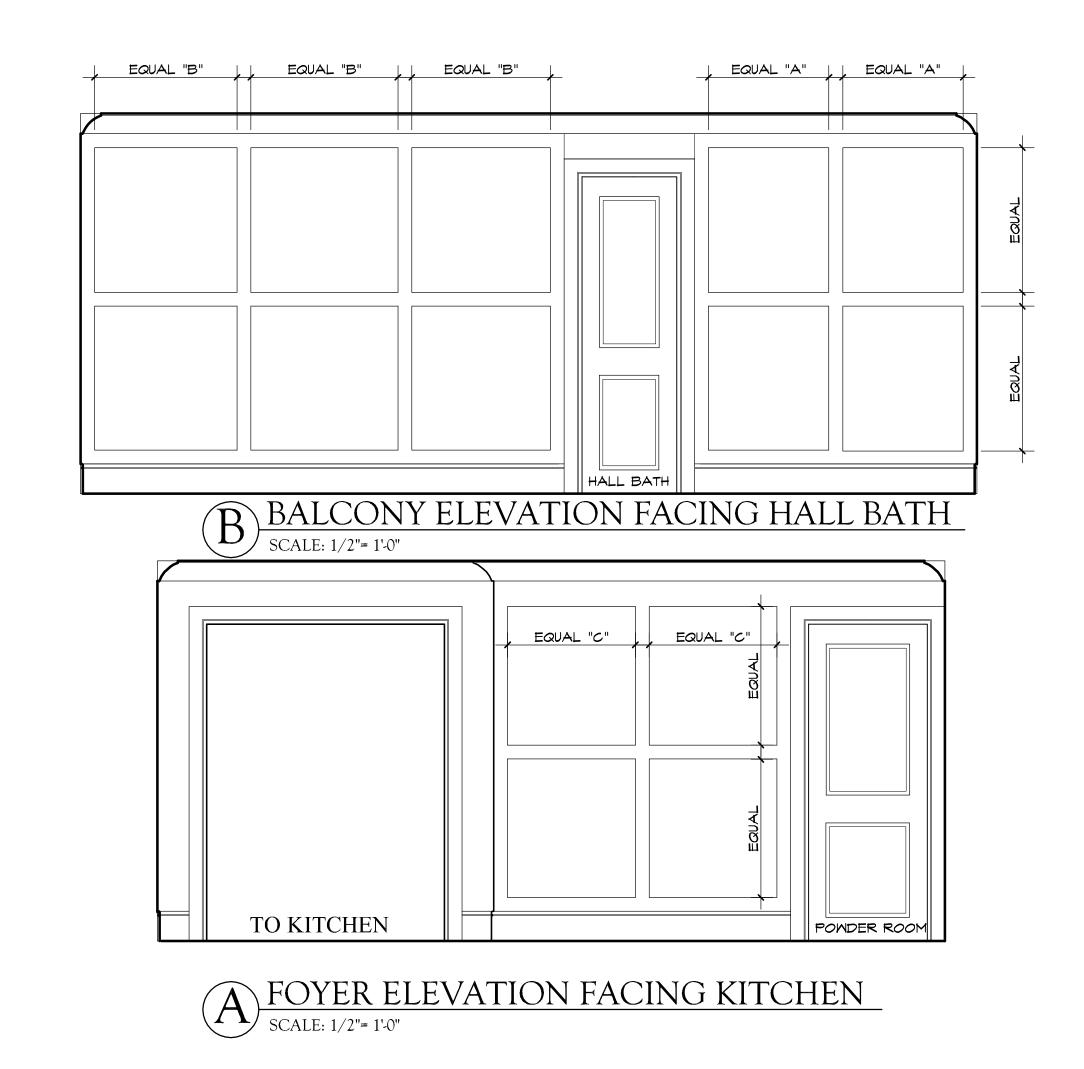
AZEK AZM-6935 WATER TABLE OVER I x 8 BORAL SKIRT BOARD. FINISH GRADE

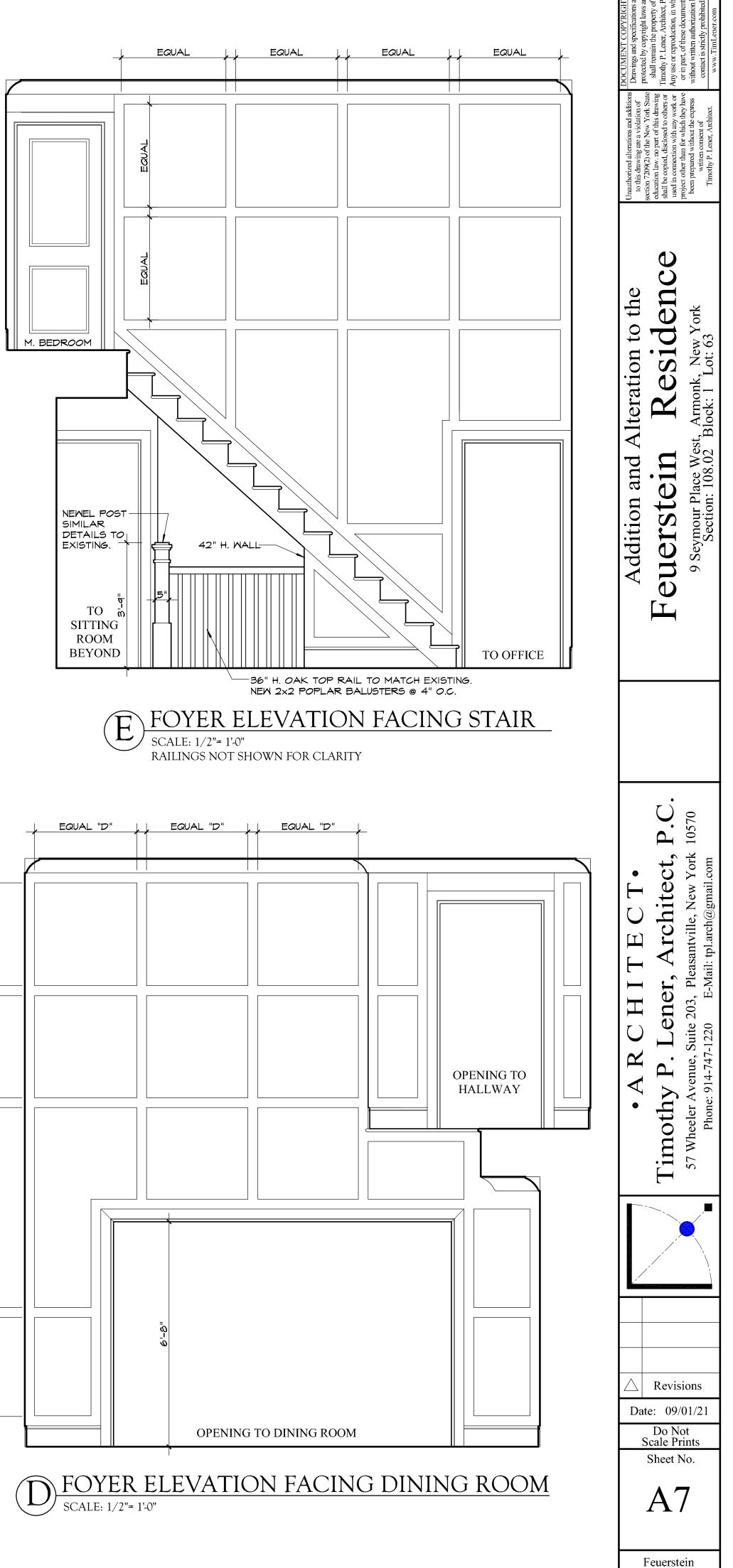
(SLOPE AWAY FROM HOUSE)

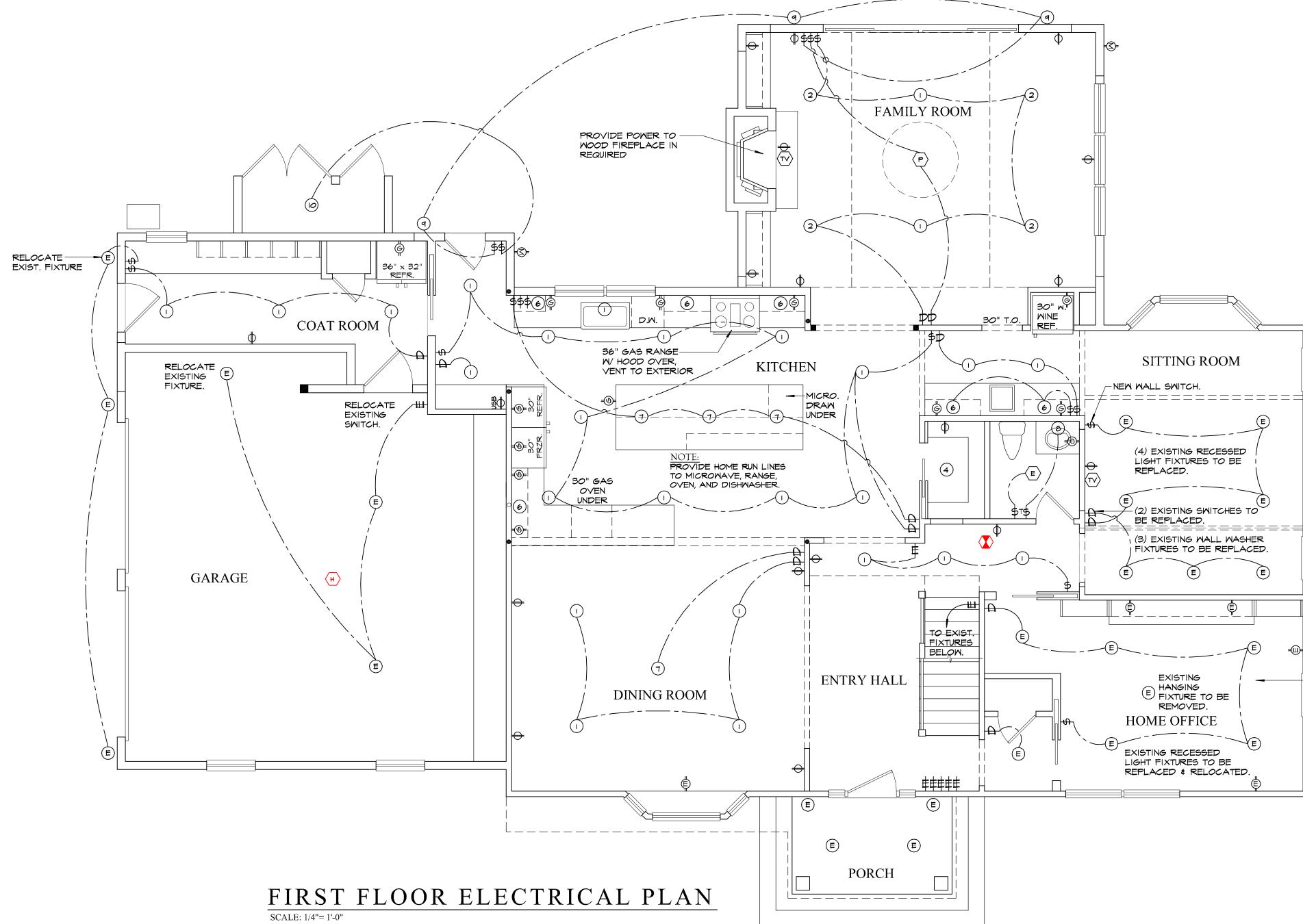












TOR) SET IN
RTURE)
ION DETECTOR
DCATIONS)
K)
EPTACLES)
/ IO YR. LITHIUM CAL NOTES 4 & 4a
PE DETECTOR RY BACKUP
/ 10 YR -CONNECTED
6 COAXIAL CLE
TACLE
DTES

2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT THE EXISTING SERVICE WILL PROPERLY HANDLE THE INCREASED DEMAND FROM THE PROPOSED WORK. SHOULD THE CAPACITY OF THE EXISTING SYSTEM PROVE TO BE INADEQUATE, THEN THE CONTRACTOR SHALL SUBMIT A DETAILED PROPOSAL COMPLETE WITH SPECIFICATIONS FOR UPGRADE OR REPLACEMENT. **REVIEW WITH OWNER FOR APPROVAL.** 

. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND CONFIRM ELECTRICAL LAYOUT IN THE FIELD WITH OWNER PRIOR TO START OF WORK. REVISE FIXTURE LOCATIONS IF REQUIRED, AS DIRECTED BY OWNER.

4. OWNER'S ALARM COMPANY SHALL PROVIDE SMOKE DETECTORS, CARBON MONOXIDE DETECTORS/ALARMS, AND HEAT SENSORS AS PER SECTION R314 & R315 OF THE 2020 RESIDENTIAL CODE OF N.Y.S. DETECTORS SHALL BE HARD WIRED WITH BATTERY BACKUP, UL 217 APPROVED. ALL DETECTORS SHALL BE INTERCONNECTED TO THE ALARM SYSTEM'S CENTRAL STATION, AND IN SUCH A MANNER THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.

4a. LOCATION OF DETECTORS: SMOKE DETECTORS SHALL BE LOCATED 1) IN EACH SLEEPING ROOM, 2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, 3) ON EACH STORY OF THE HOUSE. CARBON MONOXIDE DETECTORS SHALL BE LOCATED: 1) ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE SLEEPING AREA, 2) ON EACH STORY THAT CONTAINS A CARBON MONOXIDE SOURCE.

. TAMPER-RESISTANT RECEPTACLES (E4002.14): IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

6. ALL RECESSED LIGHT FIXTURES SHALL BE L.E.D. BY LIGHTOLIER OR OWNER APPROVED EQUAL.

. REVIEW ALL TRIM KIT FINISH, BULB TYPE & SIZE WITH OWNER PRIOR TO ORDERING RECESSED LIGHT FIXTURES.

8. SURFACE MOUNTED AND HANGING FIXTURES SHALL BE PURCHASED BY THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

9. SALVAGE AND RELOCATE EXISTING LIGHT FIXTURES AS DIRECTED BY OWNER.

10. VENT ALL EXHAUST FANS AND DRYER VENT TO EXTERIOR WITH SMOOTH, METAL (NO VINYL OR PVC) PIPING AND DAMPERS.

1. PROVIDE COMPLETE DOOR BELL SYSTEM FOR MUD ROOM ENTRANCE (REVIEW TYPE). REVIEW LOCATION OF DOOR CHIMES WITH OWNER.

12. SWITCHES SHALL BE BY LEVITON OR APPROVED EQUAL. OWNER SHALL SELECT TYPE AND COLOR OF SWITCHES AND RECEPTACLES.

13. PROVIDE TYPE IC FRAME IN KIT AT ALL RECESSED LIGHTS ADJACENT TO THERMAL INSULATION. IC-RATED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE < 2.0 CFM LEAKAGE @ 75 Pa.

14. NOT LESS THAN 90% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

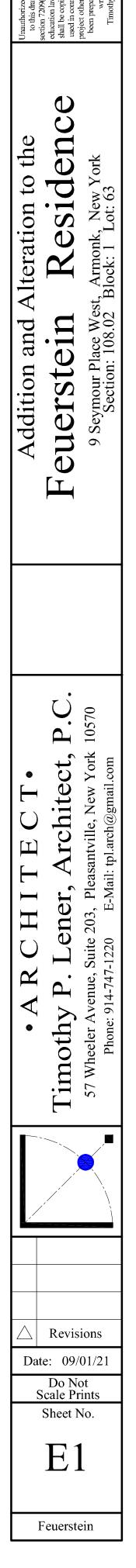
15. PROVIDE A PROGRAMMABLE THERMOSTATS FOR EACH HEATING AND COOLING ZONE. SET INITIALLY BY MANUFACTURER TO CODE SPEC'S.

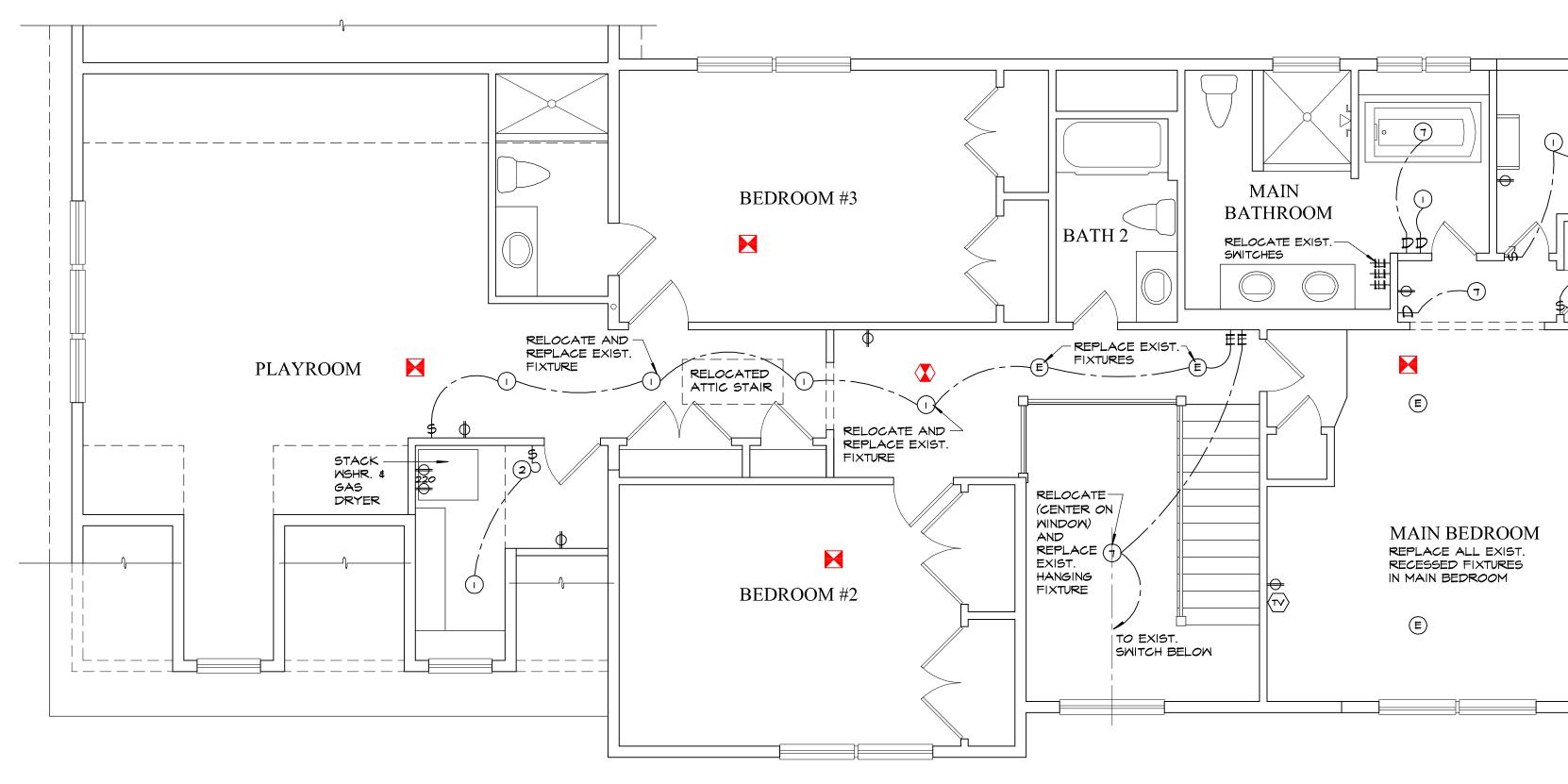
16. PROVIDE QUICKMAT<sup>™</sup> ELECTRIC FLOOR HEATING MAT BY "EASY WARM FLOOR" OR EQUAL IN MAIN BATH BELOW TILE FLOOR. PROVIDE SEPARATE THERMOSTAT, WIRING AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION.

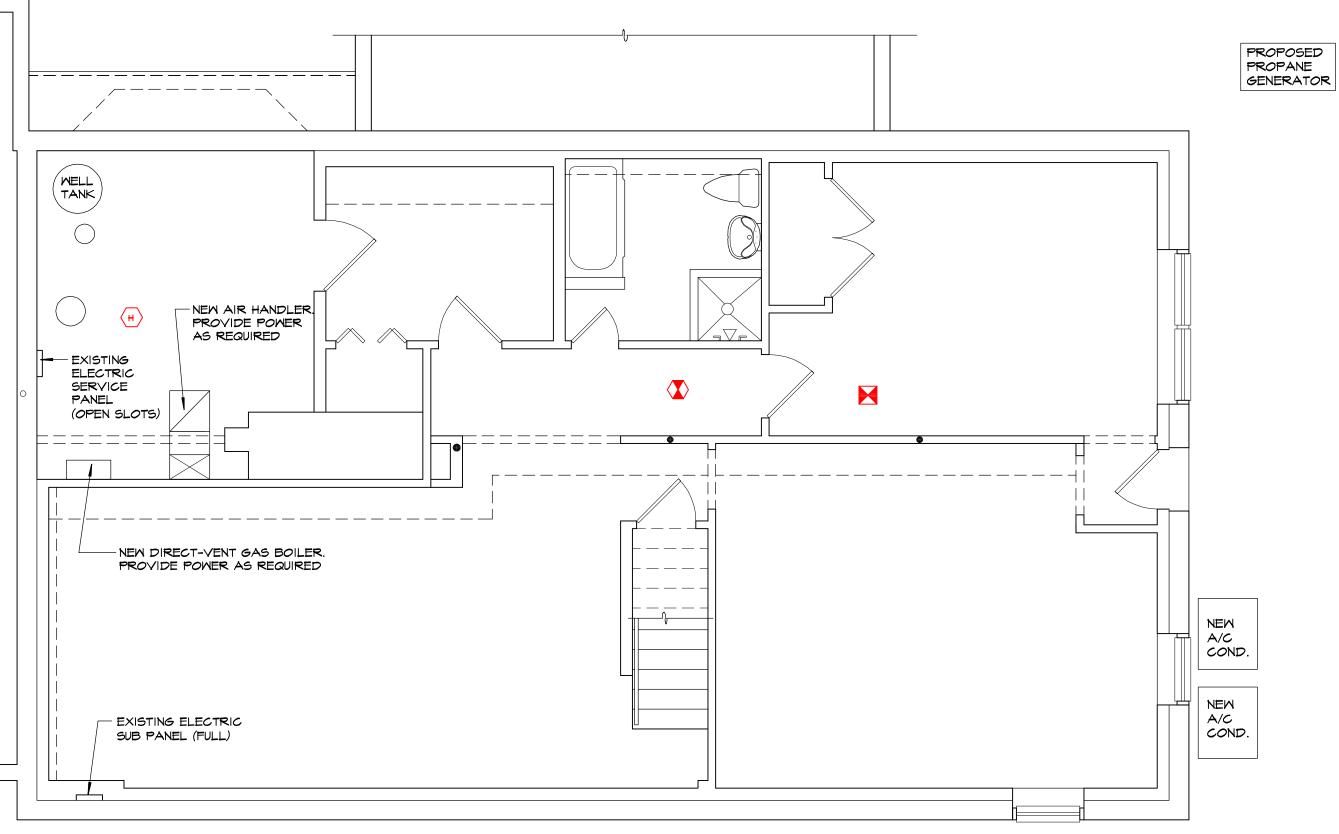
7. PROVIDE DITRA-HEAT™ ELECTRIC FLOOR HEATING UNCOUPLING MAT BY "SCHLUTER SYSTEMS" IN MAIN BATH BELOW TILE FLOOR.

SEE OWNER FOR THE LOCATION OF ANY CAT 5 OR CAT 6 ETHERNET COMPUTER NETWORK RECEPTACLES OR RG6 COAXIAL CABLE

MODEM/ROUTER RECEPTACLES. SEE OWNER FOR THE LOCATION OF ANY RECESSED GANG TV-MEDIA BOX KIT WITH RG6 COAXIAL CABLE, CAT 6 CABLE AND DUPLEX RECEPTACLES.





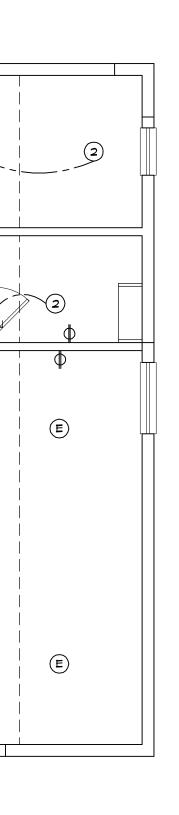


# SECOND FLOOR ELECTRICAL PLAN

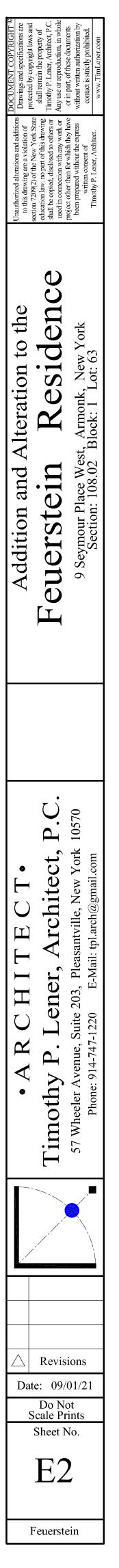
SCALE: 1/4"= 1'-0"

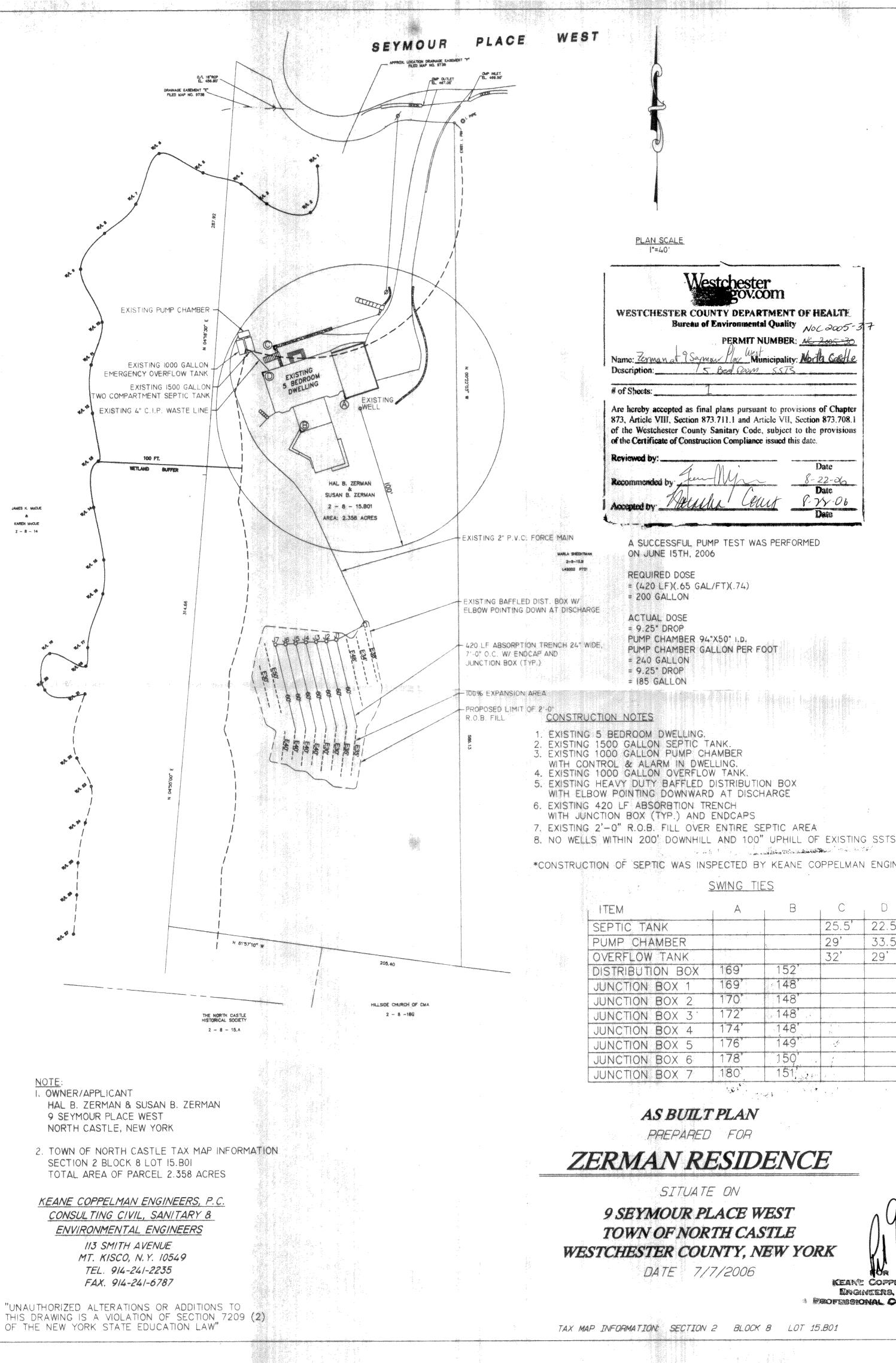
# BASEMENT ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"



SYMBOL	ECTRICAL FIXTURE LEGEND
S I WIBOL	FIXTURE TYPE
(E)	EXISTING LIGHT
	RECESSED DOWNLIGHT (5" APERTURE) RECESSED DOWNLIGHT (SLOPE CEILING ADAPTOR) SET IN
(2)	SLOPE CEILING (TYPE IC FRAME KIT) (5" APERTURE)
(3)	RECESSED DOWNLIGHT (4" APERTURE)
<u>(4)</u>	RECESSED DOWNLIGHT (5" APERTURE) W/ MOTION DETECTOR
(5)	RECESSED DOWNLIGHT (SUITABLE FOR WET LOCATIONS)
<u>(6)</u>	TAPE STRIP UNDERCABINET L.E.D. LIGHTS CHANDELIER / PENDANT LIGHT
(7)	PURCHASED BY OWNER SURFACE MOUNTED WALL SCONCE
<u>ھ</u> ٩	PURCHASED BY OWNER CARRIAGE LANTERN (WALL MOUNT ON J-BLOCK)
	PURCHASED BY OWNER PORCELAIN LIGHT SOCKET
Ę	EXISTING WALL SWITCH
\$	NEW WALL SWITCH
₽	NEW WALL SWITCH WITH DIMMER
 \$⊤	WALL SWITCH WITH TIMER
\$	DOOR JAMB SWITCH
=(11)=	EXISTING RECEPACLE TO REMAIN
÷	NEW DUPLEX RECEPTACLE
<b>+</b>	QUAD-PLEX RECEPTACLE
=@=	GROUND FAULT CIRCUIT INTERUPTER (GFCI)
=3=	WEATHER PROTECTED RECEPTACLE (GFCI)
usb ≣⊃≣	4-PORT USB CHARGER WALL OUTLET (NO RECEPTACLES)
220 <del>0</del>	220 AMP RECEPTACLE
	SMOKE DETECTOR & ALARM: HARD WIRED W/ 10 YR. LITHIUN BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 &
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR & ALARM. HARD WIRED. 10 YR. LITHIUM BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 & 4a
н	RATE OF RISE HEAT SENSOR: HARD WIRED W/ 10 YR LITHIUM BATTERY BACKUP (SEALED IN) INTER-CONNECTED TO SMOKE/C.M. ALARMS
P	PADDLE FAN W/O LIGHT FIXTURE EXHAUST FAN / LIGHT (I.5 SONES MAX.)
(E)	VENT TO EXTERIOR W/ SMOOTH METAL DUCT
	RECESSED GANG TV-MEDIA BOX KIT WITH RG6 COAXIAL CABLE, CAT 6 CABLE AND DUPLEX RECEPTACLE
$\langle c \rangle$	RG6 COAXIAL CABLE MODEM/ROUTER RECEPTACLE
ELE	ECTRICAL GENERAL NOTES
2020 RESIDENTIA	ICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE AL CODE OF N.Y.S., LOCAL AND NATIONAL FIRE UNDERWRITER
	E REQUIREMENTS OF THE LOCAL UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY
THAT THE EXIST FROM THE PROP PROVE TO BE IN PROPOSAL COM	CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERFY TING SERVICE WILL PROPERLY HANDLE THE INCREASED DEMANI POSED WORK. SHOULD THE CAPACITY OF THE EXISTING SYSTEM IADEQUATE, THEN THE CONTRACTOR SHALL SUBMIT A DETAILEI PLETE WITH SPECIFICATIONS FOR UPGRADE OR REPLACEMENT. WINER FOR APPROVAL.
3. ELECTRICAL ELECTRICAL LA	CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND CONFIRM YOUT IN THE FIELD WITH OWNER PRIOR TO START OF WORK. E LOCATIONS IF REQUIRED, AS DIRECTED BY OWNER.
MONOXIDE DET OF THE 2020 RE WITH BATTERY INTERCONNECT	ARM COMPANY SHALL PROVIDE SMOKE DETECTORS, CARBON ECTORS/ALARMS, AND HEAT SENSORS AS PER SECTION R314 &R3 SIDENTIAL CODE OF N.Y.S. DETECTORS SHALL BE HARD WIRED BACKUP, UL 217 APPROVED. ALL DETECTORS SHALL BE 'ED TO THE ALARM SYSTEM'S CENTRAL STATION, AND IN SUCH A ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
SLEEPING ROOM VICINITY OF BE DETECTORS SHA	OF DETECTORS: SMOKE DETECTORS SHALL BE LOCATED 1) IN EAG 4, 2) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIAT DROOMS, 3) ON EACH STORY OF THE HOUSE. CARBON MONOXIDI ALL BE LOCATED: 1) ON EACH STORY CONTAINING A SLEEPING 5 FEET OF THE SLEEPING AREA, 2) ON EACH STORY THAT CONTAI IOXIDE SOURCE.
AREA, WITHIN 1	SISTANT RECEPTACLES (E4002.14): IN AREAS SPECIFIED IN SECTIO .T, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED
AREA, WITHIN 1 A CARBON MON 5. TAMPER-RES E3901.1, 125-VOL TAMPER-RESIST	TANT RECEPTACLES.
AREA, WITHIN 1 A CARBON MON 5. TAMPER-RES E3901.1, 125-VOL TAMPER-RESIST	ED LIGHT FIXTURES SHALL BE L.E.D. BY LIGHTOLIER OR OWNER
AREA, WITHIN 1 A CARBON MON 5. TAMPER-RES E3901.1, 125-VOL TAMPER-RESIST 6. ALL RECESSI APPROVED EQU 7. REVIEW ALL ORDERING RECH	ED LIGHT FIXTURES SHALL BE L.E.D. BY LIGHTOLIER OR OWNER AL. TRIM KIT FINISH, BULB TYPE & SIZE WITH OWNER PRIOR TO ESSED LIGHT FIXTURES.
AREA, WITHIN 1 A CARBON MON 5. TAMPER-RES E3901.1, 125-VOL TAMPER-RESIST 6. ALL RECESSI APPROVED EQU 7. REVIEW ALL ORDERING RECH 8. SURFACE MC OWNER AND INS	ED LIGHT FIXTURES SHALL BE L.E.D. BY LIGHTOLIER OR OWNER AL. TRIM KIT FINISH, BULB TYPE & SIZE WITH OWNER PRIOR TO ESSED LIGHT FIXTURES. DUNTED AND HANGING FIXTURES SHALL BE PURCHASED BY THE STALLED BY THE ELECTRICAL CONTRACTOR.
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sufficiently starts		
1. EXIS	STING 5 BEDROOM DWELLING.	
2. EXIS	STING 1500 GALLON SEPTIC TANK.	2017 - 1927 - 19
	STING 1000 GALLON PUMP CHAMBER	÷
WITH	H CONTROL & ALARM IN DWELLING.	
4. EXIS	STING 1000 GALLON OVERFLOW TANK.	
5. EXIS	STING HEAVY DUTY BAFFLED DISTRIBUTION BOX	4
WITH	H ELBOW POINTING DOWNWARD AT DISCHARGE	
6. EXIS	STING 420 LF ABSORBTION TRENCH	
	H JUNCTION BOX (TYP.) AND ENDCAPS	2 •
7. EXIS	STING 2'-O" R.O.B. FILL OVER ENTIRE SEPTIC ARE	A
8. NO	WELLS WITHIN 200' DOWNHILL AND 100" UPHILL C	OF EXISTING SSTS
*CONS	TRUCTION OF SEPTIC WAS INSPECTED BY KEANE (	COPPELMAN ENGINEERS P.C

<u>SWING ILS</u>								
A	В	C	D					
	<b>2004 - Constant Constant on Consta</b>	25.5'	22.5'					
a da fan men yn de gener fan skrief yn de fan skrief fan men yn sen werken skrief fan skrief fan skrief fan sk		29'	33.5'					
		32'	29'					
169'	152							
169'	148'							
170	148'							
		÷						
174	148	1 - 2 2 3						
		I.						
		4						
180'	151;	;						
	A 169' 169' 170' 172' 174' 176' 178'	A B 169' 152' 169' 148' 170' 148' 172' 148' 172' 148' 174' 148' 176' 149' 178' 150' 180' 151',	A B C 25.5' 29' 32' 169' 152' 169' 148' 170' 148' 170' 148' 172' 148' 174' 148' 176' 149' 178' 150' 180' 151'					



\* PROFESSIONAL CORPORATIN