



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625  
Fax: (914) 273-3554  
www.northcastleny.com

## RPRC RETURN LETTER

Application Number: 2021-0980

Street Location: 45 BYRAM RIDGE RD

Zoning District: R-1A      Property Acreage: 1.1      Tax ID: 101.03-3-24

RPRC DECISION: OPEN

Date: 10/19/2021

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The above referenced application was reviewed by the Residential Project Review Committee (RPRC) on October 19, 2021.

The Committee determined that given the submitted plans, additional information is required to be reviewed prior to a decision of the RPRC.

The following issues should be addressed at this time:

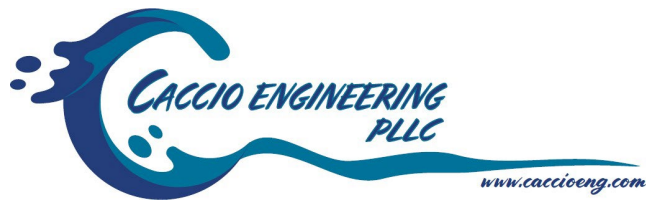
- The Applicant should submit floor plans and elevations of the proposed pool house. The elevations should depict proposed building height and the floor plans shall identify the size of the pool house (in sq. ft.).
- The site plan should be revised to include a zoning conformance table and depict the distance from all proposed structures to adjacent property lines.
- The site plan should depict any proposed Town-regulated tree removal. If none is proposed, a note stating such should be added to the plan.
- The Applicant should submit a gross land coverage calculations worksheet and backup exhibit.
- The Applicant should submit a gross floor area calculations worksheet and backup exhibit.
- The site plan should include a detail for the proposed driveway gate and pillars.
- The site plan should demonstrate that the proposed driveway gate is a minimum of 20 feet from the front property line.
- The plan shall illustrate all existing or previously approved improvements (patios, walks, drives, septic, well, drainage, infiltration, etc.) and clarify all proposed improvements (pool, pool house, pool equipment, patio). Presently, it is extremely difficult to differentiate between what is approved or built and what is proposed.
- Clarify the pool deck drainage collection system.

- Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume; whichever is greater. Provide details of the stormwater mitigation system. Please clarify the existing treatment system and proposed mitigation.
- The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.
- The plan shall illustrate the roof drain (pool house) and drainage pipe connections on the site plan. Include the size, slope and material. Provide outlet protection details.
- Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, erosion control blanket, inlet protection, construction sequence, etc. Provide details.
- A Highway Department curbcut permit will be required for the proposed driveway work.
- The first five feet of driveway shall be asphalt.
- A Knox box will be required on the proposed automatic gate.
- Details of the sport court surface shall be provided on the plan.
- The proposed driveway gates can't be utilized as a pool enclosure fence.

Please submit revised plans addressing the above issues to the RPRC. If revised plans will not be submitted, please contact my office so that the RPRC can reconvene and conclude the review process.

If you would like to further discuss this matter, please do not hesitate to contact my office at 914-273-3000 x43.

Adam R. Kaufman, AICP  
Director of Planning



06/08/2022

**To: Town of North Castle Residential Project Review Committee & Planning Dept**

**Re: 45 Byram Ridge Rd – Section 101.03 Block 3 Lot 24**

Dear Members of the RPRC and Planning Board,

Below are responses to the questions/comments received 10/19/2021:

Project Summary: Proposed additions to existing house are Asphalt Driveway, Stone Columns, Driveway Gate, Granite Apron, Sport Court, In-ground Pool, Pool Fence, Pool Equipment, Generator, Propane Tank, Walkway, Patio, Outdoor Kitchen, and Two Cultec Systems.

#### ***Residential Project Review Committee Comments***

- The Applicant should submit floor plans and elevations of the proposed pool house. The elevations should depict proposed building height and the floor plans shall identify the size of the pool house (in sq. ft.).
  - **There is no longer a pool house proposed as part of this project.**
- The site plan should be revised to include a zoning conformance table and depict the distance from all proposed structures to adjacent property lines.
  - **All proposed structures display distance to the property line according to the zoning conformance table.**
- The site plan should depict any proposed Town-regulated tree removal. If none is proposed, a note stating such should be added to the plan.
  - **See note 30 under general notes section. There is no proposed tree removal and tree protection is shown on the proposed stormwater plan.**
- The Applicant should submit a gross land coverage calculations worksheet and backup exhibit.
  - **Gross land coverage calculations are shown in site plan.**
- The Applicant should submit a gross floor area calculations worksheet and backup exhibit.
  - **There are no changes to the gross floor area as part of the proposed work (Pool House Removed).**
- The site plan should include a detail for the proposed driveway gate and pillars.
  - **Site plan now shows detail for proposed driveway gate and pillars. Same detail is provided as part of the landscape plan by Stephen Lopez, RLA.**

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***CACCIO ENGINEERING PLLC***

Gregory Caccioppoli, P.E.  
Professional Engineer NYS  
Lic. No. 105839

- The site plan should demonstrate that the proposed driveway gate is a minimum of 20 feet from the front property line.
  - Proposed driveway gate is now dimensioned and labeled to show that the max required setback for the pillars is 20 ft. from the front property line.
- The plan shall illustrate all existing or previously approved improvements (patios, walks, drives, septic, well, drainage, infiltration, etc.) and clarify all proposed improvements (pool, pool house, pool equipment, patio). Presently, it is extremely difficult to differentiate between what is approved or built and what is proposed.
  - There are now separate plan sheets clarifying existing and proposed improvements.
- Clarify the pool deck drainage collection system.
  - Stormwater plan now shows drainage collection system capturing entire pool deck area.
- Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume; whichever is greater. Provide details of the stormwater mitigation system. Please clarify the existing treatment system and proposed mitigation.
  - Stormwater mitigation design calculations are shown on the detail sheet. The runoff generated from a net impervious surface of 3,062 SF is 5.45 inches. With a pool area of 800 SF and a 6 inch pool drawdown depth, the total storage needed for the pool drawdown is 400 CF; The additional impervious is 1,646 CF.
- The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.
  - Stormwater plan now shows the connection between the pool equipment and drawdown mitigation practice.
- The plan shall illustrate the roof drain (pool house) and drainage pipe connections on the site plan. Include the size, slope and material. Provide outlet protection details.
  - Pool house has been removed from stormwater plan however, existing drainpipe connections will be shown on the stormwater plan.
- Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, erosion control blanket, inlet protection, construction sequence, etc. Provide details.
  - Erosion control measures are shown on the stormwater plan which include, a silt fence, erosion control blanket, inlet protection, and a construction sequence to all disturbed areas preventing siltation/washout to nearby areas.
- A Highway Department curb cut permit will be required for the proposed driveway work.
  - See note 31 under general notes section. Owner/Contractor is aware that a curb cut permit will be required for this project.
- The first five feet of driveway shall be asphalt.
  - A note has been made on the site plan showing first 5ft of driveway is asphalt.
- A Knox box will be required on the proposed automatic gate.
  - Site plan shows a Knox box on the proposed automatic gate.
- Details of the sport court surface shall be provided on the plan.
  - Site plan shows surface details of the sport court.

- The proposed driveway gates can't be utilized as a pool enclosure fence.
  - Enclosure fence around entire pool patio area is shown on the site plan.

If any further clarification is needed, please contact me.

Sincerely,

Gregory Caccioppoli P.E.



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***CACCIO ENGINEERING PLLC***

Gregory Caccioppoli, P.E.  
Professional Engineer NYS  
Lic. No. 105839

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail: anthony@mcssproperties.com courtneyscavo@gmail.com	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	





# WETLANDS AND DRAINAGE APPLICATION TOWN OF NORTH CASTLE BUILDING DEPARTMENT

DATE: 6 / 20 / 22 \$50 (min.) for Residential Apps. FEE: \$ 50  
\$250 (min.) for Commercial Apps.

1. NAME & ADDRESS OF APPLICANT: OWNER (IF DIFFERENT):  
Anthony and Courtney Scavo  
45 Byram Ridge Rd.  
TELEPHONE: ( 914 ) 403 - 8880

OWNER (IF DIFFERENT):  
\_\_\_\_\_  
\_\_\_\_\_  
TELEPHONE: ( \_\_\_\_\_ ) \_\_\_\_\_ - \_\_\_\_\_

2. STREET ADDRESS OF PROPERTY: 45 Byram Ridge Rd.  
SECTION: 101.03 BLOCK: 3 LOT: 24

3. DESCRIPTION OF PROPOSED WORK & MATERIALS: PLANS & SPECIFICATIONS ANNEXED HERETO. STATE NAME AND OCCUPATION OF PREPARER:  
Asphalt driveway, stone columns, driveway gate, granite apron, sport court, in-ground pool, pool fence, pool equipment, generator, propane tank, walkway, patio, two cultec systems, and outdoor kitchen.

4. IMPACT STATEMENT (IF REQUIRED) PREPARED BY: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATED: 6 / 20 / 22 APPLICANT'S SIGNATURE: 

**NOTE:** WETLANDS APPLICATIONS WILL BE REVIEWED BY THE TOWN BOARD, THE PLANNING BOARD, THE CONSERVATION BOARD, OR THE TOWN ENGINEER AT THE DISCRETION OF THE TOWN ENGINEER.

Do you have any intention of tearing down a house to build a new house within the next SIX (6) months?  
 Yes  No  
Do you have any intention to expand a house over 1500 square feet within the next SIX (6) months?  
 Yes  No

If the Planning Board has granted you approval previously, on what dates were you approved? (List Below)



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 45 Byram Ridge Rd Date: 6/6/2022  
Tax Map Designation or Proposed Lot No.: 101.03-3-24

### Gross Lot Coverage

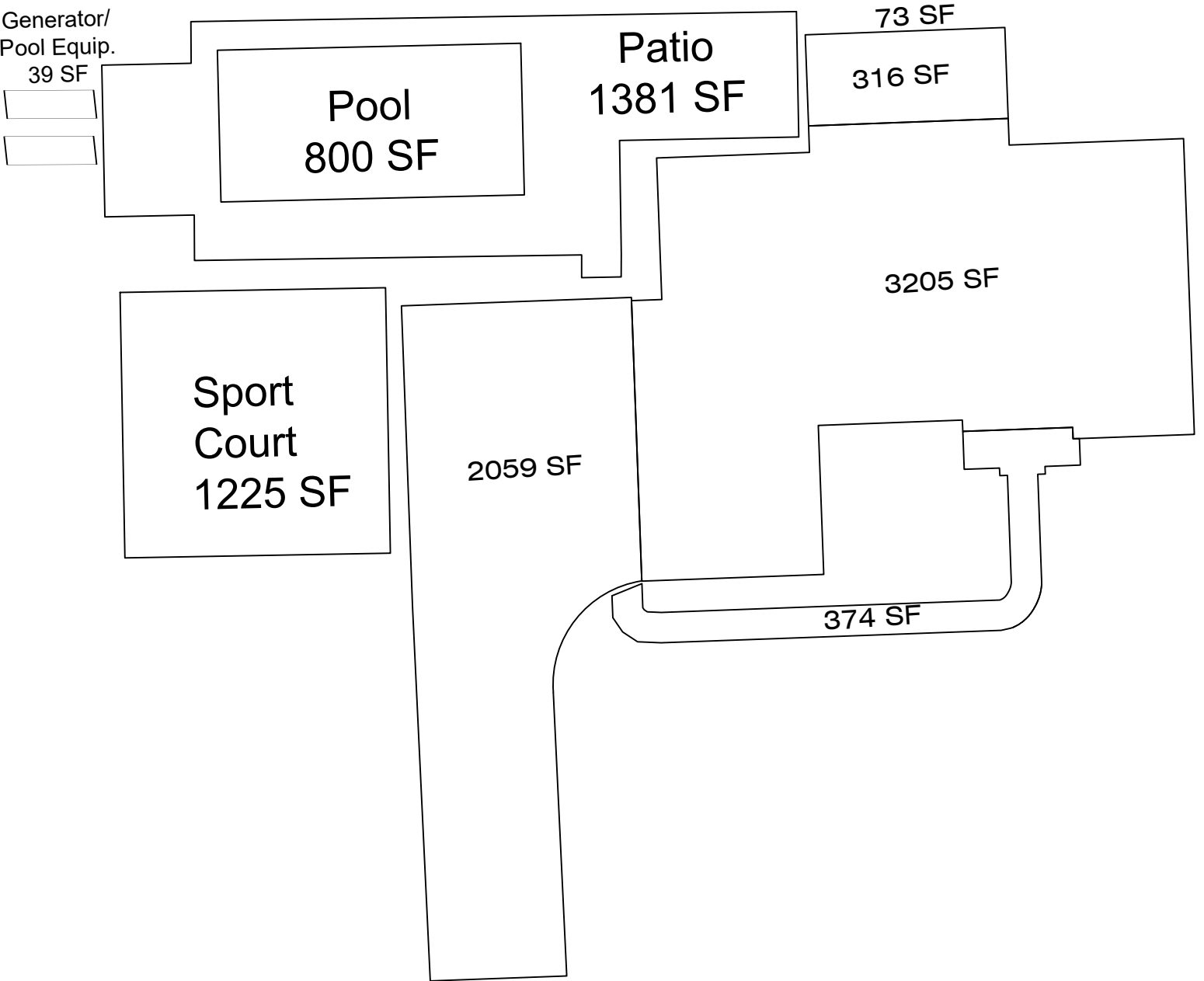
- |     |   |                |
|-----|---|----------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>48,029</u>  |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(a)):  | <u>9,752.2</u> |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):<br>Distance principal home is beyond minimum front yard setback<br><u>        </u> x 10 = | <u>1</u>       |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3   | <u>9,753.2</u> |
| 5.  | Amount of lot area covered by <b>principal building</b> :<br><u>        </u> existing + <u>        </u> proposed =  | <u>3,205</u>   |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :<br><u>        </u> existing + <u>        </u> proposed =   | <u>0</u>       |
| 7.  | Amount of lot area covered by <b>decks</b> :<br><u>        </u> existing + <u>        </u> proposed =   | <u>0</u>       |
| 8.  | Amount of lot area covered by <b>porches</b> :<br><u>        </u> existing + <u>        </u> proposed =   | <u>1,770</u>   |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :<br><u>        </u> existing + <u>        </u> proposed =                          | <u>2,433</u>   |
| 10. | Amount of lot area covered by <b>terraces</b> :<br><u>        </u> existing + <u>        </u> proposed =  | <u>0</u>       |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> :<br><u>        </u> existing + <u>        </u> proposed =                       | <u>2,064</u>   |
| 12. | Amount of lot area covered by <b>all other structures</b> :<br><u>        </u> existing + <u>        </u> proposed =  | <u>0</u>       |
| 13. | <b>Proposed gross land coverage:</b> Total of Lines 5 – 12 =  | <u>9,472</u>   |

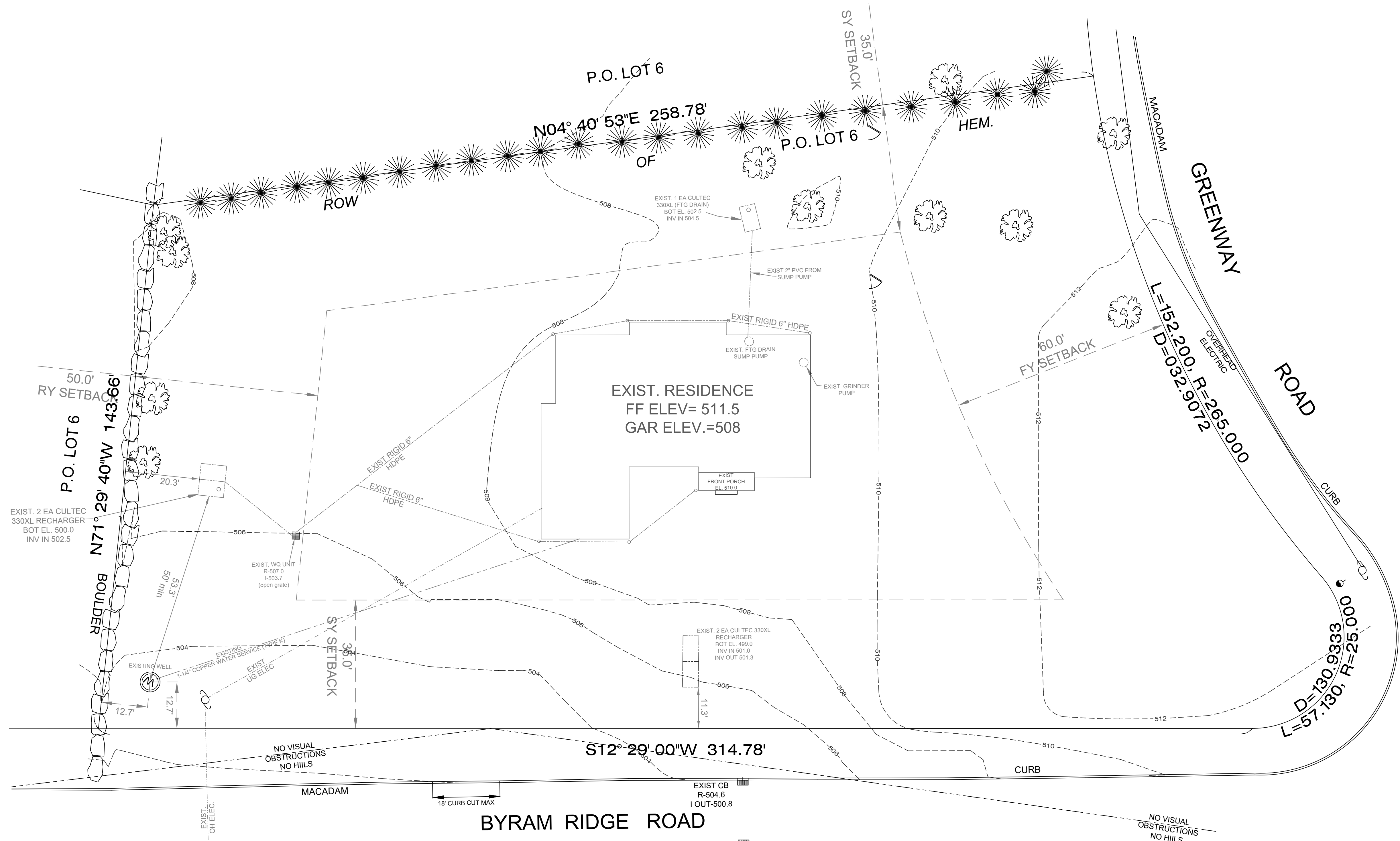
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
Signature and Seal of Professional Preparing Worksheet Date: 6/20/2022



TOTAL IMPERVIOUS SURFACE = 9,472 SF





LEGEND	
	UTILITY POLE
	SIGN POST
	HYDRANT
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	GUY WIRES
	TELE. MANHOLE
	SEWER MANHOLE
	WATER MANHOLE
	ELECTRIC MANHOLE
	DRAIN MANHOLE
	MANHOLE
	ELECTRIC BOX
	EXISTING GRADE (102)
	PROPOSED GRADE
	TREE
	TREE TO BE REMOVED
	SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)

REV	DESCRIPTION	BY	DATE

**EXISTING PLAN**

DRAWING TITLE:  
**45 BYRAM RIDGE RD**

DRAWN BY: MC.      CHECKED BY: GC.      APPROVED BY: -      DATE: 5/27/2022

CLIENT NAME & ADDRESS  
Anthony & Courtney Scavo

45 BYRAM RIDGE ROAD,  
TOWN OF ARMONK  
WESTCHESTER COUNTY, NY  
CONTACT NO-  
E-MAIL :



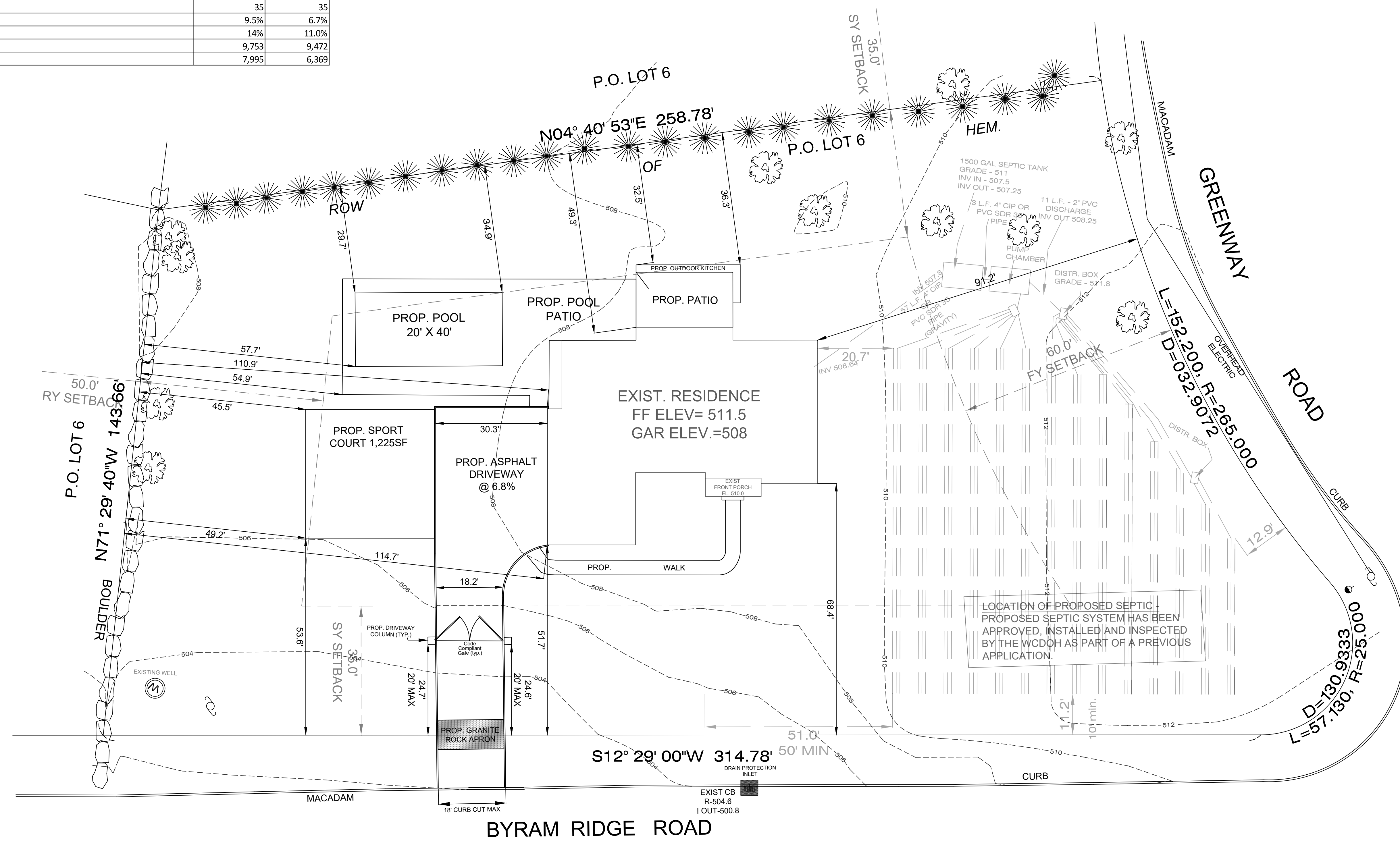
GREGORY CACCIOPPOLI, P.E.  
N.Y. LIC. #105839  
100 S. BEDFORD RD., SUITE 350  
MOUNT KISCO, NY 10573

CONTACT: 914-514-2340  
EMAIL: greg@caccioeng.com

PROJECT NO: -	SCALE: <b>1:20</b>	SHEET SIZE: <b>D</b>
DRAWING NO: -	SHEET NO: <b>1 OF 5</b>	
REVISION: -		
UNIT: -		



45 Byram Ridge Rd - S/B/L 101.03/3/24 - ZONING TABLE		
Zone - R-1A	Permitted (FT)	Proposed
Lot Area (SF)	43,560	48,029
Street Frontage	150	315
Lot Width	150	160.5
Lot Depth	150	291
Front Yard	60	91.2
Side Yard	35	49.3
Rear Yard	50	110.9
Building Height	35	35
Max Building Coverage (%)	9.5%	6.7%
Max Driveway Gradient (%)	14%	11.0%
Max Gross Land Coverage	9,753	9,472
Max Gross Floor Area Ratio	7,995	6,369



LEGEND	
	UTILITY POLE
	SIGN POST
	HYDRANT
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	GUY WIRES
	TELE. MANHOLE
	SEWER MANHOLE
	WATER MANHOLE
	ELECTRIC MANHOLE
	DRAIN MANHOLE
	MANHOLE
	ELECTRIC BOX
	EXISTING GRADE (102)
	PROPOSED GRADE
	14 TREE SIZE
	TREE TO BE REMOVED
	SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**ZONING PLAN**

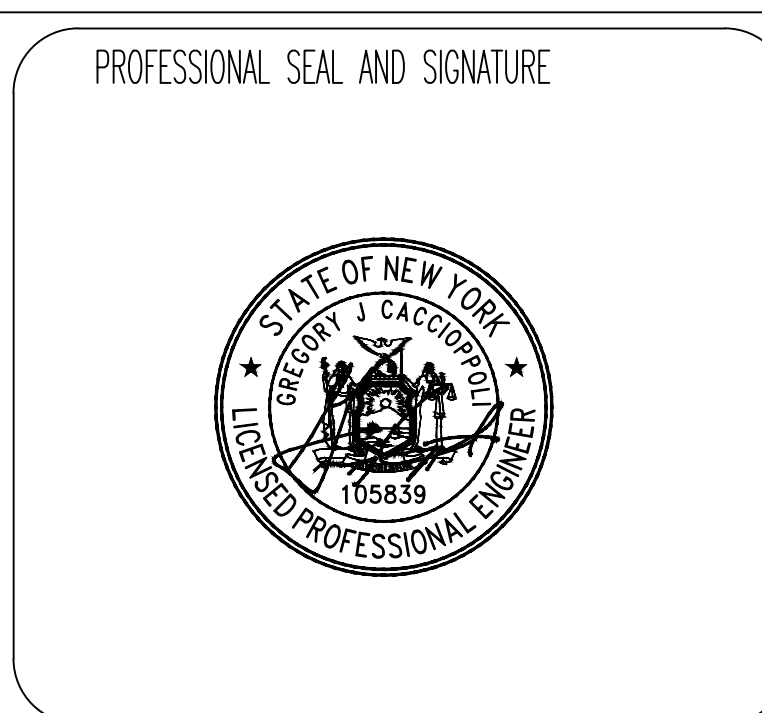
DRAWING TITLE:  
**45 BYRAM RIDGE RD**

DRAWN BY: MC.      CHECKED BY: GC.      APPROVED BY: -      DATE: 5/27/2022

CLIENT NAME & ADDRESS

Anthony & Courtney Scavo

45 BYRAM RIDGE ROAD,  
TOWN OF ARMONK  
WESTCHESTER COUNTY, NY  
CONTACT NO-  
E-MAIL :



GREGORY CACCIOPPOLI, P.E.  
N.Y. LIC. #105839  
100 S. BEDFORD RD., SUITE 350  
MOUNT KISCO, NY 10573

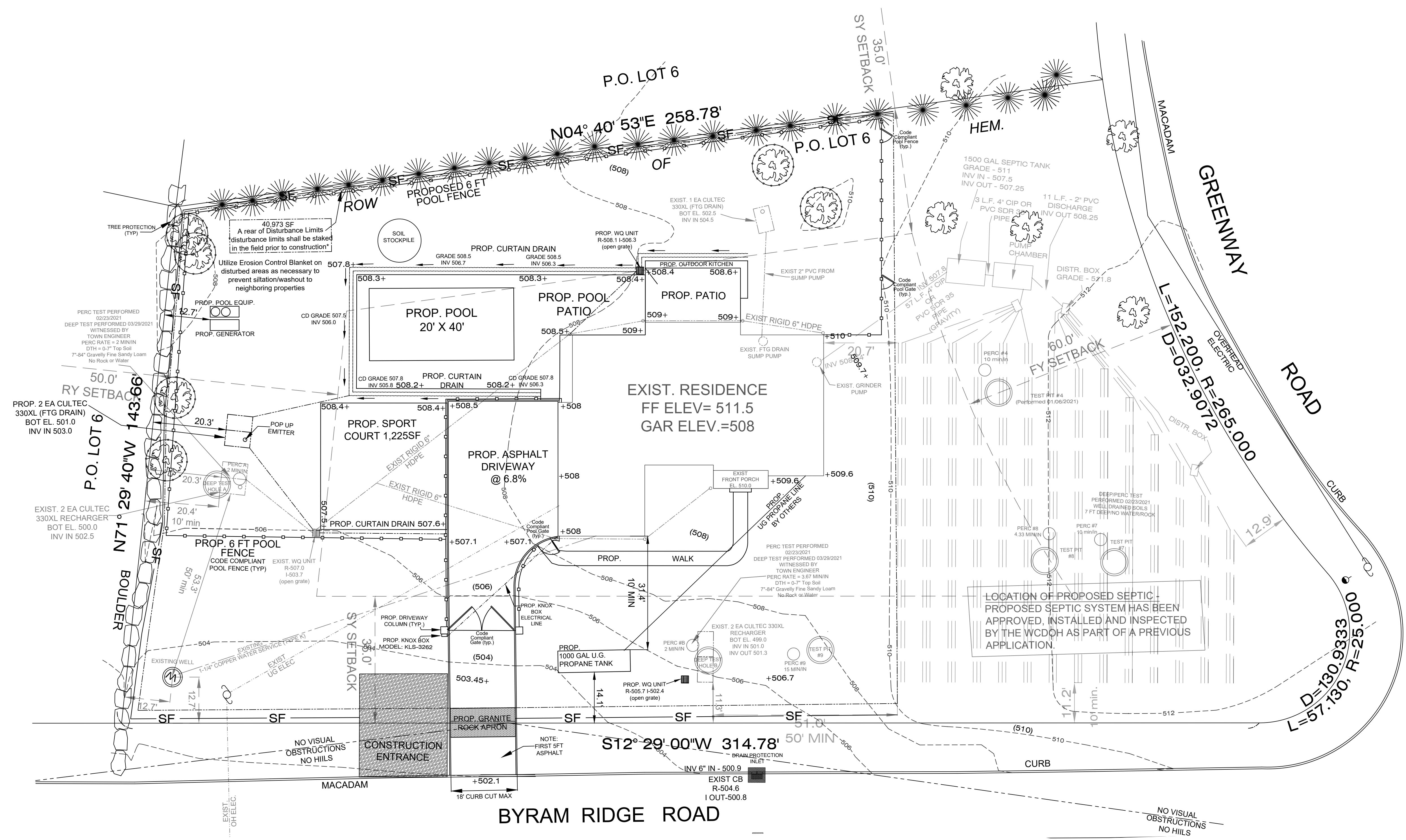
CONTACT: 914-514-2340  
EMAIL: greg@caccioeng.com

PROJECT NO: -	SCALE: <b>1:20</b>	SHEET SIZE: <b>D</b>
DRAWING NO: -	SHEET NO: <b>2 OF 5</b>	
REVISION: -		
UNIT: -		



LEGEND

- UTILITY POLE
- SIGN POST
- ⊕ HYDRANT
- ⊗ WATER VALVE
- ⊗ GAS VALVE
- ⊙ LIGHT POLE
- GUY WIRES
- ⊕ TELE. MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ WATER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ MANHOLE
- ⊗ ELECTRIC BOX
- EXISTING GRADE (102)
- PROPOSED GRADE
- ⊙ 14 TREE SIZE
- ⊗ TREE TO BE REMOVED
- SF --- SF --- SF --- SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**STORMWATER & GRADING PLAN**

DRAWING TITLE:  
**45 BYRAM RIDGE RD**

DRAWN BY: **MC.**      CHECKED BY: **GC.**      APPROVED BY: **-**      DATE: **5/27/2022**

CLIENT NAME & ADDRESS  
**Anthony & Courtney Scavo**

45 BYRAM RIDGE ROAD,  
TOWN OF ARMONK  
WESTCHESTER COUNTY, NY  
CONTACT NO-  
E-MAIL :

PROFESSIONAL SEAL AND SIGNATURE

GREGORY CACCIOPPOLI, P.E.  
N.Y. LIC. # 105839  
100 S. BEDFORD RD., SUITE 350  
MOUNT KISCO, NY 10573

CONTACT: 914-514-2340  
EMAIL: greg@caccioeng.com

PROJECT NO: -      SCALE: **1:20**      SHEET SIZE: **D**

DRAWING NO: -      SHEET NO: **3 OF 5**

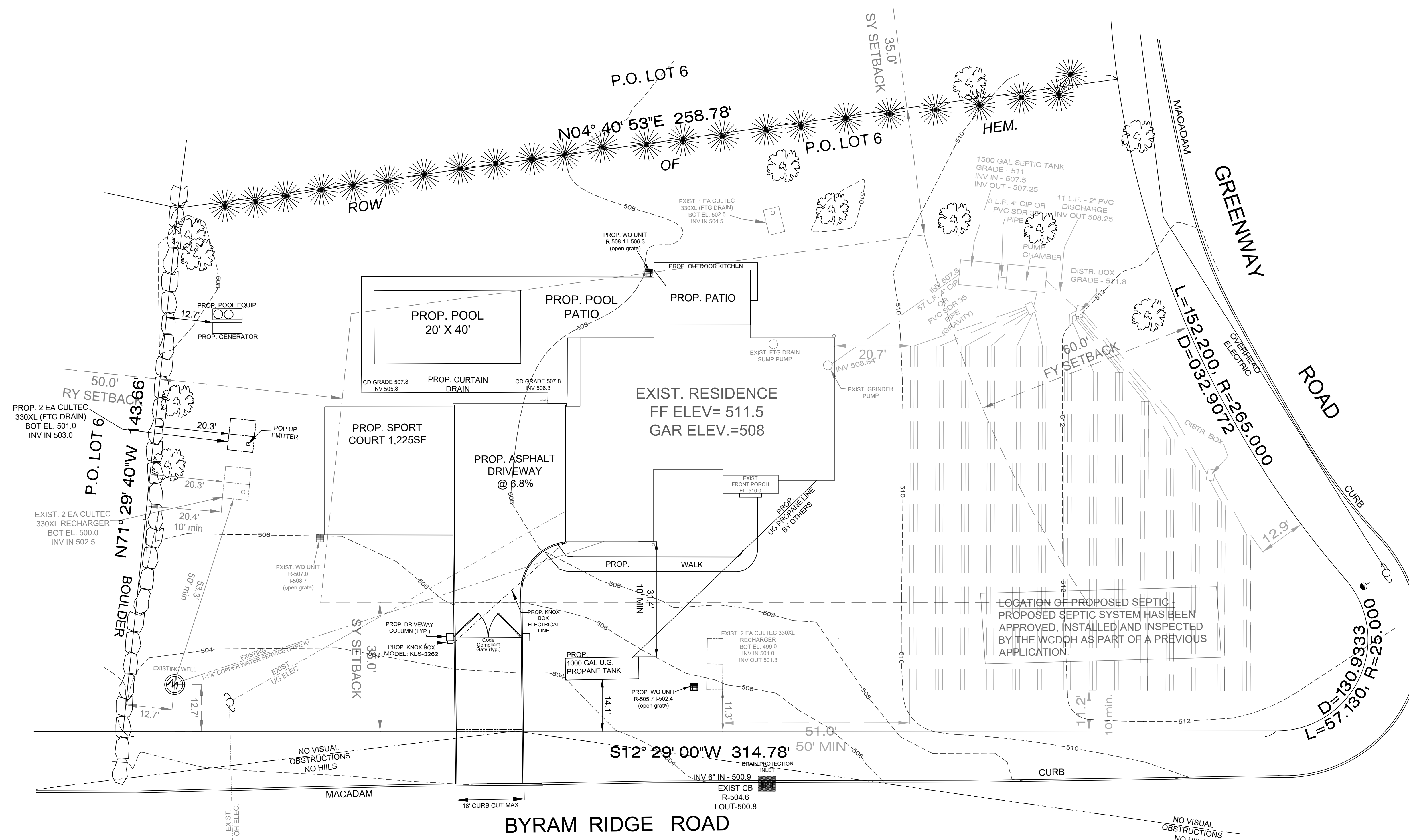
REVISION: -

UNIT: -



LEGEND

- UTILITY POLE
- SIGN POST
- ⊗ HYDRANT
- ⊗ WATER VALVE
- ⊗ GAS VALVE
- ⊗ LIGHT POLE
- GUY WIRES
- ⊕ TELE. MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ WATER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ MANHOLE
- ⊕ ELECTRIC BOX
- 102 --- EXISTING GRADE (102)
- PROPOSED GRADE
- ⊗ 14 TREE
- ⊗ SIZE
- ⊗ TREE TO BE REMOVED
- SF --- SF --- SF --- SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)



LOCATION OF PROPOSED SEPTIC SYSTEM HAS BEEN APPROVED, INSTALLED AND INSPECTED BY THE WCDOH AS PART OF A PREVIOUS APPLICATION.

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**UTILITIES PLAN**

DRAWING TITLE:  
**45 BYRAM RIDGE RD**

DRAWN BY: MC.      CHECKED BY: GC.      APPROVED BY: -      DATE: 5/27/2022

CLIENT NAME & ADDRESS  
Anthony & Courtney Scavo

45 BYRAM RIDGE ROAD,  
TOWN OF ARMONK  
WESTCHESTER COUNTY, NY  
CONTACT NO-  
E-MAIL :

PROFESSIONAL SEAL AND SIGNATURE

GREGORY CACCIOPPOLI, P.E.  
N.Y. LIC. #105839  
100 S. BEDFORD RD., SUITE 350  
MOUNT KISCO, NY 10573

CONTACT: 914-514-2340  
EMAIL: greg@caccioeng.com

PROJECT NO: -      SCALE: 1:20      SHEET SIZE: D

DRAWING NO: -      SHEET NO: 4 OF 5

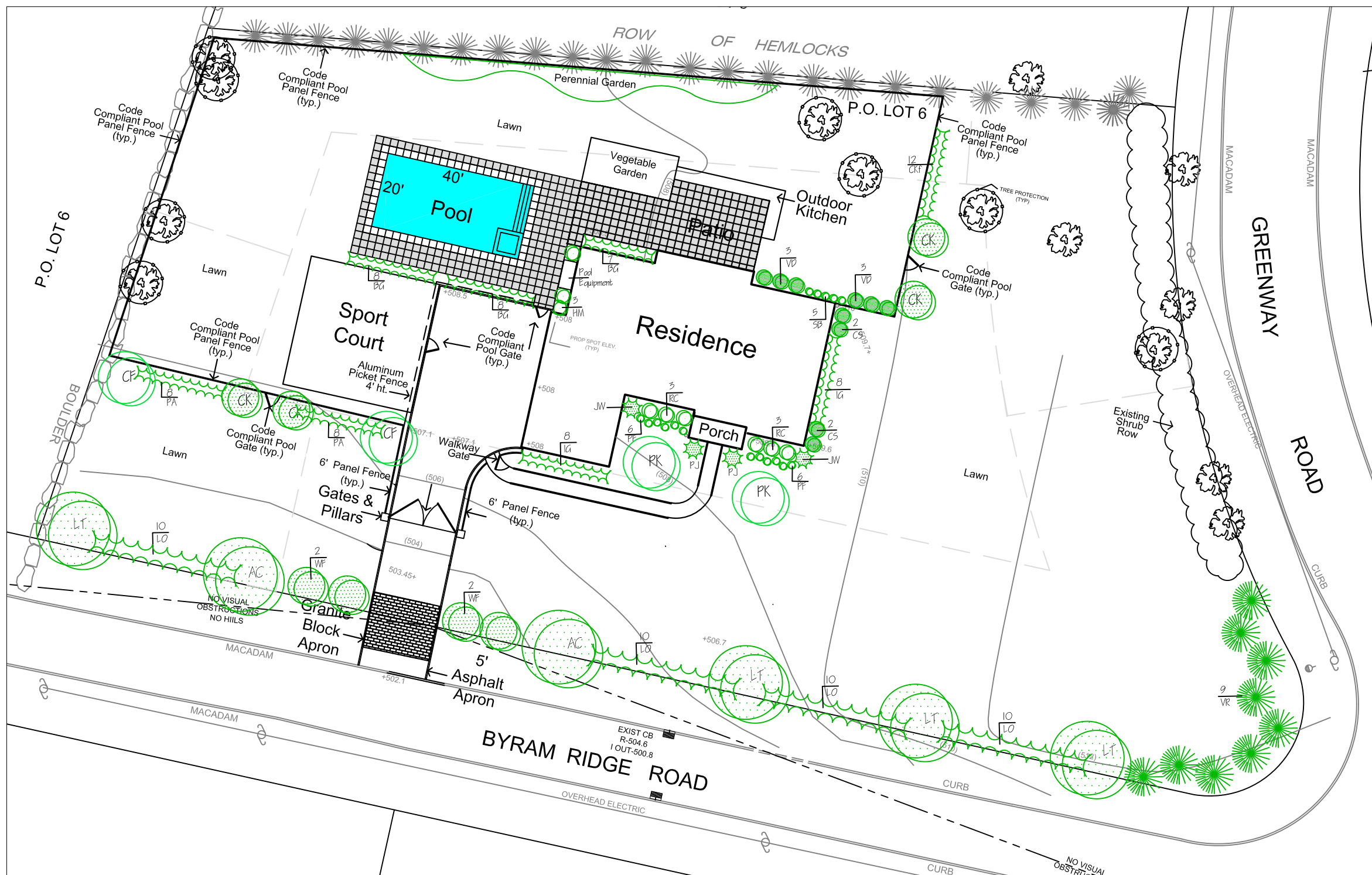
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UNIT: -



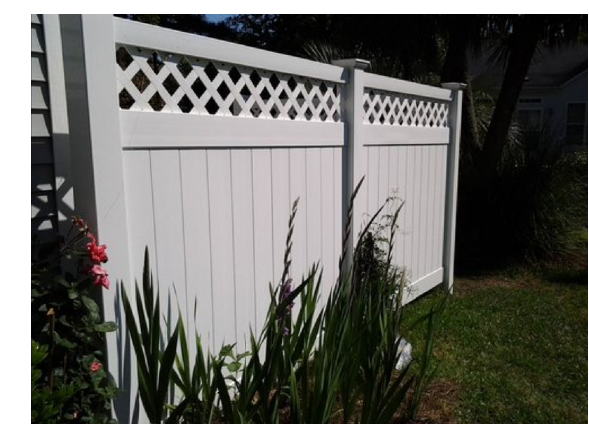






**Plant List**  
45 Byram Ridge Road, Armonk, NY

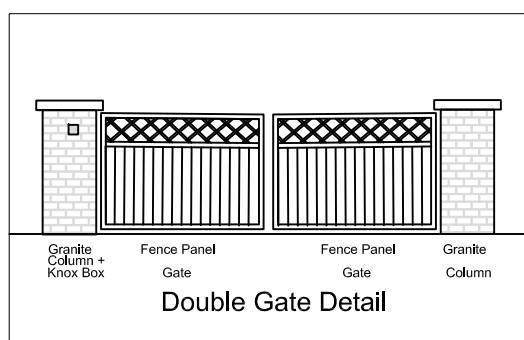
Abb.	Botanical Name	Common Name	Size	Quan.
<b>Deciduous Trees</b>				
AC	Amalanchier carnea	Red Horsechestnut	14-16' ht.	2
LT	Liriodendron tulipifera	Tulip Tree	14-16' ht.	4
<b>Minor Trees</b>				
CF	Cornus florida	Flowering Dogwood	7-8' ht.	3
CK	Cornus kousa	Kousa Dogwood	7-8' ht.	v
PK	Prunus kwanzan	Kwanzan Cherry	8-10' ht.	2
<b>Shrubs</b>				
BG	Buxus microphylla	Green Mountain Boxwood	2.5-3' ht.	23
CS	Ceanomeles speciosa	Flowering Quince	4-5' ht.	4
HM	Hydrangea macrophylla	Lacecap Hydrangea, Nikko Blue	3-3.5' ht.	3
IG	Ilex glabra	Inkberry	2.5-3' ht.	16
JW	Juniperus 'Wichita Blue'	Wichita Blue Juniper	7-8' ht.	2
LO	Ligustrum ovalifolium	California Privet	5-6' ht.	40
PF	Potentilla fruticosa	Abbotswood Potentilla	3-3.5' ht.	12
PJ	Pieris jap. Mtn. Fire	Mountain Fire Andromeda	3-3.5' ht.	2
RC	Rhododendron catawbiense	Purple Catawbiense Rhod.	4-4.5' ht.	6
SB	Spirea bumalda	A. Waterer Spirea	2.5-3' ht.	5
VD	Viburnum dentatum	Arrowwood	4-4.5' ht.	6
VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	4.5-5' ht.	9
WF	Weigela florida	Flowering Weigela, Pink	4-4.5' ht.	4
<b>Ornamental Grasses</b>				
CKF	Calamagrostis "Karl Foster"	Feather Reed Grass	3 gal. cont	12
PA	Pennisetum alopecuroides	Fountain Grass	3 gal. cont	16
<b>Planting Notes:</b>				
1. All plants to be healthy, full and of a form typical of the species at planting, and warranted in the same condition for 2 full growing seasons.				
2. All trees to have 18" of topsoil around the roots, shrubs 12.				
3. All plants and plant beds to be mulched with 2" of brown shredded cedar.				
4. Edge beds with edging tool.				
5. Water all plants thoroughly at planting, and weekly during the first 2 growing seasons as necessary.				



Vinyl Fence - 6' ht.  
No Scale

**General Notes:**

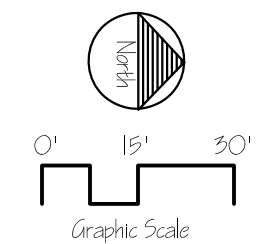
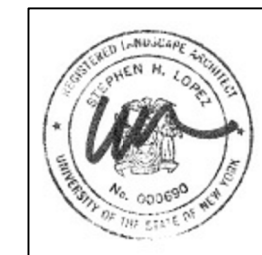
1. This drawing is for conceptual specification of hardscape areas only. All base data, including survey and site plan, is by others. No representation or warranty is express or implied as to accuracy of same.
2. All contractors providing improvements are responsible for safety of the site during all work. Owner is responsible for maintaining a safe site thereafter.
3. All approvals subject to local, state and/ or federal jurisdiction must be submitted for agency reviews by contractors undertaking work approved by the owner or owner's representative, and approved by appropriate agencies.
4. No tree removals not previously approved are proposed.
5. Fence & Gate details to be provided by engineer and/ or contractors. Knox Box model KLS-3262. Gate access operation wireless via cellphone.



Aluminum Picket Fence - 4' ht.  
No Scale

**Planting Notes (Continued):**

6. Preparation of lawn areas will include a minimum of 4" of topsoil evenly raked to the finish grade.
7. Lawn areas to be seeded with Jonathan Green "Black Beauty Sun & Shade" or equal. Broadcast seed evenly and lightly rake in. Mulch with tacking straw.
8. If a discrepancy occurs between the quantities in "Planting Notes" and the drawing, the number shown on the drawing will be required.



**Landscape Plan**

Stephen Lopez, AICP, RLA  
254 Bedford Road, Pleasantville, NY 10570

Scavo Residence  
45 Byram Ridge Road  
Armonk, NY

Date: October 5, 2021, Rev. 10-20-21, 10-27-21, 5-19-22, 6-2-22  
Scale: As Shown