



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: FEUERSTEIN RESIDENCE

Initial Submittal Revised Preliminary

Street Location: 9 SEYMOUR PLACE WEST

Zoning District: R-2A Property Acreage: 2.35 Tax Map Parcel ID: 108.02-1-63

Date: 09-01-21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 9 SEYMOUR PL. WEST

Section III- DESCRIPTION OF WORK:

INTERIOR ALTERATIONS ON FIRST AND SECOND FLOORS. NEW ROOFLINE AT FRONT.

SMALL ADDITION TO KITCHEN, ADD WOOD FIREPLACE. REPLACE REAR TERRACE.

REMOVE FRONT TERRACE, ADD NEW STONE WALK. NEW GENERATOR.

Section III- CONTACT INFORMATION:

APPLICANT: JESSICA FEUERSTEIN

ADDRESS: 9 SEYMOUR PL. WEST

PHONE: _____ MOBILE: 301-257-8624 EMAIL: JESS FEUERSTEIN@GMAIL.COM

PROPERTY OWNER: JESSICA FEUERSTEIN

ADDRESS: 9 SEYMOUR PL. WEST

PHONE: _____ MOBILE: 301-257-8624 EMAIL: JESS FEUERSTEIN@GMAIL.COM

PROFESSIONAL: TIMOTHY P. LENER, ARCHITECT

ADDRESS: 57 WHEELER AVENUE, PLEASANTVILLE, NY 10570

PHONE: 914-747-1220 MOBILE: 914-522-4402

EMAIL: TPL.ARCH@GMAIL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.02 - 1 - 63



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 09-01-21 Date: _____

Tax Map Designation or Proposed Lot No.: 108.02-1-63

Floor Area

- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>102741</u> |
| 2. | Maximum permitted floor area (per Section 213-22.2B): | <u>13076</u> |
| 3. | Amount of floor area contained within first floor: <u>1989</u> existing + <u>104</u> proposed = | _____ |
| 4. | Amount of floor area contained within second floor: <u>2036</u> existing + <u>0</u> proposed = | <u>2036</u> |
| 5. | Amount of floor area contained within garage: <u>665</u> existing + <u>-82</u> proposed = | <u>583</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed: <u>59</u> existing + <u>0</u> proposed = | <u>59</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition): <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition): <u>220</u> existing + <u>68</u> proposed = | <u>288</u> |
| 9. | Amount of floor area contained within all accessory buildings: <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>5059</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

09-01-21

Date



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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 09-01-21 Date: 09/21

Tax Map Designation or Proposed Lot No.: 108.02-1-63

Gross Lot Coverage

| | | |
|-----|---|-------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>102741</u> |
| 2. | Maximum permitted gross land coverage (per Section 213-22.2C): | <u>13076</u> |
| 3. | BONUS maximum gross land cover (per Section 213-22.2C): | |
| | Distance principal home is beyond minimum front yard setback <u>90</u> x 10 = | <u>0</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>5059</u> |
| 5. | Amount of lot area covered by principal building : <u>1989</u> existing + <u>104</u> proposed = | <u> </u> |
| 6. | Amount of lot area covered by accessory buildings : <u>2036</u> existing + <u>0</u> proposed = | <u> </u> |
| 7. | Amount of lot area covered by decks : <u>665</u> existing + <u>-82</u> proposed = | <u>2036</u> |
| 8. | Amount of lot area covered by porches : <u>59</u> existing + <u>0</u> proposed = | <u>583</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : <u>0</u> existing + <u>0</u> proposed = | <u>59</u> |
| 10. | Amount of lot area covered by terraces : <u>220</u> existing + <u>68</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : <u>0</u> existing + <u>0</u> proposed = | <u>288</u> |
| 12. | Amount of lot area covered by all other structures : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>7652</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

09-01-21

Date

PROJECT SPECIFICATIONS

DEMOLITION

- GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION WITHIN THE PROJECT AREA.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
- G.C. SHALL PROVIDE TEMPORARY SUPPORT OF ALL BEARING WALLS TO BE REMOVED.
- G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE BY G.C. IN A MANNER WHICH IS LEGALLY CONFORMING TO THE LOCAL MUNICIPAL ORDINANCES.
- G.C. SHALL PROTECT AREAS NOT IN THE SCOPE OF WORK FROM DAMAGE AND DUST DURING DEMOLITION AND CONSTRUCTION.
- REMOVE ALL WINDOWS AND DOORS INCLUDING FRAMES WHERE NOTED.
- REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
- REPLACE ANY PLUMBING AND/OR ELECTRICAL LINES WITHIN CONSTRUCTION NON-CONFORMING WITH APPLICABLE CODES.
- REMOVE ALL EXISTING ROOF SHINGLES (DOWN TO SHEATHING) FROM HOUSE. REPLACE ROTTED PLYWOOD SHEATHING AS REQUIRED.
- REMOVE ALL FINISHED FLOORING FROM THE FIRST FLOOR AND THE SECOND FLOOR HALL.

FOUNDATION

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT EXCEED 3" FROM WRITTEN DIMENSIONS ON THE PLANS.
- ALL FOOTINGS MUST BEAR ON SOLID UNDISTURBED SOIL BELOW FROSTLINE AND SHALL HAVE A MINIMUM OF TWO (2) #4 REINFORCING BARS IN BOTH DIRECTIONS.
- CONCRETE: DESIGN OF ALL CONCRETE SHALL CONFORM WITH THE LATEST EDITION OF ACI SPECIFICATIONS AND PRODUCED IN AN APPROVED MIXING PLANT IN ACCORDANCE WITH ASTM REQUIREMENTS. CONCRETE STRENGTHS FOR VARIOUS USES SHALL BE AS SPECIFIED IN THE FOLLOWING SCHEDULE: (MINIMUM COMPRESSIVE STRENGTH, FC AT 28 DAYS)
 - FOOTINGS, FOUNDATIONS, INTERIOR FLOOR SLABS: 3500PSI
 - EXTERIOR AND GARAGE FLOOR SLABS: 3500PSI
- ALL REINFORCING BARS TO BE #4. SEE WALL SECTION(S) FOR RE-BAR PLACEMENT. REINFORCING STEEL FOR CMU TO BE GRADE 60 DEFORMED BARS (EXCEPT FOR TIES TO BE PLAIN) AND CONFORM TO ASTM SPECIFICATIONS.
- FLAGSTONES SHALL BE 'ARCHITECTURAL BLUESTONE' SET IN A 3/4-INCH (MIN) CEMENT MORTAR BED. FLAGSTONE TO BE 1-INCH THICK. ALL EXTERIOR SURFACES SHALL BE PITCHED FOR DRAINAGE. CONTRACTOR SHALL SUBMIT STONE AND MORTAR SAMPLES FOR THE OWNERS REVIEW AND APPROVAL.
- FILLED AREAS TO BE MECHANICALLY COMPACTED IN 6 INCH LIFTS.

FRAMING

- DIMENSIONAL FRAMING LUMBER SHALL BE NO. 2 DOUGLAS FIR, Fb=950 PSI (MIN).
- LAMINATED VENEER LUMBER (LVL) SHALL BE Fb=2600 PSI AND PARALLAM (PSL) SHALL BE Fb=2900 PSI. ENGINEERED I-JOISTS (TJI) AND LAMINATED VENEER LUMBER (LVL) SHALL BE BY TRUSS JOIST MACMILLAN OR APPROVED EQUAL BY ARCHITECT. ALL ENGINEERED MATERIALS SHALL BE STORED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- ALL MUDSILL PLATES SHALL BE PRESSURE TREATED DOUBLE 2 x 6 LAID ON FIBERGLASS SILL SEALER AND CAULKED ALONG THE INTERIOR PERIMETER AT THE TOP OF FOUNDATION.
- ROOF SHEATHING SHALL BE 5/8" EXTERIOR GRADE PLYWOOD, NAILED TO EACH RAFTER.
- WALL SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD OR 1/2" ZIP-WALL ENGINEERED PANELS AS MANUFACTURED BY HUBER ENGINEERED WOODS. PLAIN ORIENTED STRAND BOARD (O.S.B.) IS NOT ACCEPTABLE.
- SUBFLOOR TO BE ADVANTECH 3/4-IN. TOUNGE AND GROOVE HIGH DENSITY ENGINEERED PANEL BY HUBER ENGINEERED WOODS OR APPROVED EQUAL, GLUED AND NAILED TO FLOOR JOISTS. ADHESIVE TO BE CONTECH PL-400.
- PROVIDE PROPERLY SIZED GALVANIZED METAL JOIST HANGERS BY SIMPSON AT ALL FLUSH CONNECTIONS. ALL NAILING OF HANGERS MUST BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- ALL SOLID (P.T. OR PSL) AND BUILT-UP (2x D.F.) WOOD POSTS SHALL BE CONTINUOUS (WITH SOLID BLOCKING AS REQUIRED) TO FOUNDATION WALLS OR GIRDERS.
- ALL EXTERIOR METAL ANCHORS, FASTENERS, BOLTS, ETC. SHALL BE HOT DIPPED GALVANIZED STEEL.
- FIREBLOCKING:** IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. SEE DIAGRAM FOR ALL FIREBLOCKING LOCATIONS.
- FIREBLOCKING MATERIALS:** FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS.
 - TWO-INCH (51 MM) NOMINAL LUMBER.
 - TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS.
 - ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS.
 - ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH (19.1 MM) PARTICLEBOARD.
 - ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.
 - ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD.
 - BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
 - CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION.
- PROVIDE HURRICANE ANCHORS ("SIMPSON" H-2.5) AT ALL RAFTERS.
- MAINTAIN 2" CLEARANCE FROM MASONRY CHIMNEY AND FROM METAL FLUES.
- ALL ROLLED STEEL SHALL BE TYPE A-992 WITH AN Fb = 50,000 PSI MINIMUM.
- ALL STEEL, INCLUDING BEARING PLATES SHALL BE SHOP PRIMED AND RECEIVE A SECOND COAT IN THE FIELD UPON COMPLETION.

WINDOW & EXTERIOR DOOR NOTES

- WINDOWS SHALL BE:** "ANDERSEN" 400 SERIES TILT-WASH (TW) WOOD WITH WHITE PERMA-SHIELD CLADDING. PROVIDE FACTORY APPLIED EXTENSION JAMBS.
- INTERIOR FINISH SHALL BE:** NATURAL PINE. VINYL JAMB TRACK SHALL BE WHITE.
- GLAZING SHALL BE:** LOW "E-4" WITH ARGON GAS. U-FACTOR=.31 SHGC =.28
- GRILLES SHALL BE:** 7/8" REMOVABLE INTERIOR WOOD GRILLES. COORDINATE ALL GRILLE PATTERNS AS SHOWN ON ELEVATIONS. PROVIDE NEW WOOD GRILLES AT ALL EXISTING WINDOWS TO REMAIN WHERE SHOWN ON PLANS.
- INSECT SCREENS SHALL BE:** FULL FIBERGLASS MESH, COLOR TO MATCH WINDOW EXTERIOR.
- LOCK AND KEEPER STYLE SHALL BE:** ESTATE (INCLUDING ALL EXISTING WINDOWS)
- HARDWARE FINISH SHALL BE:** WHITE
- GLIDING PATIO DOOR AND TRANSOM SHALL BE:** "ANDERSEN" (FWGD) A-SERIES WOOD WITH WHITE PERMA-SHIELD CLADDING. PROVIDE FACTORY APPLIED EXTENSION JAMBS.
- INTERIOR FINISH SHALL BE:** NATURAL PINE.
- GLAZING SHALL BE:** LOW "E2" WITH ARGON GAS. U-FACTOR =.32 SHGC =.23
- GRILLES SHALL BE:** 7/8" FULL DIVIDED LITES (FDL), COORDINATE ALL GRILLE PATTERNS AS SHOWN ON ELEVATIONS.
- INSECT SCREENS SHALL BE:** GLIDING FIBERGLASS SCREEN PANEL, FRAME COLOR TO MATCH DOOR EXTERIOR.
- HARDWARE STYLE SHALL BE:** ANVERS
- HARDWARE FINISH SHALL BE:** SATIN NICKEL
- FRONT ENTRANCE DOOR SYSTEM AND MUDROOM DOOR TO GARAGE SHALL BE:** "SIMPSON" FIR. DOOR MODEL: 7282 PRIMED WITH SHAKER STICKING AND 3/4" MDF PP. SIDELITE MODEL: 1701 WITH SHAKER STICKING WITH LOW-E. OWNER WILL PROVIDE "EMTEK" HARDWARE.
- MUD ROOM AND KITCHEN DOORS SHALL BE:** "SIMPSON" FIR WITH LOW-E AND SDL. DOOR MODEL: 7204 PRIMED WITH SHAKER STICKING AND 3/4" MDF PP. OWNER WILL PROVIDE "EMTEK" HARDWARE.
- THE G.C. SHALL BE RESPONSIBLE TO FORWARD THE WINDOW ORDER (FROM THE SUPPLIER) TO THE ARCHITECT FOR REVIEW. NO WINDOW ORDER SHALL BE FINALIZED WITHOUT THE ARCHITECT'S AUTHORIZATION. NO WINDOWS OR DOORS SHALL BE CHANGED BY THE BUILDER OR OWNER WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
- PROVIDE MEMBRANE SILL PAN FLASHING AT ALL WINDOWS WITHIN 8" OF ANY ROOF.
- PROVIDE B.E. ALUM. DRIP CAP FLASHING AT ALL WINDOW AND DOOR HEADS.
- ALL EXISTING WINDOWS SHALL BE PREPARED FOR NEW REMOVABLE GRILLES BY REMOVING ALL PLASTIC GRILLES AND GROMMETS, PATCHING AND SANDING ALL HOLES, AND COMPLETE PAINTING OF ALL UNITS TO MATCH NEW WINDOWS.

AIR SEALING

- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH SECTION R402.4 OF THE R.C.N.Y.S. AREAS TO BE SEALED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING AREAS.
- SEAL AROUND WINDOWS AND EXTERIOR DOORS WITH BACKER ROD, CAULK, OR NON-EXPANDING SPRAY FOAM.
 - SEAL ALL ELECTRICAL, PLUMBING AND HVAC PENETRATIONS BETWEEN CONDITIONED AND UNCONDITIONED SPACE WITH CAULK OR SPRAY FOAM.
 - SEAL THE BOTTOM PLATE AND THE TOP PLATE OF EXTERIOR WALLS AND WALLS TO THE ATTIC WITH CAULK OR SILL SEAL.
 - SEAL BAND JOISTS WITH CAULK, SPRAY FOAM, OR GASKETING BETWEEN TOP PLATE AND BAND JOIST AND BETWEEN BAND JOIST AND SUB-FLOOR. ANY PENETRATIONS IN THE BAND JOIST MUST BE SEALED WITH CAULK OR SPRAY FOAM. ANY JOISTS OR OTHER CAVITIES THAT SPAN FROM CONDITIONED TO UNCONDITIONED SPACES MUST BE BLOCKED OFF AND AIR SEALED.
 - BLOCK, CAP, AND SEAL ANY CHASE WAYS THAT WOULD ALLOW UNCONDITIONED AIR TO ENTER INTO THE CONDITIONED BUILDING ENVELOPE.
 - EXTERIOR WALLS BEHIND TUB AND SHOWER ENCLOSURES SHOULD BE INSULATED. PRIOR TO INSTALLING THE TUB OR SHOWER, A RIGID AND DURABLE AIR BARRIER SHOULD BE INSTALLED TO BE IN DIRECT CONTACT WITH THE INSULATION.
 - INSTALL INSULATION WIND BAFFLES TO BLOCK WIND WASHING AT ALL ATTIC EAVE BAYS IN ROOF ASSEMBLIES WITH SOFFIT VENTS.
 - FOR CANTILEVERED FLOOR SYSTEMS OR FLOORS ABOVE A GARAGE AN AIR BARRIER MUST BLOCK ANY EXPOSED EDGES OF INSULATION.
 - FOR FIREPLACE CAVITIES ON EXTERIOR WALLS, A RIGID AIR BARRIER MUST BE FULLY ALIGNED WITH THE INSULATED FRAMING IN THE FRAMED SHAFT BEHIND THE FIREPLACE AND ANY GAPS ARE FULLY SEALED WITH FOAM, CAULK OR TAPE.
 - FOR PORCH ROOFS, A RIGID AIR BARRIER MUST BE INSTALLED AT THE INTERSECTION OF THE PORCH ROOF AND EXTERIOR WALL.
 - FOR DROPPED CEILINGS, A RIGID AIR BARRIER MUST BE FULLY ALIGNED WITH INSULATED FRAMING AND ANY GAPS ARE FULLY SEALED WITH CAULK OR FOAM.
 - RECESSED LIGHT FIXTURES, IF INSTALLED IN INSULATED CAVITIES SUCH AS THE CEILING BETWEEN THE HOUSE AND THE ATTIC, SHOULD BE RATED IC (INSULATION CONTACT) AND AIR-TIGHT. ONCE INSTALLED THEY SHOULD BE SEALED TO THE DRYWALL WITH GASKET, CAULK OR FOAM.
 - ALL HOLES OR PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH A MATERIAL CAPABLE OF STOPPING AIRFLOW SUCH AS CAULK, FOAM OR RIGID MATERIAL. FIBROUS INSULATION DOES NOT STOP AIR-FLOW.

FLOOR PLANS

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT EXCEED 3" FROM WRITTEN DIMENSIONS ON THE PLANS.
- SEE PLANS PREPARED BY KITCHEN DESIGNER FOR CABINET, PLUMBING FIXTURE AND APPLANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED, REVIEW WITH ARCHITECT.
- ALL APPLIANCES (INCLUDING WASHER AND DRYER) SHALL BE SUPPLIED BY OWNER AND INSTALLED BY THE G.C. OWNER SHALL BE RESPONSIBLE TO PROVIDE G.C. WITH ALL SPECIFICATIONS FOR INSTALLATION, INCLUDING TYPE OF FUEL/POWER, PLUMBING & ELECTRICAL OFFSETS ETC. PROVIDE WATER LINE TO REFRIGERATOR. PROVIDE GAS LINE FROM PROPANE TANK TO OVEN.
- KITCHEN CABINETS, BATH ROOM VANITIES, BUILT-IN CABINETRY AND PLUMBING FIXTURES SHALL BE SELECTED BY OWNER.
- PROVIDE SOUND DEADENING BATTS AT ALL INTERIOR WALLS ENCLOSING BATHROOMS AND MASTER BEDROOM.
- PROVIDE 5/8- IN. GYPSUM WALL BOARD (G.W.B.) THROUGHOUT WALLS AND CEILING, EXCEPT AT BATHROOMS, WHICH SHALL BE 1/2" WATER RESISTANT GYPSUM WALLBOARD (G.W.B.). ALL GARAGE WALLS AND CEILING SHALL BE 5/8" TYPE-X GYPSUM WALLBOARD (G.W.B.).
- PRIME AND PAINT ALL DRYWALL (3 COATS: 1 PRIME & 2 FINISH). STAIN AND POLYURETHANE ALL OAK WOOD FURNITURE QUALITY FINISH. REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER FOR REVIEW AND APPROVAL.
- NEWEL POSTS:** SHALL BE BOX STYLE POSTS TO MATCH THE EXISTING DESIGN, SLIGHTLY SMALLER, SECURELY ANCHORED TO STAIR AND FLOOR.
- BALUSTERS:** SHALL BE 2 x 2 POPLAR (MAX. CLEAR OPENING LESS THAN 4"). SUBMIT SAMPLES FOR OWNER'S REVIEW AND SELECTION.
- RAILINGS AND GUARDS:** SHALL BE PROVIDED AT ALL STAIRS GREATER THAN 3 RISERS. ALL RAILINGS AND GUARDS TO BE 36" HIGH. ALL HANDRAILS AT STAIRS SHALL BE GRASPABLE AS PER 2020 R.C.N.Y.S. SECTION R311.7.8.3. SEE DETAILS ON PLANS. SUBMIT SAMPLES FOR OWNER'S REVIEW AND SELECTION.
- INTERIOR DOORS SHALL BE 1 3/4" 2-PANEL SOLID CORE MASONITE, PAINT GRADE. INTERIOR DOOR LEADING TO THE GARAGE SHALL BE SOLID CORE, FIRE RATED FOR 20 MINUTES AND SHALL HAVE SELF CLOSING HINGES NOTED ON PLANS AS S.C.F.D.
- INTERIOR MILLWORK SHALL BE POPLAR, MDF, OR KILN-DRIED FINGERJOINTED PINE SUPPLIED BY "GARDEN STATE MILLWORK METRO COLLECTION" OR APPROVED EQUAL.
 - DOOR, WINDOW, AND TRIMMED OPENING CASINGS SHALL BE: MCC 412
 - BASE MOULDINGS SHALL BE: MCB 712
 - CROWN MOULDINGS SHALL BE: MCOV8
- WOOD FLOORS:** FLOORING SHALL BE MADE FROM QUALITY LUMBER THAT HAS BEEN KILN-DRIED, THE STORAGE AND INSTALLATION OF WOOD FLOORING SHALL BE AT TEMPERATURE AND HUMIDITY LEVELS NEAR THAT OF OCCUPANCY. ALLOW FOR SEVERAL DAYS TO A WEEK OR MORE, FOR THE FLOORING TO BECOME ACCLIMATED TO JOB SITE CONDITIONS. WOOD FLOORING SHALL BE 5/8-2-IN. THICK (MIN) SELECT GRADE TONGUE AND GROOVE SOLID 4 1/4" WHITE OAK STRIPS, SECURELY NAILED TO FLOOR JOISTS OVER A LAYER OF ROSIN PAPER. FINISH: OAK FLOORS SHALL BE SANDED SMOOTH AND EVEN, AND RECEIVE ONE (1) COAT SEALER AND TWO (2) COATS OF AN OAK FLOOR POLYURETHANE FINISH. REVIEW STAINING AND FINISH WITH OWNER. PROVIDE UP TO 6 COLOR SAMPLES.
- TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).** TILE ON SHOWER WALLS AND TUB SURROUNDS SHALL BE OVER 1/2" "DUR-ROCK" CEMENT BACKER BOARD OR EQUAL TILE BACKER. TILE ON ALL OTHER WALLS (IE: WAINSCOT AND BACKSPALASH) SHALL BE OVER 1/2" MOISTURE RESISTANT G.W.B. PROVIDE DITRA-HEAT™ ELECTRIC FLOOR HEATING UNCOUPLING MAT BY "SCHLUTER SYSTEMS" WHERE SHOWN ON PLANS BELOW TILE FLOOR. PROVIDE SEPARATE THERMOSTAT, WIRING AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION.
- UNLESS NOTED OTHERWISE ON THE FLOOR PLANS, ALL INTERIOR MILLWORK AND CABINETRY (EXCEPT KITCHEN AND BATH) SHALL BE FABRICATED AND INSTALLED BY THE G.C. THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO: BUILT-IN CABINETS, CUBBIES, BENCHES, BANQUETTES SHELVING IN PANTRIES, LINEN CLOSETS, BROOM CLOSETS AND CLOTHES CLOSETS. THESE ITEMS SHALL BE FABRICATED WITH 3/4" BIRCH VENEER PLYWOOD AND SOLID WOOD EDGES. PROVIDE (5) FIXED SHELVES AT PANTRY EACH LINEN CLOSET. REVIEW DESIGN AND DETAILS IN FIELD WITH OWNER AND ARCHITECT.
- POCKET DOORS SHALL BE SITE HUNG (NOT PRE-HUNG) WITH HEAVY DUTY ALUMINUM TRACK AND TROLLEY SYSTEM.
- PROVIDE ALL DOOR AND CABINET HARDWARE AS NEEDED. PREPARE AND REVIEW HARDWARE SCHEDULE WITH OWNER. HARDWARE SHALL BE SELECTED BY OWNER.
- OWNER WILL SUPPLY A MANUFACTURED WOOD BURNING FIREPLACE, STONE SURROUND, AND STONE HEARTH AT FIREPLACE. ALL TO BE VERIFIED IN THE FIELD WITH THE OWNER AND ARCHITECT. G.C. SHALL INSTALL ALL MATERIALS SELECTED.
- INSULATION:** ALL INSULATION SHALL BE OPEN CELL (R-3.5/IN.) OR CLOSED CELL (R-6.5/IN.) SPRAY-FOAM (S.P.F.) OR FIBERGLASS (F.G.) BATTS WITH PAPER VAPOR BARRIER (SEE DETAILS). INSULATOR SHALL SUPPLY BUILDING DEPARTMENT WILL SPECIFICATIONS SHEETS AND APPLICATION CERTIFICATION. ALL EXPOSED SPRAY FOAM INSULATION SHALL BE SPRAYED WITH INTUMESCENT PAINT COATING FOR 15 MIN. FIRE PROTECTION RATING AS PER IRC AND NYS CODES AND MANUFACTURERS SPECS.
 - FLOORS SHALL BE: R-30 CLOSED CELL SPF.
 - WALLS SHALL BE: R-20 CLOSED CELL SPF OR R-15-3 FIBERGLASS
 - ROOF RAFTERS SHALL BE: R-49 CLOSED CELL SPF.
- ALL PIPES AND DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED. ALL INSULATION SHALL BE IN ACCORDANCE WITH THE ENERGY CODES OF THE 2020 RCNYS.

ELEVATIONS

- ROOFING SHALL BE ARCHITECTURAL ASPHALT LAMINATED SHINGLES BY "CERTAINTED LANDMARK SERIES". SET TIMELINE TO EQUAL TO MATCH EXISTING AS CLOSE AS POSSIBLE. ROOFING WARRANTY SHALL BE LIFETIME. PROVIDE OWNER WITH SAMPLES PRIOR TO FINAL ORDERING. ALL ROOFING SHALL BE APPLIED OVER A SYNTHETIC MEMBRANE SUBSTRATE "GAF DECK ARMOR" OR EQUAL.
 - METAL ROOFING SHALL BE "PAC-CLAD" 24 GAUGE GALVANIZED STEEL RAISED SEAM ROOFING (14" O.C.) AS MANUFACTURED BY PETERSON ALUMINUM OR APPROVED EQUAL. FINISH SHALL BE KYNAR 500 APPLIED TO G90 GALVANIZED STEEL SHEETS. COLOR TO BE SELECTED BY OWNER. ROOFING WARRANTY SHALL BE LIFETIME. ALL ROOFING SHALL BE APPLIED OVER A SYNTHETIC MEMBRANE SUBSTRATE "GAF DECK ARMOR" OR EQUAL.
 - ICE SHIELD: PROVIDE SELF-SEALING RUBBERIZED ASPHALT AND POLYETHYLENE WATERPROOF MEMBRANE AT ALL EAVES, VALLEYS AND CRICKETS UNLESS SPECIFIED OTHERWISE ON PLANS. MEMBRANE TO BE ICE AND WATER SHIELD BY DUPONT, 66" WIDE MINIMUM (2 COURSE OF 36" WITH 6" LAPS) AT ALL EAVES, 36" AT ALL VALLEYS AND CRICKETS.
 - PROVIDE BAKED ENAMEL ALUMINUM FLASHING AT ALL HORIZONTAL TO VERTICAL INTERSECTIONS. FLASHING OVER FRIEZES, WINDOW AND DOOR HEADS AND WATER TABLES SHALL MATCH THE COLOR OF THE MILLWORK AS CLOSE AS POSSIBLE. FLASHING ADJACENT TO ROOF SHALL MATCH ROOF COLOR AS FROZE AS POSSIBLE.
 - ALL EXTERIOR WALL SHEATHING SHALL BE PROPERLY COVERED WITH A DRAINABLE HOUSEWRAP RAINSCREEN: "DRAINWRAP" BY TYVEK, "HYDROGAP" BY BENJAMIN OBDYKE OR ARCHITECT APPROVED EQUAL. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - HORIZONTAL LAP SIDING SHALL BE RED CEDAR BOARDS PRIMED ON ALL 6 SIDES AND PAINTED TO MATCH EXISTING. MATCH EXPOSURE TO WEATHER.
 - ALL EXTERIOR MOULDING PROFILES SHALL BE BY CPVC (CELLULAR POLY-VINYL-CHLORIDE) BY "AZEK", "TYPON" OR EQUAL. ALL FLAT STOCK MILLWORK (1" & 5/4 THICKNESS) AND BEADED BOARDS (5/8" x 1 1/4") SHALL BE BY "BORAL". "TRUXTERIOR TRIM". ALL MILLWORK SHALL BE STORED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EXTERIOR MILLWORK SHALL BE FASTENED WITH STAINLESS STEEL NAILS, PATCHED AND PAINTED WITH 2 COATS OF PREMIUM EXTERIOR PAINT.
 - GUTTERS AND LEADERS SHALL BE SEAMLESS BAKED ENAMEL (B.E.) ALUMINUM. PROVIDE 5" K-STYLE GUTTERS WITH 3"x4" LEADERS. COLOR SHALL MATCH EXISTING. REVIEW LOCATIONS AND DETAILS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
 - PROVIDE CPVC J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC.

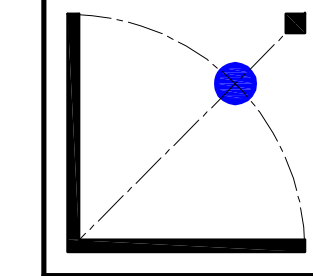
H.V.A.C.

- WORK INCLUDED:** CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT TO COMPLETE ALL HVAC WORK AND RELATED WORK AS SPECIFIED HEREIN AND SHOWN OR INTENDED ON THE CONSTRUCTION DOCUMENTS. REMOVE ALL HYDRONIC HEATING FROM ENTIRE HOUSE.
- CODE:** G.C. SHALL BE RESPONSIBLE TO ENSURE THAT ALL HVAC SYSTEMS AND COMPONENTS COMPLY WITH ALL APPLICABLE CHAPTERS (13 THROUGH 24) OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (ECCCNYS).
- HEATING:** SHALL BE A NEW HYDRO-AIR SYSTEM. CONTRACTOR SHALL PROVIDE A NEW PROPANE GAS FIRED, HOT-WATER BOILER BY WEL-MCLAIN, PEEERLESS, OR EQUAL. DESIGNED TO MEET THE DEMAND OF THE ENTIRE HOUSE. BOILER SHALL BE LOCATED IN THE EXISTING BASEMENT AND SHALL BE A DIRECT-VENT TYPE. CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS TO SYSTEM AS REQUIRED, INCLUDING PROPER LOCATION OF THERMOSTATS, DUCTS, AND PIPING AS REQUIRED. THE NEW BOILER SHALL BE INSTALLED TO MEET ALL FIRE CODES. PROVIDE WRITTEN H.V.A.C. SYSTEM DETAILS IN BID PROPOSAL.
- HEATING DESIGN CRITERIA:** HEATING SYSTEM SHALL MEET THE LATEST EDITION OF ASHREA SPECIFICATIONS. THE SYSTEM SHALL BE GUARANTEED TO MAINTAIN AN INDOOR TEMPERATURE OF 68 DEGREES WHEN OUTDOOR TEMPERATURE IS BELOW 0 DEGREES. HVAC CONTRACTOR SHALL PROVIDE DRAWINGS AND SPECIFICATIONS FOR THE PROPOSED WORK IF REQUIRED BY THE LOCAL BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A LICENCED MECHANICAL ENGINEER TO PREPARE ANY SUCH DRAWINGS.
- AIR CONDITIONING:** PROVIDE A NEW, COMPLETE A/C SYSTEM FOR THE ENTIRE FIRST FLOOR. MAKE MODIFICATIONS TO THE EXISTING SECOND FLOOR A/C SYSTEM AS REQUIRED. CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM, INCLUDING CONDENSORS, AIR HANDLERS, DUCTWORK, SUPPLY AND RETURN REGISTERS, AND THERMOSTATS. SYSTEM SHALL BE LENNOX, AMERICAN STANDARD, CARRIER OR OWNER APPROVED EQUAL AND SHALL MAINTAIN AN INDOOR TEMPERATURE OF 78 DEGREES DRY BULB WHEN THE OUTDOOR TEMPERATURE IS 95 DEGREES DRY BULB.
- BALANCING:** CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.
- WHOLE HOUSE VENTILATION:** AS PER SECTION M1505 OF THE 2020 R.C.N.Y.S. CONTRACTOR SHALL PROVIDE AN ENERGY RECOVERY VENTILATION (E.R.V.) UNIT AS MANUFACTURED BY AMERICAN STANDARD OR EQUAL. DESIGNED TO PROVIDE ADEQUATE FRESH AIR AND REDUCE HUMIDITY LEVELS. THE SYSTEM SHALL BE LOCATED IN THE EXISTING ATTIC AND CONNECTED TO THE EXISTING DUCTWORK.
- TESTING:** THE HVAC CONTRACTOR SHALL HAVE ALL AIR HANDLERS AND DUCTS LOCATED IN UNCONDITIONED SPACES BLOWER-TESTED FOR AIR TIGHTNESS AND CERTIFIED BY A THIRD PARTY ADMINISTRATOR AS REQUIRED BY THE 2020 RCNYS PRIOR TO INSTALLATION OF INSULATION. ONE OF THE FOLLOWING CRITERIA MUST BE MET:
 - ROUGH-IN TOTAL LEAKAGE TEST WITH AIR HANDLER INSTALLED: LESS THAN OR EQUAL TO 6 CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G.
 - ROUGH-IN TOTAL LEAKAGE TEST WITHOUT AIR HANDLER INSTALLED: LESS THAN OR EQUAL TO 4 CFM PER 100 SF OF CONDITIONED FLOOR AREA.
 - POST-CONSTRUCTION LEAKAGE TO OUTDOORS TEST: LESS THAN OR EQUAL TO 8 CFM PER 100 SF OF CONDITIONED FLOOR AREA.
 - POST-CONSTRUCTION TOTAL LEAKAGE TEST (INCLUDING AIR HANDLER ENCLOSURE) LESS THAN OR EQUAL TO 12 CFM PER 100 SF PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G.
- RANGE HOOD MAKE-UP AIR:**
 - AS PER SECTION M1503.6 (2020 RCNYS): WHEN KITCHEN EXHAUST FAN EXCEEDS 400 CFM, MAKE UP IS REQUIRED. PROVIDE BROAN 6" UNIVERSAL AUTOMATIC MAKE-UP AIR DAMPER WITH PRESSURE SENSOR KIT MOUNTED TO RANGE HOOD VENT. PROVIDE BROAN 641 WALL CAP. PROVIDE ADDITIONAL ALUMINUM DUCTS AS NEEDED TO TIE INTO THE RETURN SIDE OF THE HVAC DUCT SYSTEM. IF NO DUCTWORK IS AVAILABLE, PROVIDE A GRILL IN THE FLOOR, WALL OR CABINET TOE-SPACE AREA A MINIMUM OF 5 FEET FROM THE RANGE HOOD. REVIEW EXACT LOCATION AND DIMENSIONS WITH OWNER AND ARCHITECT IN FIELD.
- EXHAUST DUCTS:** VENT ALL BATHROOM FANS, CLOTHES DRYER AND COOKING RANGE EXHAUST FAN DIRECTLY TO THE EXTERIOR WITH RIGID SMOOTH-WALL METAL DUCTS AND SCREENED DAMPERS. BATHROOM EXHAUST FAN DUCT TO TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS AND DOORS. DRYER DUCTS TO TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDING.
- MISCELLANEOUS:**
 - AS PER SECTION R303.4 (2020 RCNYS): WHOLE HOUSE MECHANICAL VENTILATION IS REQUIRED
 - AS PER SECTION N1103.5.3 (2020 RCNYS): HOT WATER PIPING SHALL BE INSULATED THROUGHOUT THE STRUCTURE WITH MINIMUM R-3 WHEN:
 - PIPING IS 3/4" OR LARGER
 - SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS
 - ALL HOT & COLD WATER LINES OUTSIDE THERMAL ENVELOPE SHOULD BE INSULATED.

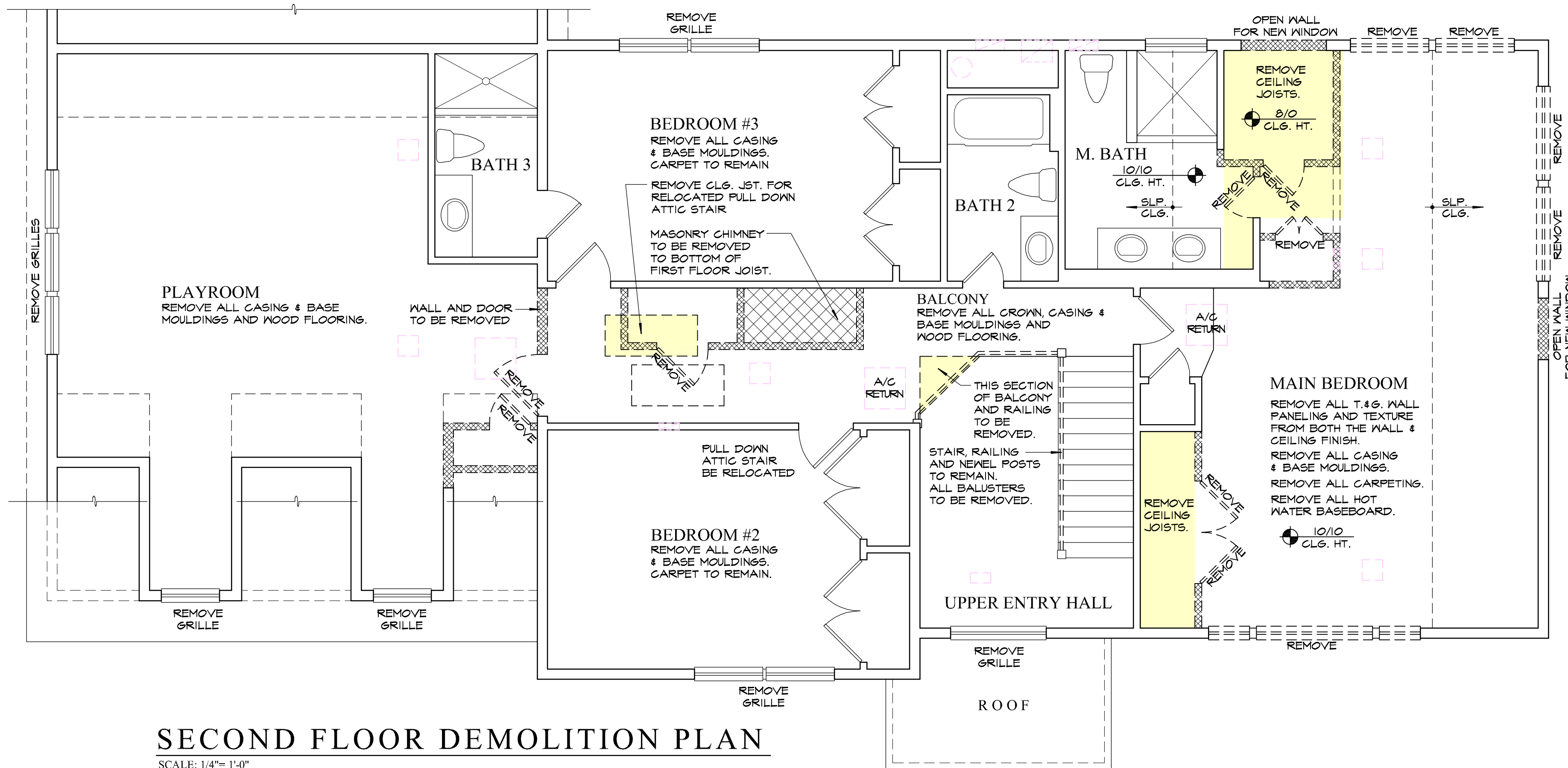
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Addition and Alteration to the
Feuerstein Residence
9 Seymour Place West, Armonk, New York
Section: 108.02 Block: 1 Lot: 63
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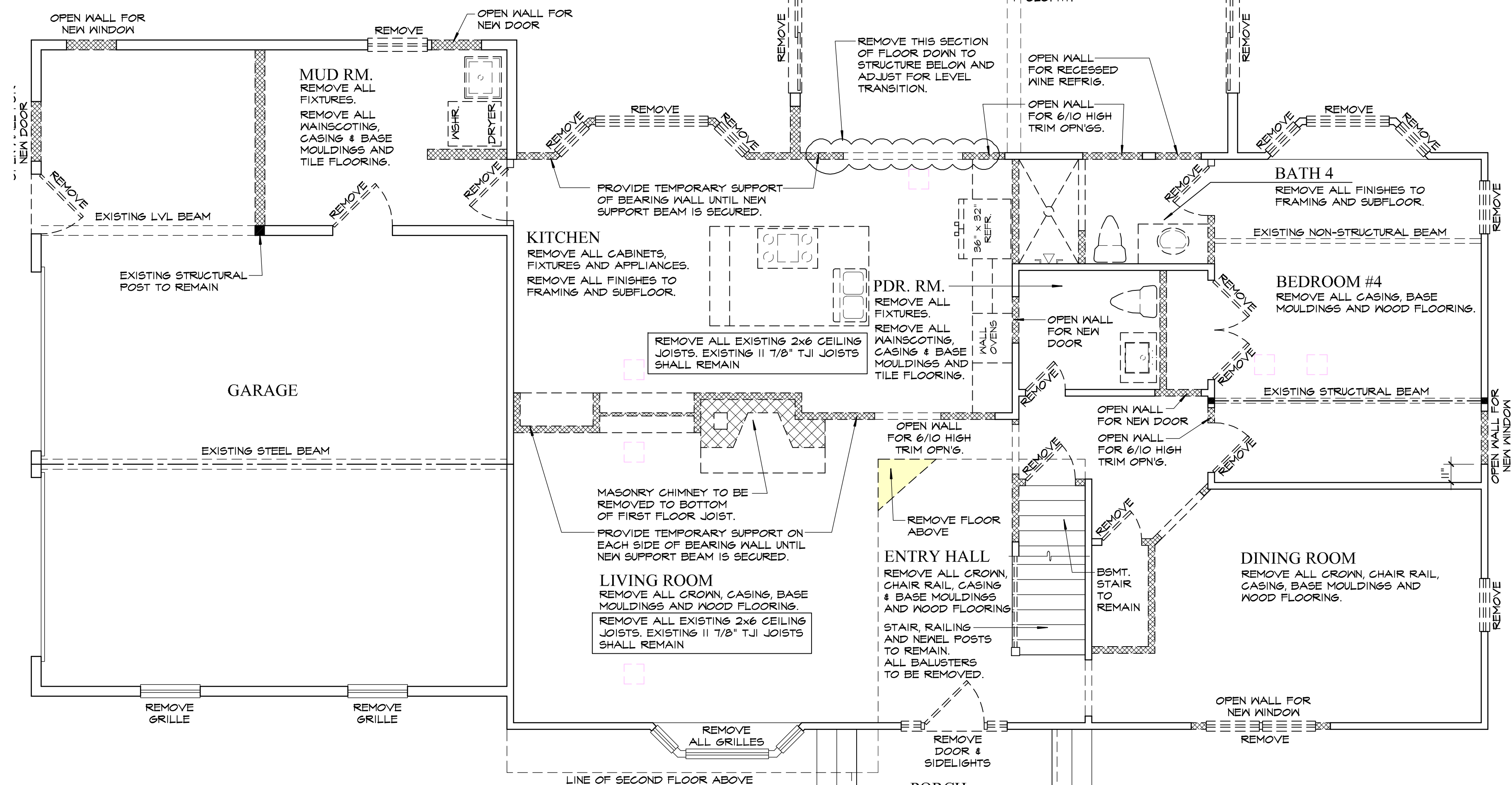
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SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

REMOVE ALL DOOR AND WINDOW CASINGS & BASE MOULDINGS AT ALL ROOMS.



LEGEND - DEMOLITION PLANS

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING WINDOW & FRAME TO BE REMOVED
- EXISTING DOOR & FRAME TO BE REMOVED

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

NOTES:

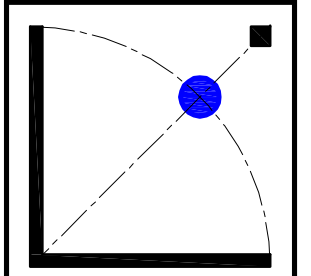
1. REMOVE ALL HOT WATER BASEBOARD AND RADIATORS THROUGHOUT FIRST FLOOR.
2. REMOVE ALL DOOR AND WINDOW CASINGS & BASE MOULDINGS AT ALL ROOMS.
3. REMOVE ALL WOOD AND TILE FLOORING AT ALL ROOMS.

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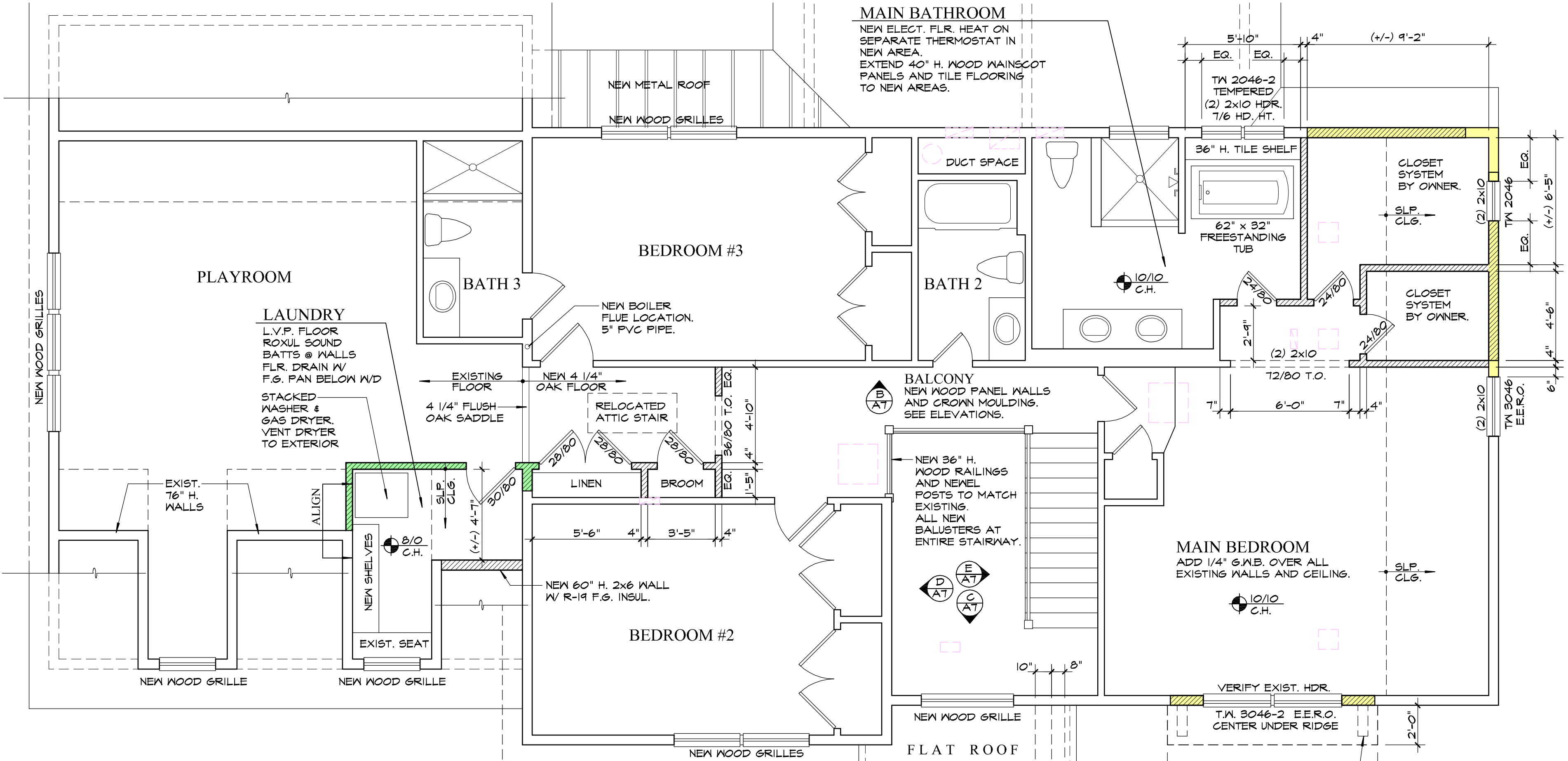
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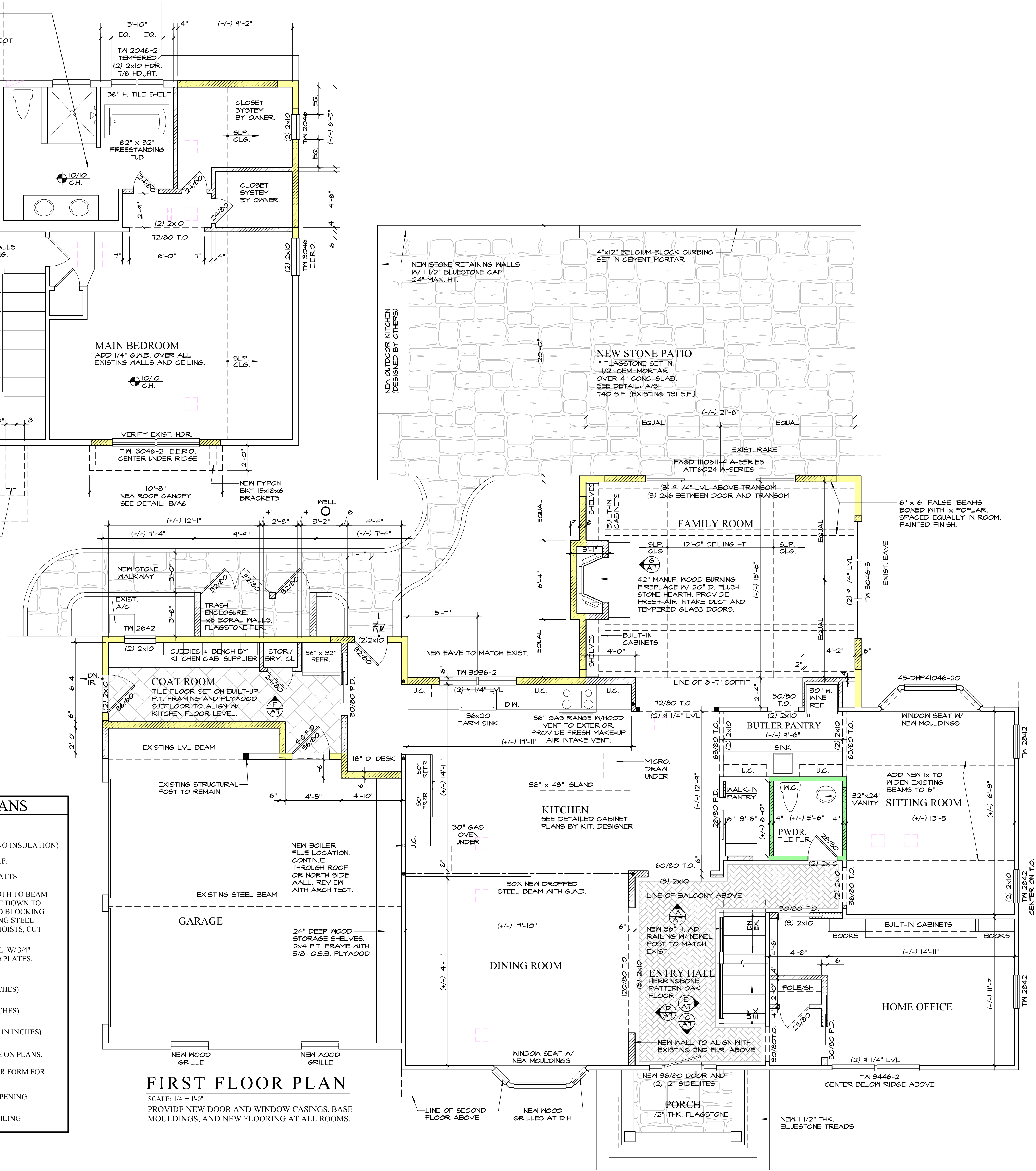
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Feuerstein



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 ALL NEW DOOR AND WINDOW CASINGS & BASE MOULDINGS AT ALL ROOMS.
 ALL NEW 1/4" WHITE OAK FLOORING AT HALLWAYS.
 ALL NEW CARPET FLOORING AT ALL BEDROOMS.



LEGEND - FLOOR PLANS

- EXISTING WALL TO REMAIN
- NEW 2 x D.F. STUD @ 16" O.C. WALL (NO INSULATION)
- D.F. STUD WALL W/ CLOSED CELL S.P.F.
- D.F. STUD WALL W/ ROXUL SOUND BATTIS
- BUILT-UP 2x D.F. POST EQUAL IN WIDTH TO BEAM ABOVE. ALL POSTS SHALL CONTINUE DOWN TO FOUNDATION OR GIRDER WITH SOLID BLOCKING AT FLOOR LEVELS. POSTS SUPPORTING STEEL BEAMS SHALL NOT BEAR ON FLOOR JOISTS, CUT OUT FOR FOUNDATION BEARING.
- 3 1/2" O.D. STANDARD STEEL PIPE COL. W/ 3/4" THK. STEEL TOP & BOTTOM BEARING PLATES.
- HINGED DOOR (WIDTH NOTED IN INCHES)
- POCKET DOOR (WIDTH NOTED IN INCHES)
- TRIM OPENING (WIDTH AND HEIGHT IN INCHES)
- WINDOW, ALL MODEL NUMBERS ARE ON PLANS. SEE SHEET PS1 FOR SPECIFICATIONS. REFER TO WINDOW SUPPLIERS ORDER FORM FOR ROUGH OPENING DIMENSIONS.
- EMERGENCY ESCAPE AND RESCUE OPENING
- EXISTING H.V.A.C. DUCTWORK AT CEILING

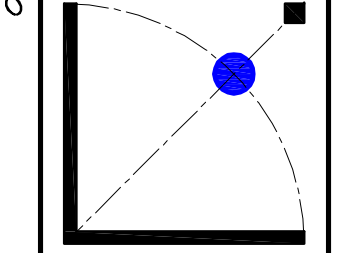
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 PROVIDE NEW DOOR AND WINDOW CASINGS, BASE MOULDINGS, AND NEW FLOORING AT ALL ROOMS.

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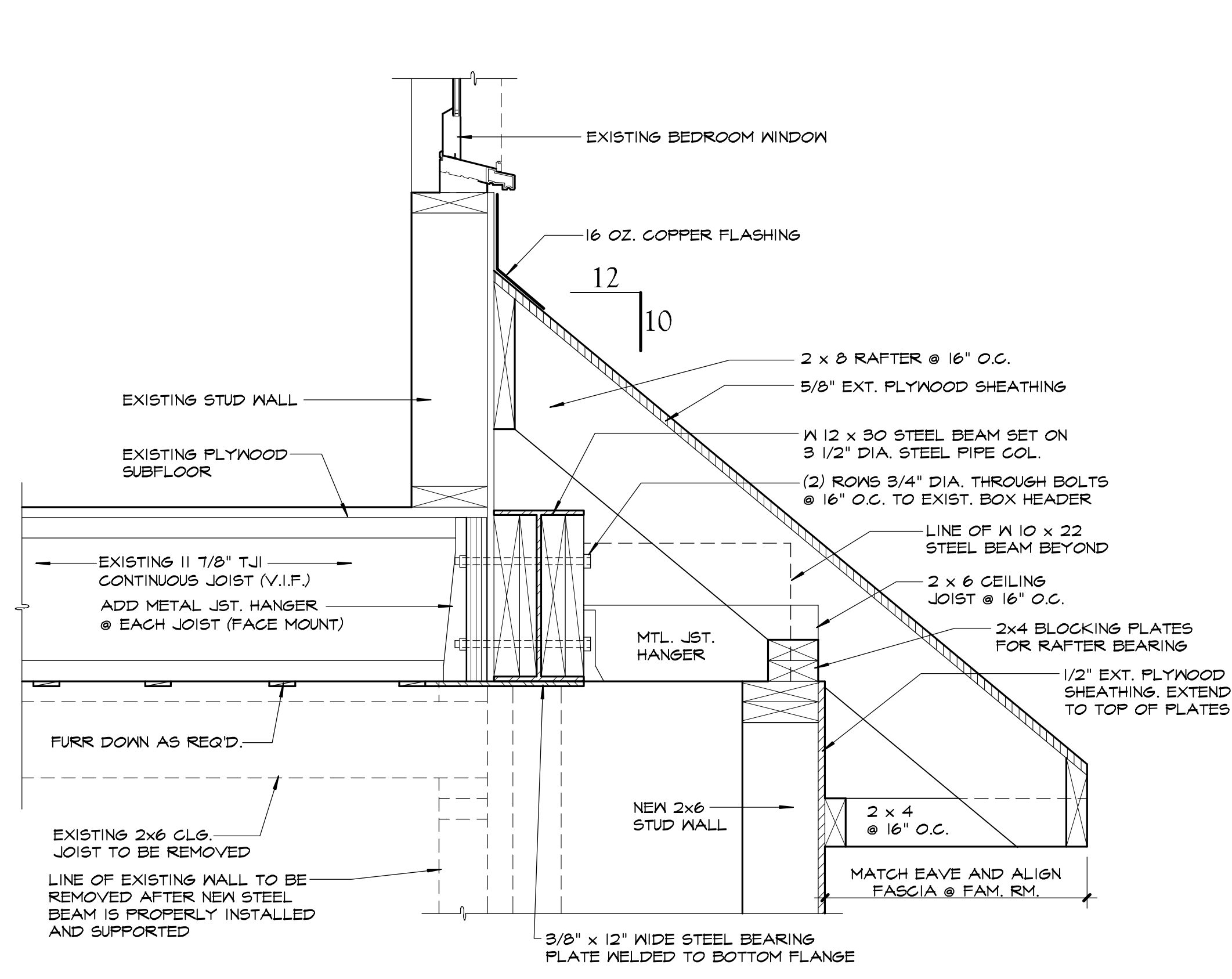
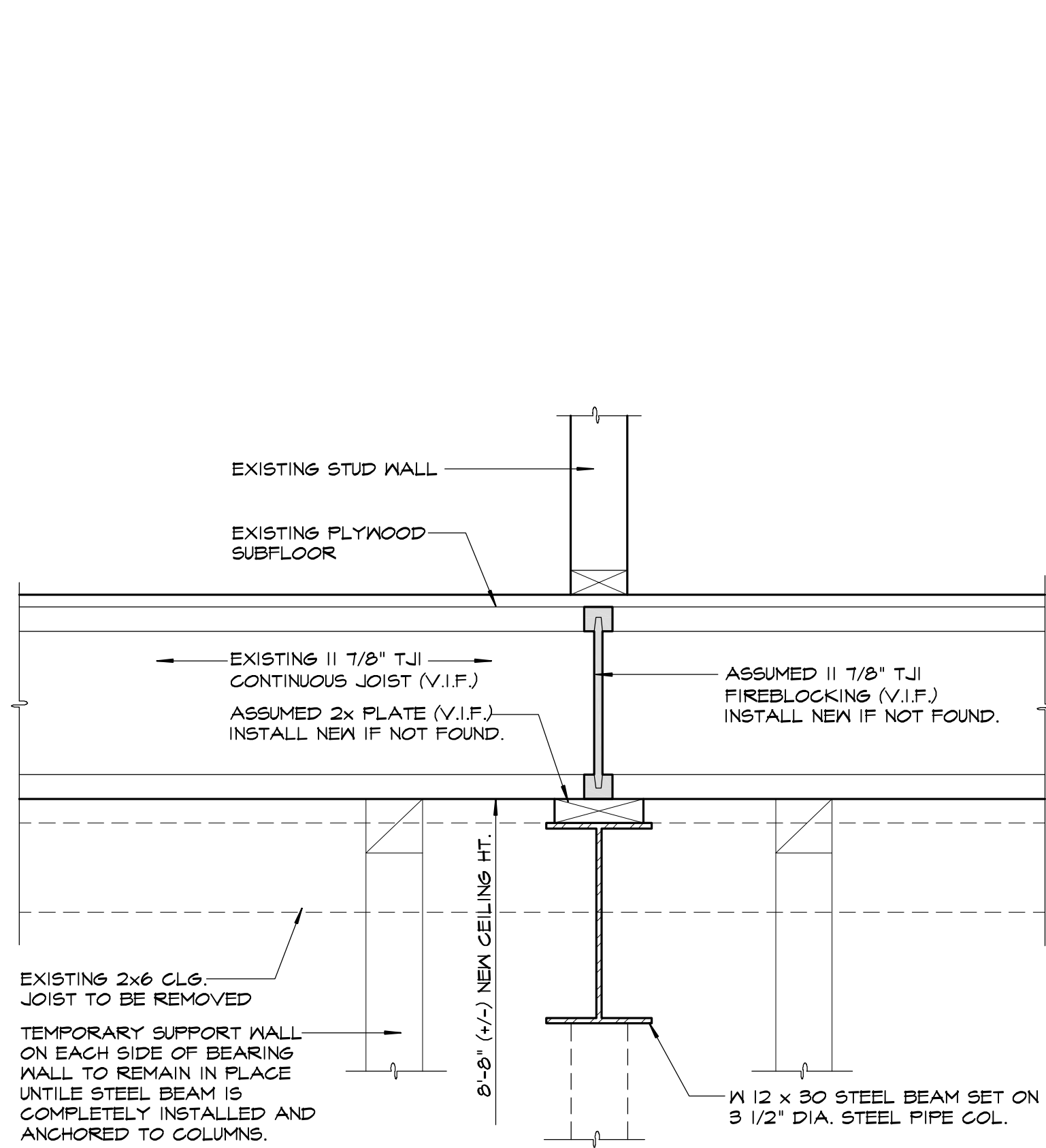
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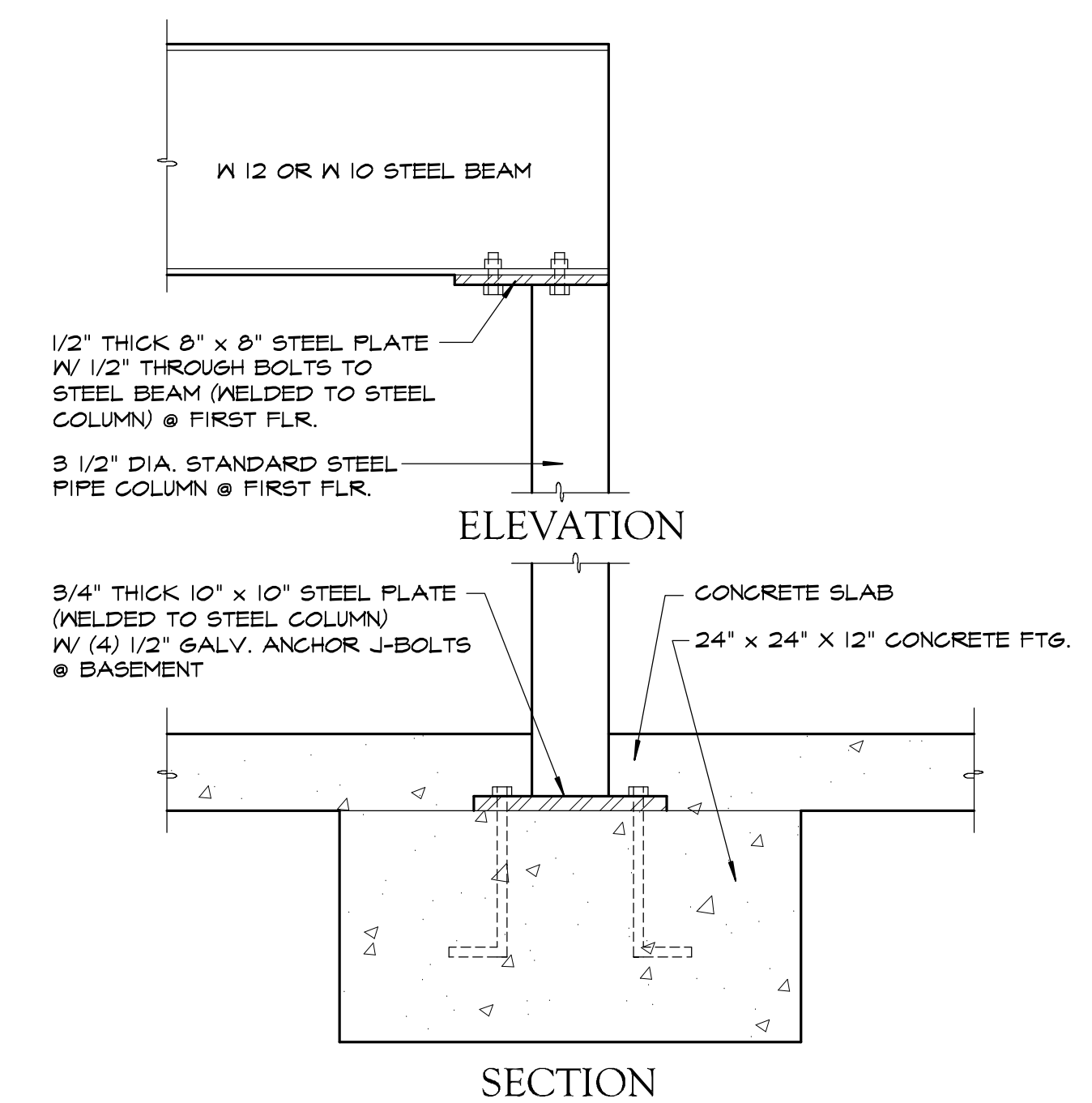
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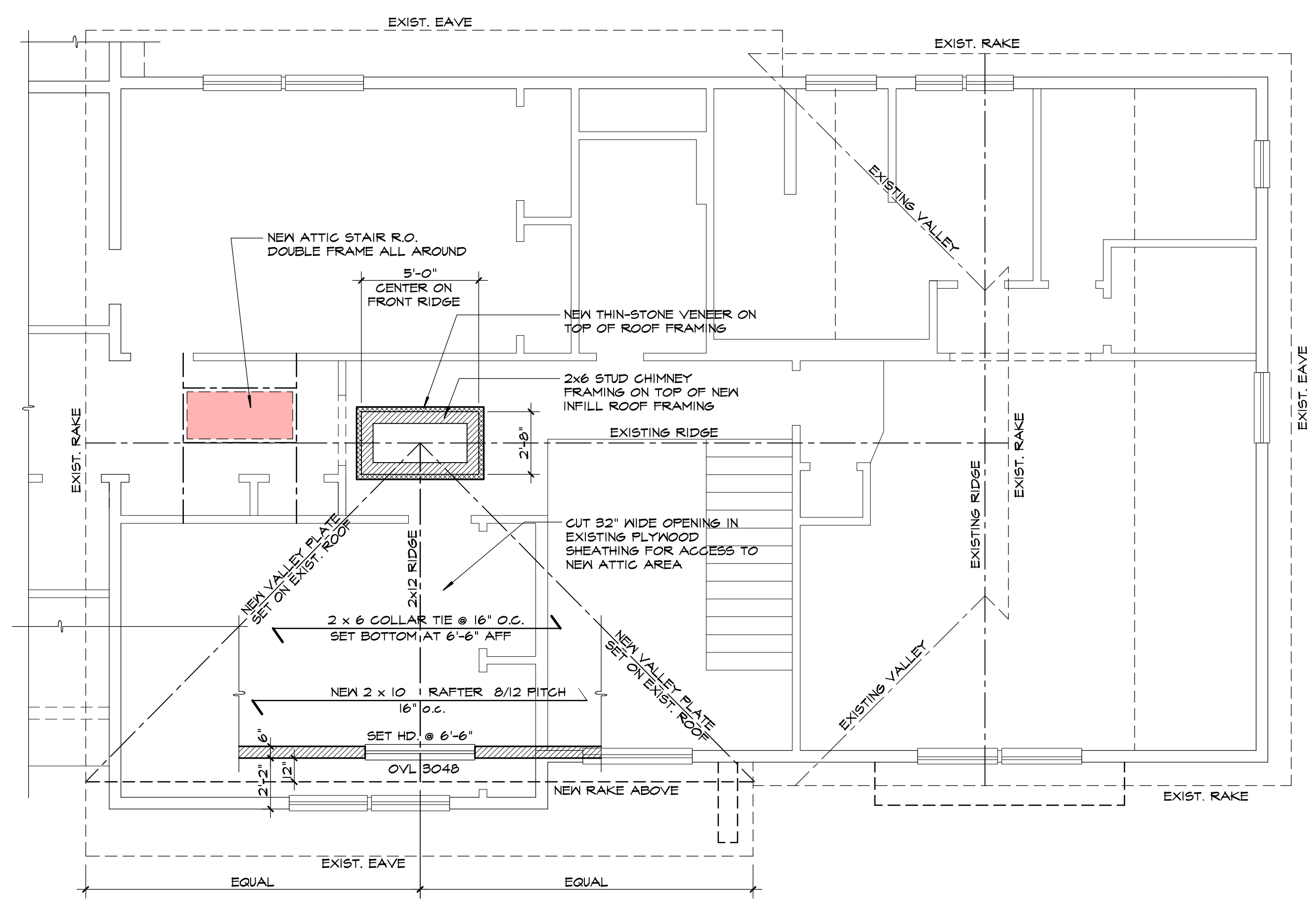


A DROPPED STEEL BEAM DETAIL @ DR/KIT.
SCALE: 1 1/2" = 1'-0"
FRAMING DETAIL ONLY. FINISHES NOT INDICATED FOR CLARITY/

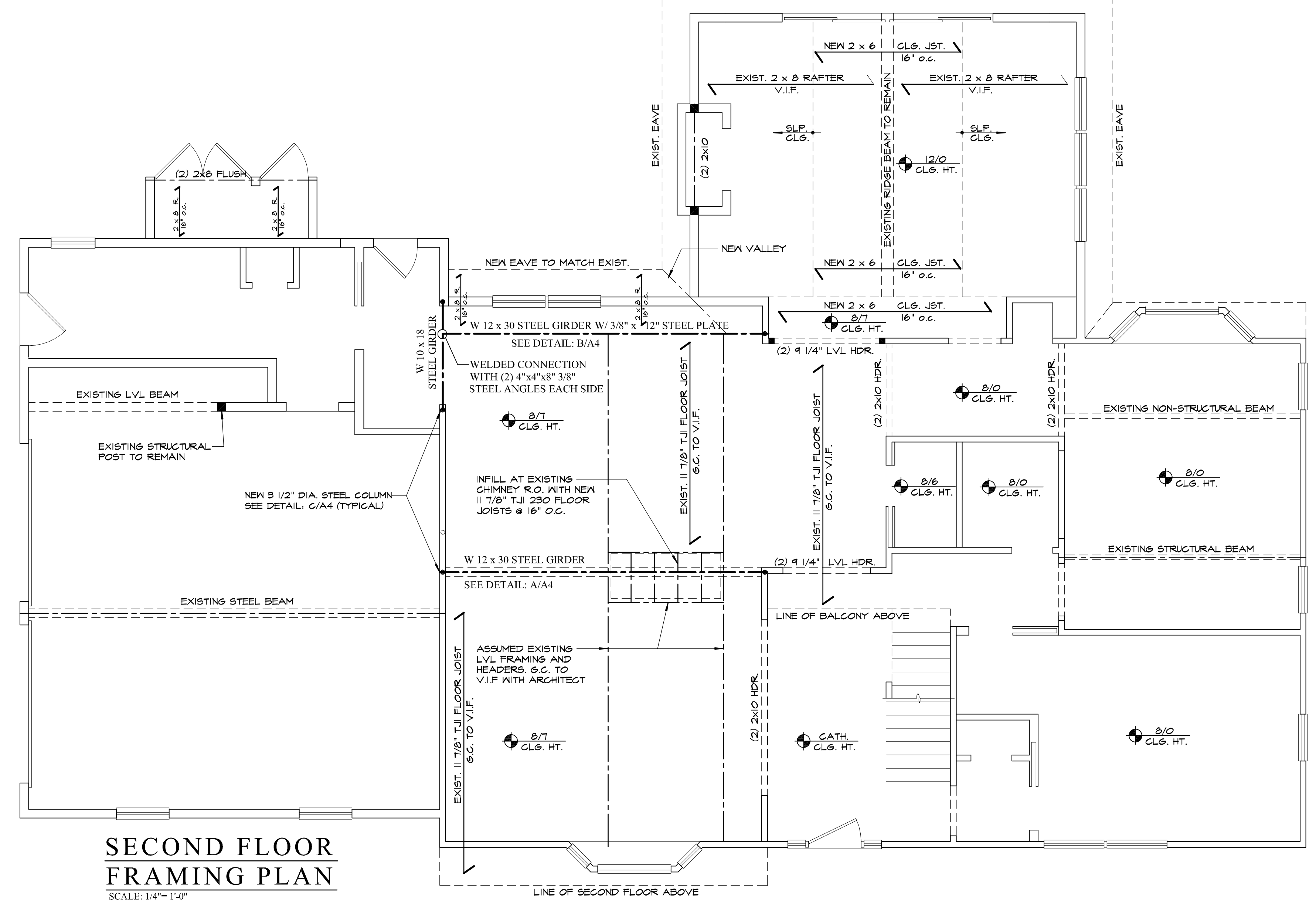
A FLUSH STEEL BEAM DETAIL @ KITCHEN
SCALE: 1 1/2" = 1'-0"
FRAMING DETAIL ONLY. FINISHES NOT INDICATED FOR CLARITY/



D TYPICAL STEEL BEAM-COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"
NOTE: STEEL SHALL BE ASTM A36 AND SHOP PRIME WITH RUST INHIBITOR



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

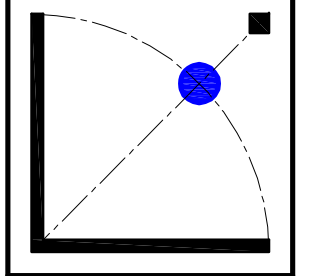


SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

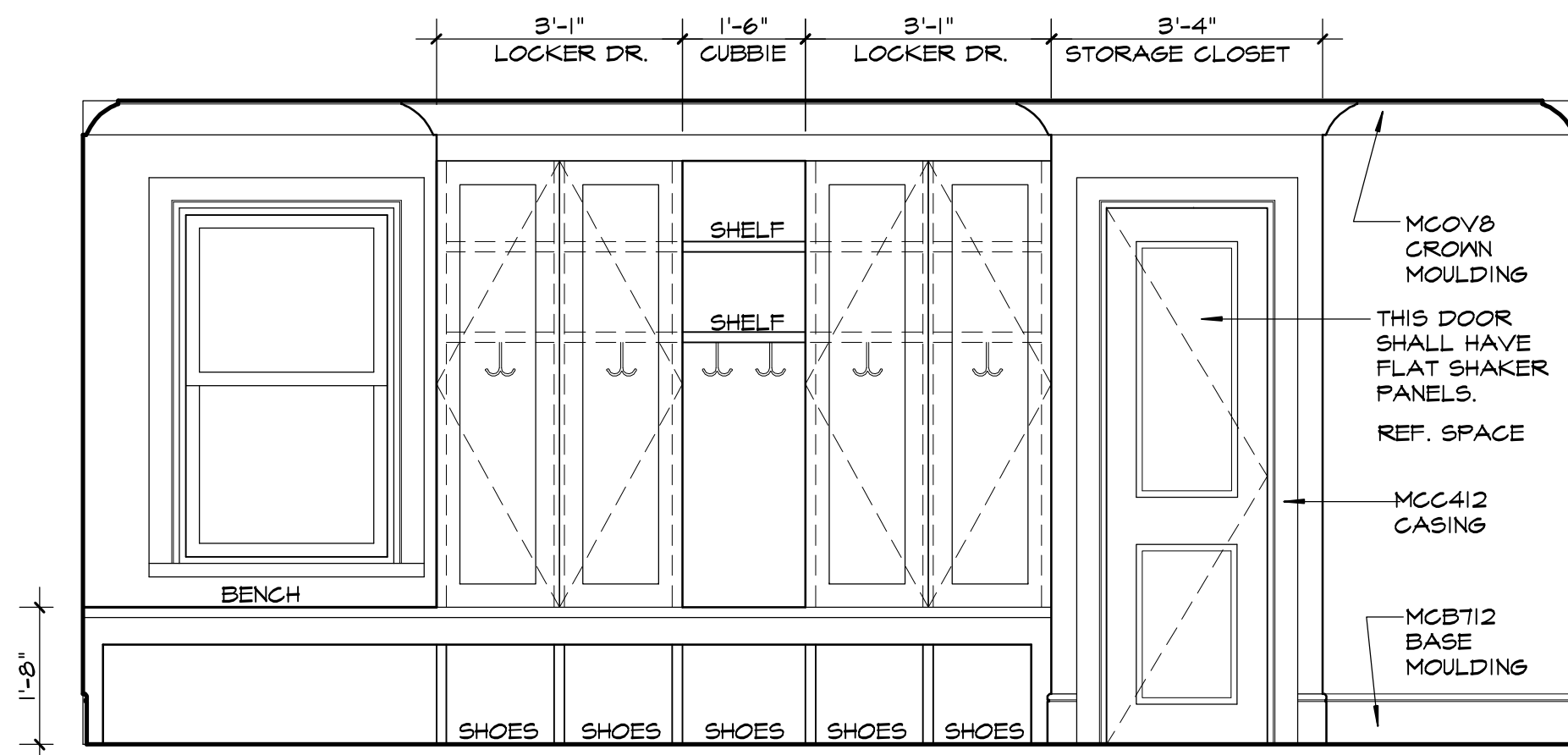
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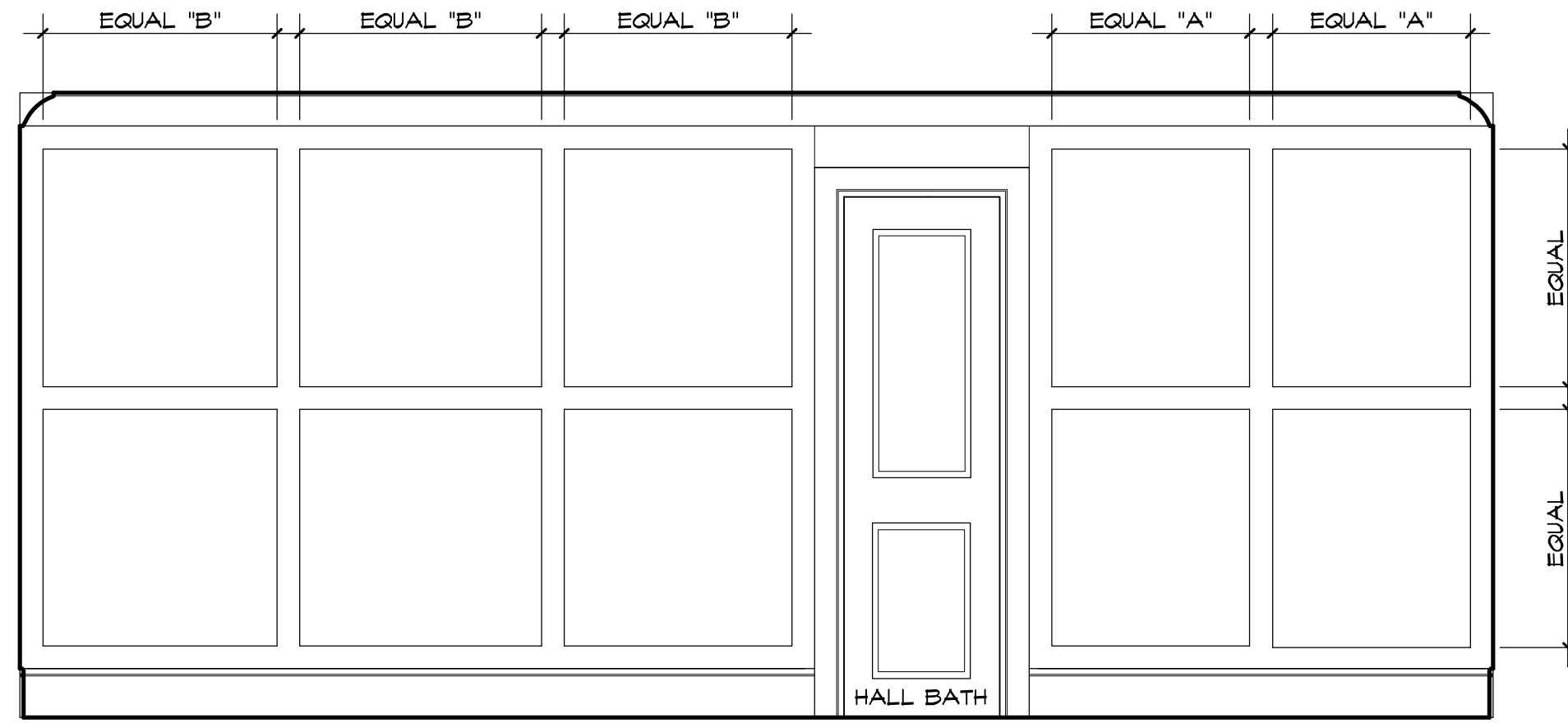
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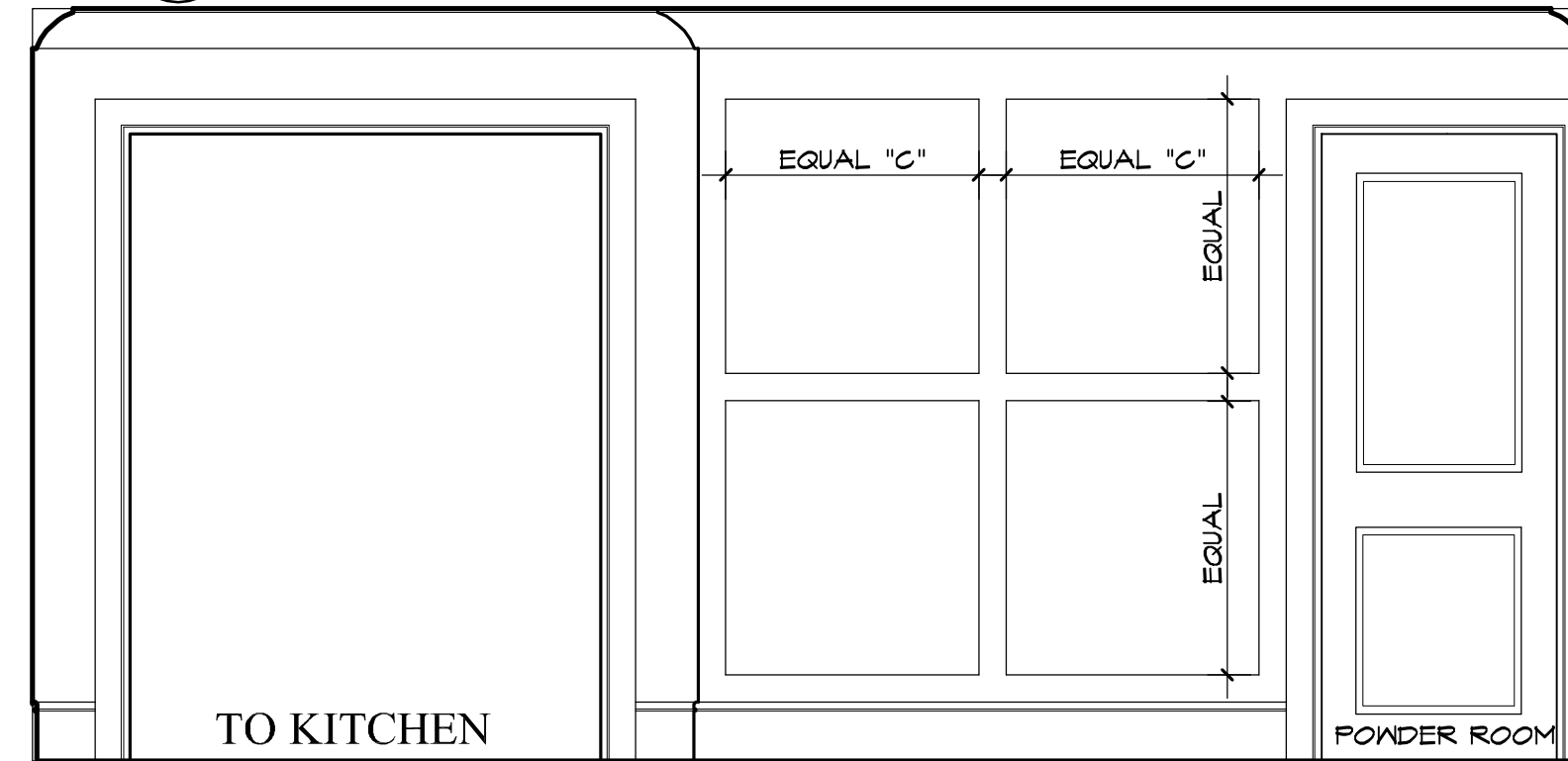
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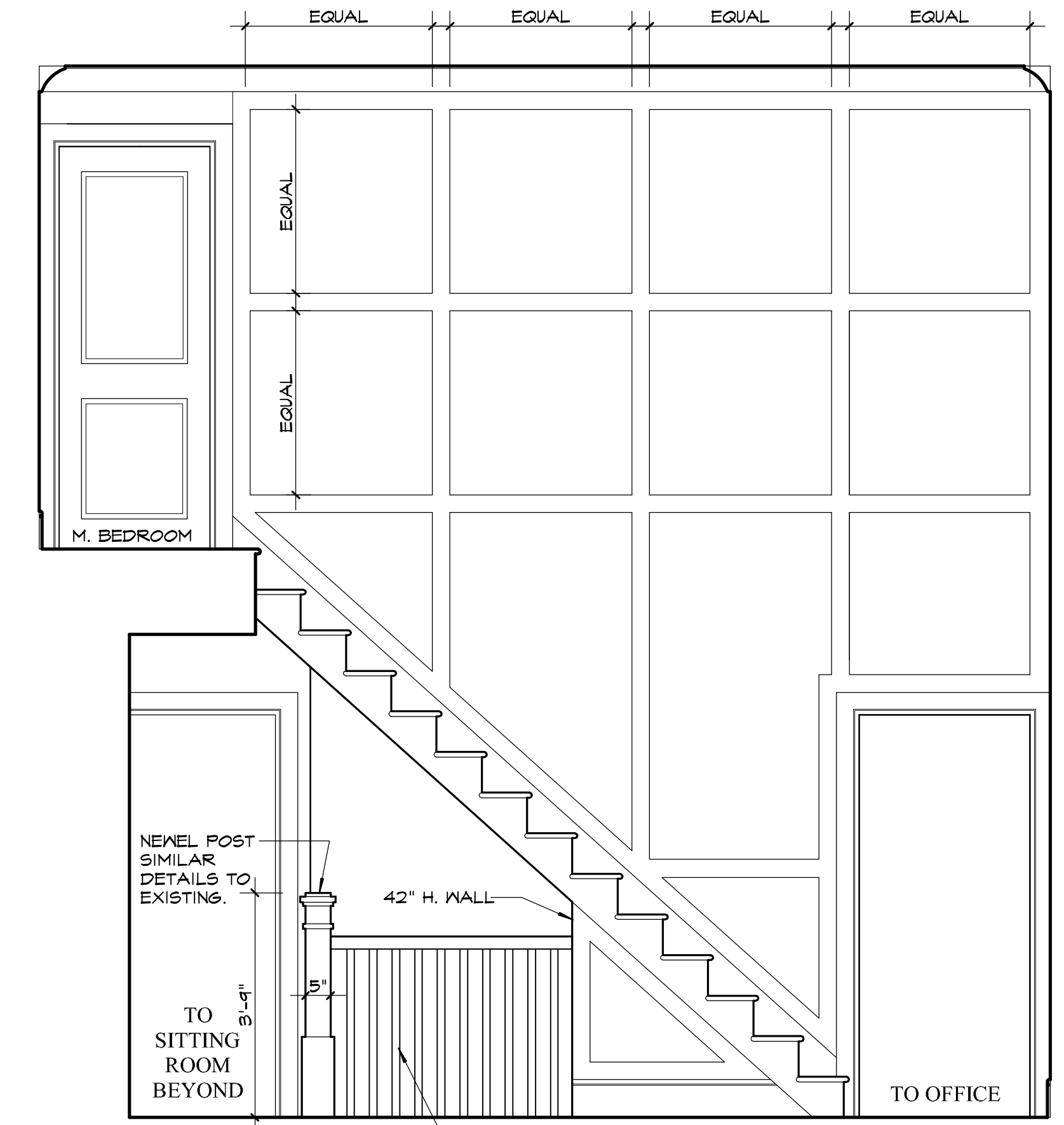
F COAT ROOM ELEVATION
SCALE: 1/2" = 1'-0"



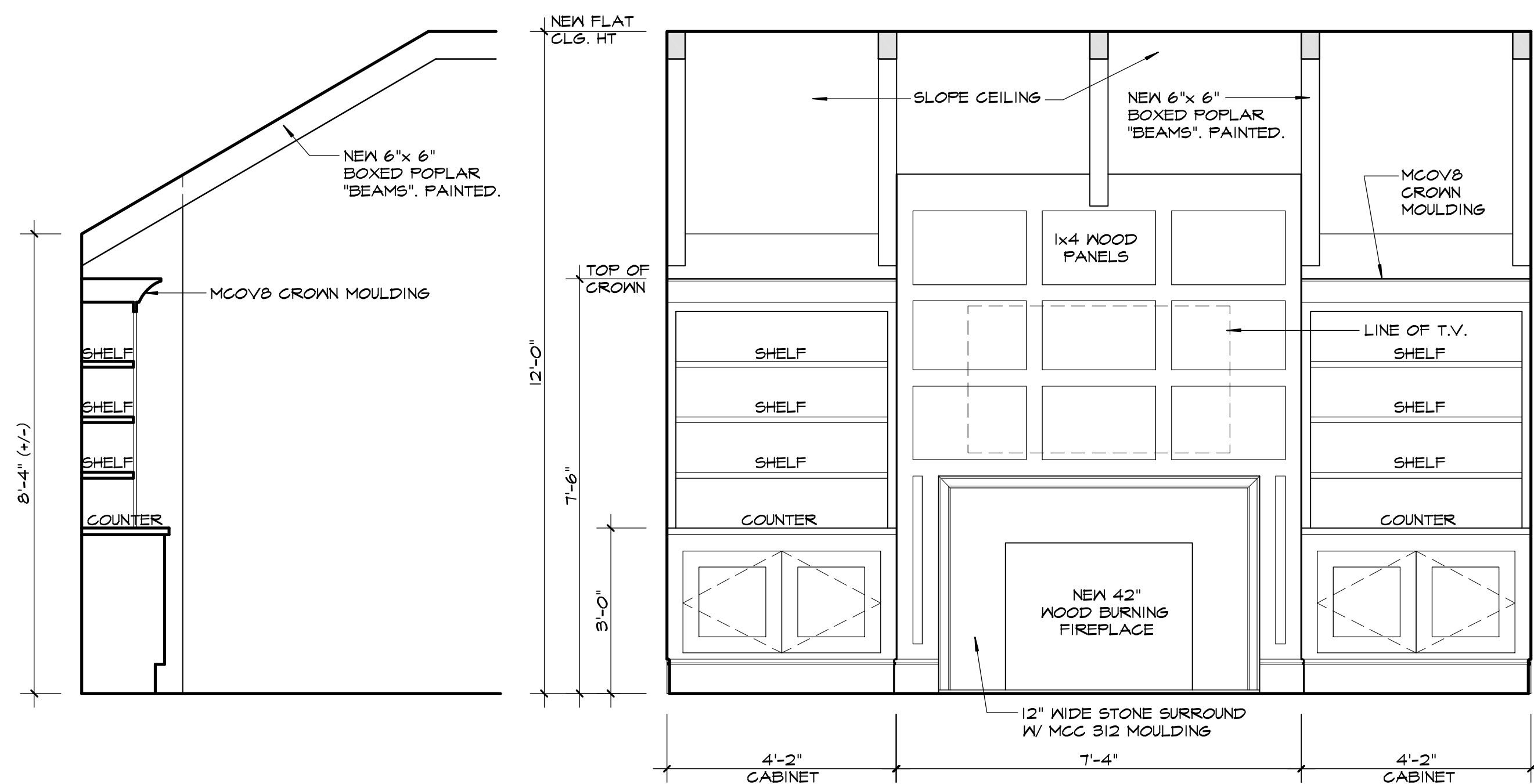
B BALCONY ELEVATION FACING HALL BATH
SCALE: 1/2" = 1'-0"



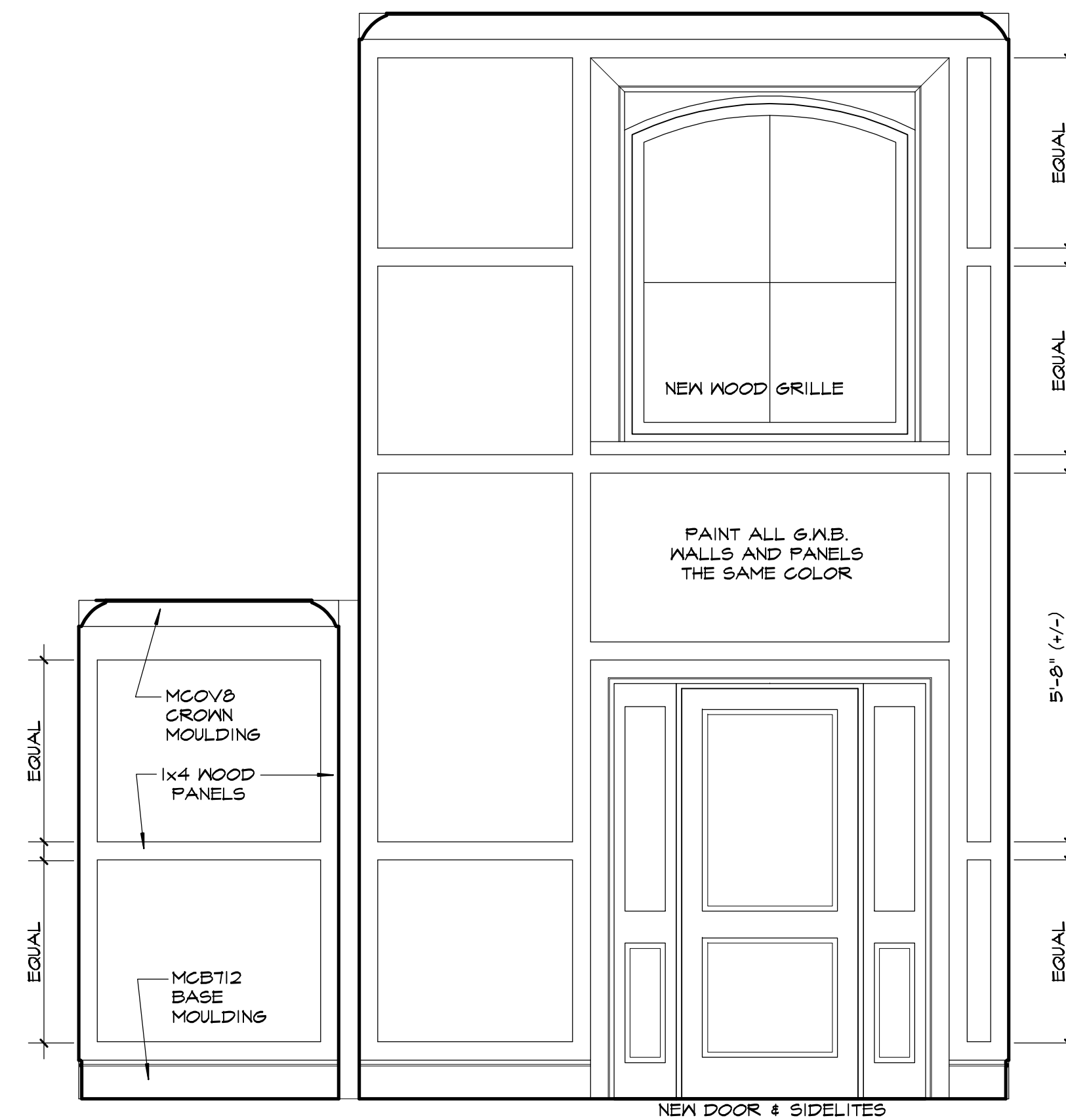
A FOYER ELEVATION FACING KITCHEN
SCALE: 1/2" = 1'-0"



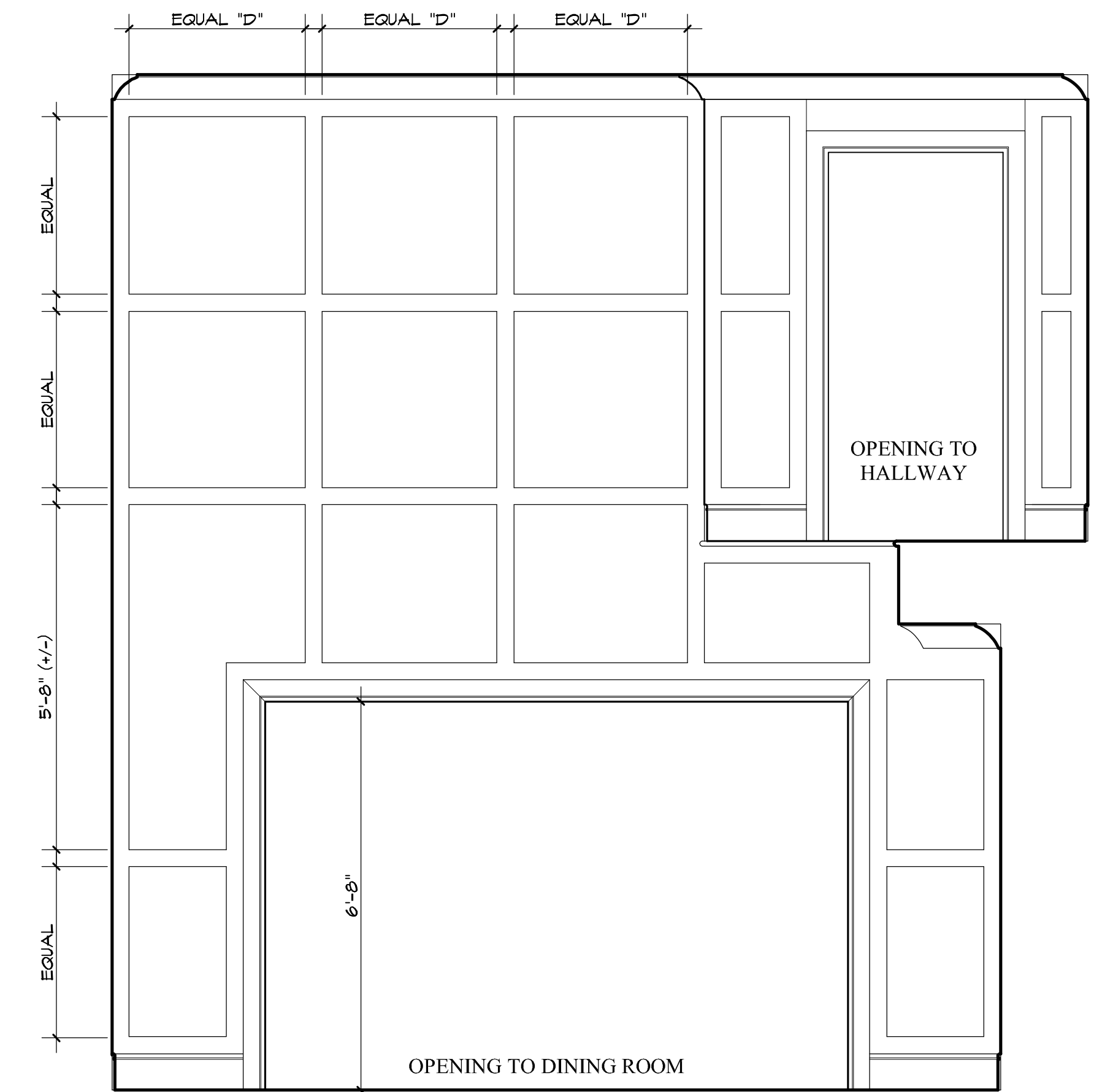
E FOYER ELEVATION FACING STAIR
SCALE: 1/2" = 1'-0"
RAILINGS NOT SHOWN FOR CLARITY



G FAMILY ROOM SECTION-ELEVATION
SCALE: 1/2" = 1'-0"



C FOYER ELEVATION FACING FRONT DOOR
SCALE: 1/2" = 1'-0"
ALL MOULDINGS AND MILLWORK SHOWN HERE IS TYPICAL FOR ALL ELEVATIONS

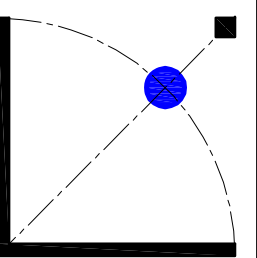


D FOYER ELEVATION FACING DINING ROOM
SCALE: 1/2" = 1'-0"

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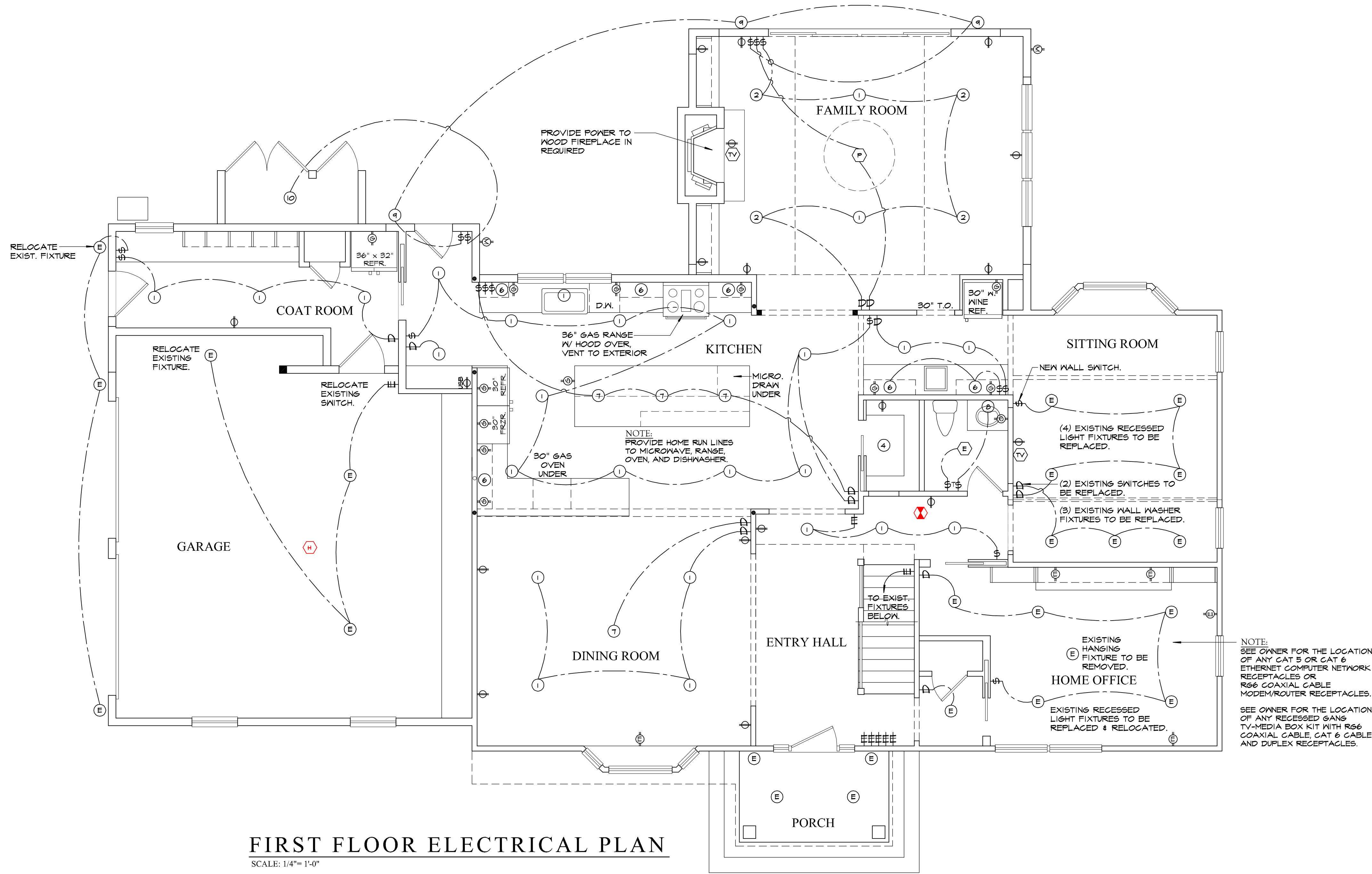
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FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

| ELECTRICAL FIXTURE LEGEND | |
|---------------------------|--|
| SYMBOL | FIXTURE TYPE |
| (E) | EXISTING LIGHT |
| (1) | RECESSED DOWNLIGHT (5" APERTURE) |
| (2) | RECESSED DOWNLIGHT (SLOPE CEILING ADAPTOR) SET IN SLOPE CEILING (TYPE IC FRAME KIT) (5" APERTURE) |
| (3) | RECESSED DOWNLIGHT (4" APERTURE) |
| (4) | RECESSED DOWNLIGHT (5" APERTURE) W/ MOTION DETECTOR |
| (5) | RECESSED DOWNLIGHT (SUITABLE FOR NET LOCATIONS) |
| (6) | TAPE STRIP UNDERCABINET L.E.D. LIGHTS |
| (7) | CHANDELIER / PENDANT LIGHT <i>PURCHASED BY OWNER</i> |
| (8) | SURFACE MOUNTED WALL SCONCE <i>PURCHASED BY OWNER</i> |
| (9) | CARRIAGE LANTERN (WALL MOUNT ON J-BLOCK) <i>PURCHASED BY OWNER</i> |
| (10) | PORCELAIN LIGHT SOCKET |
| (#) | EXISTING WALL SWITCH |
| (\$) | NEW WALL SWITCH |
| (D) | NEW WALL SWITCH WITH DIMMER |
| (T) | WALL SWITCH WITH TIMER |
| (J) | DOOR JAMB SWITCH |
| (R) | EXISTING RECEPTACLE TO REMAIN |
| (D) | NEW DUPLEX RECEPTACLE |
| (Q) | QUAD-PLEX RECEPTACLE |
| (G) | GROUND FAULT CIRCUIT INTERRUPTER (GFCI) |
| (W) | WEATHER PROTECTED RECEPTACLE (GFCI) |
| (U) | 4-PORT USB CHARGER WALL OUTLET (NO RECEPTACLES) |
| (20) | 220 AMP RECEPTACLE |
| (S) | SMOKE DETECTOR & ALARM; HARD WIRED W/ 10 YR. LITHIUM BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 & 4a |
| (C) | COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR & ALARM; HARD WIRED, 10 YR. LITHIUM BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 & 4a |
| (H) | RATE OF RISE HEAT SENSOR. HARD WIRED W/ 10 YR. LITHIUM BATTERY BACKUP (SEALED IN) INTER-CONNECTED TO SMOKE/C.M. ALARMS |
| (F) | FAN FAN W/O LIGHT FIXTURE |
| (E) | EXHAUST FAN / LIGHT (15 BONES MAX.) VENT TO EXTERIOR W/ SMOOTH METAL DUCT |
| (TV) | RECESSED GANG TV-MEDIA BOX KIT WITH R66 COAXIAL CABLE, CAT 6 CABLE AND DUPLEX RECEPTACLE |
| (C) | R66 COAXIAL CABLE MODEM/ROUTER RECEPTACLE |

ELECTRICAL GENERAL NOTES

- ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF N.Y.S., LOCAL AND NATIONAL FIRE UNDERWRITER CODES AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
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- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND CONFIRM ELECTRICAL LAYOUT IN THE FIELD WITH OWNER PRIOR TO START OF WORK. REVISE FIXTURE LOCATIONS IF REQUIRED, AS DIRECTED BY OWNER.
- OWNER'S ALARM COMPANY SHALL PROVIDE SMOKE DETECTORS, CARBON MONOXIDE DETECTORS/ALARMS, AND HEAT SENSORS AS PER SECTION R314 & R315 OF THE 2020 RESIDENTIAL CODE OF N.Y.S. DETECTORS SHALL BE HARD WIRED WITH BATTERY BACKUP, UL 217 APPROVED. ALL DETECTORS SHALL BE INTERCONNECTED TO THE ALARM SYSTEMS CENTRAL STATION, AND IN SUCH A MANNER THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
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- TAMPER-RESISTANT RECEPTACLES (E-4002.14). IN AREAS SPECIFIED IN SECTION E300.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL RECESSED LIGHT FIXTURES SHALL BE L.E.D. BY LIGHTOLIER OR OWNER APPROVED EQUAL.
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- SALVAGE AND RELOCATE EXISTING LIGHT FIXTURES AS DIRECTED BY OWNER.
- VENT ALL EXHAUST FANS AND DRYER VENT TO EXTERIOR WITH SMOOTH, METAL (NO VINYL OR PVC) PIPING AND DAMPERS.
- PROVIDE COMPLETE DOOR BELL SYSTEM FOR MUD ROOM ENTRANCE (REVIEW TYPE). REVIEW LOCATION OF DOOR CHIMES WITH OWNER.
- SWITCHES SHALL BE BY LEVITON OR APPROVED EQUAL. OWNER SHALL SELECT TYPE AND COLOR OF SWITCHES AND RECEPTACLES.
- PROVIDE TYPE IC FRAME IN KIT AT ALL RECESSED LIGHTS ADJACENT TO THERMAL INSULATION. IC-RATED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE < 2.0 CFM LEAKAGE @ 75 Pa.
- NOT LESS THAN 90% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- PROVIDE A PROGRAMMABLE THERMOSTATS FOR EACH HEATING AND COOLING ZONE. SET INITIALLY BY MANUFACTURER TO CODE SPEC'S.
- PROVIDE QUICKMAT™ ELECTRIC FLOOR HEATING MAT BY "EASY WARM FLOOR" OR EQUAL IN MAIN BATH BELOW TILE FLOOR. PROVIDE SEPARATE THERMOSTAT, WIRING AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION.
- PROVIDE DITRA-HEAT™ ELECTRIC FLOOR HEATING UNCOUPLING MAT BY "SCHLUTER SYSTEMS" IN MAIN BATH BELOW TILE FLOOR.

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• ARCHITECT •
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 57 Wheeler Avenue, Suite 203, Pleasantville, New York 10570
 Phone: 914-747-1220 E-Mail: tpl.arch@gmail.com

Addition and Alteration to the
Feuerstein Residence
 9 Seymour Place West, Armonk, New York
 Section: 108.02 Block: 1 Lot: 63

Revisions

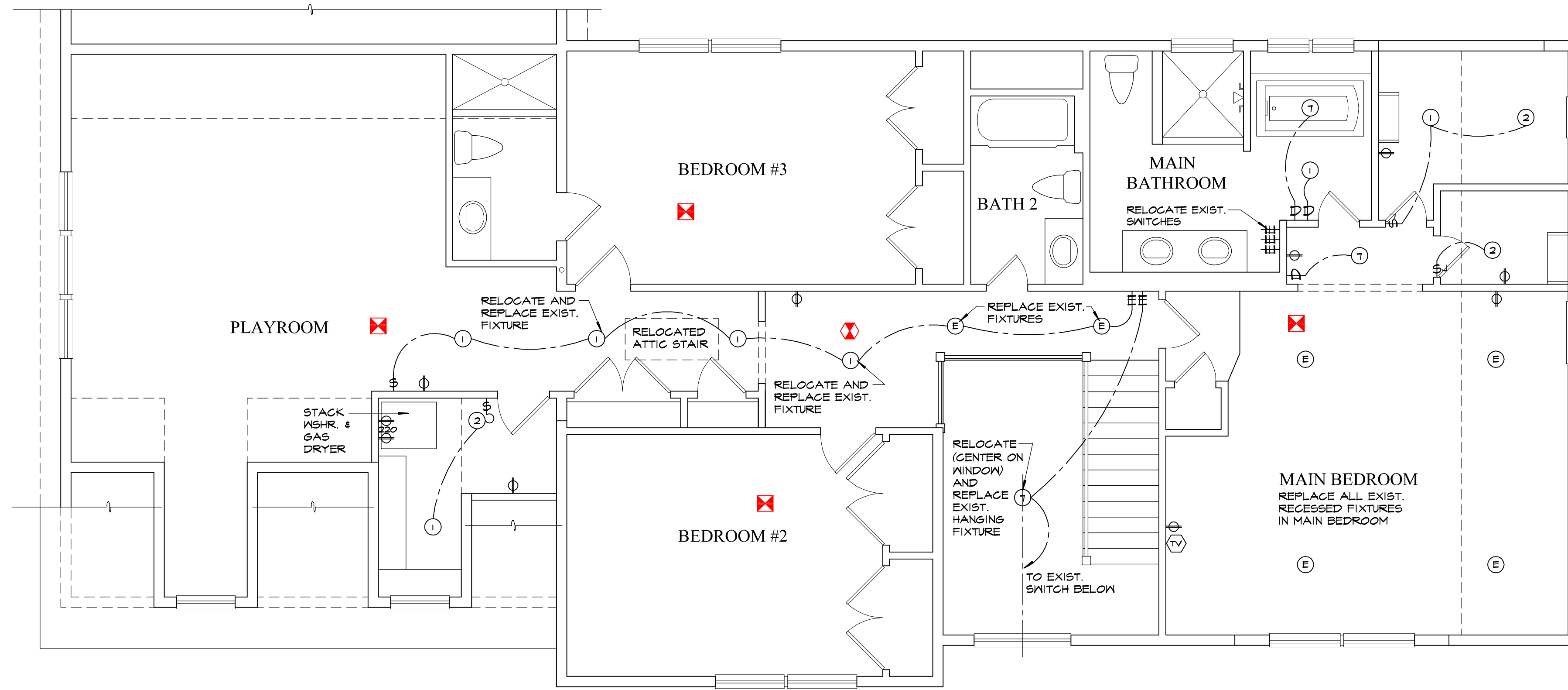
Date: 09/01/21

Do Not Scale Prints

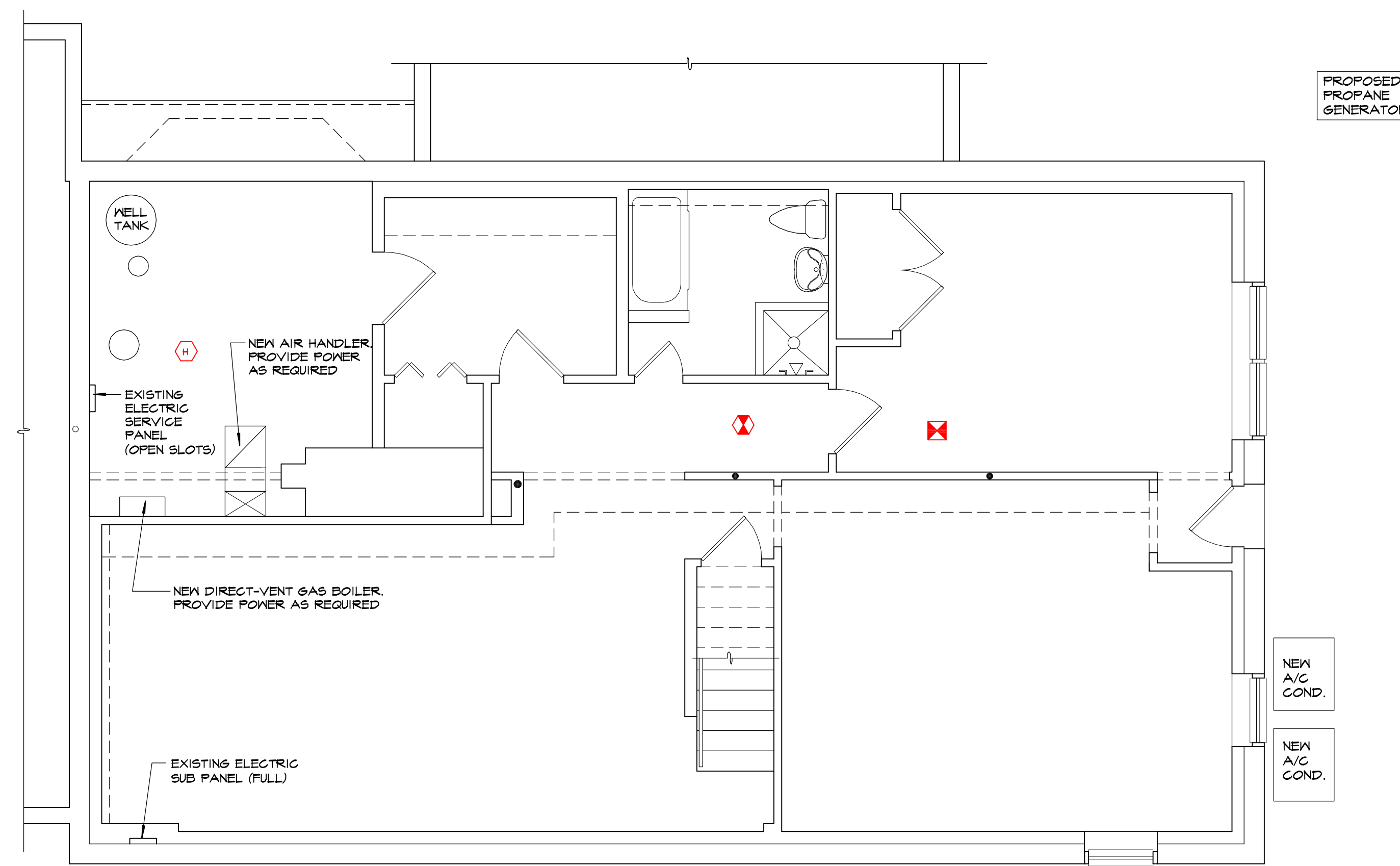
Sheet No.

E1

Feuerstein



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4"= 1'-0"



BASEMENT ELECTRICAL PLAN
SCALE: 1/4"= 1'-0"

| ELECTRICAL FIXTURE LEGEND | |
|---------------------------|--|
| SYMBOL | FIXTURE TYPE |
| ⓔ | EXISTING LIGHT |
| ① | RECESSED DOWNLIGHT (5" APERTURE) |
| ② | RECESSED DOWNLIGHT (SLOPE CEILING ADAPTOR) SET IN SLOPE CEILING (TYPE IC FRAME KIT) (5" APERTURE) |
| ③ | RECESSED DOWNLIGHT (4" APERTURE) |
| ④ | RECESSED DOWNLIGHT (5" APERTURE) W/ MOTION DETECTOR |
| ⑤ | RECESSED DOWNLIGHT (SUITABLE FOR NET LOCATIONS) |
| ⑥ | TAPE STRIP UNDERCABINET L.E.D. LIGHTS |
| ⑦ | CHANDELIER / PENDANT LIGHT PURCHASED BY OWNER |
| ⑧ | SURFACE MOUNTED WALL SCONCE PURCHASED BY OWNER |
| ⑨ | CARRIAGE LANTERN (WALL MOUNT ON J-BLOCK) PURCHASED BY OWNER |
| ⓐ | PORCELAIN LIGHT SOCKET |
| Ⓜ | EXISTING WALL SWITCH |
| Ⓝ | NEW WALL SWITCH |
| Ⓞ | NEW WALL SWITCH WITH DIMMER |
| Ⓟ | WALL SWITCH WITH TIMER |
| Ⓠ | DOOR JAMB SWITCH |
| Ⓡ | EXISTING RECEPTACLE TO REMAIN |
| Ⓢ | NEW DUPLEX RECEPTACLE |
| Ⓣ | QUAD-PLEX RECEPTACLE |
| Ⓤ | GROUND FAULT CIRCUIT INTERRUPTER (GFCI) |
| Ⓥ | WEATHER PROTECTED RECEPTACLE (GFCI) |
| Ⓦ | 4-PORT USB CHARGER WALL OUTLET (NO RECEPTACLES) |
| Ⓧ | 220 AMP RECEPTACLE |
| Ⓨ | SMOKE DETECTOR & ALARM, HARD WIRED W/ 10 YR. LITHIUM BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 & 4a |
| Ⓩ | COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR & ALARM, HARD WIRED, 10 YR. LITHIUM BATTERY BACKUP (SEALED IN). SEE ELECTRICAL NOTES 4 & 4a |
| ⓐ | RATE OF RISE HEAT SENSOR, HARD WIRED W/ 10 YR. LITHIUM BATTERY BACKUP (SEALED IN) INTER-CONNECTED TO SMOKE/CO ALARMS |
| ⓑ | PADDLE FAN W/O LIGHT FIXTURE |
| ⓓ | EXHAUST FAN / LIGHT (1.5 SONES MAX.) VENT TO EXTERIOR W/ SMOOTH METAL DUCT |
| ⓔ | RECESSED GANG TV-MEDIA BOX KIT WITH R66 COAXIAL CABLE, CAT 6 CABLE AND DUPLEX RECEPTACLE |
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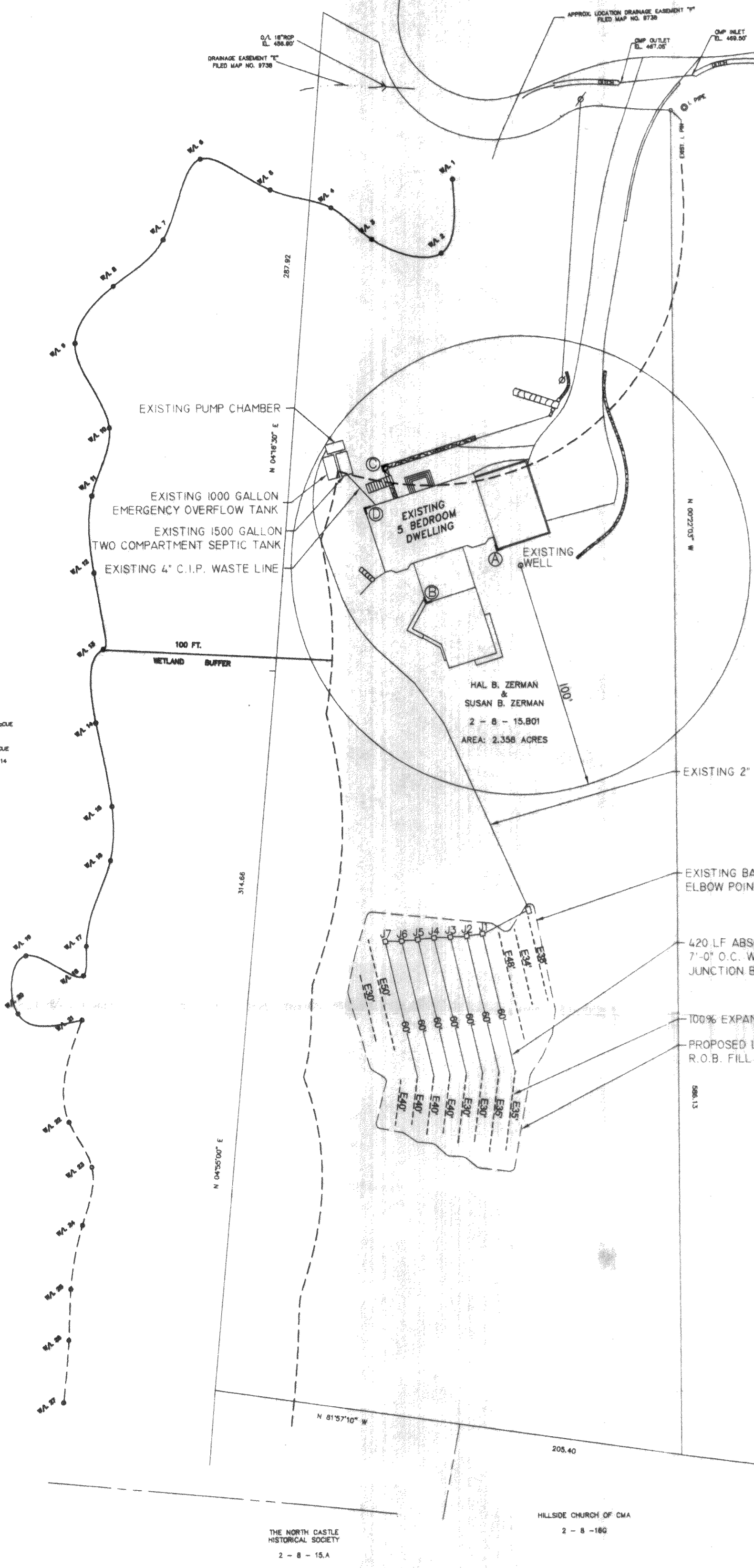
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 www.tplarch.com

Addition and Alteration to the
Feuerstein Residence
 9 Seymour Place West, Armonk, New York
 Section: 108.02 Block: 1 Lot: 63

• ARCHITECT •
Timothy P. Lener, Architect, P.C.
 57 Wheeler Avenue, Suite 203, Pleasantville, New York 10570
 Phone: 914-747-1220 E-Mail: tpl.arch@gmail.com

Revisions
 Date: 09/01/21
 Do Not Scale Prints
 Sheet No.
E2
 Feuerstein

SEYMOUR PLACE WEST



PLAN SCALE
1"=40'

Westchester
gov.com

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
Bureau of Environmental Quality

PERMIT NUMBER: NOC 2005-37

Name: Zerman at 9 Seymour Place West Municipality: North Castle

Description: 5 Bed Room SSTS

of Sheets: 1

Are hereby accepted as final plans pursuant to provisions of Chapter 873, Article VIII, Section 873.711.1 and Article VII, Section 873.708.1 of the Westchester County Sanitary Code, subject to the provisions of the Certificate of Construction Compliance issued this date.

Reviewed by: _____ Date _____

Recommended by: James M. Ryan Date 8-22-06

Accepted by: Debra Court Date 8-22-06

A SUCCESSFUL PUMP TEST WAS PERFORMED ON JUNE 15TH, 2006

REQUIRED DOSE
= (420 LF)(.65 GAL/FT)(.74)
= 200 GALLON

ACTUAL DOSE
= 9.25" DROP
PUMP CHAMBER 94"x50" I.D.
PUMP CHAMBER GALLON PER FOOT
= 240 GALLON
= 9.25" DROP
= 185 GALLON

CONSTRUCTION NOTES

- EXISTING 5 BEDROOM DWELLING.
- EXISTING 1500 GALLON SEPTIC TANK.
- EXISTING 1000 GALLON PUMP CHAMBER WITH CONTROL & ALARM IN DWELLING.
- EXISTING 1000 GALLON OVERFLOW TANK.
- EXISTING HEAVY DUTY BAFFLED DISTRIBUTION BOX WITH ELBOW POINTING DOWNWARD AT DISCHARGE
- EXISTING 420 LF ABSORPTION TRENCH WITH JUNCTION BOX (TYP.) AND ENDCAPS
- EXISTING 2'-0" R.O.B. FILL OVER ENTIRE SEPTIC AREA
- NO WELLS WITHIN 200' DOWNHILL AND 100' UPHILL OF EXISTING SSTS

*CONSTRUCTION OF SEPTIC WAS INSPECTED BY KEANE COPPELMAN ENGINEERS P.C

SWING TIES

| ITEM | A | B | C | D |
|------------------|------|------|-------|-------|
| SEPTIC TANK | | | 25.5' | 22.5' |
| PUMP CHAMBER | | | 29' | 33.5' |
| OVERFLOW TANK | | | 32' | 29' |
| DISTRIBUTION BOX | 169' | 152' | | |
| JUNCTION BOX 1 | 169' | 148' | | |
| JUNCTION BOX 2 | 170' | 148' | | |
| JUNCTION BOX 3 | 172' | 148' | | |
| JUNCTION BOX 4 | 174' | 148' | | |
| JUNCTION BOX 5 | 176' | 149' | | |
| JUNCTION BOX 6 | 178' | 150' | | |
| JUNCTION BOX 7 | 180' | 151' | | |

AS BUILT PLAN

PREPARED FOR

ZERMAN RESIDENCE

SITUATE ON

**9 SEYMOUR PLACE WEST
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK**

DATE 7/7/2006

James M. Ryan

KEANE COPPELMAN ENGINEERS, P.C.
PROFESSIONAL CORPORATION

NOTE:

- OWNER/APPLICANT
HAL B. ZERMAN & SUSAN B. ZERMAN
9 SEYMOUR PLACE WEST
NORTH CASTLE, NEW YORK
- TOWN OF NORTH CASTLE TAX MAP INFORMATION
SECTION 2 BLOCK 8 LOT 15.B01
TOTAL AREA OF PARCEL 2.358 ACRES

KEANE COPPELMAN ENGINEERS, P.C.
CONSULTING CIVIL, SANITARY &
ENVIRONMENTAL ENGINEERS

113 SMITH AVENUE
MT. KISCO, N.Y. 10549
TEL. 914-241-2235
FAX. 914-241-6787

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW"

TAX MAP INFORMATION: SECTION 2 BLOCK 8 LOT 15.B01