

LOCATION MAP
NTS

GENERAL NOTES

1. THE CONSTRUCTION OF THE POOL, SPA, TERRACE AND STORMWATER MITIGATION WILL CREATE A TOTAL AREA OF DISTURBANCE OF 23,000 SF.
2. THE PROJECT WILL RESULT IN THE CREATION OF APPROXIMATELY 1,653 SF OF NEW IMPERVIOUS SURFACE.
3. THE PROPERTY IS LOCATED WITHIN THE TOWN OF NORTH CASTLE R-2A SINGLE FAMILY RESIDENTIAL DISTRICT.
4. THE PROPERTY SHOWN IS DESIGNATED ON THE TOWN OF NORTH CASTLE TAX MAPS AS SECTION 2, BLOCK 8, LOT 2E-2 (101.02-1-14)

CONSTRUCTION SEQUENCE :

1. INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THAT COULD RESULT IN DISTURBANCE OF SOIL. IN ADDITION, SILT FENCE TO BE INSTALLED IMMEDIATELY DOWNHILL OF CONSTRUCTION AREA. TREES TO BE PROTECTED SHALL BE CORDONED OFF WITH CONSTRUCTION FENCE.
2. PROVIDE A GRAVEL ANTI-TRACKING PAD AS STABILIZED CONSTRUCTION ENTRANCE.
3. CONTRACTOR SHALL STRIP TOPSOIL AND TEMPORARILY STOCKPILE AND SURROUND WITH SILT FENCE WHERE INDICATED ON PLAN.
4. CONTRACTOR SHALL BE INSTALL LANDSCAPE BOULDER WALL AND CONSTRUCT BERM. STABILIZATION MATTING TO BE INSTALLED UPON ESTABLISHING FINISHED GRADE.
5. CONTRACTOR SHALL BEGIN POOL CONSTRUCTION INCLUDING EXCAVATION OF AND CONSTRUCTION OF PROPOSED POOL. UPON COMPLETION OF GUNITE, BACKFILL POOL AND ROUGH GRADE POOL AREA.
6. CONTRACTOR TO INSTALL STORMWATER MITIGATION SYSTEM AND CAP OFF FOR FUTURE CONNECTION.
7. INSTALL DRAIN INLETS AND PRE-TREATMENT STRUCTURE. PROVIDE INLET PROTECTION AND CAP UNTIL SITE IS STABLE.
8. INSTALL PROPOSED POOL TERRACE, PITCH TOWARD DRAIN INLETS.
9. INSTALL POOL EQUIPMENT.
10. INSTALL FENCING, RESTORE DISTURBED AREAS WITH TOPSOIL AND SEED. INSTALL LANDSCAPING.
11. VERIFY THE SITE IS STABLE BEFORE THE EROSION CONTROL MEASURES ARE REMOVED AND THE STORMWATER MITIGATION SYSTEM IS PLACED "ON-LINE."

GENERAL EROSION CONTROL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION SILT FENCING SHALL BE INSTALLED ON THE DOWNHILL SLOPE OF WORK AREA AND SHALL BE IN PLACE AS INDICATED ON THIS SEDIMENT AND EROSION CONTROL PLAN.
2. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005.
3. ANY DRAINS OR CATCH BASINS SHALL BE PROTECTED WITH STONE AND BLOCK DRAIN INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL AREAS ARE THOROUGHLY STABILIZED.
4. SOIL STOCK PILES SHALL NOT BE ALLOWED ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. STOCK PILES SHALL BE SURROUNDED WITH SILT FENCING AND SEEDED WITH TOTAL ANNUAL RYE WITHIN TWO DAYS.
5. EROSION CONTROL MEASURES ARE TO INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED, OR REPLACED AS INDICATED IN THE EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE ON THIS SHEET.
6. FINAL GRACES SHALL BE ESTABLISHED WITHIN 7 DAYS AND TOP SOILED AND SEED TO PROVIDE A PERMANENT TURF WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
7. GRADED OR CLEAR AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH A MULCH COVER WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER.
8. FINAL LANDSCAPING WILL BE REQUIRED OVER ANY PREVIOUSLY DISTURBED AREAS. SPREAD A MIN. 4" TOPSOIL OVER DISTURBED SOIL. APPLY SEED MIXTURE AS PER PLANTING SCHEDULE. APPLY STRAW MULCH AND WATER WITHIN TWO DAYS OF COMPLETION OF TOPSOILING.
9. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL 80% GRASS IS ESTABLISHED, SOIL IS STABILIZED, AND THERE IS NO EVIDENCE OF POTENTIAL FOR EROSION AS A RESULT OF CONSTRUCTION ACTIVITY.
10. EROSION CONTROL MEASURES MAY ONLY BE REMOVED AT SUCH TIME THAT FINAL LANDSCAPING IS ESTABLISHED WHICH IS AT THE DISCRETION OF THE TOWN ENGINEER. AT THAT TIME, STRUCTURES ARE TO BE REMOVED IN REVERSE ORDER WITH THE UP SLOPE STRUCTURES BEING REMOVED FIRST AND THEN PROCEEDING DOWN SLOPE.

NOTES

1. CONTRACTOR SHALL DELINEATE LIMIT OF DISTURBANCE LINE BY INSTALLING ORANGE MESH CONSTRUCTION FENCE ALONG LINE. NO DISTURBANCE SHALL OCCUR BEYOND ESTABLISHED LIMIT LINE.
2. NO TOWN-REGULATED TREE REMOVAL IS BEING PROPOSED.
3. CONSTRUCTION OF ALL WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.
4. UPON COMPLETION OF WORK, CONTRACTOR SHALL REMOVE TEMPORARY CONSTRUCTION ACCESS AND RESTORE AREA WITH LANDSCAPE, TOPSOIL AND SEED.

SYMBOL FOR DEEP TEST HOLE
DEEP TEST HOLE RESULTS 11/20/2020

TEST PIT 1	
G.L.	LAWN
0'-6"	TOPSOIL
6'-24"	GRAY SANDY LOAM WITH SILTS
24'-75"	MISCELLANEOUS FILL
*75" TOTAL DEPTH, GROUNDWATER @ 74"	

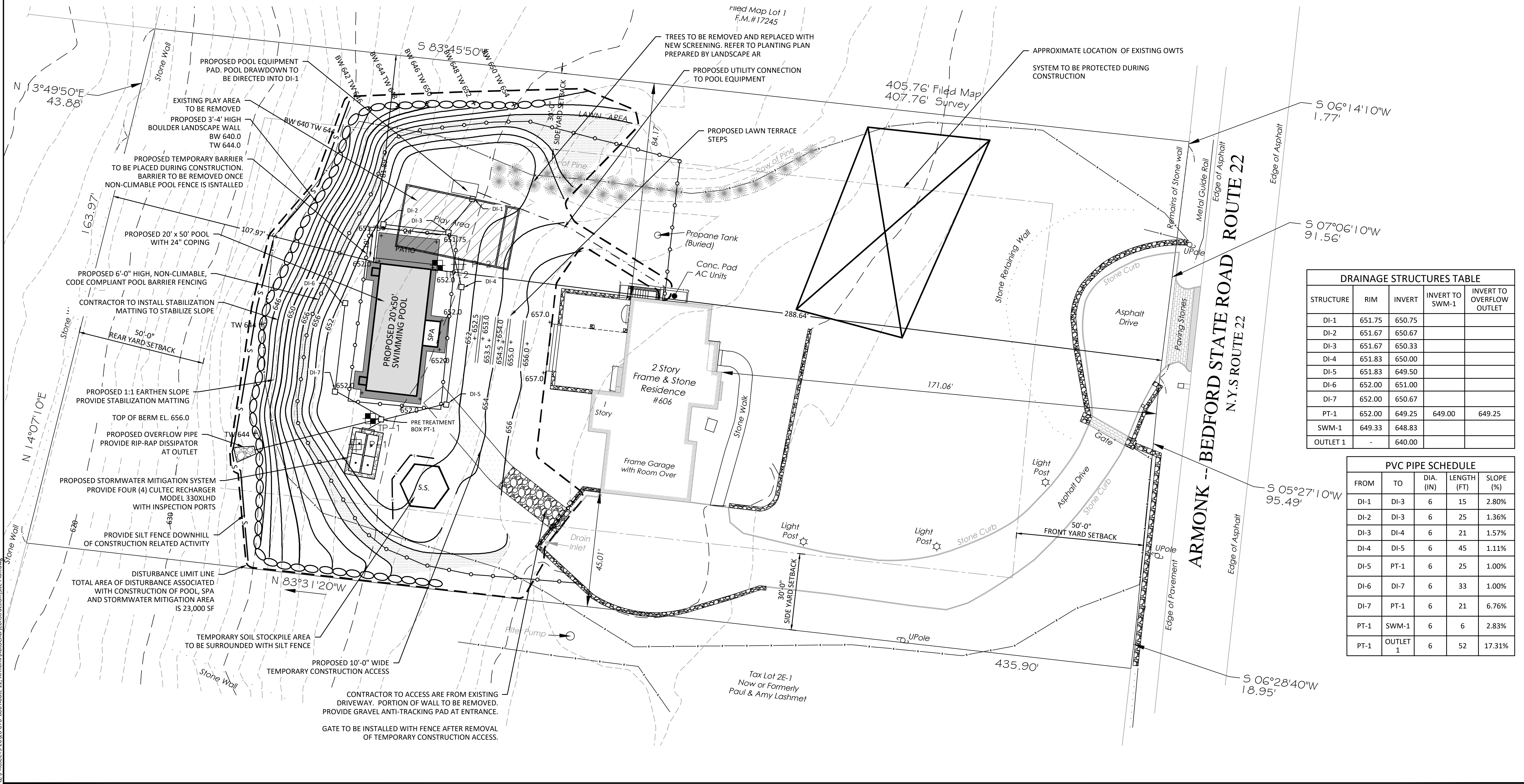
TEST PIT 2	
G.L.	LAWN
0'-6"	TOPSOIL
6'-24"	DARK BROWN SANDY LOAM
24'-82"	LIGHT BROWN MOD. COMP. LOAM W/ FINES
*82" TOTAL DEPTH	

SYMBOL FOR INFILTRATION TEST
INFILTRATION TEST RESULTS DEPTH = 29" 11/20/2020

HOLE #	DROP MIN.	DROP INCH	RATE (IN/HR)
①	16 min.	3.0 inches	11.25
	23 min.	3.0 inches	7.83
	30 min.	3.0 inches	6.00
②	30 min.	1.0 inches	2.00
	30 min.	1.0 inches	2.00

TOWN OF NORTH CASTLE SCHEDULE OF RESIDENCE DISTRICT REGULATIONS R-2A RESIDENTIAL DISTRICT

MINIMUM LOT SIZE				MINIMUM YARDS			MAXIMUM BUILDING HEIGHT		MAXIMUM BUILDING COVERAGE	MAXIMUM GROSS LAND COVERAGE	
AREA (acres)	FRONTAGE (feet)	WIDTH (feet)	DEPTH (feet)	FRONT (feet)	SIDE (feet)	REAR (feet)	STORIES	HEIGHT (feet)	8% (6,969.60 square feet)	14,481.10 (square feet)	
2.00	150	150	150	50	30	50	-	30			
2.00	207.77	207.67	421.25	171.06	45.01	200.55	-	-	3.30% (Exist) (2,883.00 square feet)	12,821.80	
PROPOSED POOL & SPA				288.64	81.89	107.97	-	-			14,474.90



DRAINAGE STRUCTURES TABLE

STRUCTURE	RIM	INVERT	INVERT TO SWM-1	INVERT TO OVERFLOW OUTLET
DI-1	651.75	650.75		
DI-2	651.67	650.67		
DI-3	651.67	650.33		
DI-4	651.83	650.00		
DI-5	651.83	649.50		
DI-6	652.00	651.00		
DI-7	652.00	650.67		
PT-1	652.00	649.25	649.00	649.25
SWM-1	649.33	648.83		
OUTLET 1	-	640.00		

PVC PIPE SCHEDULE

FROM	TO	DIA. (IN)	LENGTH (FT)	SLOPE (%)
DI-1	DI-3	6	15	2.80%
DI-2	DI-3	6	25	1.36%
DI-3	DI-4	6	21	1.57%
DI-4	DI-5	6	45	1.11%
DI-5	PT-1	6	25	1.00%
DI-6	DI-7	6	33	1.00%
DI-7	PT-1	6	21	6.76%
PT-1	SWM-1	6	6	2.83%
PT-1	OUTLET 1	6	52	17.31%

NO.	REVISION	DATE
1	RPRC DETERMINATION LETTER	04/02/2021
2	BERM SCREENING	04/16/2021
3	BUILDING INSPECTOR COMMENTS	05/19/2021

North

SCALE IN FEET

Surveyor: TC Merritts Land Surveyors, PC
394 Bedford Road
Pleasantville, New York 10570
Tel: 914-769-8003

Owner: Steven & Tania Dempsey
606 Bedford Road, Route 22
Armonk, New York 10504
Tel: (917) 502-3992

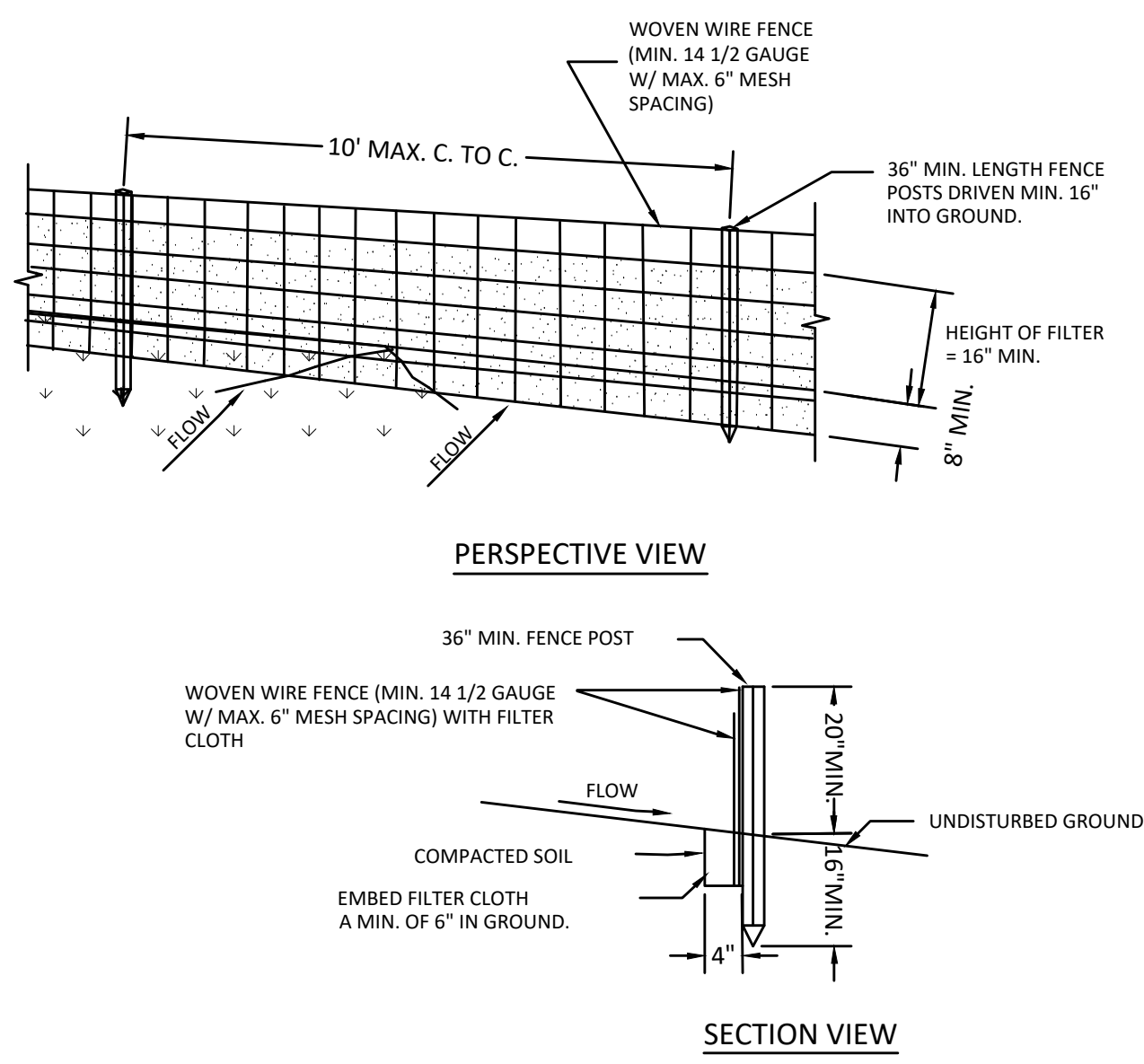
Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDRRESULTS.COM
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.
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DEMPSEY RESIDENCE POOL
606 BEDFORD ROAD, ROUTE 22
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

TITLE: **SITE PLAN**

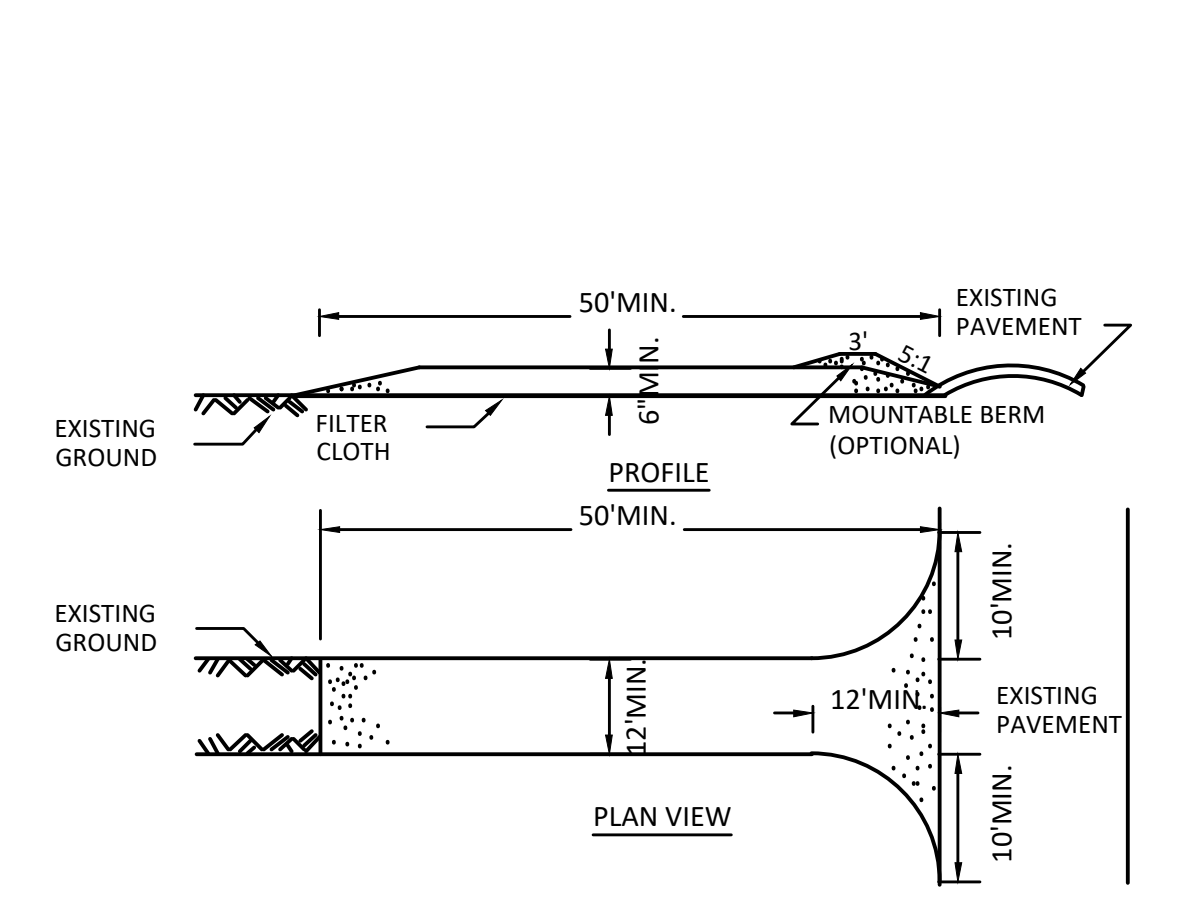
Scale: 1" = 20'
Date: 02/01/21
Drawn By: JM
Checked By: PJG
Project No.: 20-076
Sheet No.: 1 of 3
Dwg. No.: C-101

G:\PROJECTS\2020\20-076 606 Bedford Road 22, Armonk\AutoCAD\Construction\Site Plan.dwg



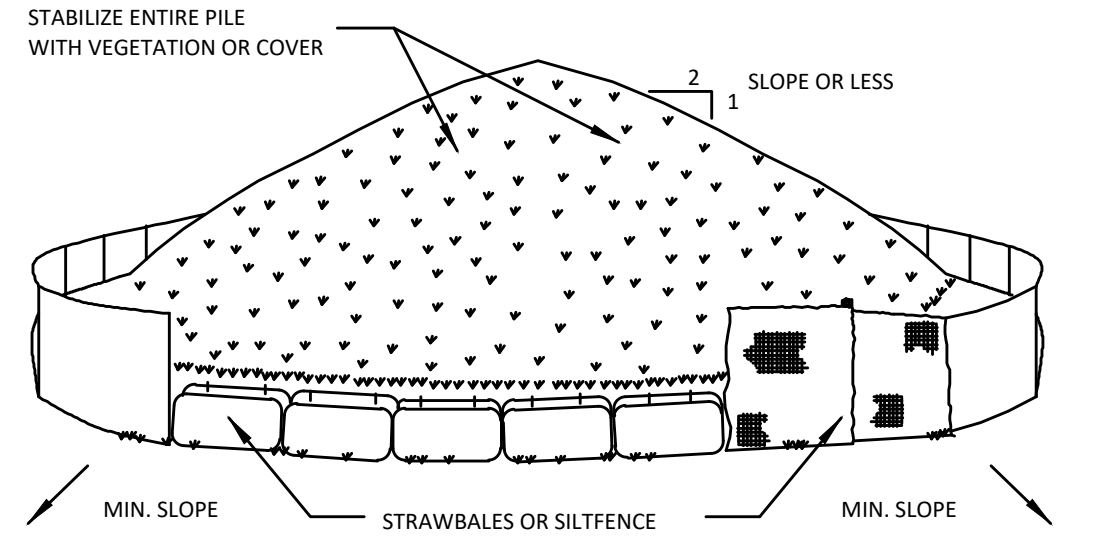
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



CONSTRUCTION SPECIFICATIONS

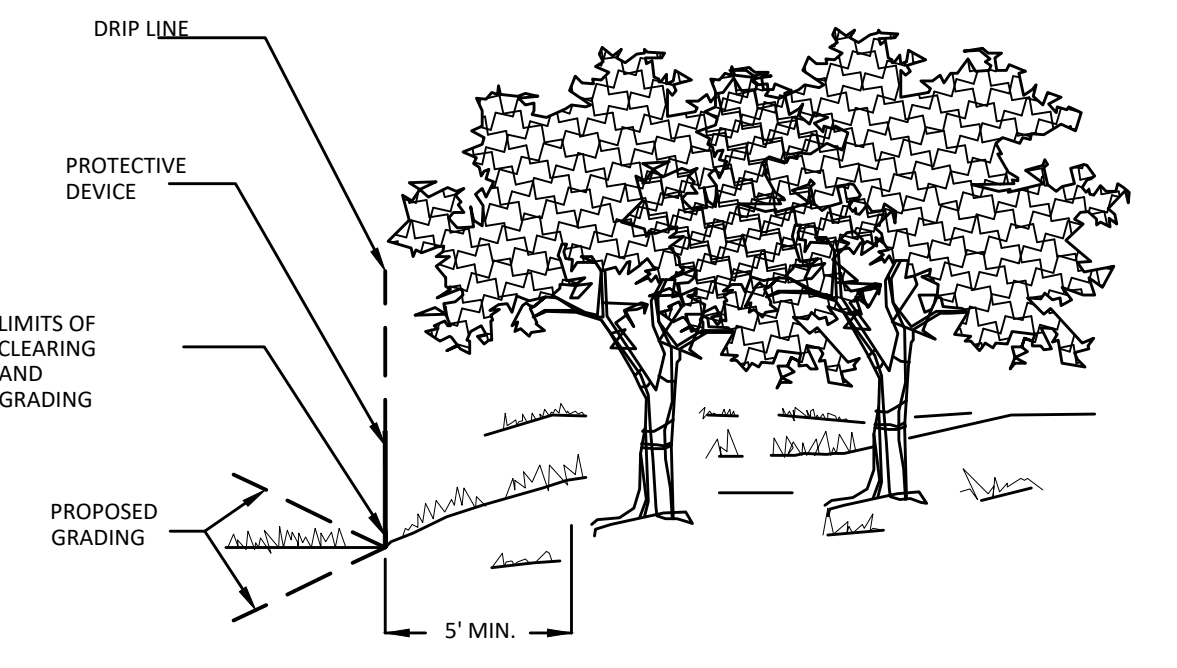
- STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



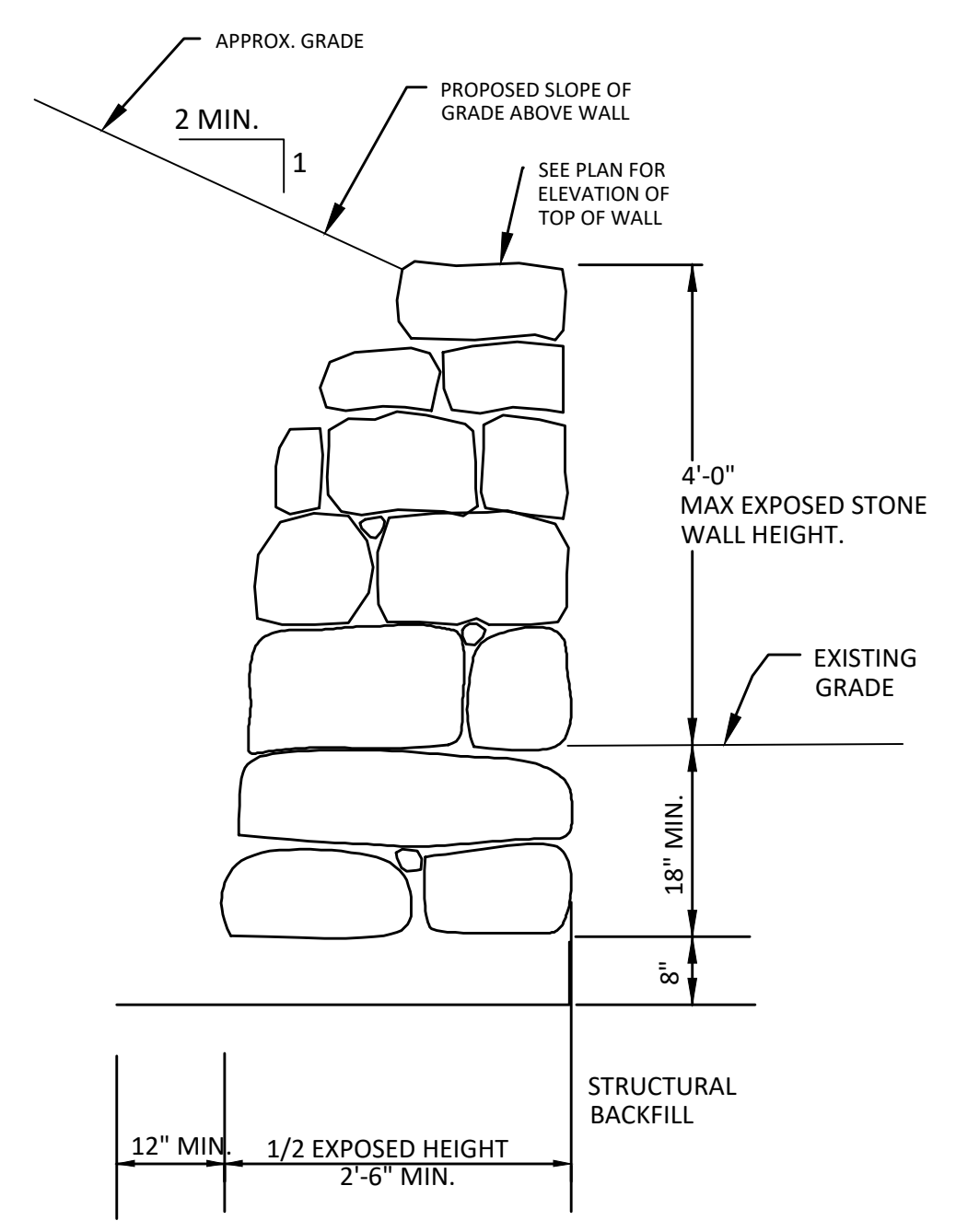
INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE



STONE/RUBBLE GRAVITY RETAINING WALL- CONSTRUCTED UTILIZING NATIVE STONE FROM SITE. STONE/RUBBLE WALL IS SELF DRAINING. WALL AS SPECIFIED IS STILL STRUCTURALLY STABLE TO SUPPORT THE INDICATED SOIL RETAINING CONDITION.

LANDSCAPE BOULDER RETAINING WALL DETAIL
NOT TO SCALE

SILT FENCE
NOT TO SCALE

1

STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE

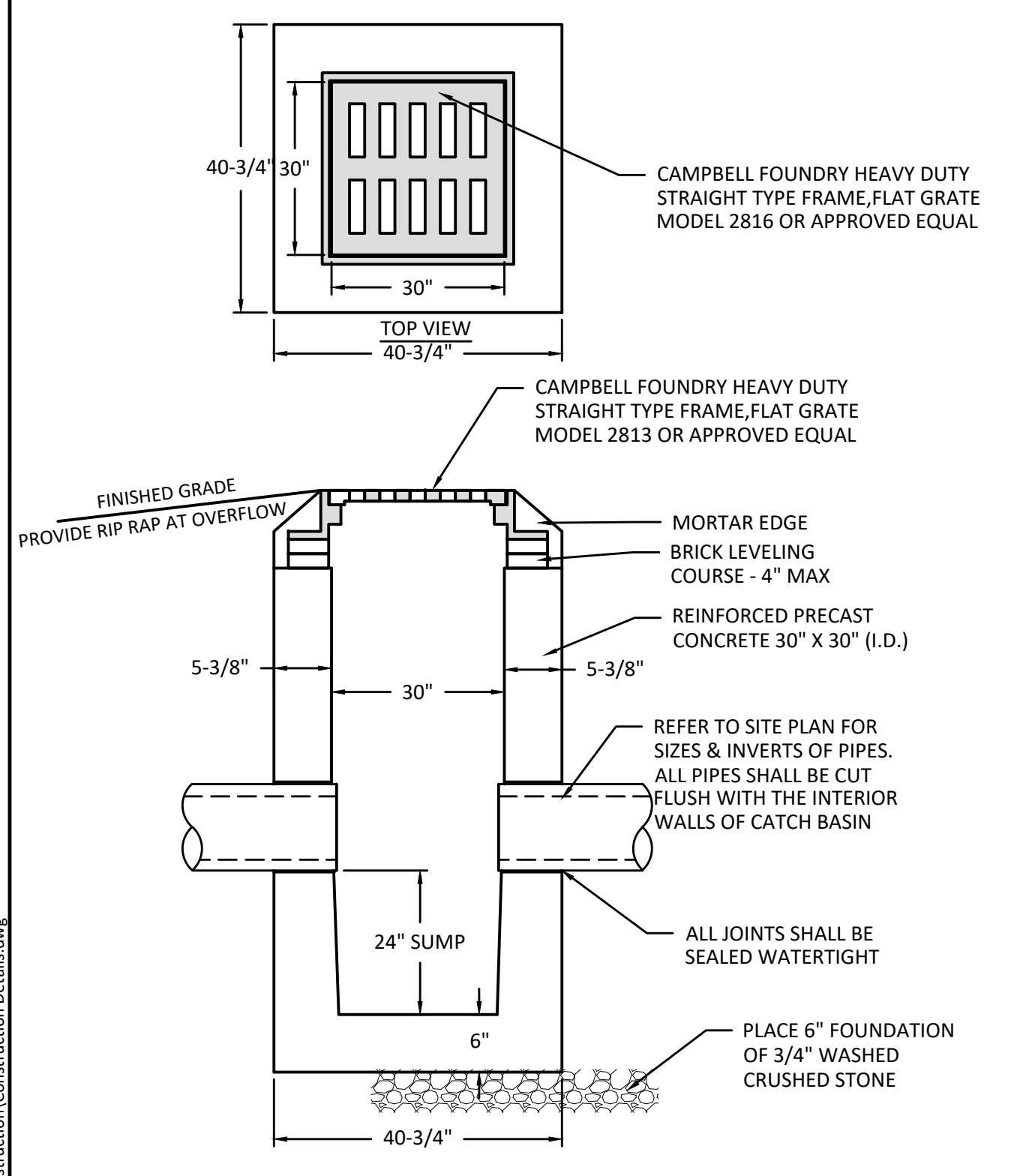
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TREE PROTECTION
NOT TO SCALE

4

LANDSCAPE BOULDER RETAINING WALL DETAIL
NOT TO SCALE

5

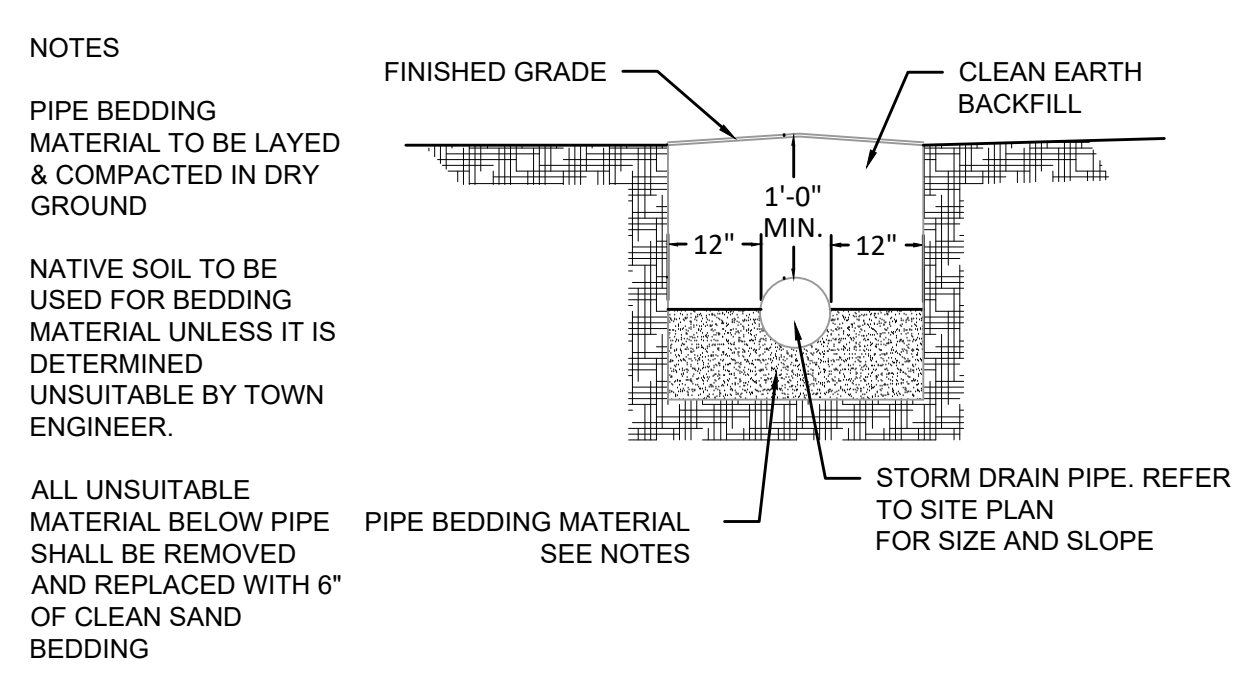


CONSTRUCTION SPECIFICATIONS

- CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS.
- REINFORCEMENT: #4 REBAR / ASTM A615
- AIR ENTRAINMENT: 5%
- CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
- LOAD RATING: H20 / ASTM C857

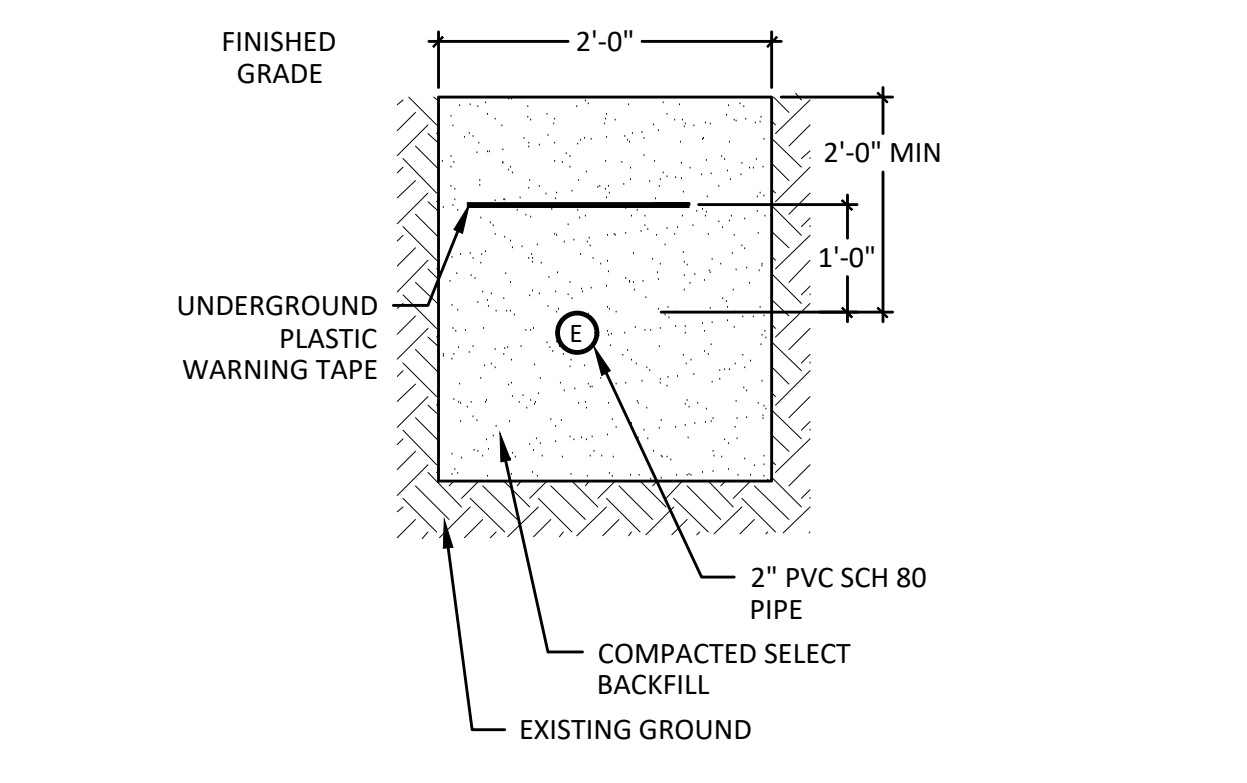
PRE TREATMENT BOX WITH SUMP
NOT TO SCALE

6



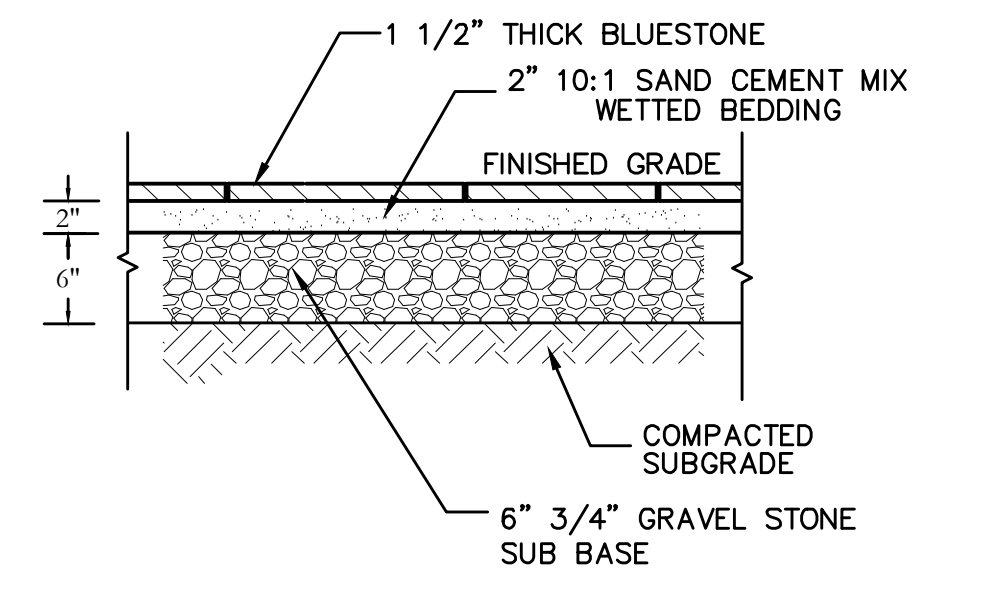
STORM DRAIN TRENCH DETAIL
NOT TO SCALE

7



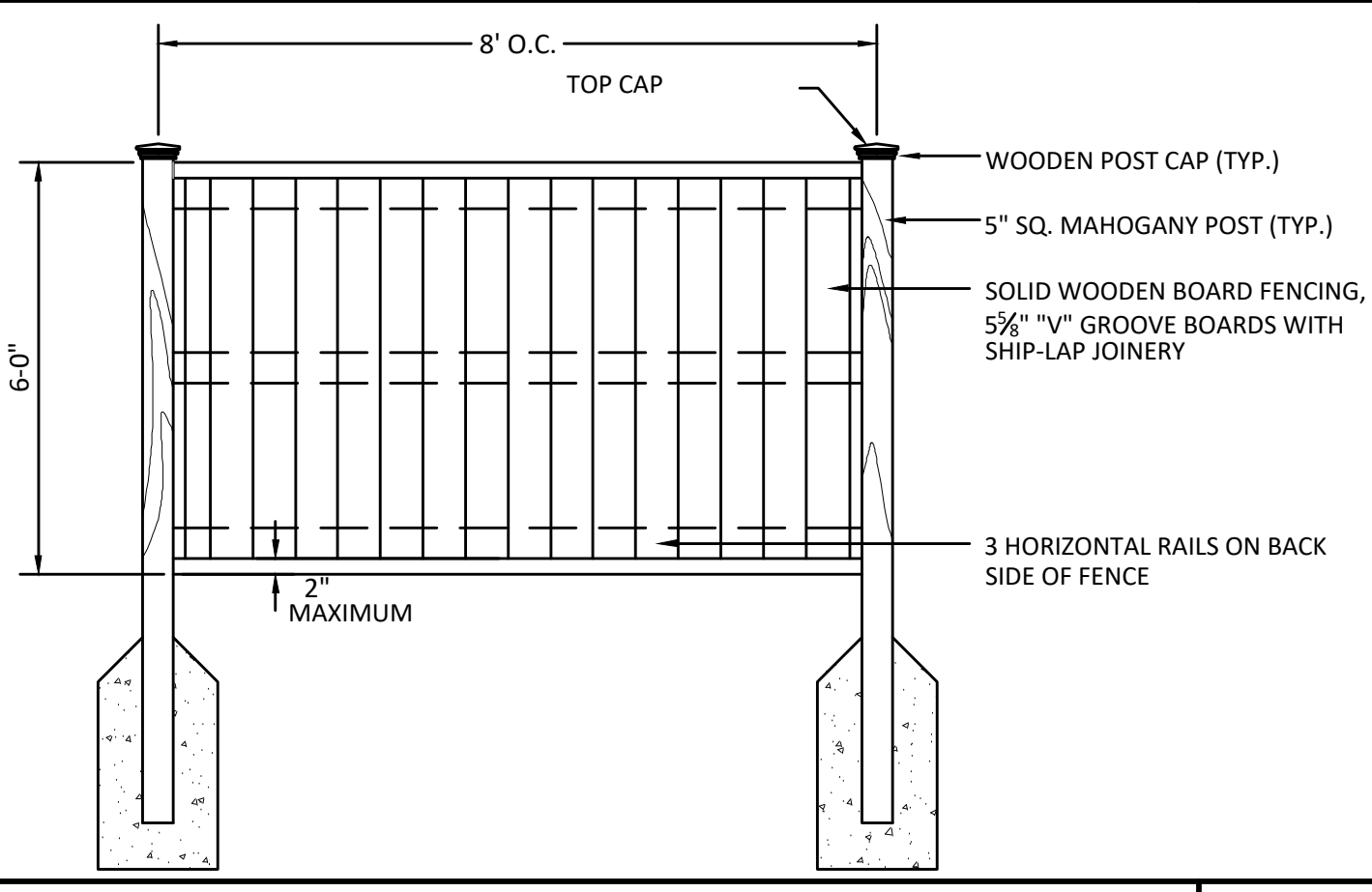
UTILITY TRENCH DETAIL
NOT TO SCALE

8



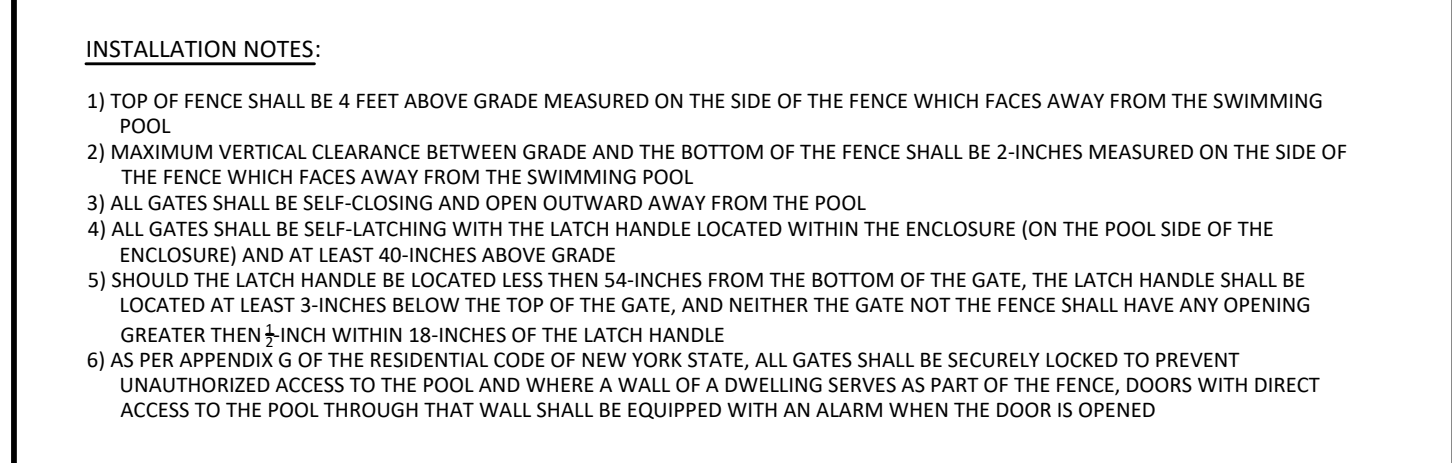
BLUESTONE TERRACE SECTION
NOT TO SCALE

9



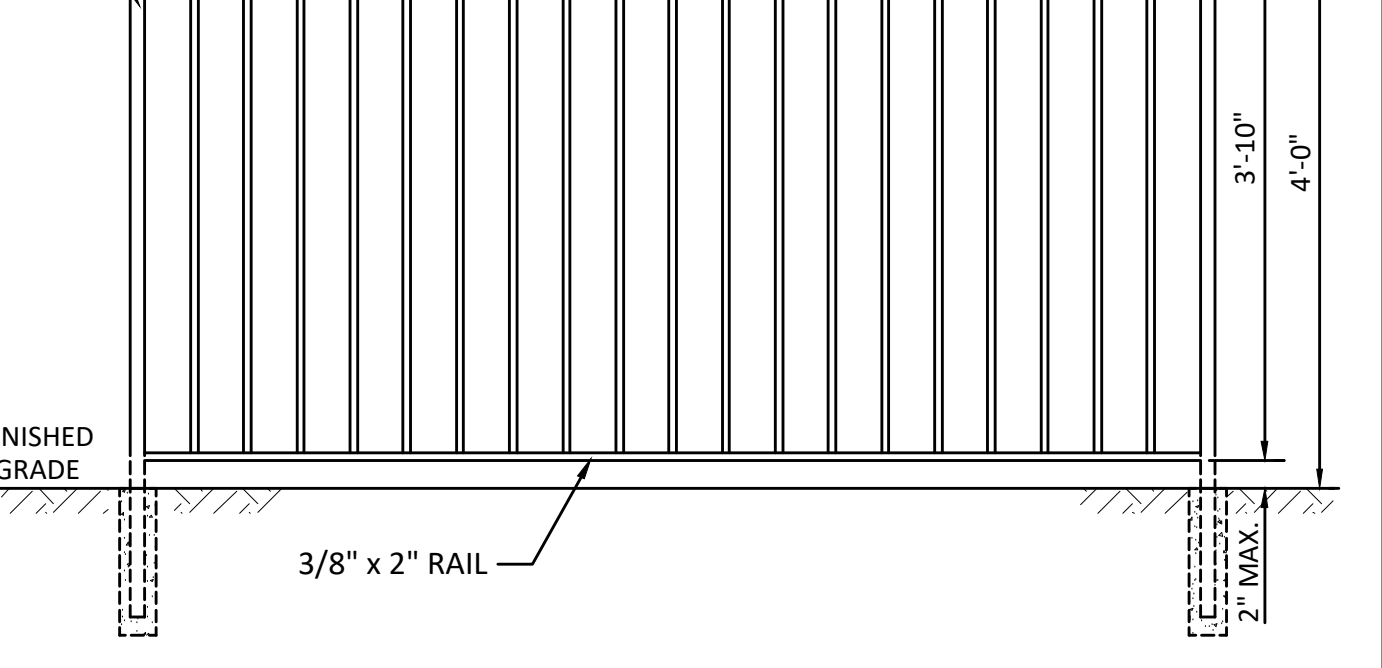
WOOD FENCE
NOT TO SCALE

10



INSTALLATION NOTES:

- TOP OF FENCE SHALL BE 4 FEET ABOVE GRADE MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL.
- MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE FENCE SHALL BE 2-INCHES MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL.
- ALL GATES SHALL BE SELF-CLOSING AND OPEN OUTWARD AWAY FROM THE POOL.
- ALL GATES SHALL BE SELF-LATCHING WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40-INCHES ABOVE GRADE.
- SHOULD THE LATCH HANDLE BE LOCATED LESS THAN 54-INCHES FROM THE BOTTOM OF THE GATE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3-INCHES BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE FENCE SHALL HAVE ANY OPENING GREATER THAN 3/8-INCH WITHIN 18-INCHES OF THE LATCH HANDLE.
- AS PER APPENDIX G OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL GATES SHALL BE SECURELY LOCKED TO PREVENT UNAUTHORIZED ACCESS TO THE POOL AND WHERE A WALL OF A DWELLING SERVES AS PART OF THE FENCE, DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHEN THE DOOR IS OPENED.



AERO GRADE FENCES & GATES GUARDIAN ELBA AERO GRADE FENCE - 48" HIGH, MEETING ALL POOL CODES

POOL ENCLOSURE FENCE
NOT TO SCALE

11

NO.	REVISION	DATE
1	RPRC DETERMINATION LETTER	04/02/2021
2	BERM SCREENING	04/16/2021
3	WOOD FENCE DETAIL	09/15/2021

TC Merritts Land Surveyors, PC
394 Bedford Road
Pleasantville, New York 10570
Tel: 914-769-8003

Steven & Tania Dempsey
606 Bedford Road, Route 22
Armonk, New York 10504
Tel: (917) 502-3992

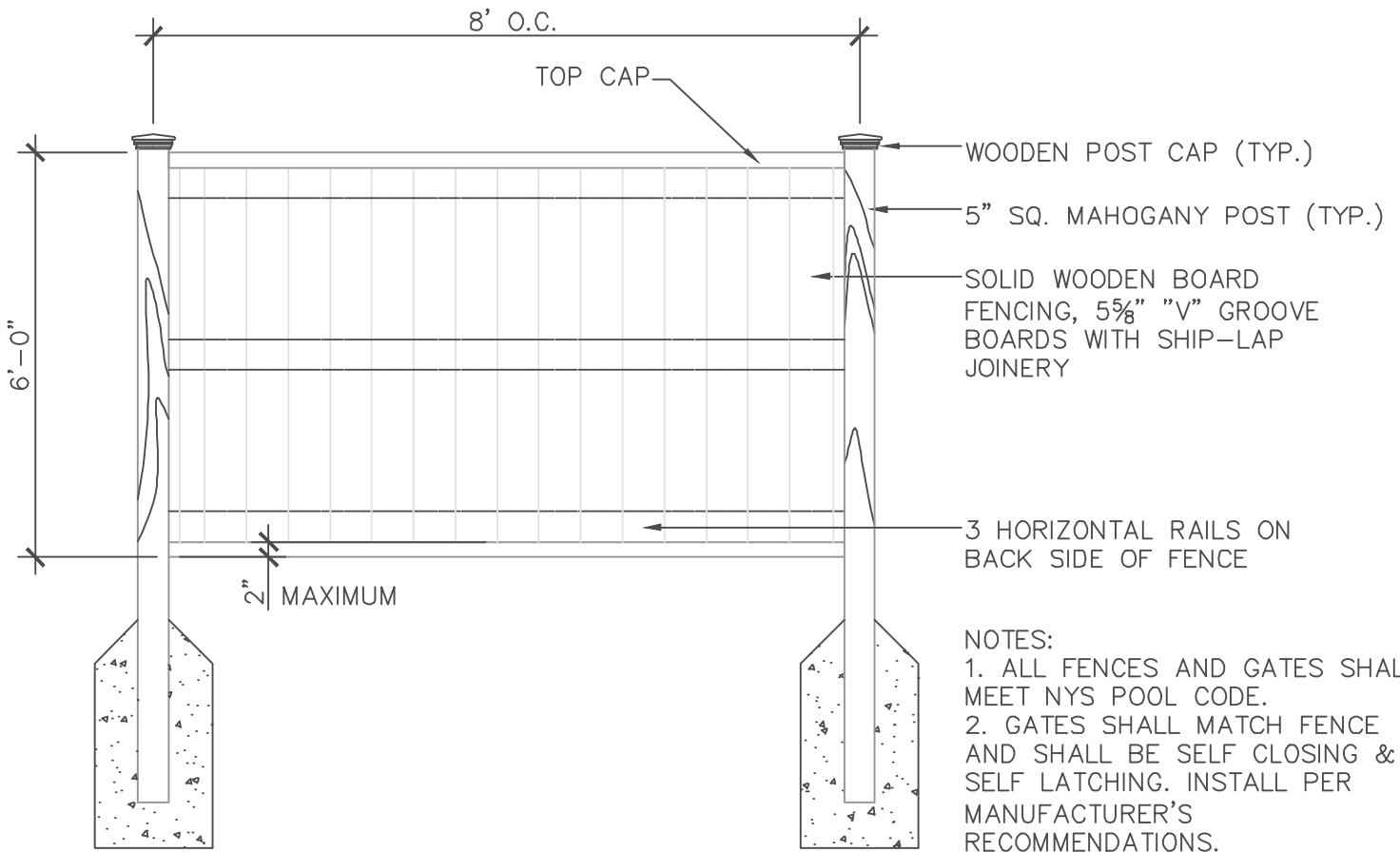
Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.
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DEMPSEY RESIDENCE POOL
606 BEDFORD ROAD, ROUTE 22
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

CONSTRUCTION DETAILS 1

Scale:
Date: 02/01/21
Drawn By: JM
Checked By: PJG
Project No.: 20-076
Sheet No.: 2 of 3
Dwg. No.: C-102

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SCREEN FENCE & WALL
 SCALE 1/2" = 1'-0"



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 606 Bedford Road - NYS Route 22

Section III- DESCRIPTION OF WORK:

The project will involve the construction of a 20' x 50' pool with spa, associated equipment and stormwater mitigation

*REVISING WROUGHT IRON FENCE TO A SOLID 6FT HIGH FENCE, ALONG
BERM AROUND POOL.*

Section III- CONTACT INFORMATION:

APPLICANT: Bedford Pool Service, Inc.

ADDRESS: P.O. Box 43, Bedford, New York 10506

PHONE: (914) 255-7058 MOBILE: _____ EMAIL: bedfordpoolservice@gmail.com

James O'Reilly

PROPERTY OWNER: Steven & Tania Dempsey

ADDRESS: 606 Bedford Road - NYS Route 22, Armonk, New York 10504

PHONE: (917) 502-3992 MOBILE: _____ EMAIL: dempsey@greyrockcapitalgroup.com

PROFESSIONAL: Peter J. Gregory, P.E. Provident Design Engineering, PLLC

ADDRESS: 7 Skyline Drive, Hawthorne, New York 10532

PHONE: (914) 730-2276 MOBILE: (914-557-4449)

EMAIL: pgregory@pderesults.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 2 - 8 - 2E-2 (101.02 - 1 - 14)



7 Skyline Drive, Hawthorne, NY 10532
Tel: (914) 592-4040 www.pderesults.com

April 23, 2021

Mr. Adam Kaufman
Chairman Town of North Castle Residential Project Review Committee
Town of North Castle
17 Bedford Road
Armonk, New York 10504

**Regarding: Dempsey Residence Pool
606 Bedford Road, Route 22
North Castle (T)**

Dear Mr. Kaufman:

This office has prepared an updated application which now includes items reflected in the RPRC Determination Letter dated February 16, 2021. The comments listed in the notice have been addressed as follows:

1. *The site plan should be revised to depict the type and size of proposed screening material.*

Response: Plans have been updated to reflect an earthen berm with barrier fencing to replace landscaping along rear of pool area.

2. *The pool fence detail should include the proposed height of the fence.*

Response: A fence detail has been provided and includes the proposed height of the fence.

3. *The site plan does not depict any Town-regulated tree removal. A note should be added to the plan stating that Town-regulated tree removal is not proposed. If tree removal is required, further review by the RPRC is required.*

Response: A note has been added to the plan stating Town-regulated tree removal is not proposed. Evergreen trees impacted by site work will be replaced.

4. *The plan shall include a detail for the proposed retaining wall.*

Response: A detail for the proposed wall has been provided.

5. *All walls greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer. Provide construction details and specifications on the plan.*

Response: The proposed wall shall be no greater than four feet in height. A detail for the wall has been provided.

- 6. The plan shall note that the construction of all walls greater than four (4) feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.*

Response: The plan has included a note stating that all walls greater than four feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.

- 7. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact the Town Engineer to schedule the testing.*

Response: Soil testing was conducted and witnessed by the Town Engineer on November 20, 2020. The test results have been provided.

- 8. Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume (without benefit of percolation); whichever is greater. Provide details of the stormwater mitigation system.*

Response: Stormwater mitigation calculations and details have been provided for the proposed stormwater mitigation system.

- 9. Provide rims, inverts, size and material for all drainage facilities. Provide details.*

Response: Drainage structure and pipe tables containing rims, inverts, sizes and materials have been added to the site plan. Details for the drainage facilities have been provided.

- 10. The plan shall include emergency overflow for the infiltration system to a stabilized outfall. Provide details.*

Response: An emergency overflow outlet to a stabilized outfall has been provided along with a rip-rap dissipator detail.

- 11. The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.*

Response: Pool drawdown shall be directed into Drain Inlet 1 which will direct drawdown towards mitigation practice via drainage pipes.

606 Bedford Road, Route 22
Armonk, New York
April 23, 2021
Page 3 of 3

12. The proposed temporary construction entrance is located on the existing onsite retaining wall. The plan shall include a detail for the reconstruction.

Response: The existing retaining wall will be replaced with a fence and gate instead of being rebuilt following the removal of the construction entrance.

Should you have any questions or require any additional information, please feel free to contact this office.

Very truly yours,



Peter J. Gregory, P.E.
Senior Project Manager

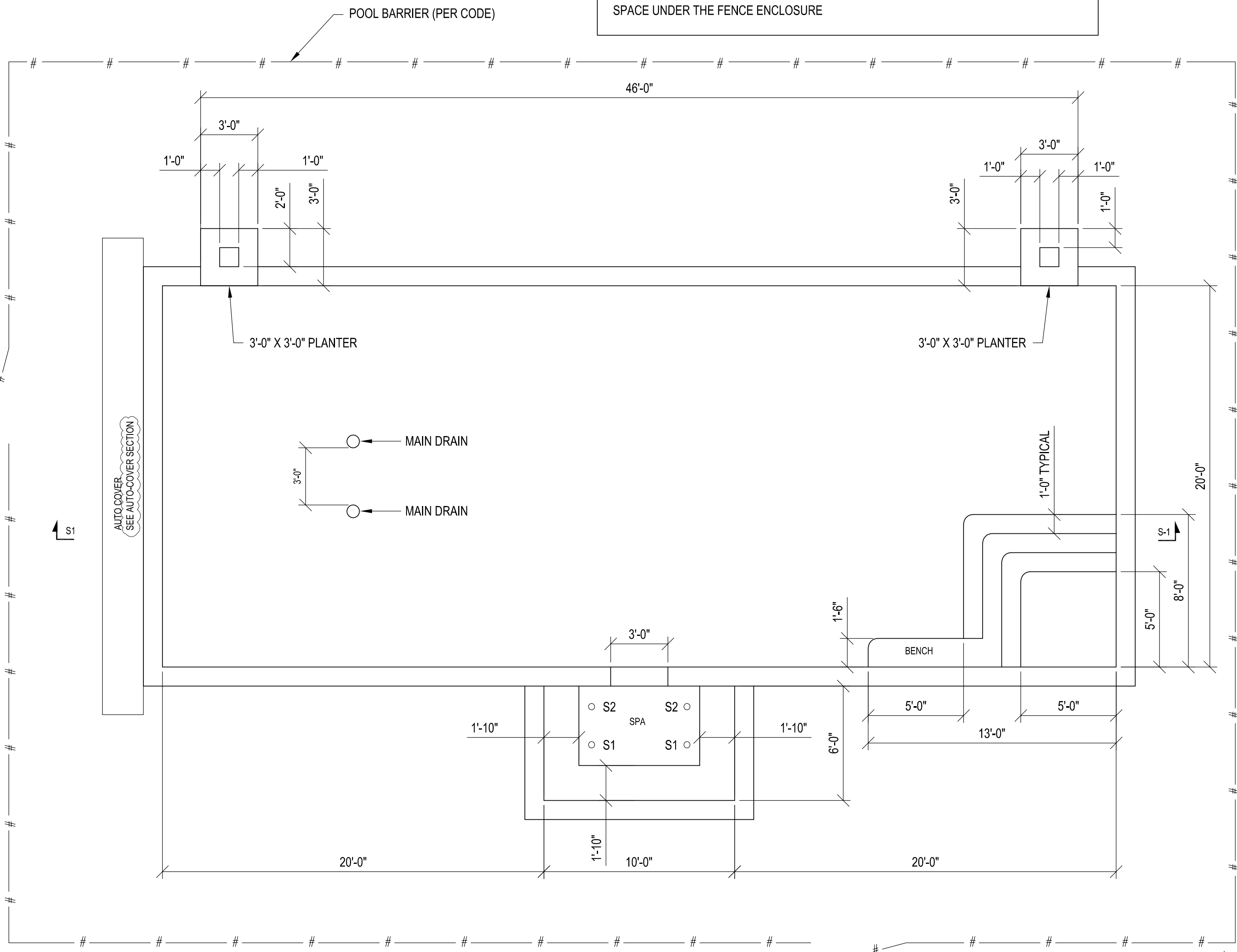
LEGEND	
R	RETURN
S	SKIMMER
P	VACUUM PORT

BUILDING PART OF POOL BARRIER NOTE:
IF BUILDING STRUCTURE IS PART OF POOL ENCLOSURE, ALL DOORS IN BUILDING WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT COMPLIES WITH SECTION R326.4.2.8.

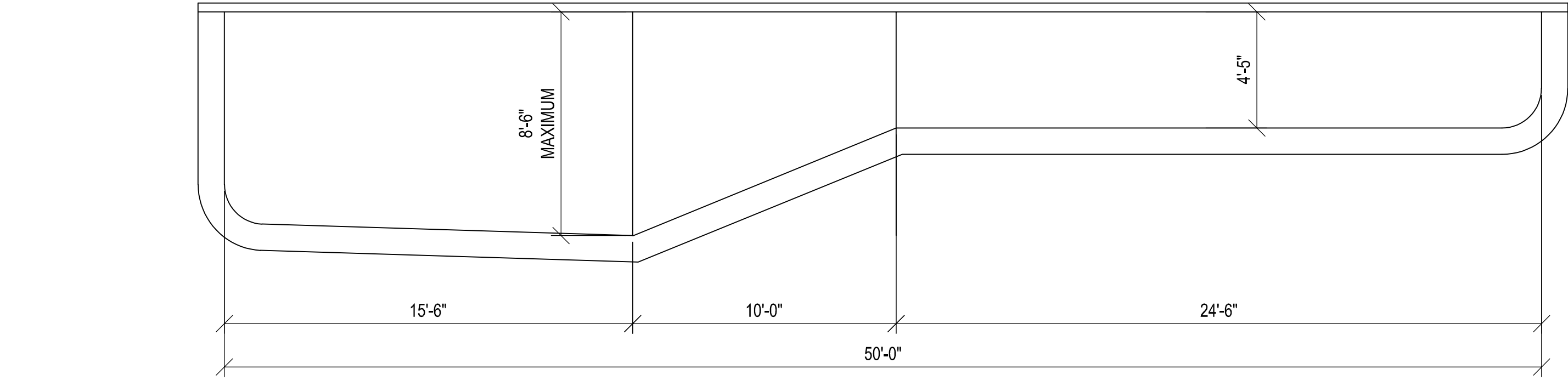
USE POOLGUARD PBM INDUSTRIES, INC DOOR ALARM (MODEL DAPT-2)

POOL BARRIER NOTE:
ALL GATES SHALL BE SELF CLOSING. FENCE ENCLOSURE SHALL HAVE A MAXIMUM 2" SPACE UNDER THE FENCE ENCLOSURE

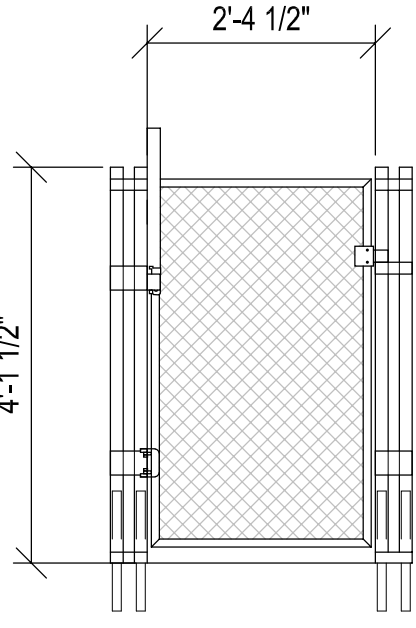
SUCTION OUTLETS SHALL BE ANTI-VORTEX AND 8" ROUND - PART NUMBER 640-231 x V BY WATERWAY MANUFACTURER



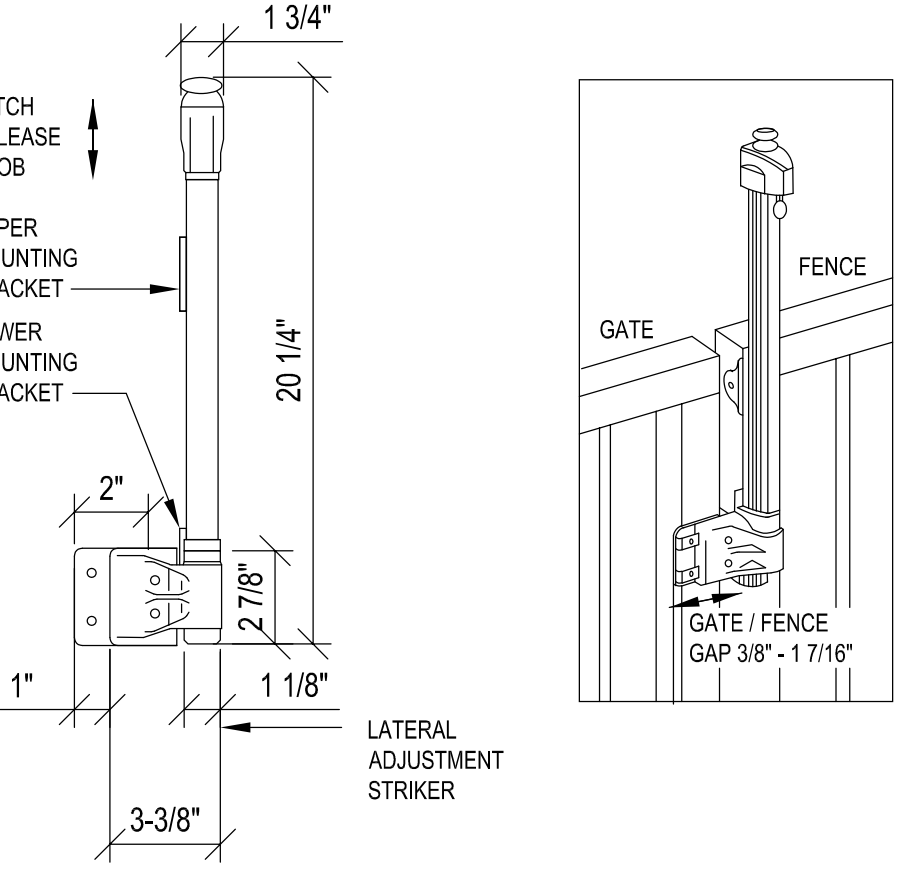
POOL PLAN
SCALE: 1/4" = 1'-0"



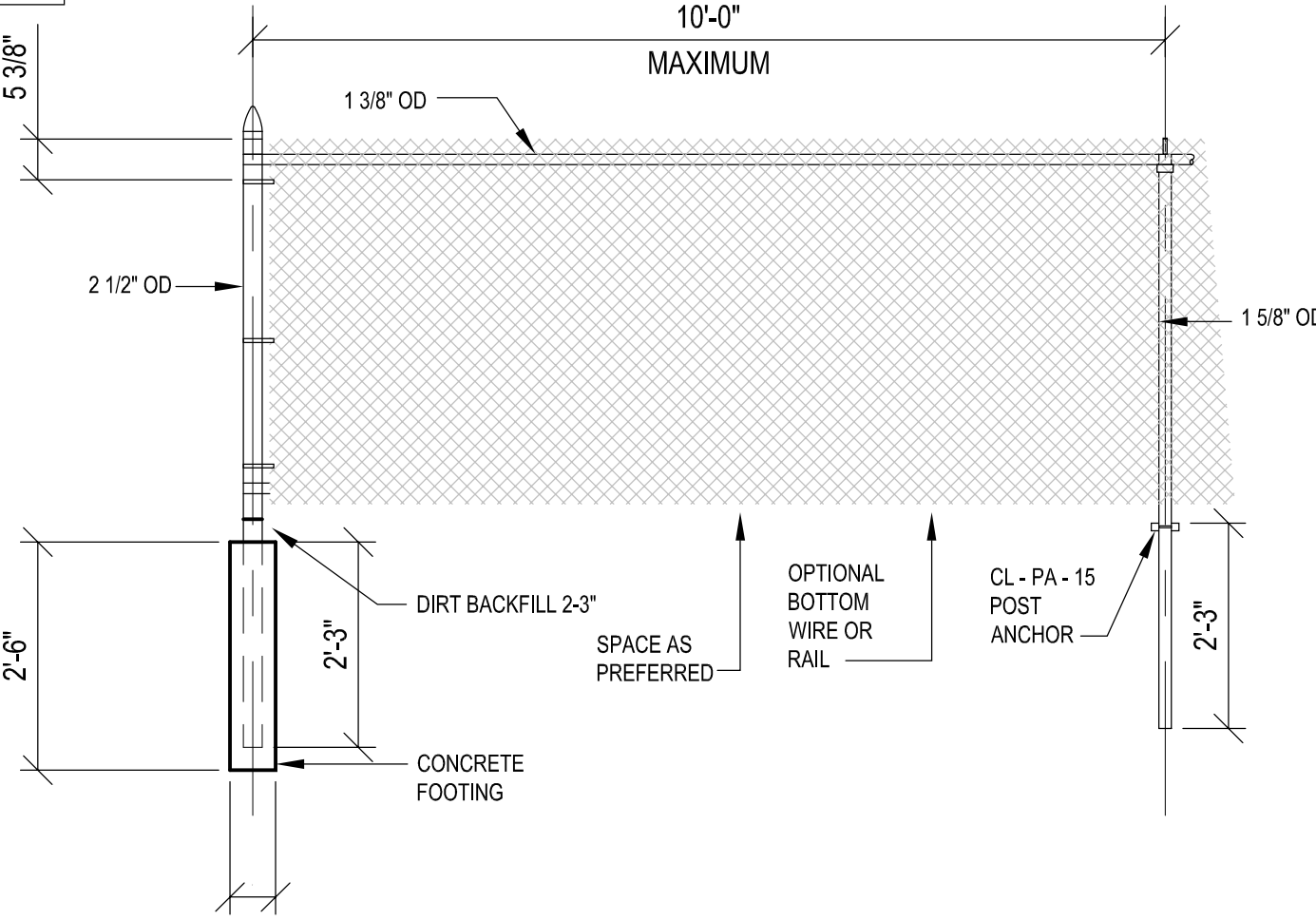
SECTION S1
SCALE: 1/4" = 1'-0"



TYPICAL GATE DETAIL



MAGNA LATCH TOP PULL MODEL



TYPICAL METAL FENCE DETAIL

GENERAL NOTES

ALL WORK SHALL COMPLY WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE.

ALL ELECTRICAL WORK SHALL COMPLY WITH CHAPTER 42 - SWIMMING POOLS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

POOL DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-3 2011 STANDARD FOR RESIDENTIAL IN GROUND SWIMMING POOLS

SPA DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-3 2014 AMERICAN NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS.

THE CONTRACTOR SHALL SUPPLY AND BE FULLY RESPONSIBLE FOR ALL SHORING REQUIRED TO PERFORM THE WORK DESCRIBED HEREIN.

IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO INSURE ALL ZONING SETBACK REQUIREMENTS ARE SATISFIED.

THE POOL SHALL BE INSTALLED ON A LEVEL, COMPACTED BASE.

THE POOL, ONCE FILLED, SHALL BE MAINTAINED AT ITS DESIGN WATER LEVEL ELEVATION AT ALL TIMES.

PROPER WINTERIZATION PROCEDURES ARE THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT THE POOL TO BE CONSTRUCTED IS LOCATED ON SOIL WITH A BEARING CAPACITY AT LEAST 3,000 LBS / SQ. FT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE POOL.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL SITE SAFETY REQUIREMENTS ARE COMPLIED WITH, INCLUDING OSHA FOR TRENCH OR EXCAVATION STABILITY.

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

POOL SHALL BE PROVIDED WITH ALL REQUIRED SAFETY ITEMS INCLUDING A PERIMETER FENCE.

PROVIDE A CODE COMPLIANT SAFETY VACUUM RELEASE SYSTEM.

PROVIDE CODE COMPLIANT SUCTION COVERS

DOORS WITH ACCESS TO THE POOL FROM HOUSE SHALL BE EQUIPPED WITH ALARM AS PER CODE.

PROVIDE SURFACE ALARM AT SPA.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPROPRIATE SEPARATION DISTANCES ARE MAINTAINED BETWEEN PROPOSED POOL AND THE SEPTIC SYSTEM, INCLUDING SEPTIC SYSTEM EXPANSION AREA, IF ANY, IS MAINTAINED.

PRIOR TO ANY EXCAVATION, ALL UNDERGROUND UTILITIES MUST BE LOCATED AND FIELD VERIFIED BY THE CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIRED SEDIMENT AND EROSION CONTROL PRACTICES.

THE ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE THE MEANS AND / OR METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION TECHNIQUES ARE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM THEIR SEAL AND NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROVIDE A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:

- A. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, SUCH AS AN ABOVE-GROUND POOL, THE BARRIER MAY BE AT GROUND LEVEL, SUCH AS THE POOL STRUCTURE, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES.
- B. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER SPHERE.
- C. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS A MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- D. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES, THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH, WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH.
- E. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4-INCH SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES.
- F. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES.

CONCRETE

ALL CONCRETE WORK, MATERIALS, DETAILS AND CONSTRUCTION METHODS SHALL COMPLY WITH "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301, AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318, LATEST EDITIONS, OF THE AMERICAN CONCRETE INSTITUTE AND WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE.

SHOTCRETE MIX FOR POOL WILL BE 750# CEMENT, 1,900# SAND, 750# 3/8" STONE, 40 GAL. WATER, 0.5+0.2 OZ/CWT AIR MIX 200, 2.0 OZ/CWT WR-91, 4.5-7.5% AIR CONTENT, AT 1-3" SLUMP, 5,000 PSI @ 28 DAYS.

ALL OTHER CONCRETE SHALL BE NORMAL WEIGHT STONE CONCRETE ACHIEVING STRENGTH OF 3,500 P.S.I. AT AGE 28 DAYS. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN.

CONCRETE TO EXPOSED WEATHER SHALL HAVE MINIMUM 6% AIR ENTRAINMENT. SPECIAL DESIGN MIXES SHALL BE MADE FOR ALL PUMPED CONCRETE. FLY ASH MAY BE USED AS A PLASTICIZER TO REDUCE WATER CONTENT BUT CANNOT BE USED TO REDUCE CEMENT CONTENT. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN

ANY CONDUIT EMBEDDED IN THE SLABS ARE TO BE LOCATED AND DISTRIBUTED SO AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE REINFORCING STEEL, AND SHALL BE PLACED BELOW THE TOP LAYER OF REINFORCEMENT. WHERE THE REQUIRED CONCRETE COVER CANNOT BE MAINTAINED, THE ENGINEER SHALL BE NOTIFIED AND THE THICKNESS MAY, WITH THE ENGINEER'S APPROVAL, BE INCREASED.

REINFORCING STEEL

REINFORCING BARS SHALL CONFORM TO ASTM STANDARD A615 GRADE 60 FOR DEFORMED BILLET STEEL.

ALL REINFORCEMENT BARS AND TIES SHALL BE FREE OF LOOSE FLAKY RUST, MUD, OIL OR OTHER COATINGS THAT WILL DESTROY, REDUCE OR HAMPER FULL BOND CAPACITY.

REINFORCING SHALL BE ACCURATELY INSTALLED TO THE REQUIRED ELEVATION AND CHAIRED OR SECURELY TIED IN PLACE SO AS TO PREVENT DISLOCATION DURING CONCRETE PLACEMENT.

REINFORCING BARS NOTED CONTINUOUS (CONT.) SHALL BE LAPPED AT SPLICES AND HOOKED AT NON-CONTINUOUS ENDS. UNLESS SHOWN OTHERWISE ON DRAWINGS, LAP SPLICES SHALL NOT BE LESS THAN 40 TIMES THE BAR DIAMETER.

G M C E P C
GROSSFIELD MACRI CONSULTING ENGINEERS, PC
34 SHADBLOW HILL ROAD, RIDGEFIELD, CT 06877 203.431.7700
WWW.GMCEPC.COM



DEMPSEY POOL
606 BEDFORD ROAD
ARMONK, NY

Issue	Description	Date
1	PERMIT	02/11/21
2	REVISION	05/19/21

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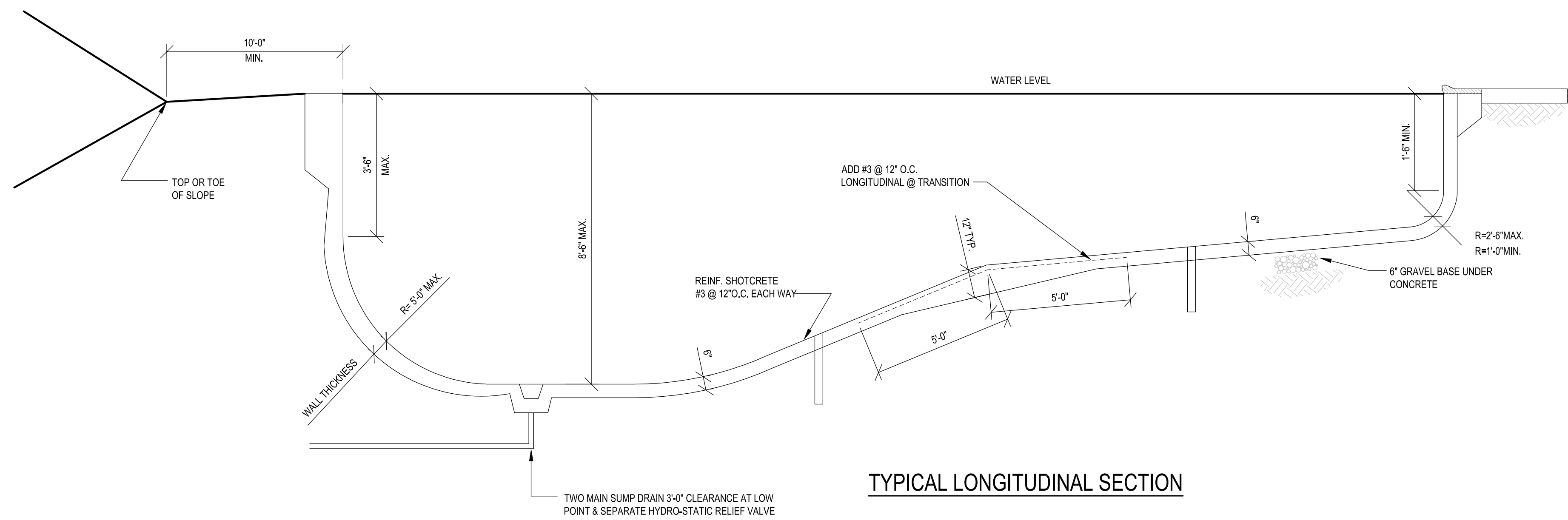
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Date: 02/11/21 Scale: AS NOTED
Drawn By: JTC Checked By: MAM

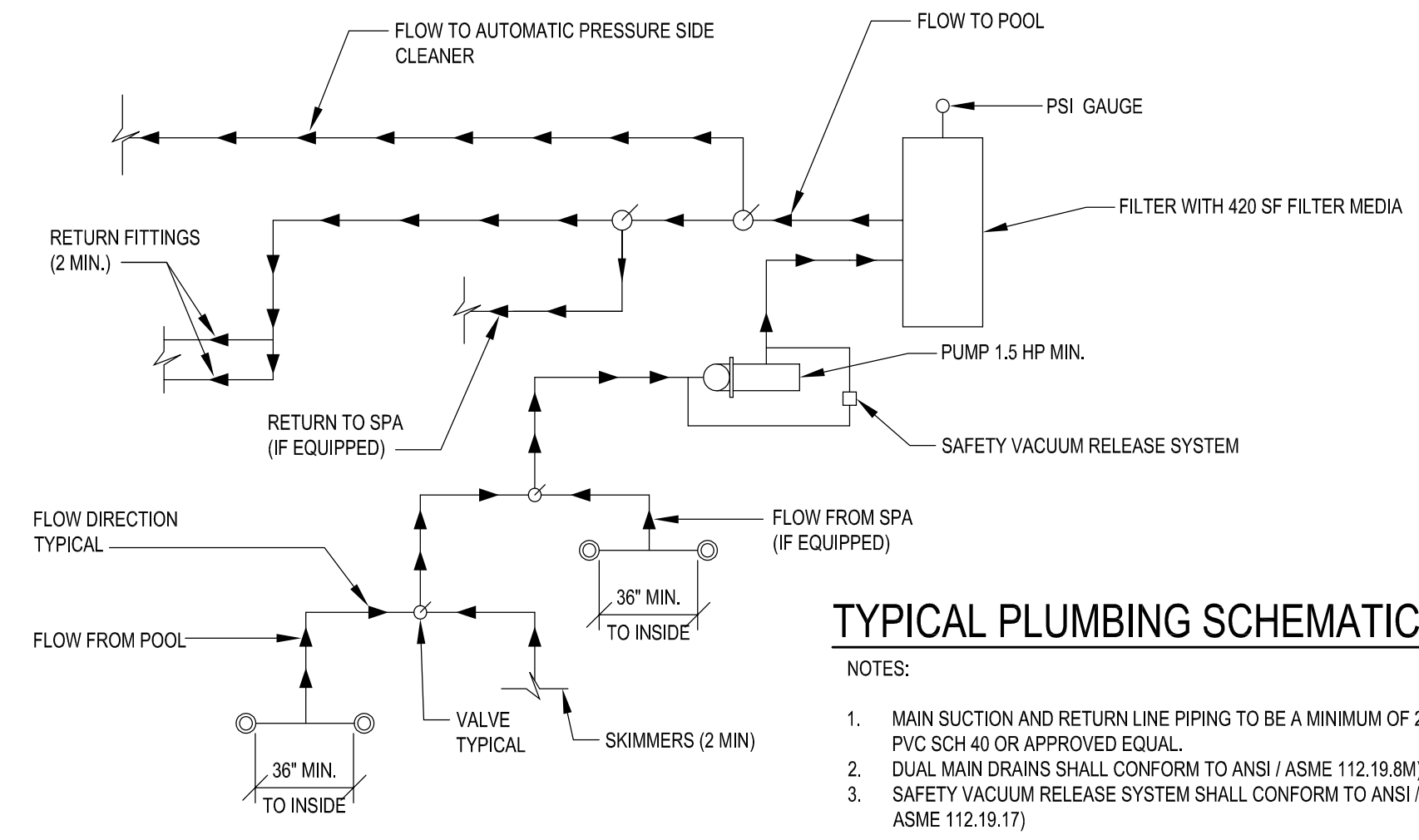
PROJECT # 20033

Title: POOL DRAWING WITH BARRIER DETAILS

Drawing # **PL-101**



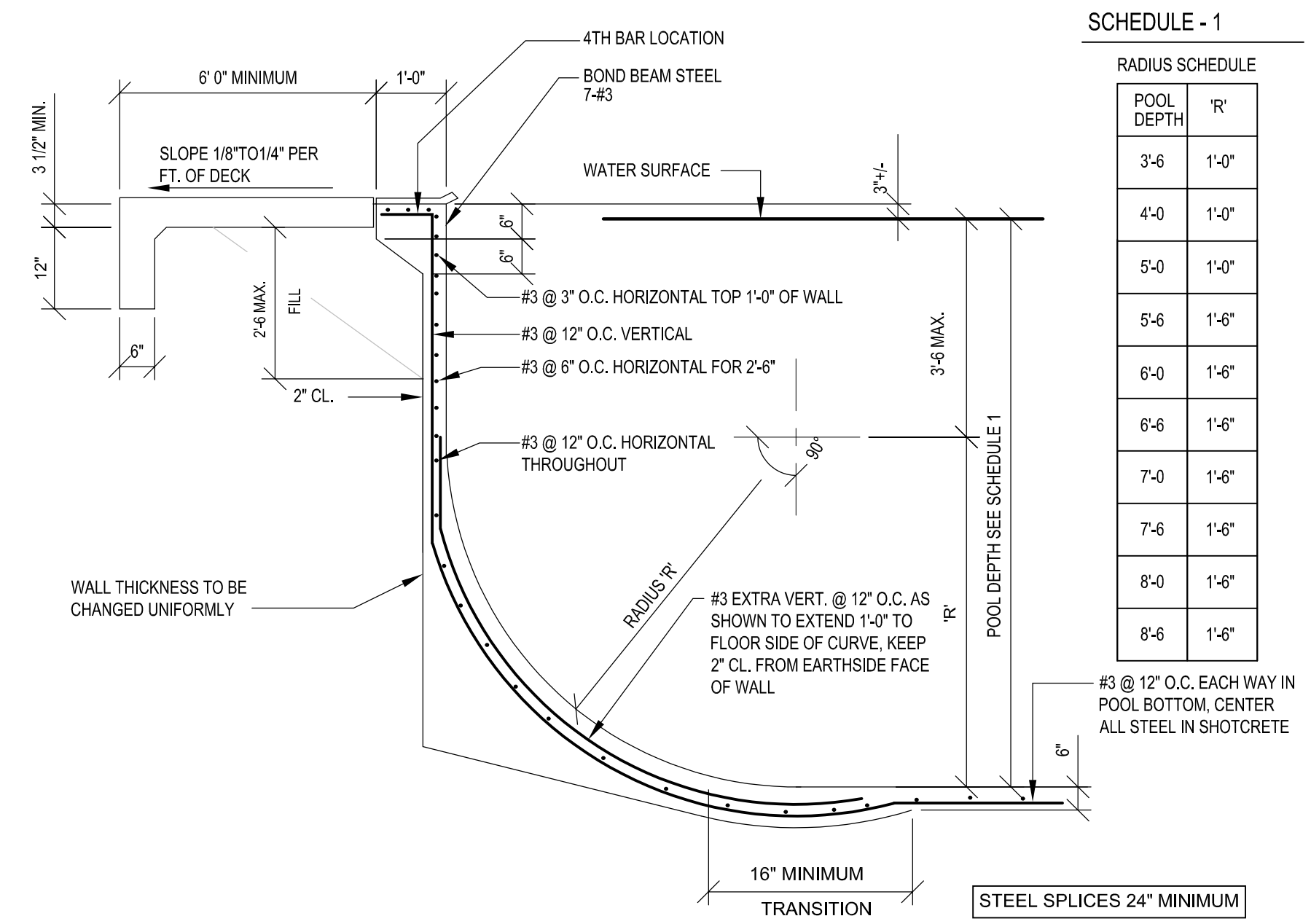
TYPICAL LONGITUDINAL SECTION



TYPICAL PLUMBING SCHEMATIC

- NOTES:
1. MAIN SUCTION AND RETURN LINE PIPING TO BE A MINIMUM OF 2" PVC SCH 40 OR APPROVED EQUAL.
 2. DUAL MAIN DRAINS SHALL CONFORM TO ANSI / ASME 112.19.8M)
 3. SAFETY VACUUM RELEASE SYSTEM SHALL CONFORM TO ANSI / ASME 112.19.17)

45 PSF E.F.P.	
WALL THK MIN. VERTICAL STEEL	VERT. DEPTH IN FEET
8"	0
8"	1'
8"	2'
8"	3'
9"	4'
#3 @ 6"	5'
10"	6'
#3 @ 6"	7'
12"	8'
#3 @ 6"	

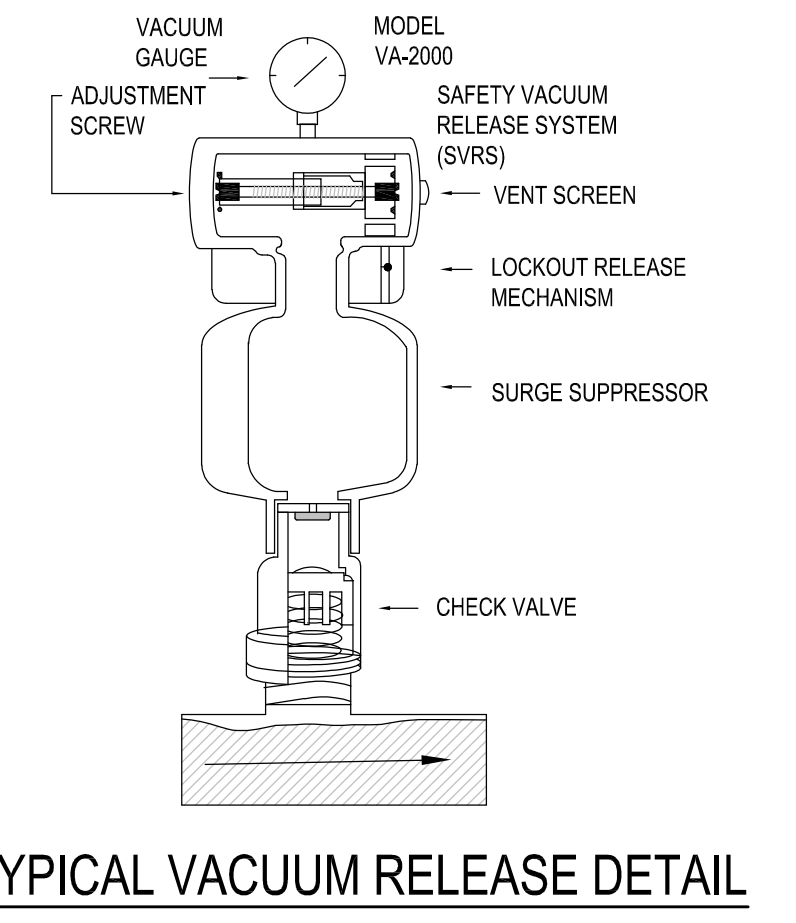


REINFORCEMENT & DIMENSIONS

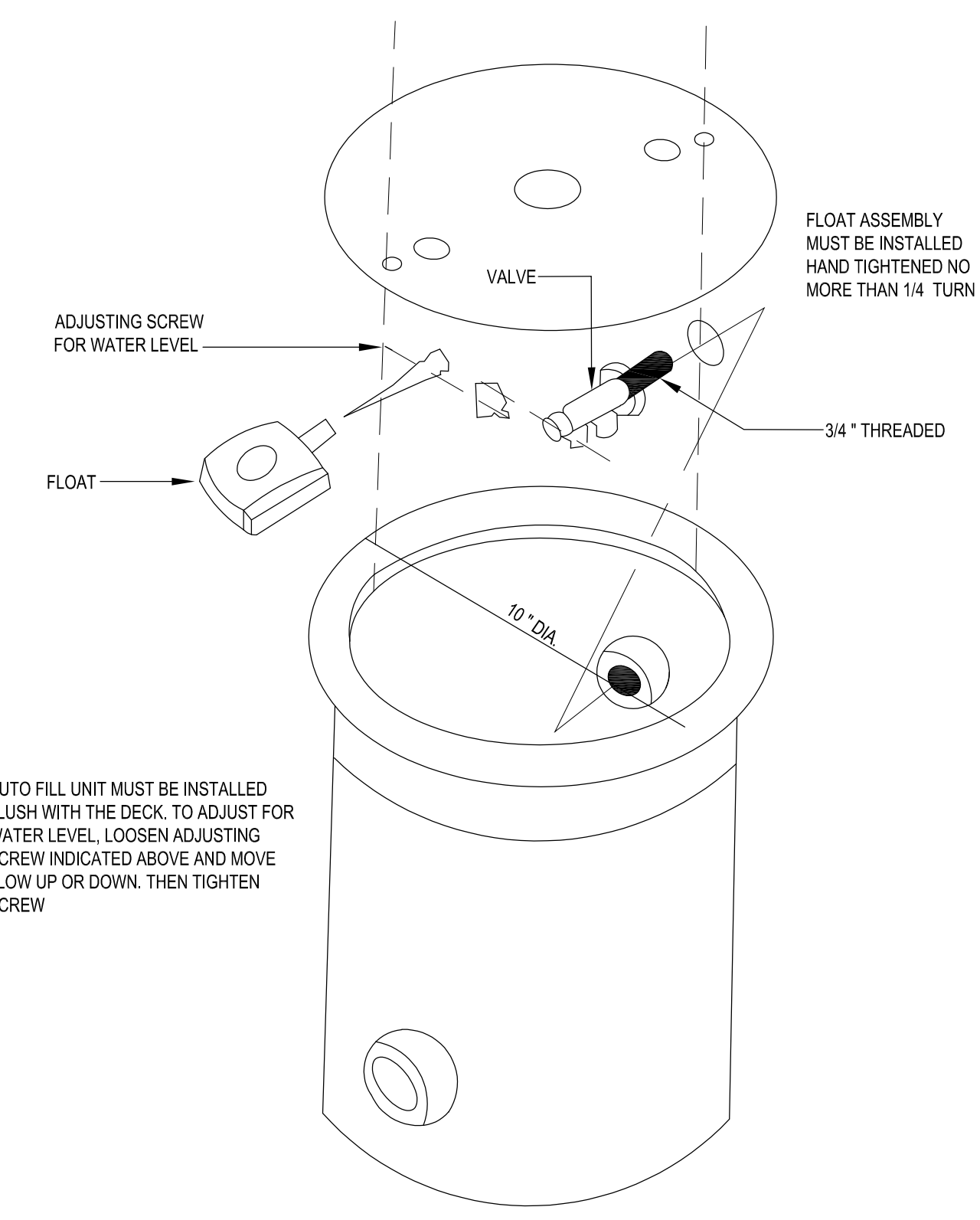
SCHEDULE - 1

RADIUS SCHEDULE	
POOL DEPTH	'R'
3'-6"	1'-0"
4'-0"	1'-0"
5'-0"	1'-0"
5'-6"	1'-6"
6'-0"	1'-6"
6'-6"	1'-6"
7'-0"	1'-6"
7'-6"	1'-6"
8'-0"	1'-6"
8'-6"	1'-6"

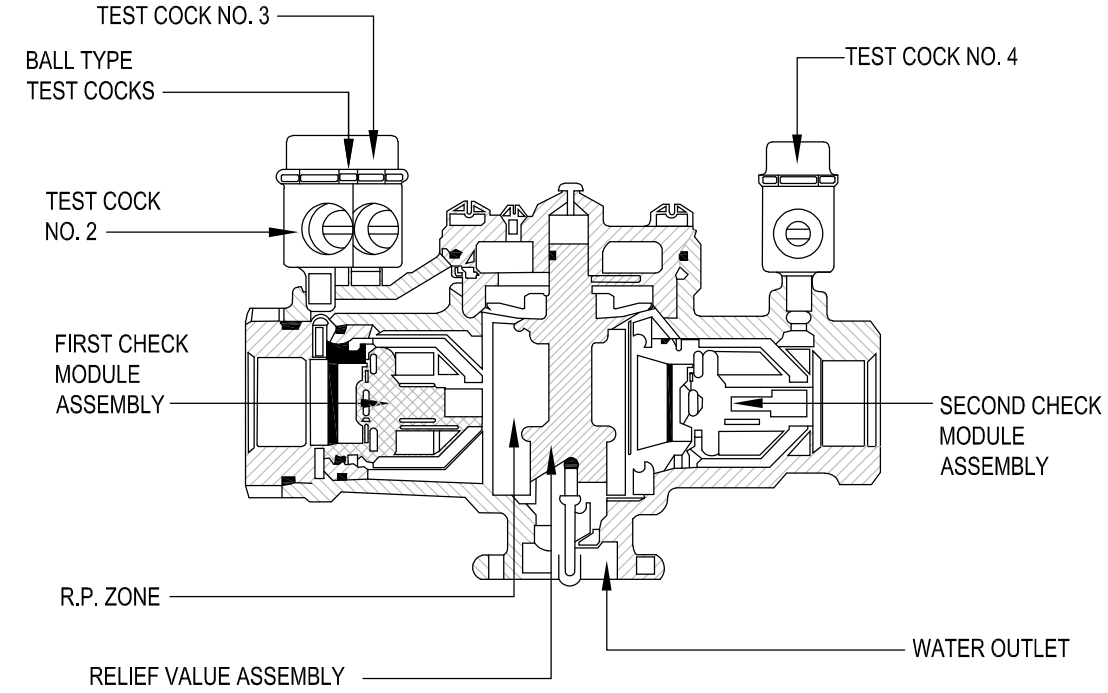
#3 @ 12" O.C. EACH WAY IN POOL BOTTOM, CENTER ALL STEEL IN SHOTCRETE



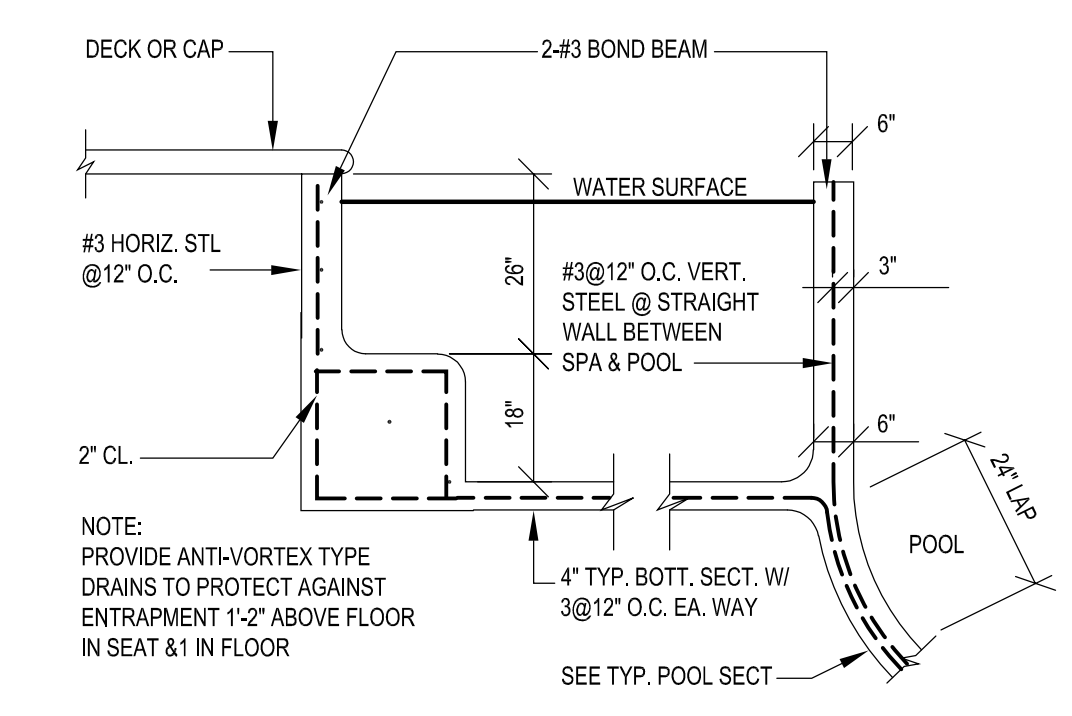
TYPICAL VACUUM RELEASE DETAIL



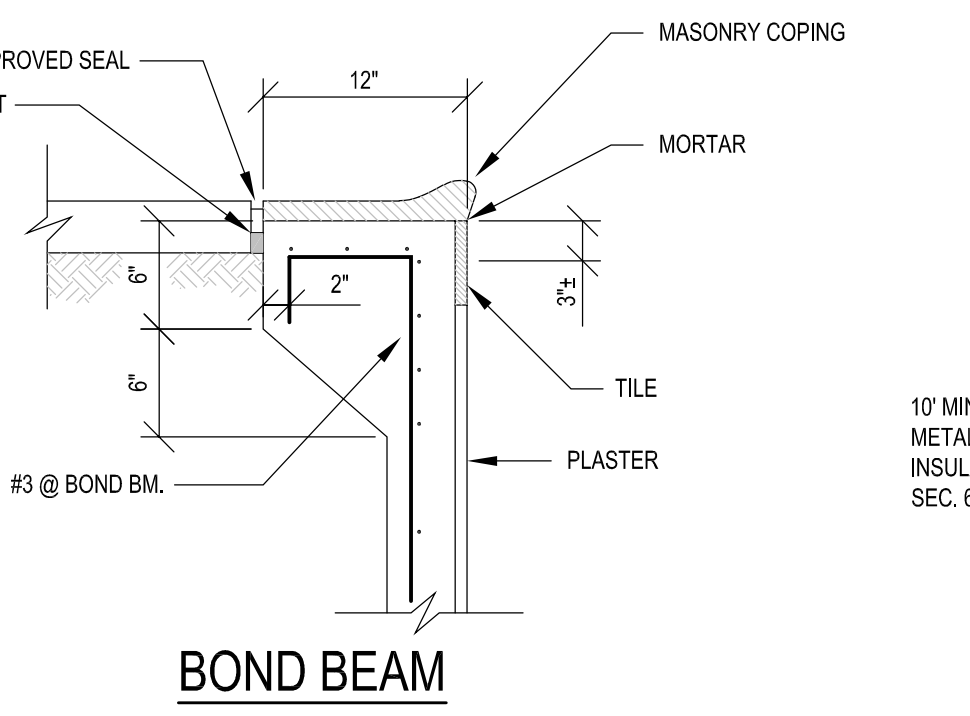
TYPICAL AUTOFILL DETAIL



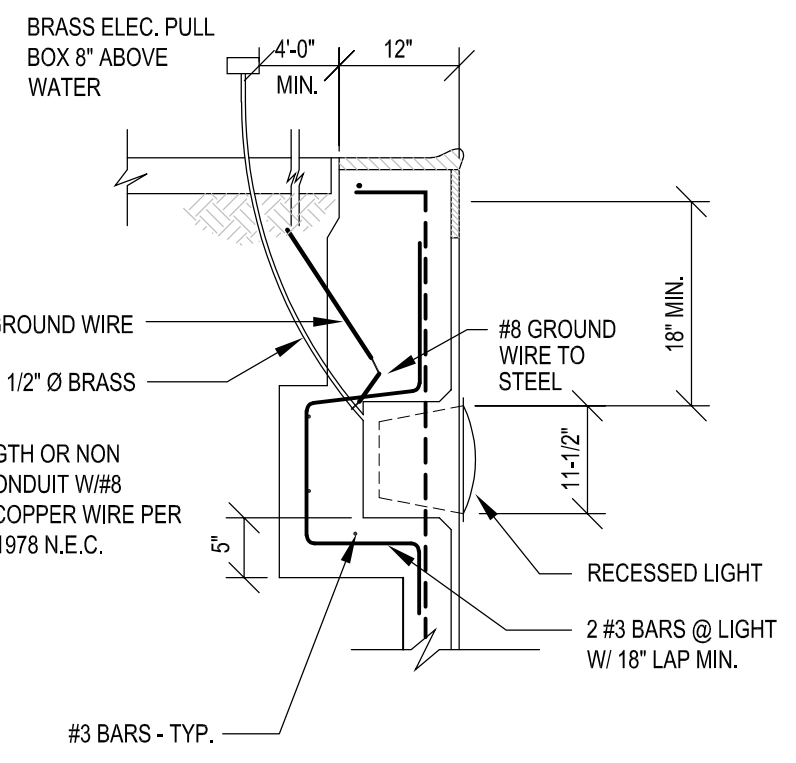
TYPICAL BACKFLOW PREVENTER DETAIL



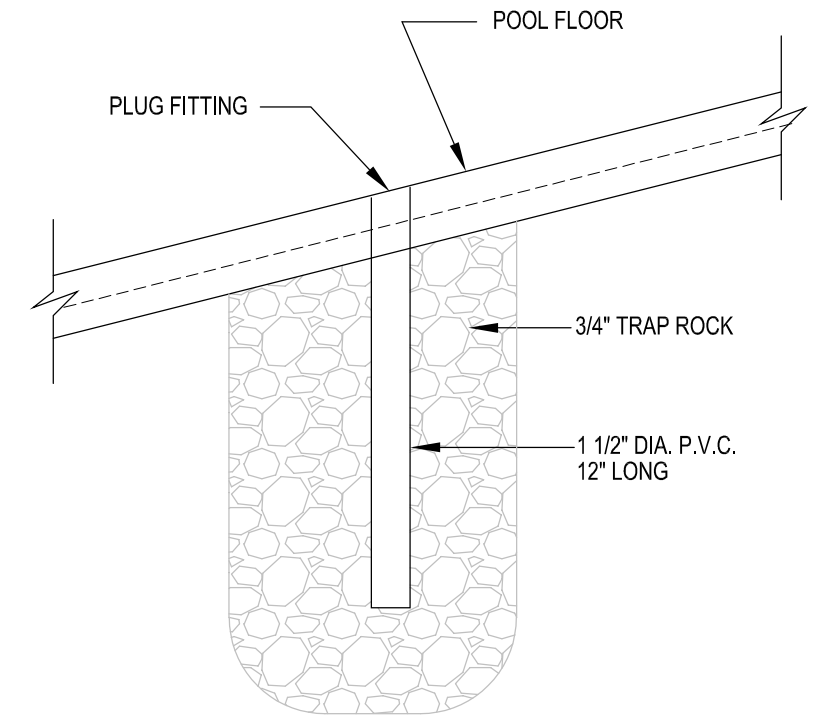
TYPICAL SPA SECTION ADJACENT TO POOL



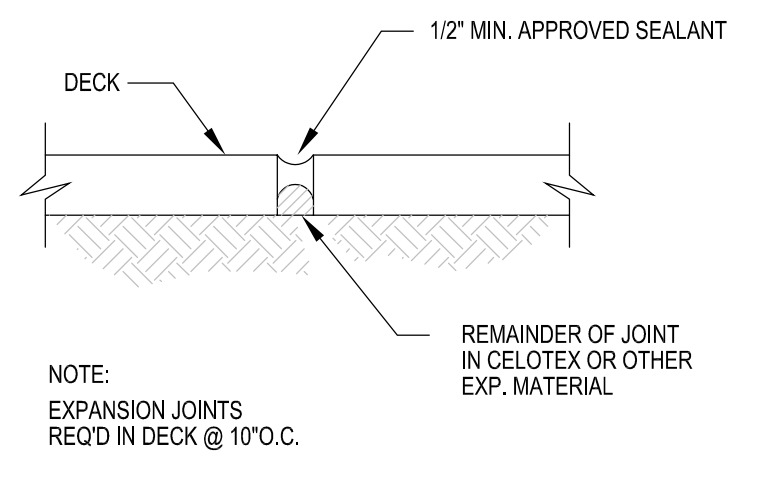
STANDARD COPING & TILE



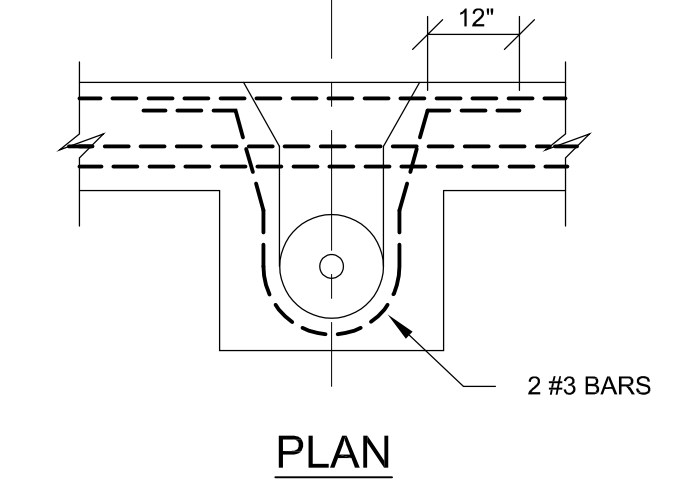
SECTION AT LIGHT BOX



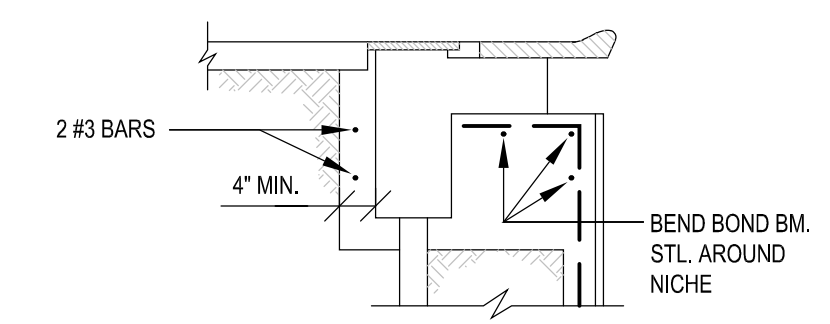
RELIEF VALVE DETAIL



EXPANSIVE JOINT

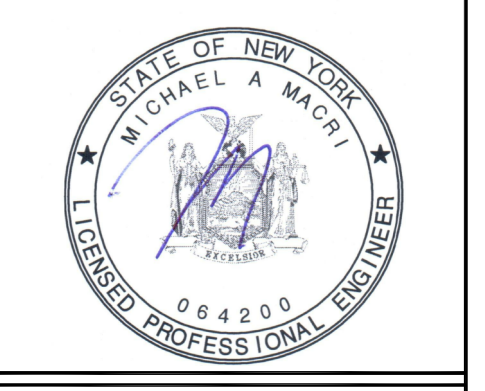


SKIMMER NICHE DETAIL



AUTO-COVER SECTION

GMCE PC
GROSSFIELD MACRI CONSULTING ENGINEERS, PC
 34 SHADBLOW HILL ROAD, RIDGEFIELD, CT 06877 203.431.7700
 WWW.GMCEPC.COM



DEMPSEY POOL
 606 BEDFORD ROAD
 ARMONK, NY

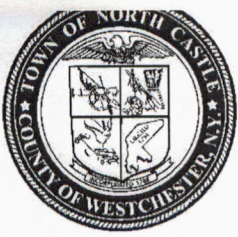
Issue	Description	Date
1	PERMIT	02/11/21
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Date	02/11/21	Scale	AS NOTED
Drawn By	JTC	Checked By	MAM
PROJECT #	20033		

Title
 POOL & EQUIPMENT DETAILS

Drawing #
PL-201
 2 OF 2 SHEETS



Town of North Castle
Building Department
17 Bedford Road
Armonk, N.Y. 10504
914-273-3000 ext. 44 Fax 914-273-3554
Building@northcastleny.com

NOTICE OF VIOLATION/ ORDER TO REMEDY

Complaint #: 2020-456

Notice Date: 04/29/2020

Comply Date: 06/02/2020

SBL: 101.02-1-14

Certified Mail No.: 7019297000205310738

Owner: STEVEN W DEMPSEY
606 BEDFORD RD
ARMONK, NY 10504

Site Address: 606 BEDFORD RD

On 04/27/2020 a lawful inspection was conducted of the above referenced premises and the following violation(s) of the Town of North Castle and the 2017 Uniform Code was observed and still remain:

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 157-16 B - Tree removal

Before any tree shall be removed, the owner or lessee of the property, or the agent of either, shall obtain a written permit therefor from the Building Inspector, upon application setting forth the details of the proposed work as outlined in § 157-12 hereof and in compliance with the provisions of Chapter 308, Trees, Article II, Preservation.

TO WIT: It has been found that the property owner has removed the trees, excavated the area, and constructed a retaining wall by the side of the driveway.

REMEDY: Immediately stop any removal of any trees and apply for the required permit(s).

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 157-16 A - Tree removal

It shall be unlawful to cut down or remove or otherwise destroy any live tree larger in size than eight inches in diameter, measured at a height of 4 1/2 feet above the surface of the ground, except in strict conformity with this article.

TO WIT: It has been found that the property owner has removed the trees, excavated the area, and constructed a retaining wall by the side of the driveway.

REMEDY: Immediately stop any removal of any trees and apply for the required permit(s). A revised plan/updated tree survey must be submitted for review.

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 127-5 A - Construction Inspections.

Work to remain accessible and exposed. Work shall remain accessible and exposed until inspected and accepted by the Building Inspector or by an inspector authorized by the Building Inspector. The permit holder shall notify the Building Inspector when any element of work described in Subsection B of this section is ready for inspection.

TO WIT: It has been found that the property owner has removed the trees, excavated the area, and constructed a retaining wall by the side of the driveway.

REMEDY: Call and schedule the required inspection.

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 127-4 A - Building Permit

Building permits required. Except as otherwise provided in Subsection B of this section, a building permit shall be required for any work which must conform to the Uniform Code and/or the Energy Code, including, but not limited to, the construction, enlargement, alteration, improvement, removal, relocation or demolition of any building or structure or any portion thereof, and the installation of a solid-fuel-burning heating appliance, chimney or flue in any dwelling unit. No person shall commence any work for which a building permit is required without first having obtained a building permit from the Building Inspector.

TO WIT: It has been found that the property owner has removed the trees, excavated the area, and constructed a retaining wall by the side of the driveway.

REMEDY: File for and obtain the required permit(s) and or approval(s).

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 157-10 - Excavation or removal of soil to comply.

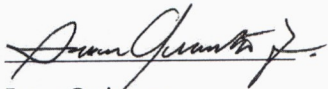
No excavation, removal or stripping of topsoil, earth, sand, gravel, rock or other substance from the ground and no retaining walls or shoring of excavated areas shall be commenced in the Town of North Castle except in conformity with the provisions of the within article and applicable provisions of the Building Ordinance of the Town of North Castle, as previously enacted and amended to the date hereof.[1][1] Editor's Note: See Ch. 127, Building Code Administration and Enforcement.

TO WIT: It has been found that the property owner has removed the trees, excavated the area, and constructed a retaining wall by the side of the driveway.

REMEDY: Cease all work. File for and obtain the required permit(s).

NOTICE: Full compliance with this order to remedy is required by **06/02/2020** which is thirty (30) days after the date of this order. If the person or entity served with this order to remedy fails to comply in full with this order to remedy within the thirty (30) day period, that person or entity will be subject to a fine of not more than \$1000.00 per day, per violation, or imprisonment not exceeding one year, or both. You are hereby notified that you have (30) calendar days to remove/ restore and make safe the above noted violations in the prescribed manner and/ or to provide evidence that the apparent unlawful improvements were completed in accordance with the Code. Further, you are hereby directed to bring the referenced violations into compliance and **arrange for a re-inspection** within the aforementioned time frame. Failure to comply will result in alternative action as prescribed by Law in order to gain compliance including, but not limited to: a summons to appear in court. In addition to those penalties prescribed by state law, any person who violates any provision of the Uniform Code, the Energy Code or the code of the Town of North Castle or any term or condition of any building permit, certificate of occupancy/certificate of compliance, temporary certificate, stop-work order, operating permit or other notice or order issued by the Building Inspector shall be liable to a civil penalty of not more than \$500 for each day or part thereof during which such violation continues as prescribed by Part II General Legislation, Chapter 127-15 C.

Respectfully,



Ivan Quintero

Assistant Building Inspector

**THIS NOTICE MUST BE ATTACHED TO ANY PERMIT APPLICATIONS
INTENDED TO CORRECT THE VIOLATIONS ENUMERATED HERIN.**

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$ 6.80

Postmark Here
MAY 11 4/30/2020

Sent To: Steven Rempsey
Street and Apt. No., or PO Box No.: 606 Bedford Rd
City, State, ZIP+4®: Armonk NY 10504



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 606 Bedford Road - NYS Route 22

Section III- DESCRIPTION OF WORK:

The project will involve the construction of a 20' x 50' pool with spa, associated equipment and stormwater mitigation

*REVISING WROUGHT IRON FENCE TO A SOLID 6FT HIGH FENCE, ALONG
BERM AROUND POOL.*

Section III- CONTACT INFORMATION:

APPLICANT: Bedford Pool Service, Inc.

ADDRESS: P.O. Box 43, Bedford, New York 10506

PHONE: (914) 255-7058 MOBILE: _____ EMAIL: bedfordpoolservice@gmail.com

James O'Reilly

PROPERTY OWNER: Steven & Tania Dempsey

ADDRESS: 606 Bedford Road - NYS Route 22, Armonk, New York 10504

PHONE: (917) 502-3992 MOBILE: _____ EMAIL: dempsey@greyrockcapitalgroup.com

PROFESSIONAL: Peter J. Gregory, P.E. Provident Design Engineering, PLLC

ADDRESS: 7 Skyline Drive, Hawthorne, New York 10532

PHONE: (914) 730-2276 MOBILE: (914-557-4449)

EMAIL: pgregory@pderesults.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 2 - 8 - 2E-2 (101.02 - 1 - 14)



7 Skyline Drive, Hawthorne, NY 10532
Tel: (914) 592-4040 www.pderesults.com

February 2, 2021

Mr. Adam Kaufman
Chairman Town of North Castle Residential Project Review Committee
Town of North Castle
17 Bedford Road
Armonk, New York 10504

**Regarding: Dempsey Residence Pool
606 Bedford Road, Route 22
North Castle (T)**

Dear Mr. Kaufman:

This office has prepared the necessary plans and paperwork to submit an RPRC application for the construction of a swimming pool at 606 Bedford Road, Route 22 in the Town of North Castle. The property is a 2.0 acre parcel, currently developed consisting of a single family home and located within the R-2A One Family Residential zoning district.

The owner is considering the construction of a 20' x 50' swimming pool with spa and associated terrace and mechanical equipment. In addition, evergreen landscaping is proposed around the pool area as screening to adjacent properties.

Attached please find the following information in support of application in consideration of a review:

- RPRC Application
- Gross Land Coverage Calculation Worksheet with Existing and Proposed Graphical Depiction
- Aerial Image indicating proposed pool and spa with limit of disturbance
- Plan set including Site Plan, and Construction Details
- Swimming Pool Structural Plans
- Existing Survey

The owner requests to be considered for the February 16, 2021 RPRC to review the application.

We look forward to further discussing project with you. Should you have any questions require any additional information, please feel free to contact this office.

Very truly yours,

A handwritten signature in black ink that reads 'Peter J. Gregory'.

Peter J. Gregory, P.E.
Senior Project Manager



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

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PHONE: (914) 255-7058 MOBILE: _____ EMAIL: bedfordpoolservice@gmail.com

PROPERTY OWNER: Steven & Tania Dempsey

ADDRESS: 606 Bedford Road - NYS Route 22, Armonk, New York 10504

PHONE: (917) 502-3992 MOBILE: _____ EMAIL: dempsey@greyrockcapitalgroup.com

PROFESSIONAL: Peter J. Gregory, P.E. Provident Design Engineering, PLLC

ADDRESS: 7 Skyline Drive, Hawthorne, New York 10532

PHONE: (914) 730-2276 MOBILE: (914-557-4449)

EMAIL: pgregory@pderesults.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 2 - 8 - 2E-2 (101.02 - 1 - 14)



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Dempsey Residence Pool

Initial Submittal Revised Preliminary

Street Location: 606 Bedford Road, Route 22

Zoning District: R-2A Property Acreage: 2.00 Tax Map Parcel ID: _____

Date: 02/01/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Dempsey Residence Pool Date: 02-01-21

Tax Map Designation or Proposed Lot No.: 2 - 8 - 2E-2 (101.02 - 1 - 14)

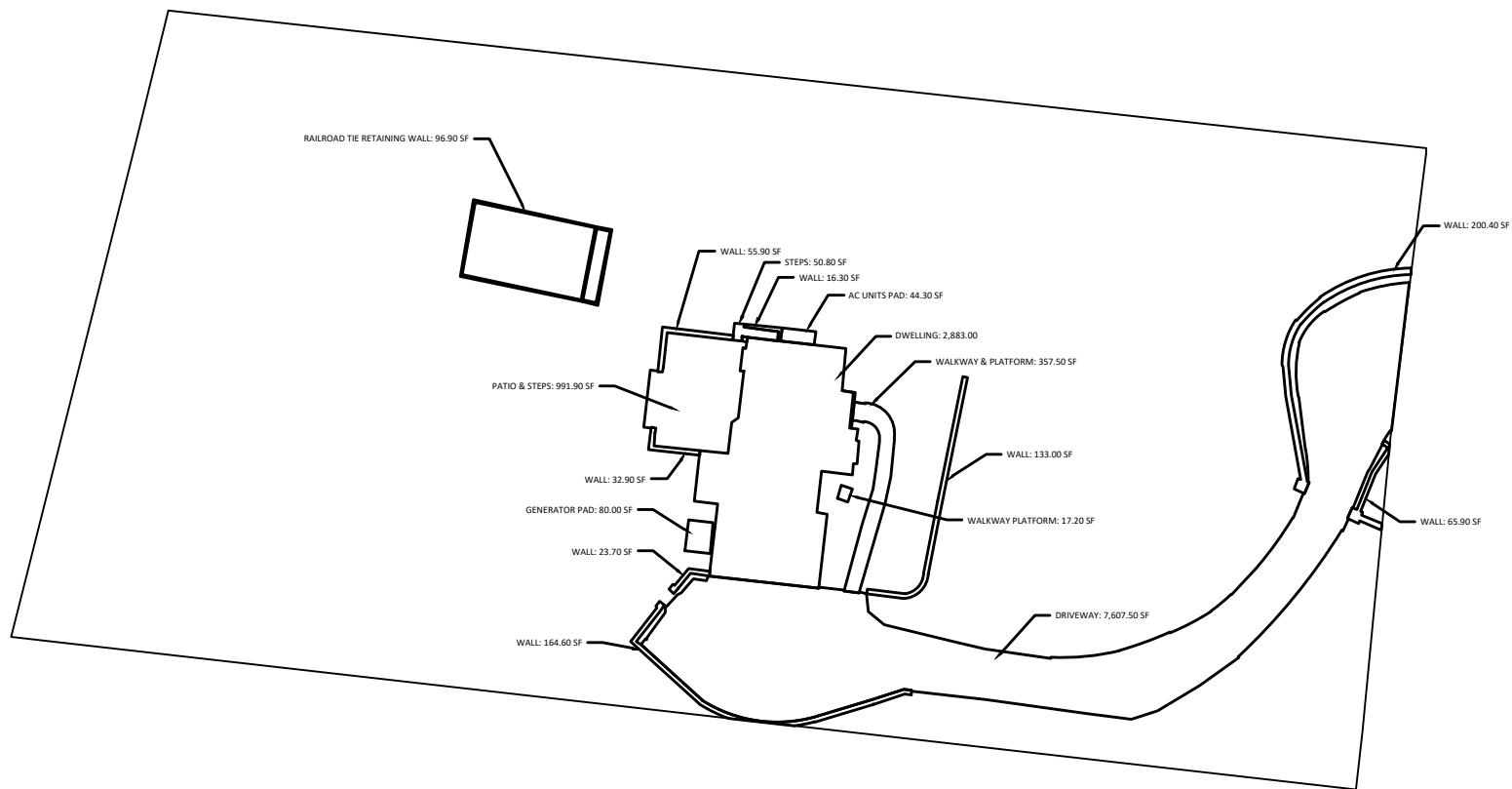
Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>87,126.7</u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):	<u>13,270.5</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)): Distance principal home is beyond minimum front yard setback <u>121.06</u> x 10 =	<u>1,210.6</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>14,481.1</u>
5.	Amount of lot area covered by principal building : <u>2,883</u> existing + <u>-</u> proposed =	<u>2,883.0</u>
6.	Amount of lot area covered by accessory buildings : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
7.	Amount of lot area covered by decks : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches : <u>-</u> existing + <u>-</u> proposed =	<u>0</u>
9.	Amount of lot area covered by driveway, parking areas and walkways : <u>9,024.9</u> existing + <u>-</u> proposed =	<u>9,024.9</u>
10.	Amount of lot area covered by terraces : <u>-</u> existing + <u>640</u> proposed =	<u>640.0</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equip : <u>124.3</u> existing + <u>1,110</u> proposed =	<u>1,234.3</u>
12.	Amount of lot area covered by all other structures : <u>789.6</u> existing + <u>(97.3)</u> proposed =	<u>692.7</u>
13.	Proposed gross land coverage: Total of Lines 5 – 12 =	<u>14,474.9</u>

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

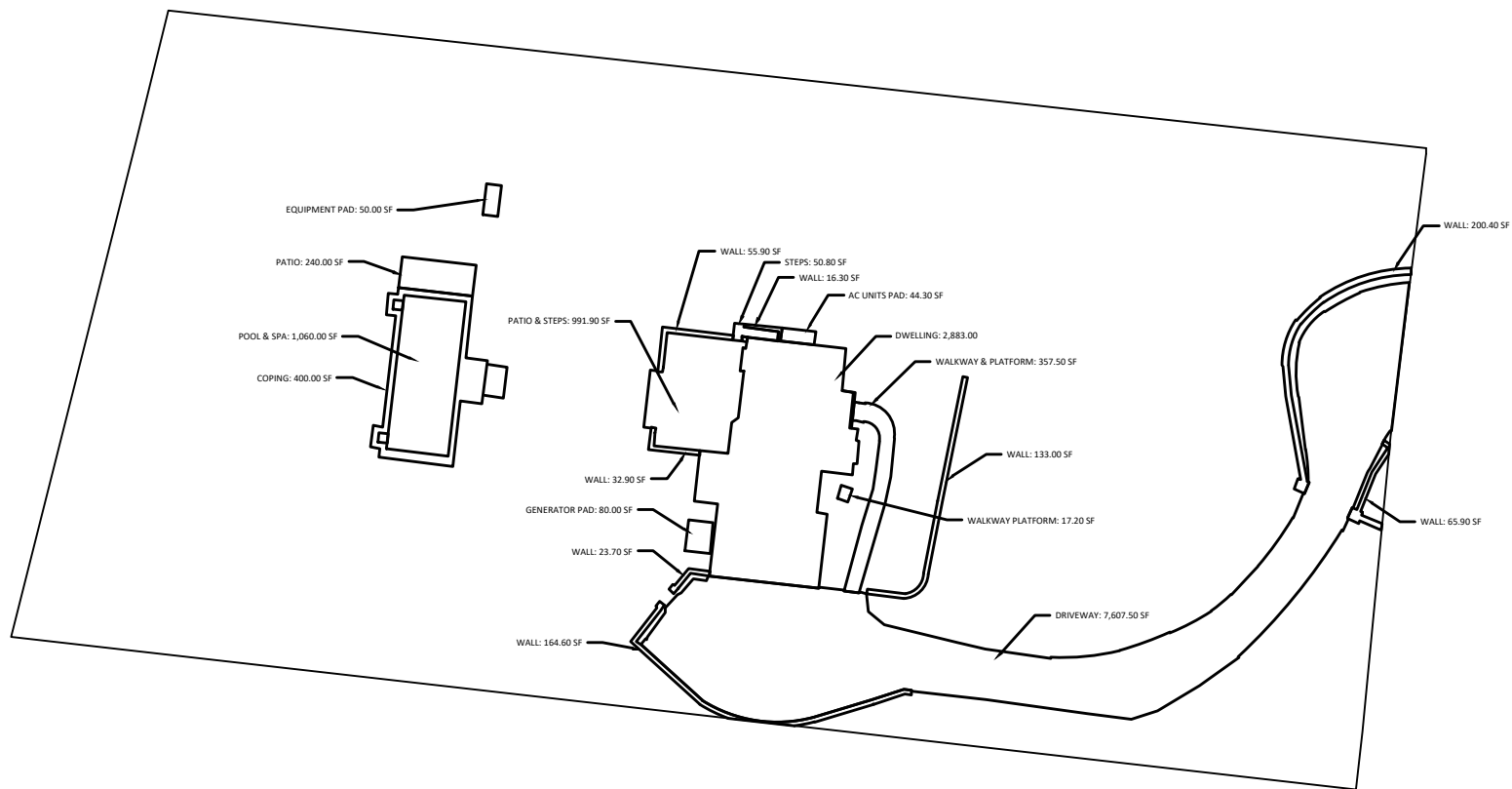
Peter Gregory
Signature and Seal of Professional Preparing Worksheet

2 - 1 - 21
Date



EXISTING GROSS LAND COVERAGE

TOTAL LOT AREA	=	87,126.689 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270.50 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210.60 SF
TOTAL MAX PERMITTED GROSS LAND COVERAGE	=	14,481.10 SF
PRINCIPAL BUILDING	=	2,883.00 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,024.90 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124.30 SF
ALL OTHER STRUCTURES - WALLS	=	789.60 SF
EXISTING GROSS LAND COVERAGE	=	12,821.80 SF



PROPOSED GROSS LAND COVERAGE

TOTAL LOT AREA	=	87,126.689 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270.50 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210.60 SF
TOTAL MAX PERMITTED GROSS LAND COVERAGE	=	14,481.10 SF
PRINCIPAL BUILDING	=	2,883.00 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,024.90 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124.30 SF
ALL OTHER STRUCTURES - WALLS	=	692.70 SF
PROPOSED POOL & SPA	=	1,060.00 SF
PROPOSED COPING	=	400.00 SF
PROPOSED PATIO	=	240.00 SF
PROPOSED POOL EQUIPMENT PAD	=	50.00 SF
TOTAL GROSS LAND COVERAGE	=	14,474.90 SF



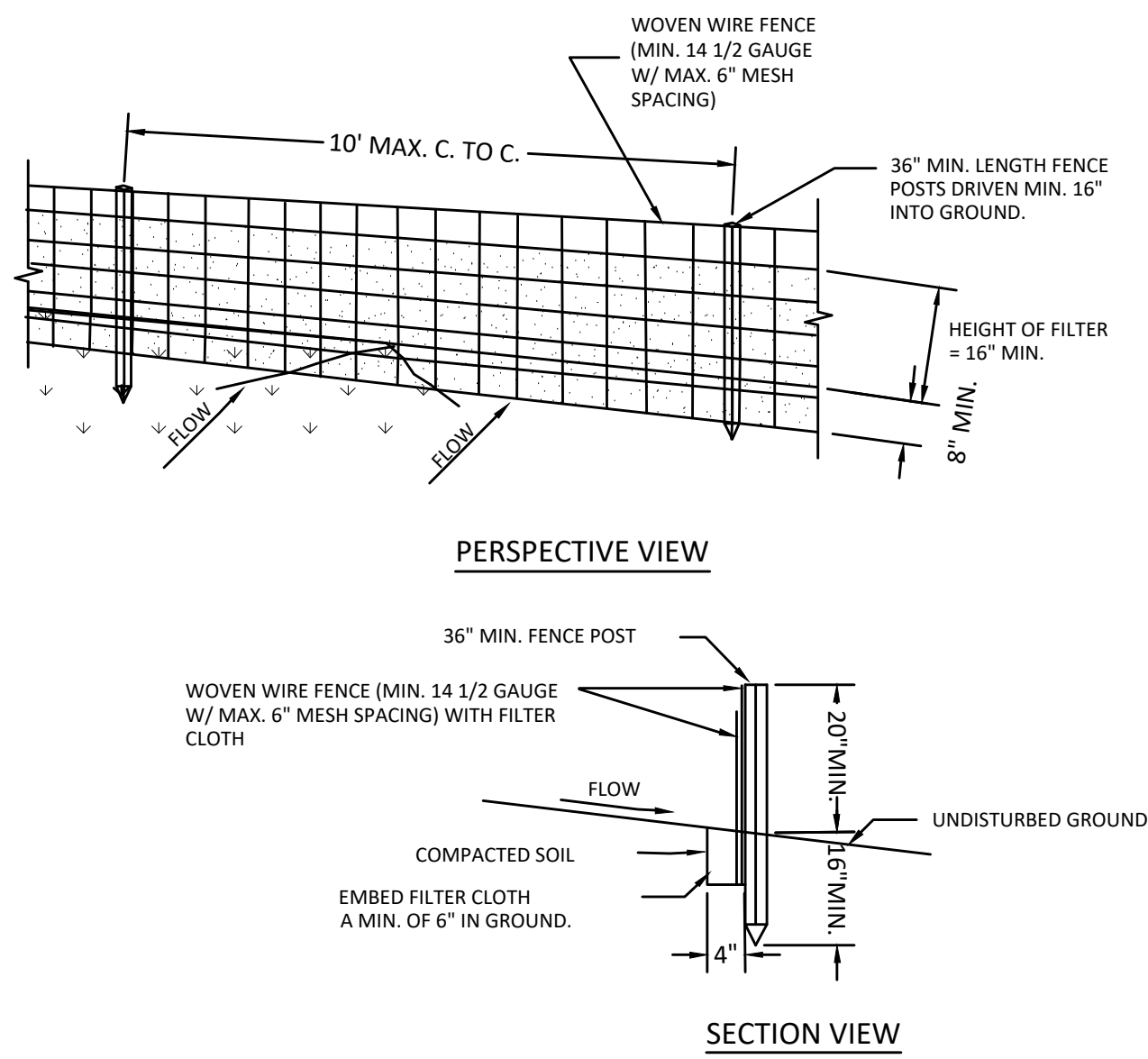
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
 TEL: (914) 592-4040 WWW.PDERESULTS.COM

© PROVIDENT DESIGN ENGINEERING, PLLC

Graphical Depiction - Coverage Calculations
 Dempsey Residence Pool
 Town of North Castle
 Westchester County, New York

Project No. 20-076
 Scale: NTS
 February 2021



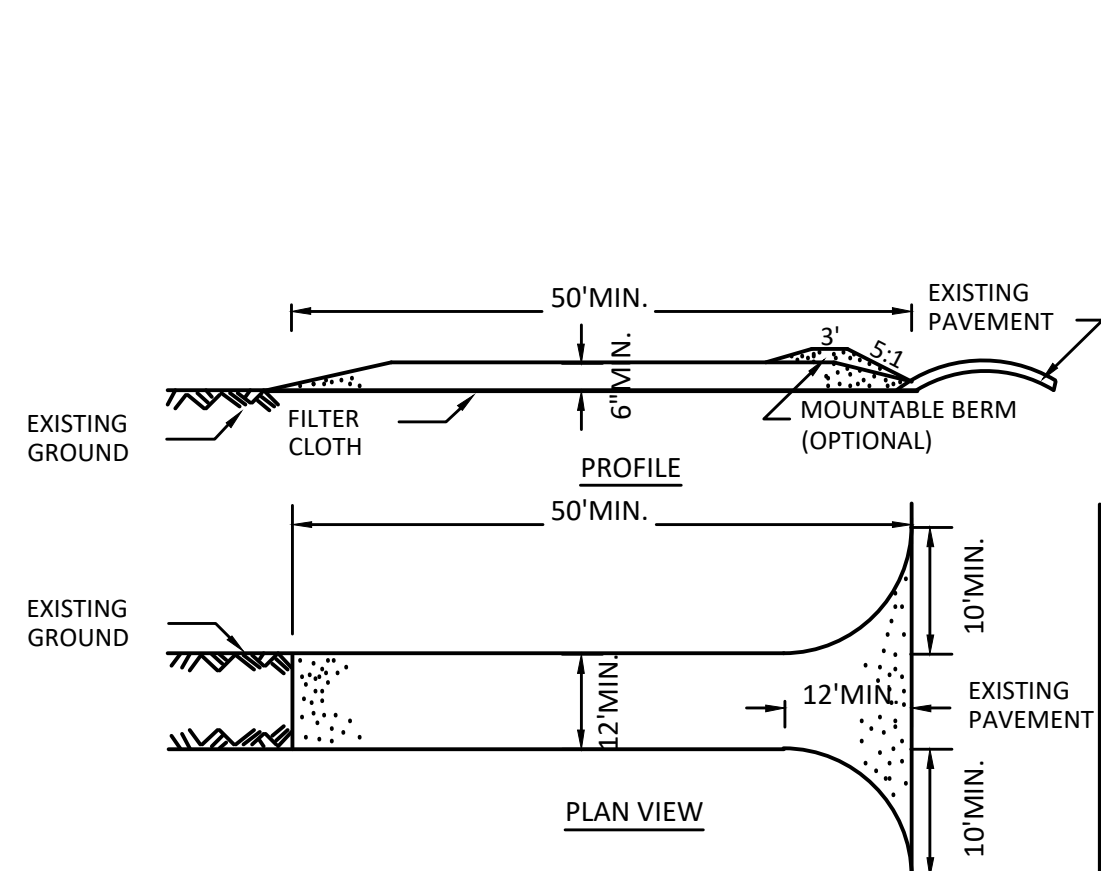


PERSPECTIVE VIEW

SECTION VIEW

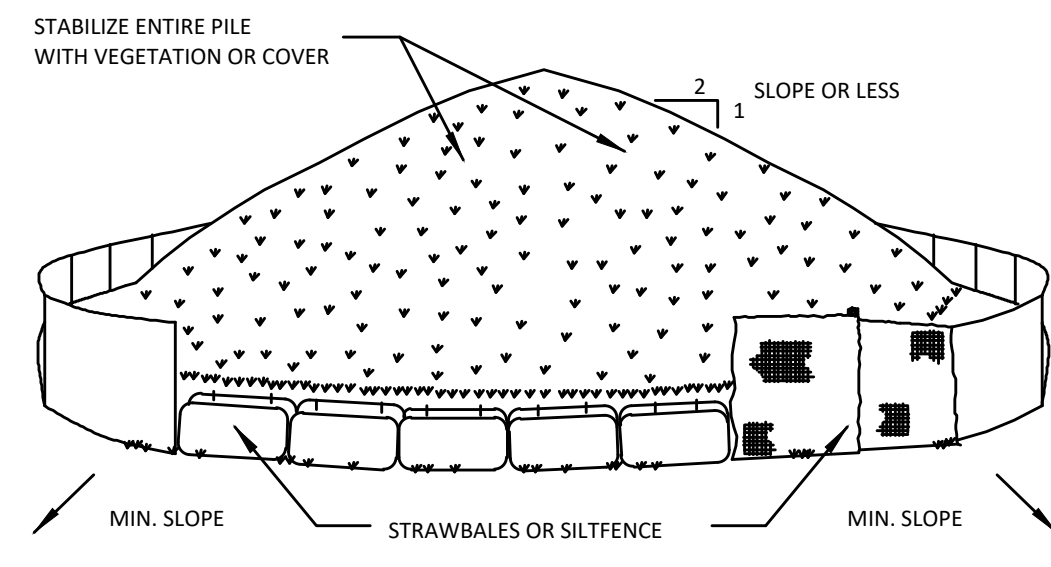
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

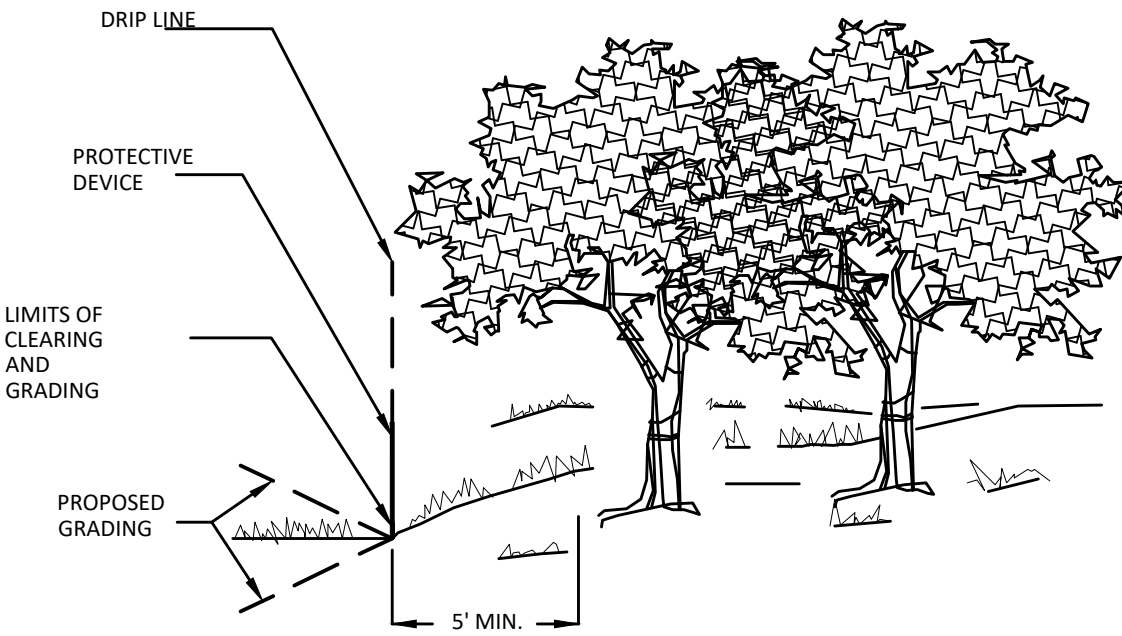


INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILING
NOT TO SCALE

3



TREE PROTECTION
NOT TO SCALE

4

SOIL RESTORATION STANDARDS
THE OBJECTIVE IS TO DE-COMPACT THE SOILS IN THOSE AREAS WHICH WERE SUBJECT TO THE USE OF HEAVY EQUIPMENT TO RESTORE THE ORIGINAL PROPERTIES AND POROSITY OF THE SOIL, PROVIDING FOR REDUCTION OF RUNOFF AND A SUSTAINABLE GROWTH MEDIUM FOR VEGETATION. WHILE ALSO CONSIDERED AS A GREEN INFRASTRUCTURE TECHNIQUE, THIS MEASURE IS GENERALLY APPLIED DURING THE FINAL CLEANUP, SITE RESTORATION, AND LANDSCAPING PHASE OF THE PROJECT.
ALL DISTURBED AND COMPACTED AREAS THAT WILL BE UNPAVED, VEGETATED AND/OR LANDSCAPED IN THE POST-CONSTRUCTION CONDITION SHALL BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, OR TABLE 4.6 IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SEE BELOW), LATEST EDITIONS. SOIL RESTORATION WITHIN AREAS OF SATURATED SOILS SUCH AS WETLANDS SHALL NOT BE EMPLOYED, AS IT HAS THE POTENTIAL TO CREATE A SIGNIFICANT SUSPENSION OF SOILS.
FULL SOIL RESTORATION WILL BE ACCOMPLISHED DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS WILL BE RETURNED TO ROUGH GRADE AND THE FOLLOWING STEPS WILL BE IMPLEMENTED:

- THREE (3) INCHES OF COMPOST WILL BE APPLIED OVER THE SUBSOIL. THE COMPOST SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1% BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 5.2 - COMPOST STANDARDS TABLE IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, EXCEPT FOR "PARTICLE SIZE", 100% WILL PASS THE 1/2" SIEVE.
- THE COMPOST LAYER WILL BE TILLED INTO THE SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, TO MIX AND CIRCULATE AIR AND COMPOST INTO SUBSOILS. TILLING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE. THE USE OF FERTILIZERS WILL BE MINIMIZED, UTILIZED ONLY WITHIN EXISTING COMMERCIAL AND/OR RESIDENTIAL LAWN AREAS, AND SHALL BE APPLIED IN ACCORDANCE WITH WESTCHESTER COUNTY LAW (SEE "APPLICATION OF FERTILIZERS", THIS SHEET).
- ROCK-PICKING WILL BE PERFORMED UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE HAVE BEEN CLEARED.
- TOPSOIL WILL BE APPLIED TO A MINIMUM DEPTH OF 4 INCHES. TOPSOIL SHALL BE PROVIDED FROM STOCKPILES CREATED DURING TOPSOIL SEGREGATION OPERATIONS, OR IMPORTED FROM OFFSITE SOURCES AS REQUIRED.
- VEGETATE AREAS AS REQUIRED BY THE PLAN. USE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE.
- AT THE END OF THE PROJECT, THE ENVIRONMENTAL INSPECTOR SHOULD BE ABLE TO PUSH A 3/8 INCH METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.

TABLE 4.6 SOIL RESTORATION REQUIREMENTS

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A&B APPLY 6 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES.
	HSG C&D AERATE* AND APPLY 6 INCHES OF TOPSOIL	
AREAS OF CUT OR FILL	HSG A&B AERATE* AND APPLY 6 INCHES OF TOPSOIL	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.
	HSG C&D APPLY FULL SOIL RESTORATION**	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.	
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.	

* AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.
** PER "DEEP RIPPERING AND DE-COMPACTION, DEC 2008".

VEGETATION REQUIREMENTS:

- SITE PREPARATION
 - INSTALL NEEDED WATER AND EROSION CONTROL MEASURES AND BRING AREA TO BE SEEDED TO DESIRED GRADES USING A MINIMUM OF 4 IN. TOPSOIL.
 - PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4-6 INCHES.
 - LIME TO A PH OF 6.5
 - FERTILIZE AS PER SOIL TEST OR, IF FERTILIZER MUST BE APPLIED BEFORE SOIL TEST RESULTS ARE RECEIVED, APPLY 850 POUNDS OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS/1,000 SQ. FT.)
 - INCORPORATE LIME AND FERTILIZER IN TOP 2-4 INCHES OF TOPSOIL.
 - SMOOTH. REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS, AND FOREIGN MATTER FROM THE SURFACE. FIRM THE SEEDBED.
- PLANTING—SUNNY LOCATION.

UPON COMPLETING SOIL DE-COMPACTION, USE A CULTIPACKER TYPE SEEDER IF POSSIBLE. SEED TO A DEPTH OF 1/8 TO 1/4 INCH. IF SEED IS TO BE BROADCAST, CULTIPACK OR ROLL AFTER SEEDING. IF HYDROSEEDED, LIME AND FERTILIZER MAY BE APPLIED THROUGH THE SEEDER AND ROLLING IS NOT PRACTICAL. SEED USING THE FOLLOWING MIX AND RATES:

SPECIES (% BY WEIGHT)	LBS/1,000SQ. FT	LBS./ACRE
65% KENTUCKY BLUEGRASS BLEND	2.0-2.6	85-114
20% PERENNIAL RYEGRASS	0.6-0.8	26-35
15% FINE FESCUE	0.4-0.6	19-26
TOTAL	3.0-4.0	130-175
OR,		
100% TALL FESCUE, TURF-TYPE, FINE LEAF	3.4-4.6	150-200

3) WHEN USING THE CULTIPACKER OR BROADCAST SEED METHOD, MULCH USING SMALL GRAIN STRAW, APPLIED AT A RATE OF 2 TONS PER ACRE; AND ANCHOR WITH A NETTING OR TACKIFIER. HYDROSEED APPLICATIONS SHOULD INCLUDE MULCH, FERTILIZER AND SEED.

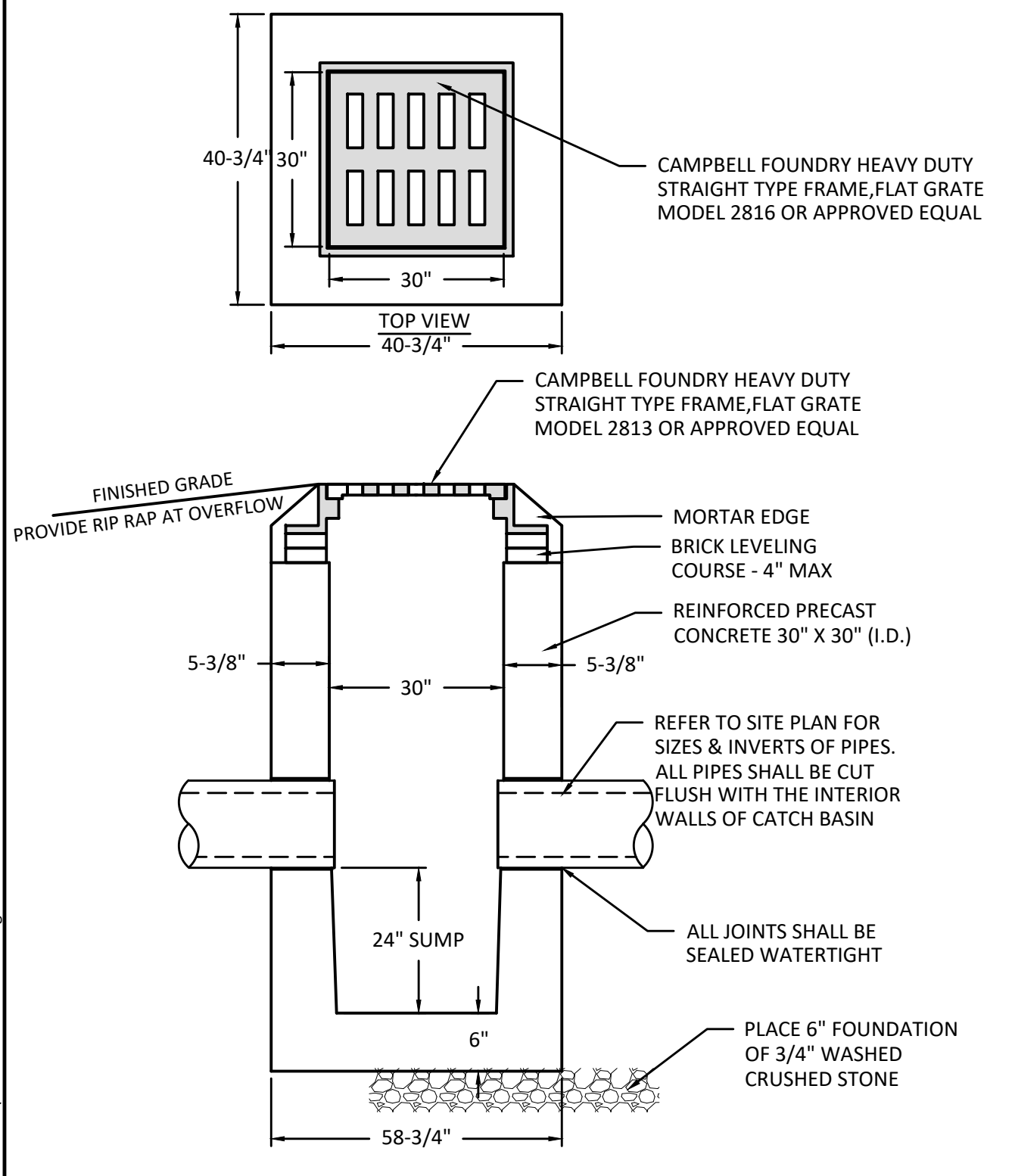
COMMON WHITE CLOVER CAN BE ADDED TO MIXTURES AT THE RATE OF 1-2 LBS/ACRE TO HELP MAINTAIN GREEN COLOR DURING THE DRY SUMMER PERIOD, HOWEVER, THEY WILL NOT WITHSTAND HEAVY TRAFFIC. FERTILIZING—FIRST YEAR, (SPRING SEEDLINGS) THREE TO FOUR WEEKS AFTER GERMINATION APPLY 1 POUND NITROGEN/1,000 SQUARE FEET USING A COMPLETE FERTILIZER WITH A 2-1-1 OR 4-1-3 RATIO OR AS RECOMMENDED BY SOIL TEST RESULTS. FOR SUMMER AND EARLY FALL SEEDINGS, APPLY AS ABOVE UNLESS AIR TEMPERATURES ARE ABOVE 55°F FOR EXTENDED PERIOD. WAIT UNTIL HEAT WAVE IS OVER TO FERTILIZE FOR LATE FALL/ WINTER SEEDINGS, FERTILIZE IN SPRING. RESTRICT USE—NEW SEEDLINGS SHOULD BE PROTECTED FROM USE FOR ONE FULL YEAR TO ALLOW DEVELOPMENT OF A DENSE SOD WITH GOOD ROOT STRUCTURE.

SILT FENCE
NOT TO SCALE

1

STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE

2

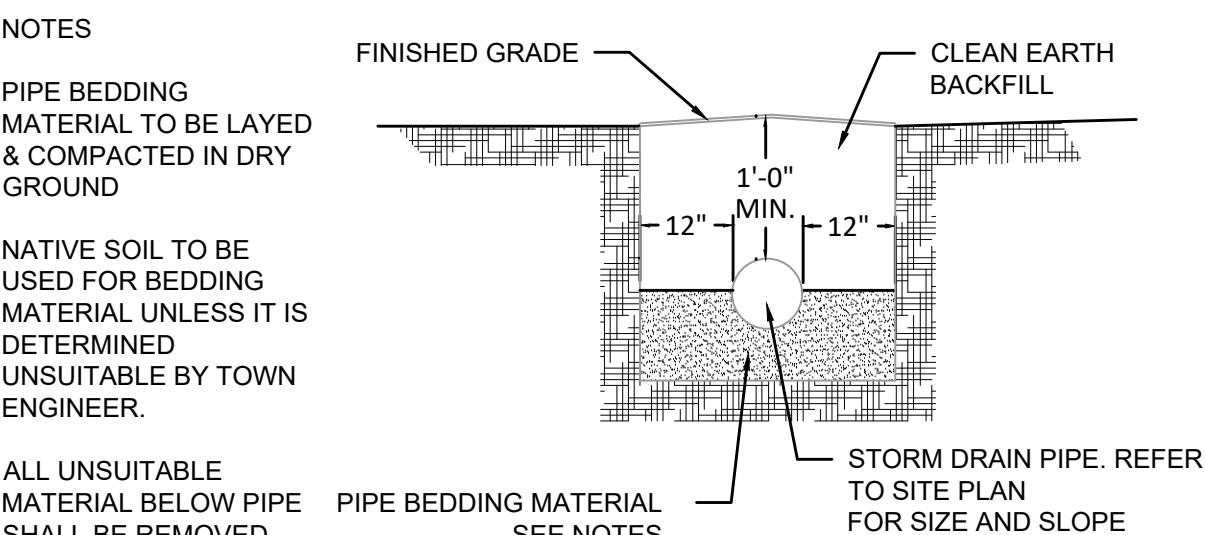


CONSTRUCTION SPECIFICATIONS

- CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS.
- REINFORCEMENT: #4 REBAR / ASTM A615
- AIR ENTRAINMENT: 5%
- CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
- LOAD RATING: H20 / ASTM C857

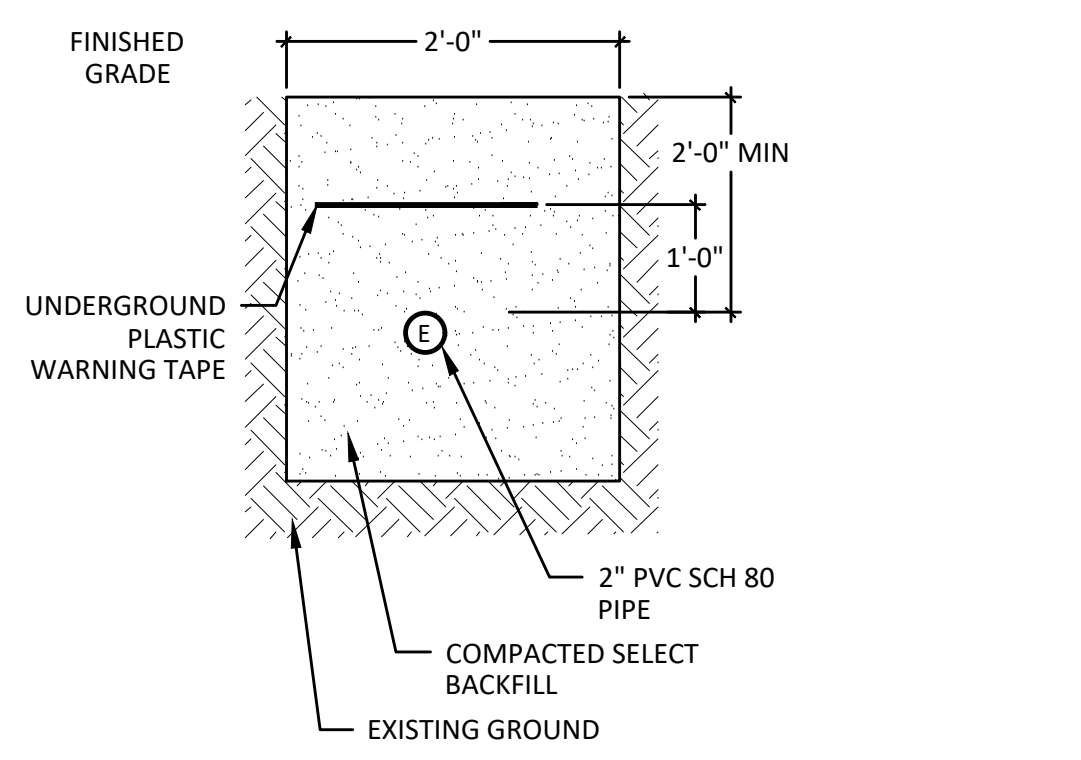
PRE TREATMENT BOX WITH SUMP
NOT TO SCALE

5



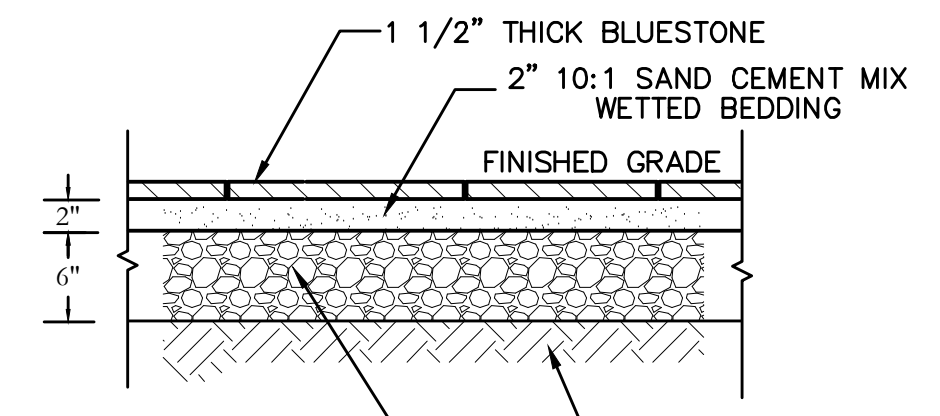
STORM DRAIN TRENCH DETAIL
NOT TO SCALE

6



UTILITY TRENCH DETAIL

7



BLUESTONE TERRACE SECTION
NOT TO SCALE

8

NO.	REVISION	DATE

Surveyor
TC Merritts Land Surveyors, PC
394 Bedford Road
Pleasantville, New York 10570
Tel: 914-769-8003

Owner
Steven & Tania Dempsey
606 Bedford Road, Route 22
Armonk, New York 10504
Tel: (917) 502-3992

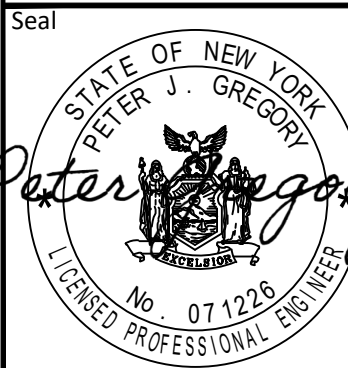
Provident
design engineering

7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDRRESULTS.COM
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.
© PROVIDENT DESIGN ENGINEERING, PLLC

DEMPSEY RESIDENCE POOL
606 BEDFORD ROAD, ROUTE 22
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

TITLE:
CONSTRUCTION DETAILS

Scale:
Date: 02/01/21
Drawn By: JM
Checked By: PJG
Project No.: 20-076
Sheet No.: 2 of 2
Dwg. No.: C-102

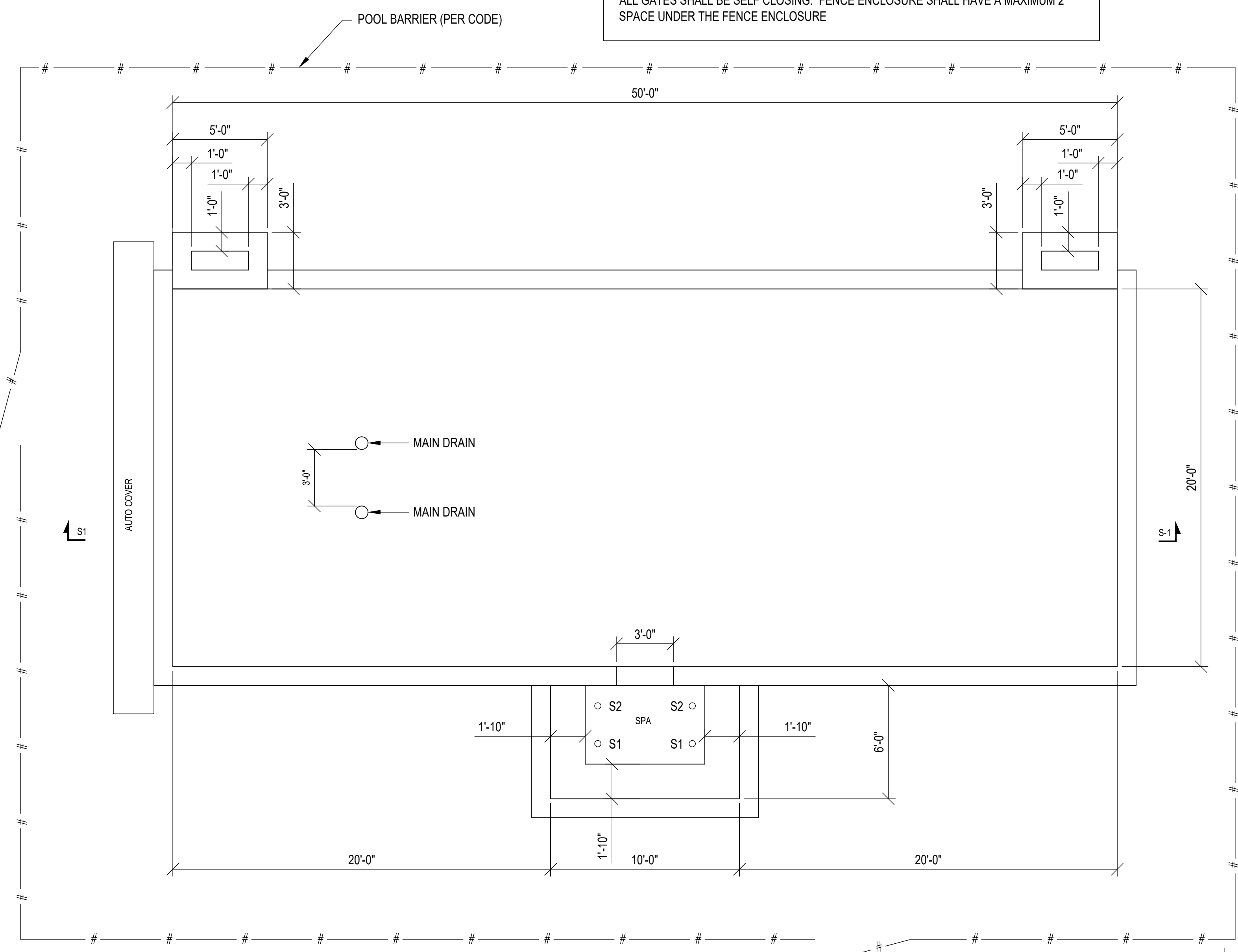


LEGEND	
R	RETURN
S	SKIMMER
P	VACUUM PORT

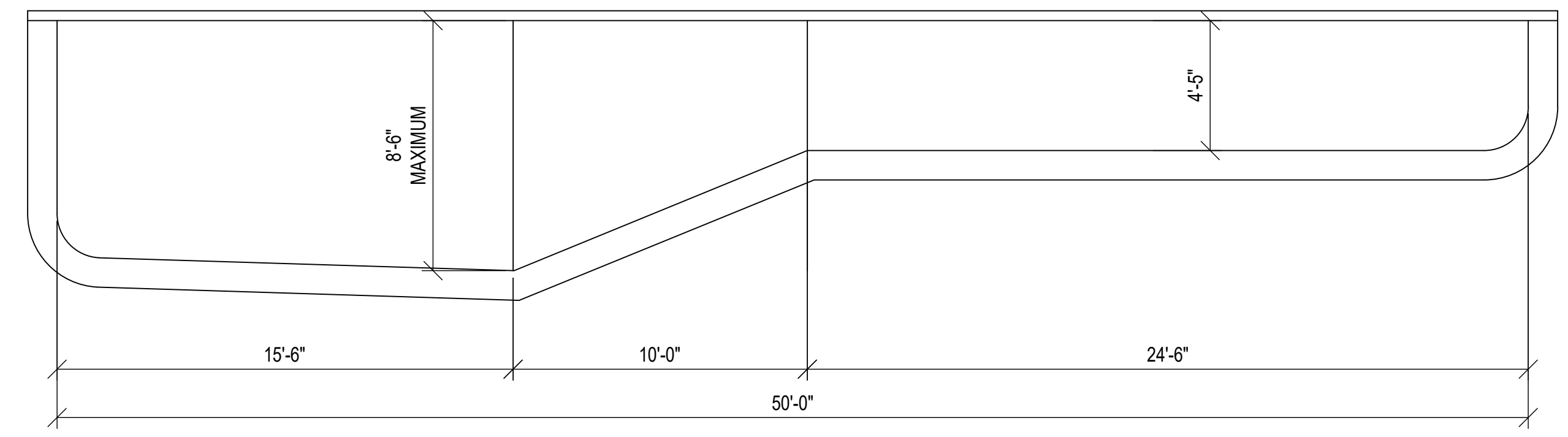
BUILDING PART OF POOL BARRIER NOTE:
IF BUILDING STRUCTURE IS PART OF POOL ENCLOSURE, ALL DOORS IN BUILDING WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT COMPLIES WITH SECTION R326.4.2.8.

USE POOLGUARD PBM INDUSTRIES, INC DOOR ALARM (MODEL DAPT-2)

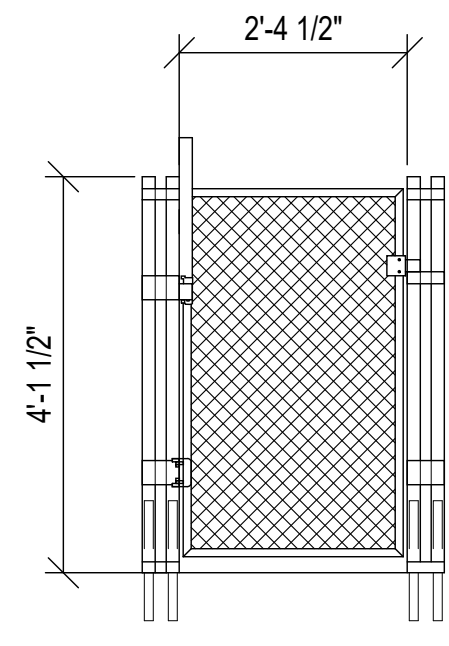
POOL BARRIER NOTE:
ALL GATES SHALL BE SELF CLOSING. FENCE ENCLOSURE SHALL HAVE A MAXIMUM 2" SPACE UNDER THE FENCE ENCLOSURE



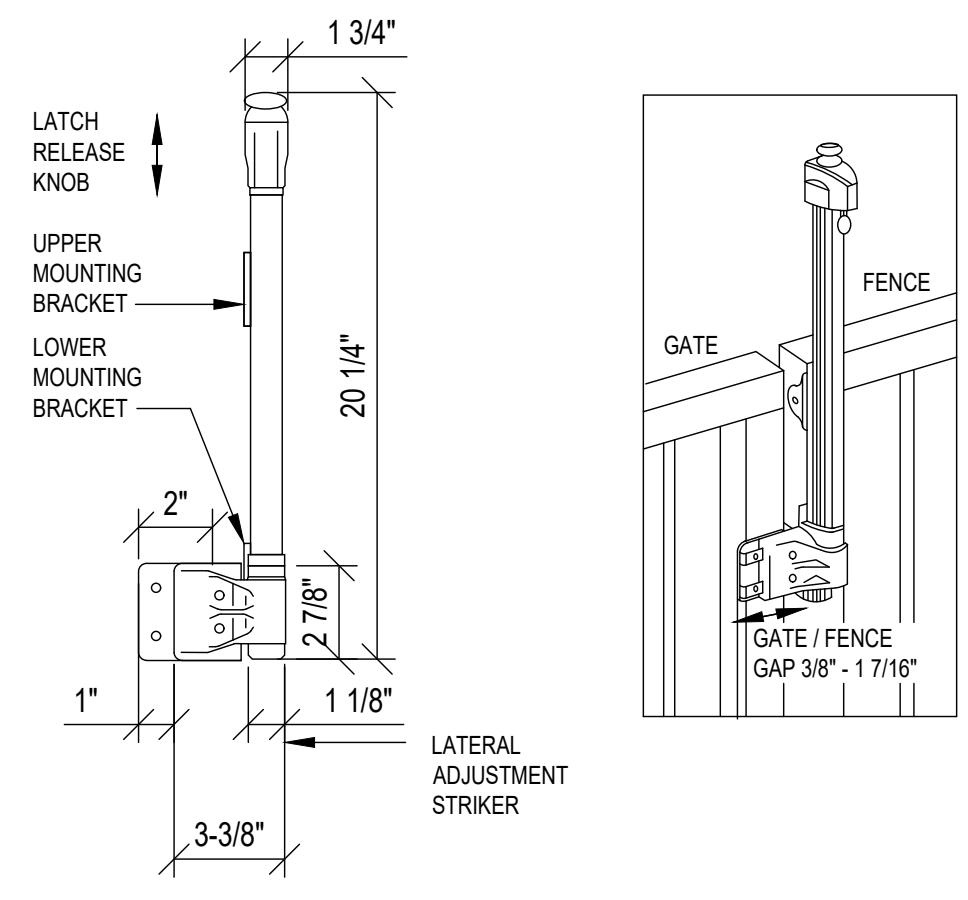
POOL PLAN
SCALE: 1/4" = 1'-0"



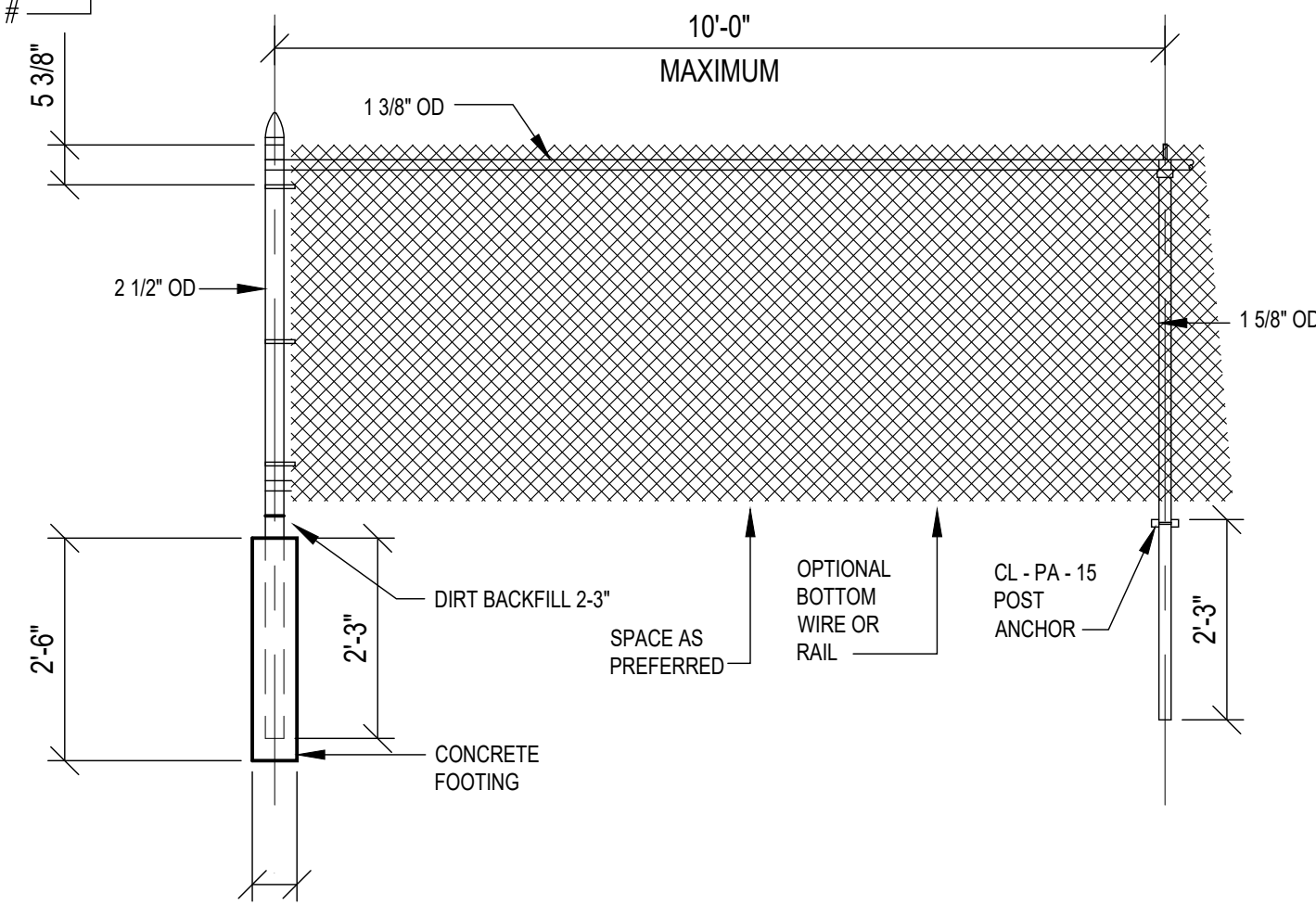
SECTION S1
SCALE: 1/4" = 1'-0"



TYPICAL GATE DETAIL



MAGNA LATCH TOP PULL MODEL



TYPICAL METAL FENCE DETAIL

GENERAL NOTES

ALL WORK SHALL COMPLY WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE.

POOL DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-5 2011 STANDARD FOR RESIDENTIAL IN GROUND SWIMMING POOLS.

SPA DESIGNED WITH AND CONSTRUCTION SHALL COMPLY WITH ANSI/APSP/ICC-3 2014 AMERICAN NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS.

THE CONTRACTOR SHALL SUPPLY AND BE FULLY RESPONSIBLE FOR ALL SHORING REQUIRED TO PERFORM THE WORK DESCRIBED HEREIN.

IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO INSURE ALL ZONING SETBACK REQUIREMENTS ARE SATISFIED.

THE POOL SHALL BE INSTALLED ON A LEVEL, COMPACTED BASE.

THE POOL, ONCE FILLED, SHALL BE MAINTAINED AT ITS DESIGN WATER LEVEL ELEVATION AT ALL TIMES.

PROPER WINTERIZATION PROCEDURES ARE THE RESPONSIBILITY OF THE OWNER.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT THE POOL TO BE CONSTRUCTED IS LOCATED ON SOIL WITH A BEARING CAPACITY AT LEAST 3,000 LBS / SQ. FT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPLICABLE BUILDING CODE REQUIREMENTS ARE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE POOL.

THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL SITE SAFETY REQUIREMENTS ARE COMPLIED WITH, INCLUDING OSHA FOR TRENCH OR EXCAVATION STABILITY.

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

POOL SHALL BE PROVIDED WITH ALL REQUIRED SAFETY ITEMS INCLUDING A PERIMETER FENCE.

PROVIDE A CODE COMPLIANT SAFETY VACUUM RELEASE SYSTEM.

PROVIDE CODE COMPLIANT SUCTION COVERS.

DOORS WITH ACCESS TO THE POOL FROM HOUSE SHALL BE EQUIPPED WITH ALARM AS PER CODE.

PROVIDE SURFACE ALARM AT SPA.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL APPROPRIATE SEPARATION DISTANCES ARE MAINTAINED BETWEEN PROPOSED POOL AND THE SEPTIC SYSTEM, INCLUDING SEPTIC SYSTEM EXPANSION AREA, IF ANY, IS MAINTAINED.

PRIOR TO ANY EXCAVATION, ALL UNDERGROUND UTILITIES MUST BE LOCATED AND FIELD VERIFIED BY THE CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIRED SEDIMENT AND EROSION CONTROL PRACTICES.

THE ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE THE MEANS AND / OR METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION TECHNIQUES ARE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.

IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM THEIR SEAL AND NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROVIDE A BARRIER WHICH SHALL COMPLY WITH THE FOLLOWING:

- A. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, SUCH AS AN ABOVE-GROUND POOL, THE BARRIER MAY BE AT GROUND LEVEL, SUCH AS THE POOL STRUCTURE, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES.
- B. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER SPHERE.
- C. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS A MASONRY OR STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- D. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES, THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1 3/4 INCHES IN WIDTH.
- E. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4-INCH SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 1 3/4 INCHES.
- F. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS A LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4 INCHES.

CONCRETE

ALL CONCRETE WORK, MATERIALS, DETAILS AND CONSTRUCTION METHODS SHALL COMPLY WITH "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301, AND BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318, LATEST EDITIONS, OF THE AMERICAN CONCRETE INSTITUTE AND WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE.

SHOTCRETE MIX FOR POOL WILL BE 750# CEMENT, 1,900# SAND, 750# 3/8" STONE, 40 GAL. WATER, 0.5+/-0.2 OZ/CWT AIR MIX 200, 2.0 OZ/CWT WR-91, 4.5-7.5% AIR CONTENT, AT 1-3" SLUMP, 5,000 PSI @ 28 DAYS.

ALL OTHER CONCRETE SHALL BE NORMAL WEIGHT STONE CONCRETE ACHIEVING STRENGTH OF 3,500 P.S.I. AT AGE 28 DAYS. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN.

CONCRETE TO EXPOSED WEATHER SHALL HAVE MINIMUM 6% AIR ENTRAINMENT. SPECIAL DESIGN MIXES SHALL BE MADE FOR ALL PUMPED CONCRETE. FLY ASH MAY BE USED AS A PLASTICIZER TO REDUCE WATER CONTENT BUT CANNOT BE USED TO REDUCE CEMENT CONTENT. CONCRETE MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL BEFORE THE WORK HAS BEGUN.

ANY CONDUIT EMBEDDED IN THE SLABS ARE TO BE LOCATED AND DISTRIBUTED SO AS TO INTERFERE AS LITTLE AS POSSIBLE WITH THE REINFORCING STEEL, AND SHALL BE PLACED BELOW THE TOP LAYER OF REINFORCEMENT. WHERE THE REQUIRED CONCRETE COVER CANNOT BE MAINTAINED, THE ENGINEER SHALL BE NOTIFIED AND THE THICKNESS MAY, WITH THE ENGINEER'S APPROVAL, BE INCREASED.

REINFORCING STEEL

REINFORCING BARS SHALL CONFORM TO ASTM STANDARD A615 GRADE 60 FOR DEFORMED BILLET STEEL.

ALL REINFORCEMENT BARS AND TIES SHALL BE FREE OF LOOSE FLAKY RUST, MUD, OIL OR OTHER COATINGS THAT WILL DESTROY, REDUCE OR HAMPER FULL BOND CAPACITY.

REINFORCING SHALL BE ACCURATELY INSTALLED TO THE REQUIRED ELEVATION AND CHAIRED OR SECURELY TIED IN PLACE SO AS TO PREVENT DISLOCATION DURING CONCRETE PLACEMENT.

REINFORCING BARS NOTED CONTINUOUS (CONT.) SHALL BE LAPPED AT SPLICES AND HOOKED AT NON-CONTINUOUS ENDS. UNLESS SHOWN OTHERWISE ON DRAWINGS, LAP SPLICES SHALL NOT BE LESS THAN 40 TIMES THE BAR DIAMETER.

FOR REVIEW & COMMENT
09-28-2020

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DEMPSEY POOL
606 BEDFORD ROAD
ARMONK, NY

Issue	Description	Date
1	PERMIT	09/28/20

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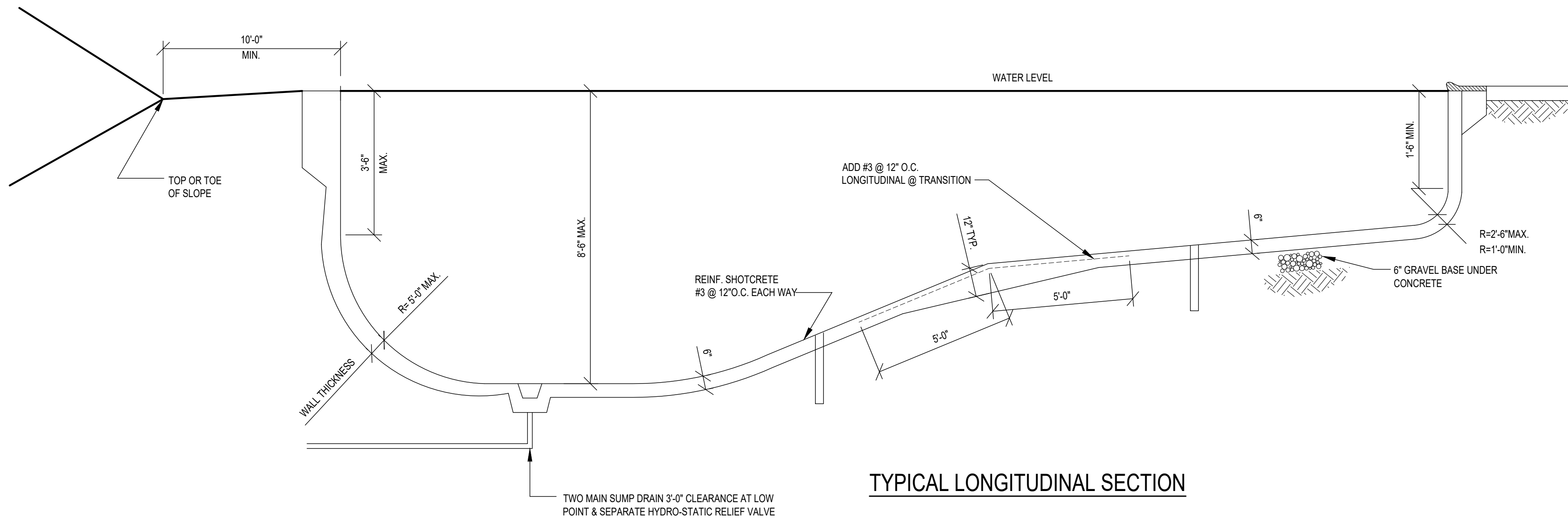
Date	09/29/20	Scale	AS NOTED
Drawn By	JTC	Checked By	MAM

PROJECT # 20033

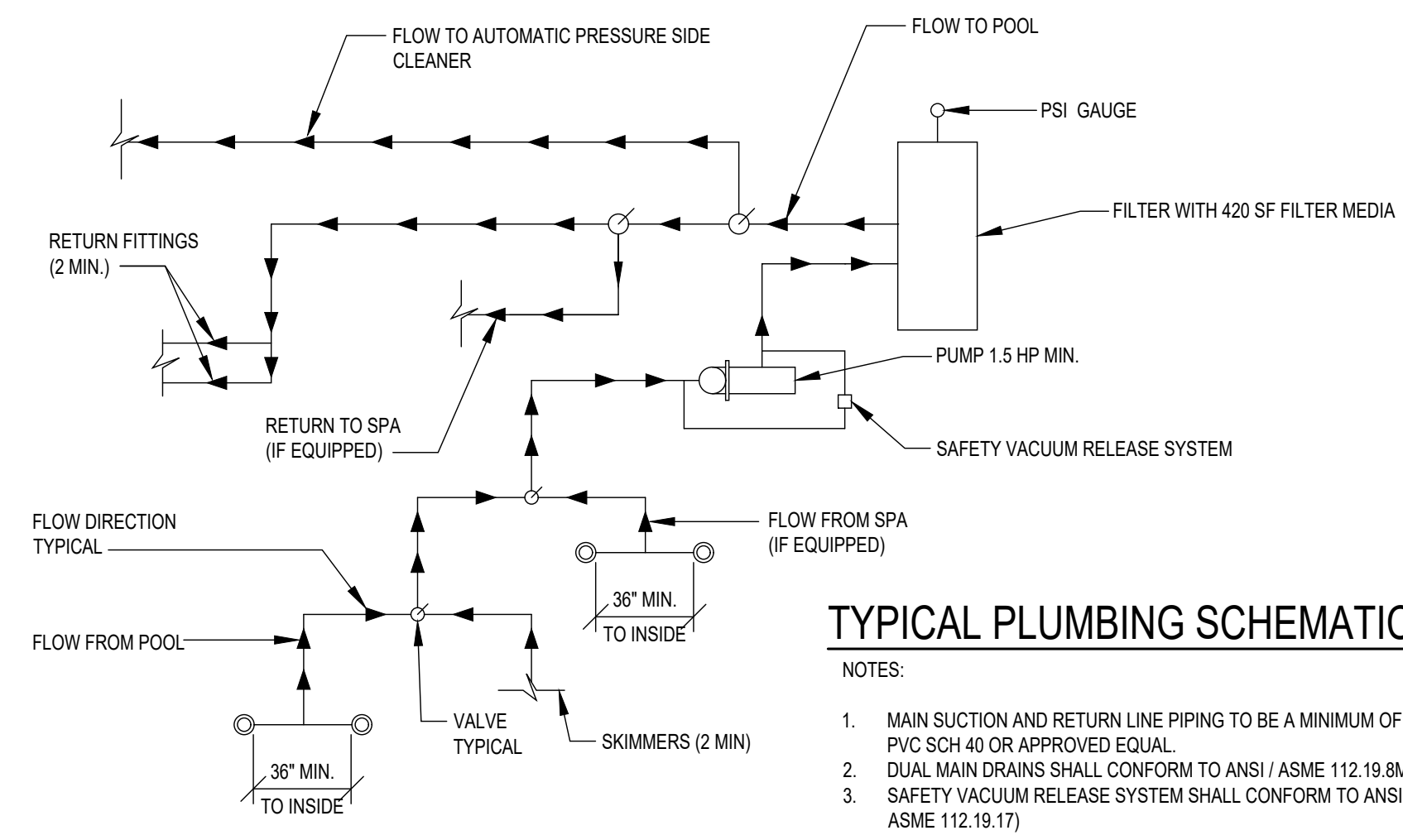
POOL DRAWING WITH BARRIER DETAILS

Drawing #

PL-101
1 OF 2 SHEETS



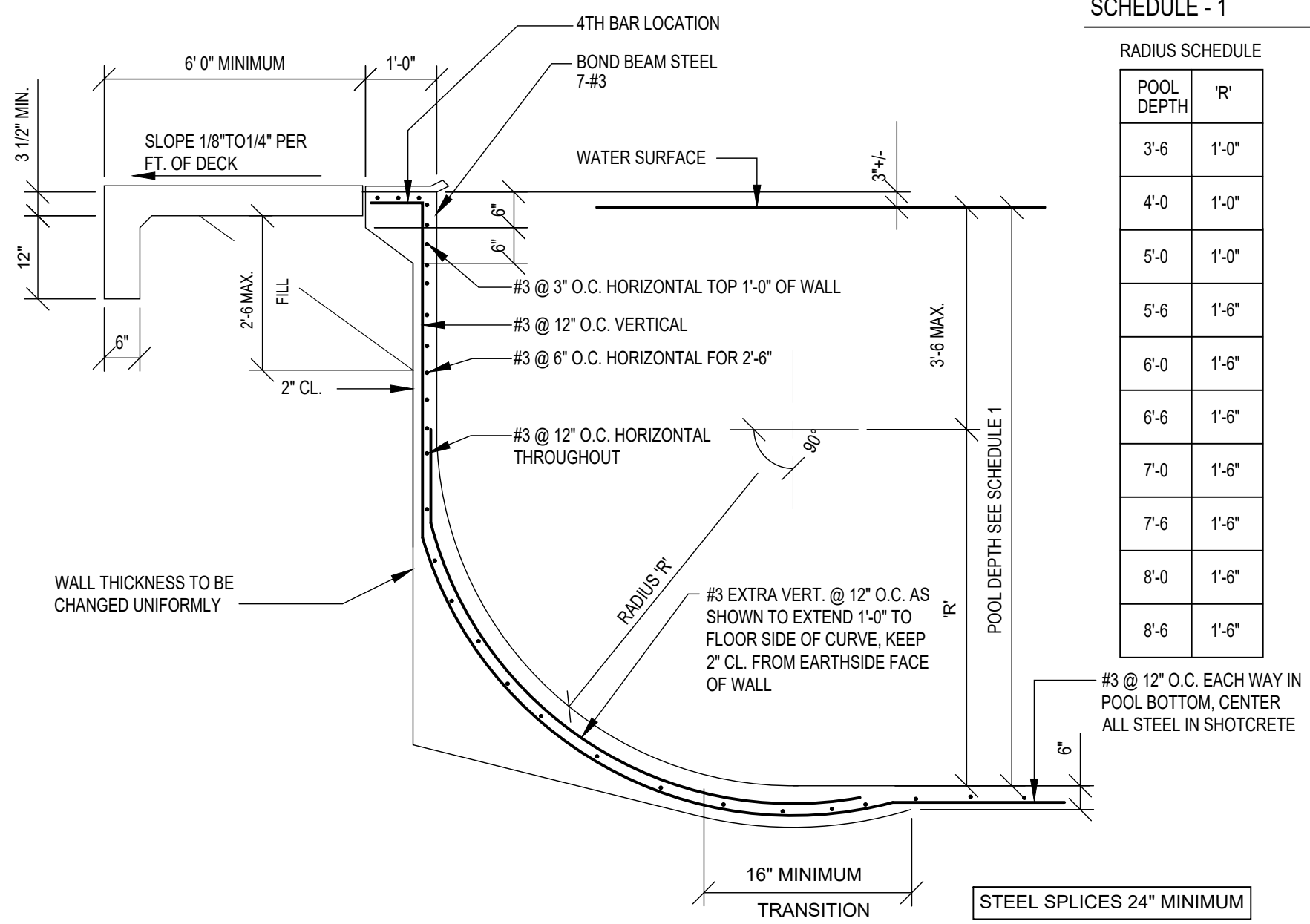
TYPICAL LONGITUDINAL SECTION



TYPICAL PLUMBING SCHEMATIC

- NOTES:
1. MAIN SUCTION AND RETURN LINE PIPING TO BE A MINIMUM OF 2" PVC SCH 40 OR APPROVED EQUAL.
 2. DUAL MAIN DRAINS SHALL CONFORM TO ANSI / ASME 112.19.8M)
 3. SAFETY VACUUM RELEASE SYSTEM SHALL CONFORM TO ANSI / ASME 112.19.17)

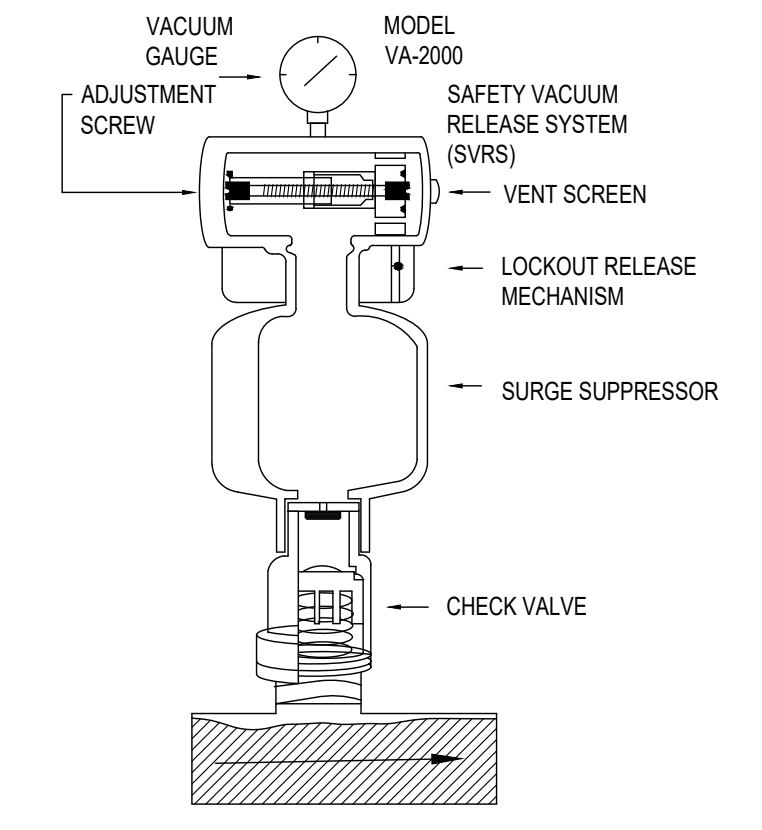
WALL THK MIN. VERTICAL STEEL	VERT. DEPTH IN FEET
8"	0
8"	1'
8"	2'
8"	3'
9" #3@6"	4'
10" #3@6"	5'
10" #3@6"	6'
12" #3@6"	7'
14" #3@6"	8'



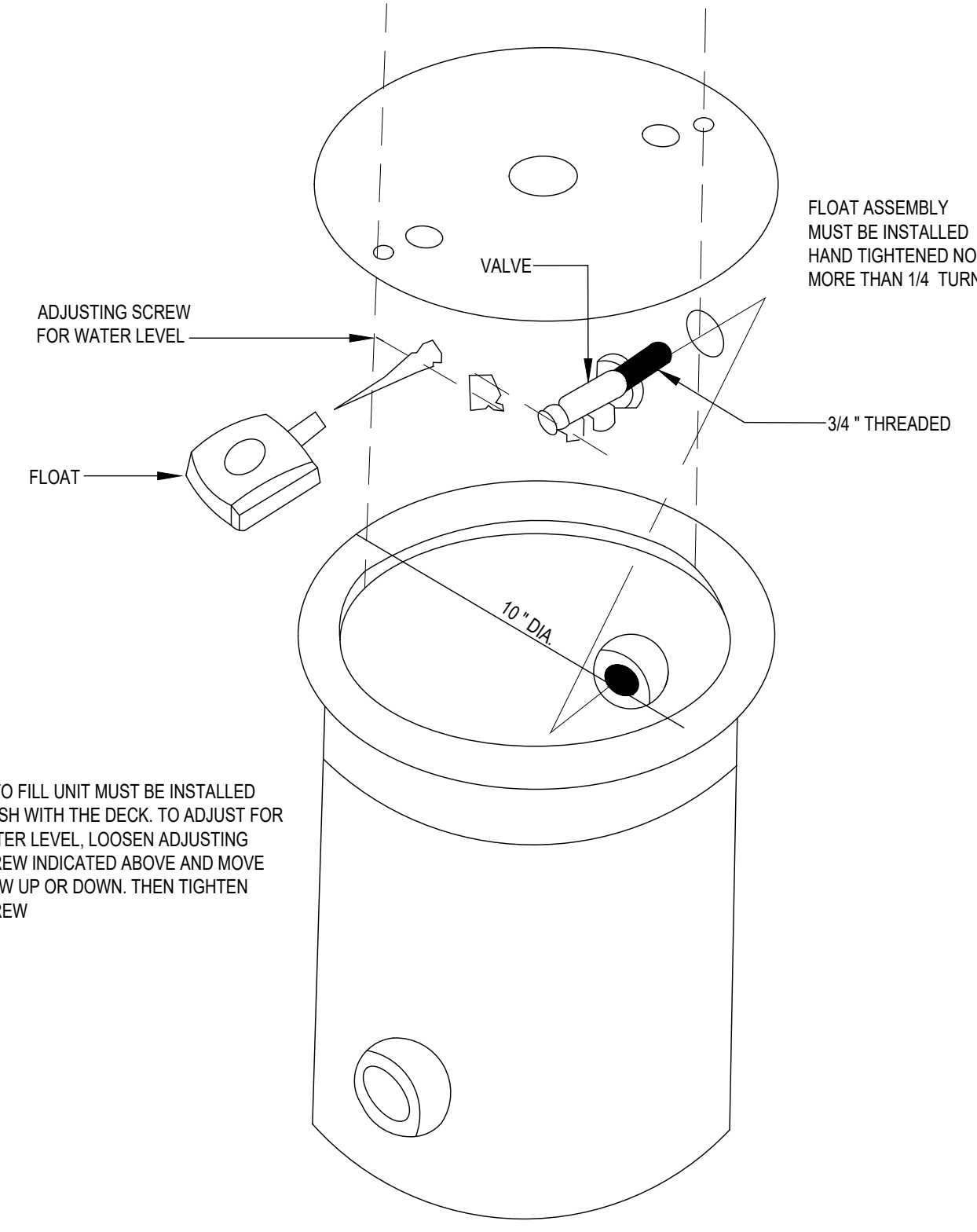
REINFORCEMENT & DIMENSIONS

SCHEDULE - 1

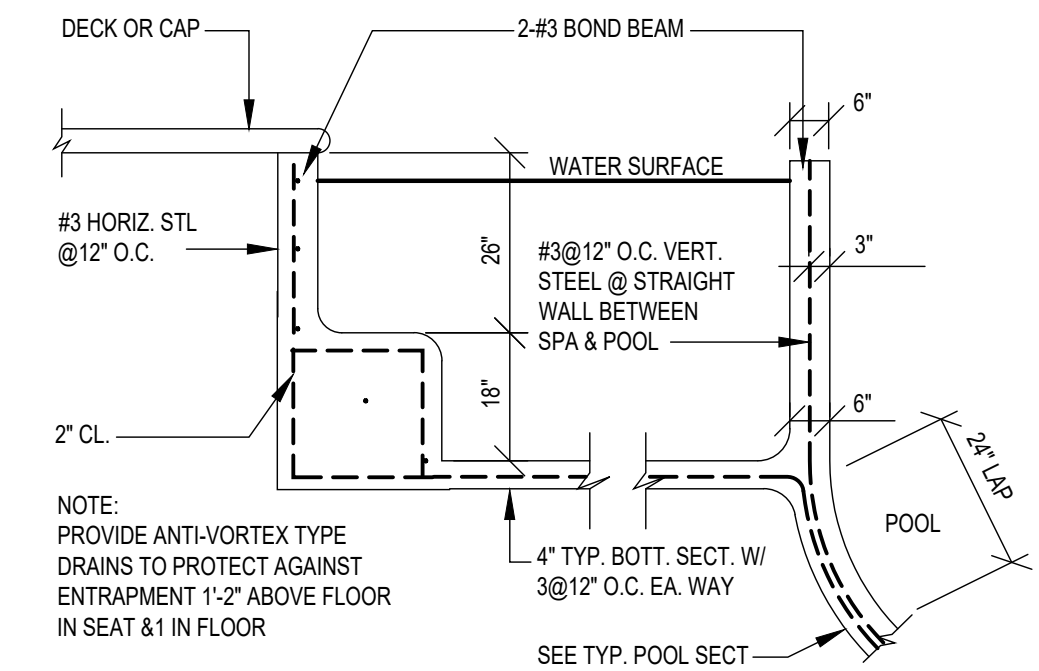
POOL DEPTH	R'
3-6	1'-0"
4-0	1'-0"
5-0	1'-0"
5-6	1'-6"
6-0	1'-6"
6-6	1'-6"
7-0	1'-6"
7-6	1'-6"
8-0	1'-6"
8-6	1'-6"



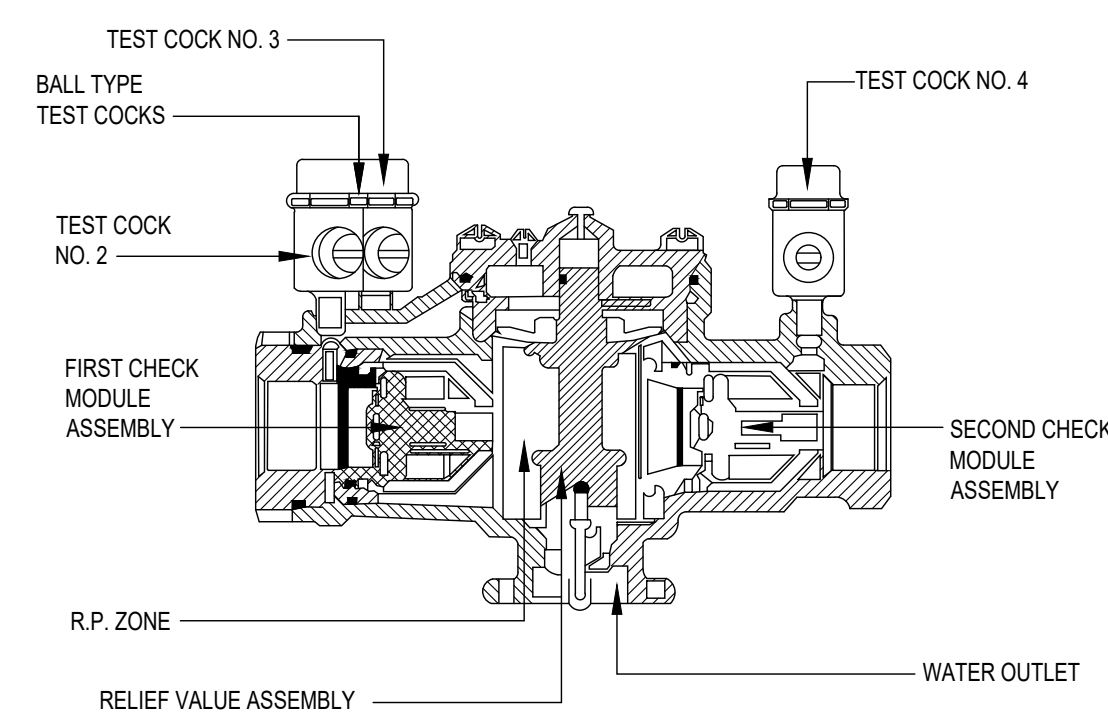
TYPICAL VACUUM RELEASE DETAIL



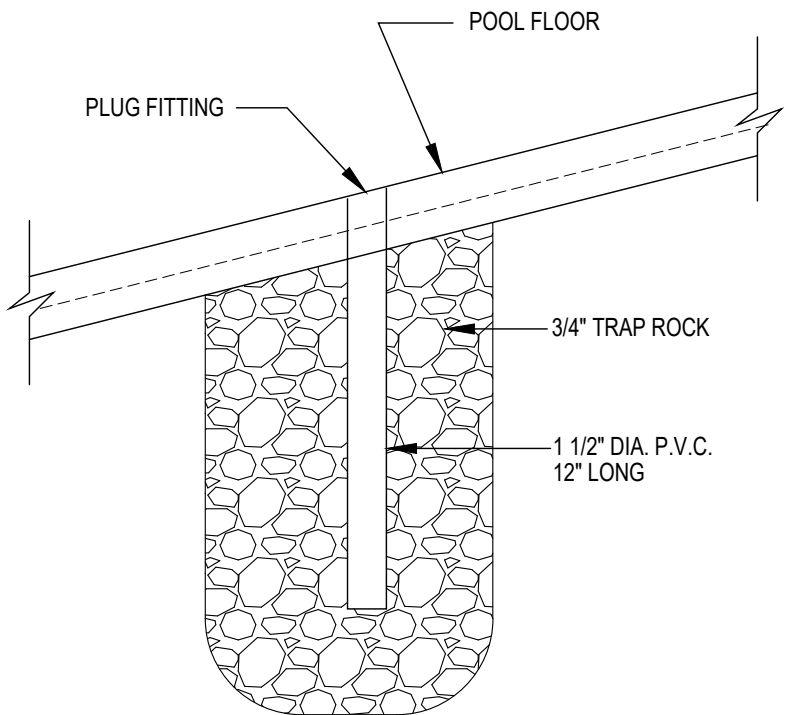
TYPICAL AUTOFILL DETAIL



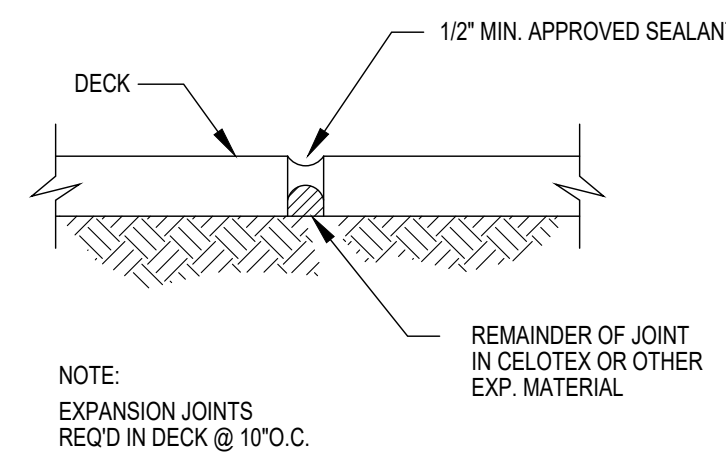
TYPICAL SPA SECTION ADJACENT TO POOL



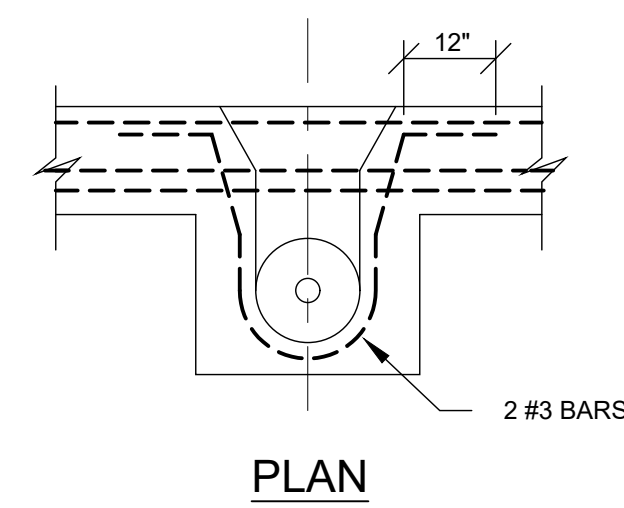
TYPICAL BACKFLOW PREVENTER DETAIL



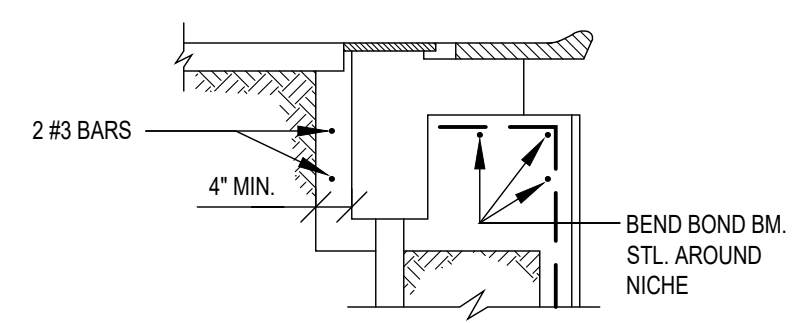
RELIEF VALVE DETAIL



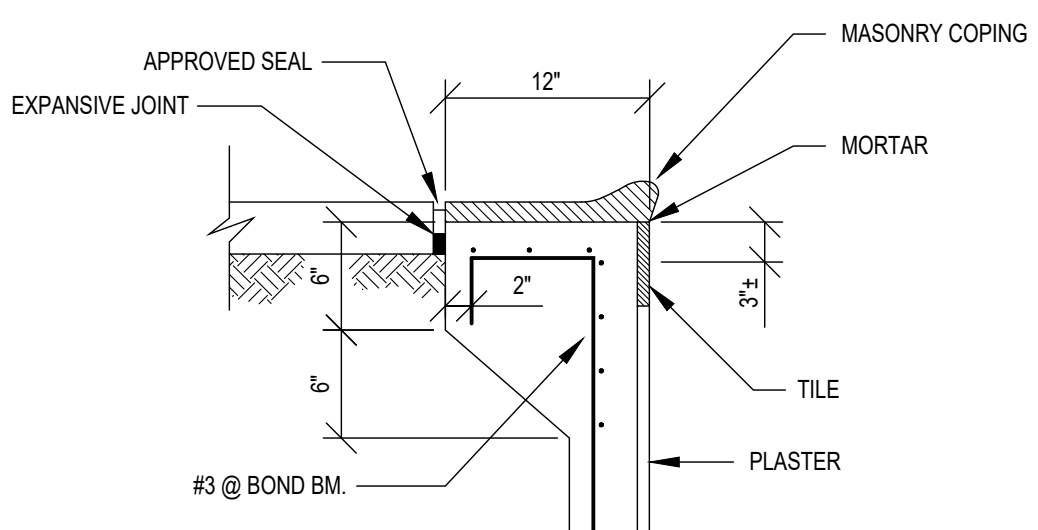
EXPANSIVE JOINT



SKIMMER NICHE DETAIL

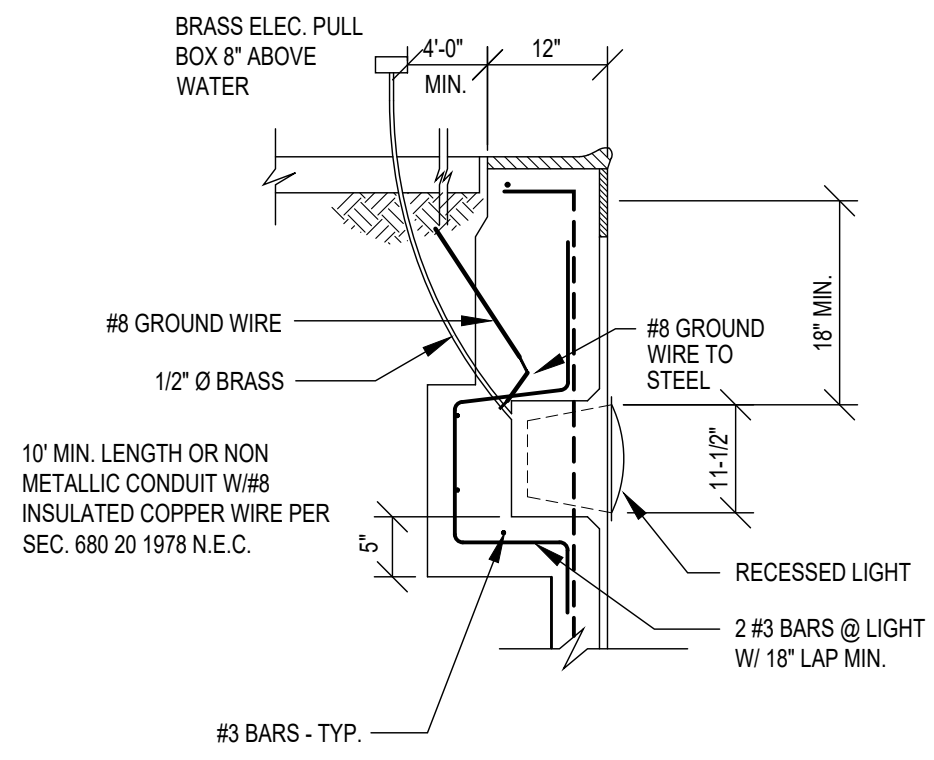


AUTO-COVER SECTION



BOND BEAM

STANDARD COPING & TILE



SECTION AT LIGHT BOX

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PROJECT # 20033

POOL & EQUIPMENT DETAILS

Drawing # **PL-201**

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 09-28-2020