

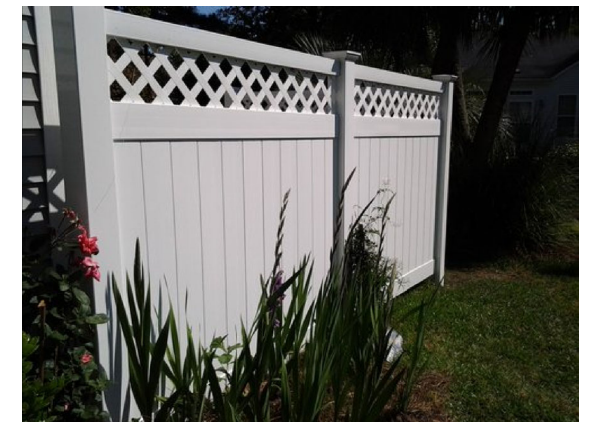
**Plant List**

45 Byram Ridge Road, Armonk, NY

Abb.	Botanical Name	Common Name	Size	Quan.
<b>Deciduous Trees</b>				
AC	Amalanchier carnea	Red Horsechestnut	14-16' ht.	2
LT	Liriodendron tulipifera	Tulip Tree	14-16' ht.	4
<b>Minor Trees</b>				
CF	Cornus florida	Flowering Dogwood	7-8' ht.	3
CK	Cornus kousa	Kousa Dogwood	7-8' ht.	v
PK	Prunus kwanzan	Kwanzan Cherry	8-10' ht.	2
<b>Shrubs</b>				
AP	Aesculus parviflora	Bottlebrush Buckeye	4-5' ht.	6
BG	Buxus microphylla	Green Mountain Boxwood	2.5-3' ht.	23
CS	Ceanomeles speciosa	Flowering Quince	4-5' ht.	4
HM	Hydrangea macrophylla	Lacecap Hydrangea, Nikko Blue	3-3.5' ht.	5
IG	Ilex glabra	Inkberry	2.5-3' ht.	16
JW	Juniperus 'Wichita Blue'	Wichita Blue Juniper	7-8' ht.	2
LO	Ligustrum ovalifolium	California Privet	5-6' ht.	40
PF	Potentilla fruticosa	Abbotswood Potentilla	3-3.5' ht.	12
PJ	Pieris jap. Mtn. Fire	Mountain Fire Andromeda	3-3.5' ht.	2
PL	Prunus laurocerasus	Otto Luyken Laurel	3.5-4' ht.	4
RC	Rhododendron catawbiense	Purple Catawbiense Rhod.	4-4.5' ht.	6
SB	Spirea bumalda	A. Waterer Spirea	2.5-3' ht.	5
VD	Viburnum dentatum	Arrowwood	4-4.5' ht.	6
VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	4.5-5' ht.	9
WF	Weigela florida	Flowering Weigela, Pink	4-4.5' ht.	4
<b>Ornamental Grasses</b>				
CKf	Calamagrostis 'Karl Foster'	Feather Reed Grass	3 gal. cont	12
PA	Pennisetum alopecuroides	Fountain Grass	3 gal. cont	16

**Planting Notes:**

1. All plants to be healthy, full and of a form typical of the species at planting, and warranted in the same condition for 2 full growing seasons.
2. All trees to have 18" of topsoil around the roots, shrubs 12.
3. All plants and plant beds to be mulched with 2" of brown shredded cedar.
4. Edge beds with edging tool.
5. Water all plants thoroughly at planting, and weekly during the first 2 growing seasons as necessary.



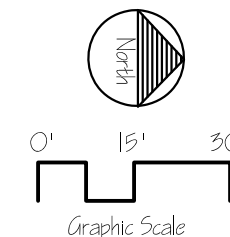
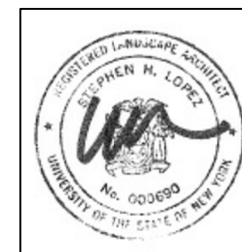
Vinyl Fence - 6' ht.

**General Notes:**

1. This drawing is for conceptual specification of hardscape areas only. All base data, including survey and site plan, is by others. No representation or warranty is express or implied as to accuracy of same.
2. All contractors providing improvements are responsible for safety of the site during all work. Owner is responsible for maintaining a safe site thereafter.
3. All approvals subject to local, state and/ or federal jurisdiction must be submitted for agency reviews by contractors undertaking work approved by the owner or owner's representative, and approved by appropriate agencies.

**Planting Notes (Continued):**

6. Preparation of lawn areas will include a minimum of 4" of topsoil evenly raked to the finish grade.
7. Lawn areas to be seeded with Jonathan Green "Black Beauty Sun & Shade" or equal. Broadcast seed evenly and lightly rake in. Mulch with tacking straw.
8. If a discrepancy occurs between the quantities in "Planting Notes" and the drawing, the number shown on the drawing will be required.



**Landscape Plan**

Stephen Lopez, AICP, RLA  
254 Bedford Road, Pleasantville, NY 10570

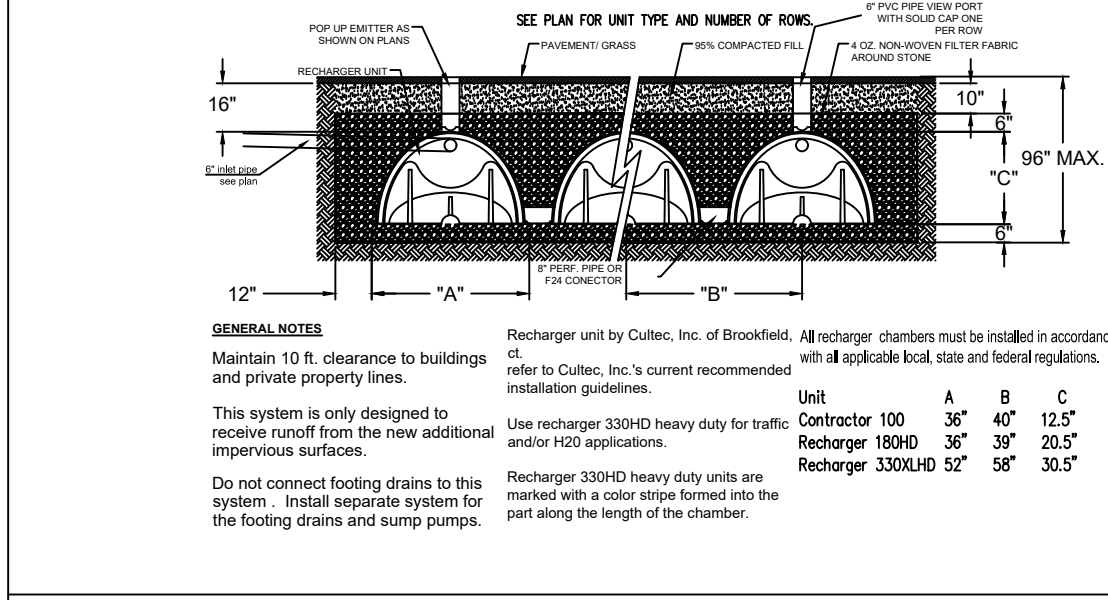
Scavo Residence  
45 Byram Ridge Road  
Armonk, NY

Date: October 5, 2021 Scale: As Shown

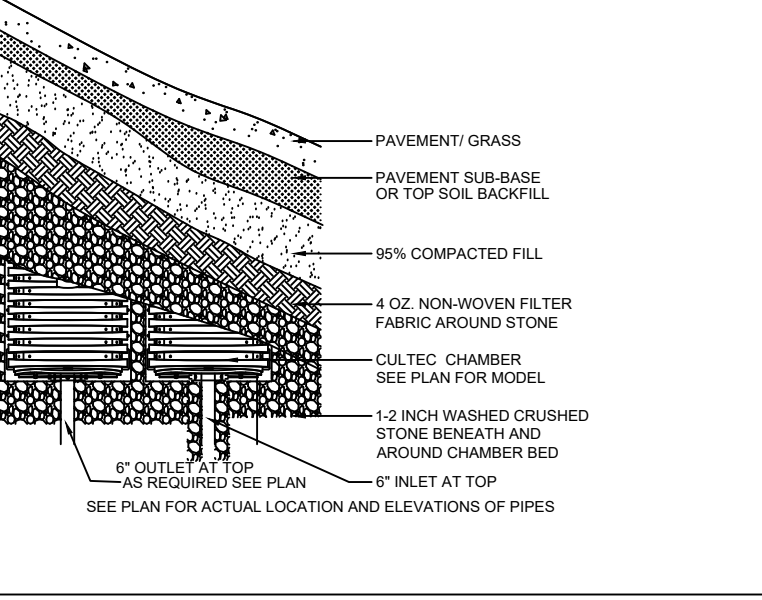
GENERAL NOTES

- 1. Gabriel E. Senor, P.C. is not responsible for construction supervision unless related under separate contract.
2. Gabriel E. Senor, P.C. shall be notified prior to backfilling any storm water system for inspection of the Engineering Dept.
3. Any changes made to these plans shall be approved by Gabriel E. Senor, P.C. Any changes must be reported and approved by the appropriate Department as amendments.
4. Gabriel E. Senor, P.C. is not responsible for damages if changes are made and not approved as an item 1 above.
5. All conditions, locations, dimensions and elevations shall be verified by the Contractor or Owner and must report all discrepancies to the Design Engineer prior to the start of construction.
6. All work and materials shall comply with all applicable codes including, but not limited to the following: NYS Building Code, Local Zoning Code, ACT and ASCE.
7. The Contractor is responsible for all construction means and methods to implement the designs shown.
8. Safety during construction is the responsibility of the Contractor and shall conform to all Local, State and Federal Agency requirements.
9. The Contractor shall apply for and receive all necessary permits to perform the work shown on these plans prior to the start of construction.
10. Final grading shall be sloped away from the building and foundations.
11. Unless noted, all drainage piping on this plan is to be 6" rigid HDPE ASTM 2710-07 or better.
12. This storm water design plan is not designed to accept footing drains. Refer to Architectural plans for footing drain design. Do not connect footing drains or sump pumps to the surface water drainage system.
13. If the drainage system is to be built in a filled area, the fill should be well drained material with a settling period of one to three months prior to the system installation. Additional provisions are required after the settling period and the system design will be revised as necessary.
14. Proposed 5/8" Pex to be installed along existing and proposed conduits.
15. Orange Construction Fence to be installed along the limits of the proposed disturbance limits line.
16. Roof leaders to be connected to the drainage system with 6" rigid HDPE pipe at 24" min. slope or as shown.
17. The Contractor and all Sub-Contractors must submit a "Contractor Certification Statement" as per section 234-8 of the NYSDEC "Stormwater Prevention Plan" manual prior to the start of construction.
18. If required fill material is required, it shall be certified in writing by a New York State Licensed Professional Engineer as non-contaminated, clean fill suitable for the intended use. Percolation tests shall be performed by the Design Engineer to demonstrate that the stormwater management practice will draw down the entire water quality volume within 48 hours. The results of the percolation test shall be submitted to the Municipal Engineer for review and approval.
19. All proposed temporary seeding mixture shall be in accordance with the New York State Standards and Specifications for Urban Erosion Control, dated August 2005.
20. New sewer laterals are required for all new construction. Laterals must be extra heavy cast iron or ductile iron pipe or as directed by Municipal Engineer.
21. Connection permits are required from the Department of Public Works for Sewer, Water, and Storm Water System overflows.
22. All trenches in the Municipality Right of Way must be backfilled with controlled density fill (k-cote) or as directed by Municipal Engineer.
23. A street opening permit must be obtained from the Municipality, all work in the Right of Way and an inspection performed prior to back filling and final approval.
24. Replace or relay storm water catch basins as directed by Municipal Engineer.
25. A non-erosion agreement for the basement in Special Flood Hazard Zone must be signed and filed prior to the issuance of a C.O. The project is subject to flooding.
26. Curbs on permit is required from the Department of Public Works. Curbs on maximum width is 18 feet.
27. The contractor shall schedule with the Municipality a rough grading inspection prior to any framing of a building above the first floor level including, floors, walls and partitions shall be removed and disposed of upon completion of the rough grading.
28. The structure for the storm water management system shall be installed at the earliest date possible when the structure's roof is complete. The contractor shall consult with the Municipality and schedule this work upon completion and inspection of the rough grading activities.
29. The contractor shall secure a Street Opening Permit with the Municipality for all work to take place on the right of way including construction of a new driveway apron, and installation of a new service lateral.
30. If necessary, the Contractor shall secure a Tree Removal Permit with the Municipality prior to the commencement of construction activities.
31. Contractor required to provide Dig Safe NY ticket prior to issuance of permit.
32. Contractor to contact Highway Department for details and approval on how to restore the existing curb cut.
33. Limits of disturbance to be marked out in field prior to construction.
34. The existing water system and drilled well shall be abandoned in accordance with WCHD Regulations.

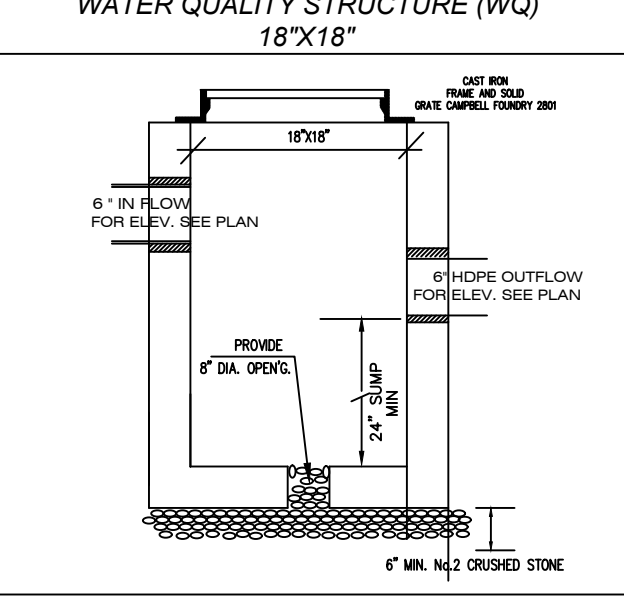
CULTEC CHAMBERS



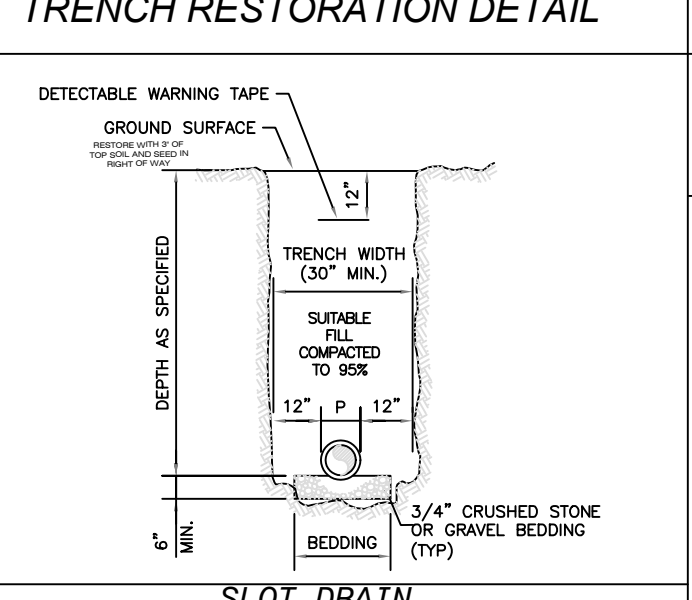
WATER QUALITY STRUCTURE (WQ) 18'X18'



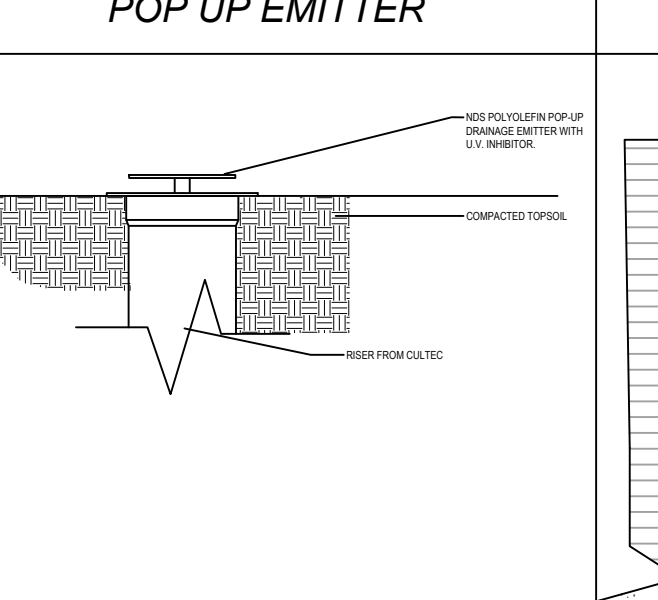
TRENCH RESTORATION DETAIL



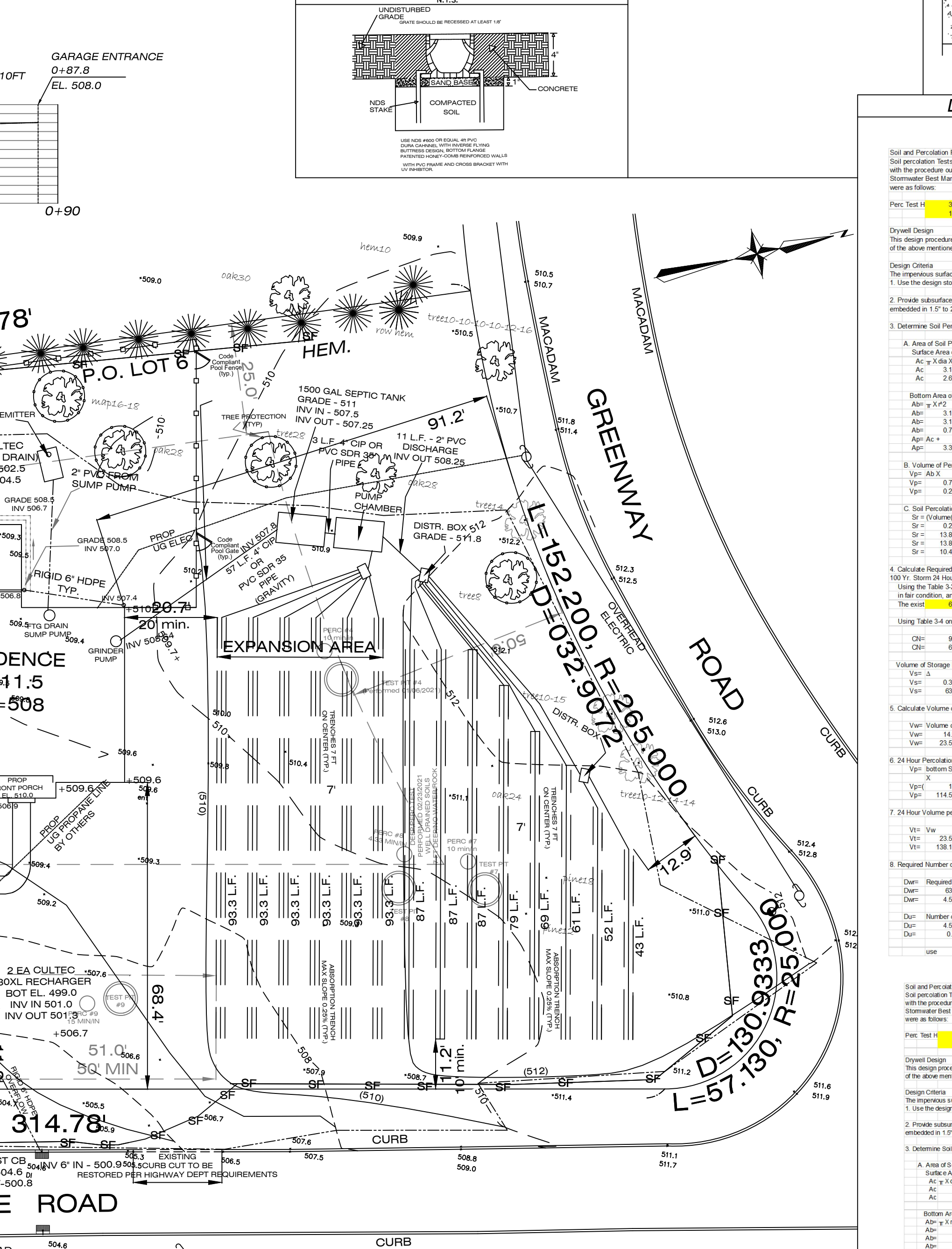
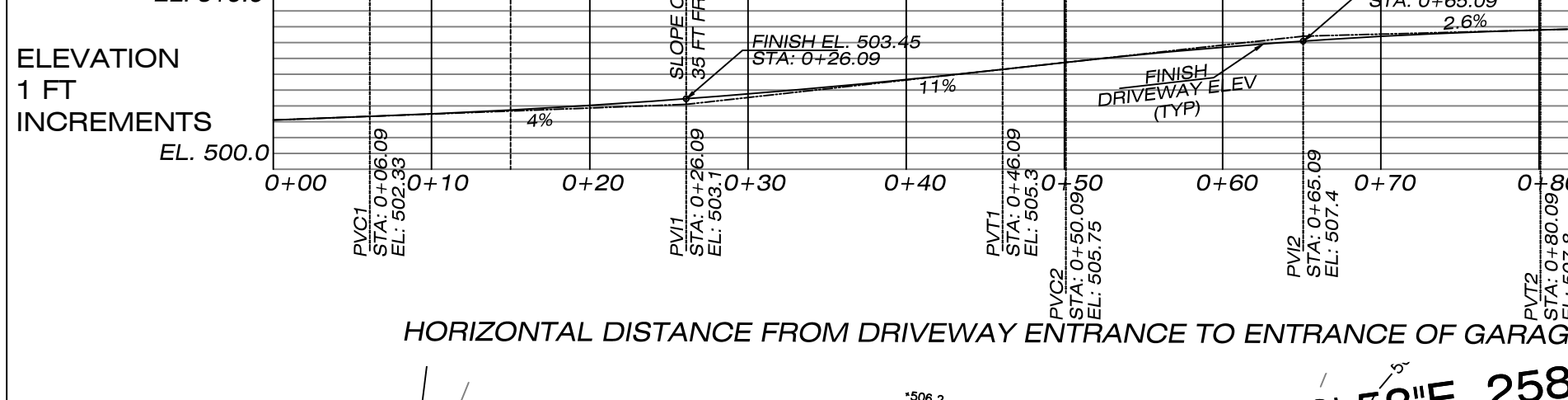
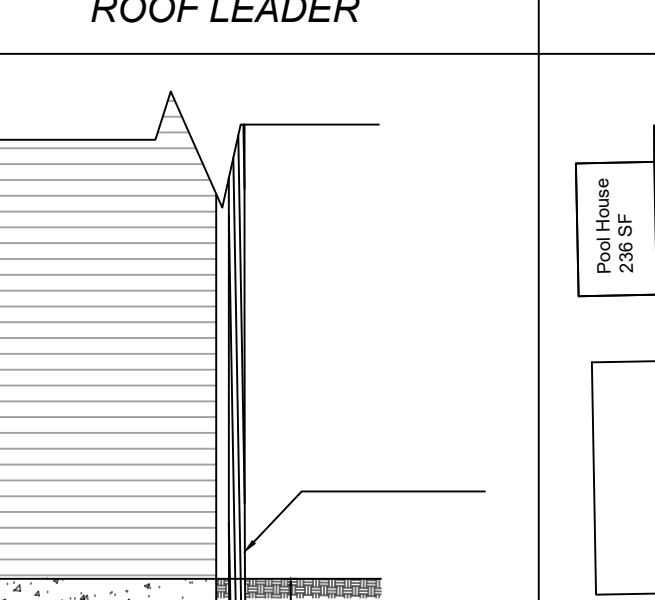
POP UP EMITTER



ROOF LEADER



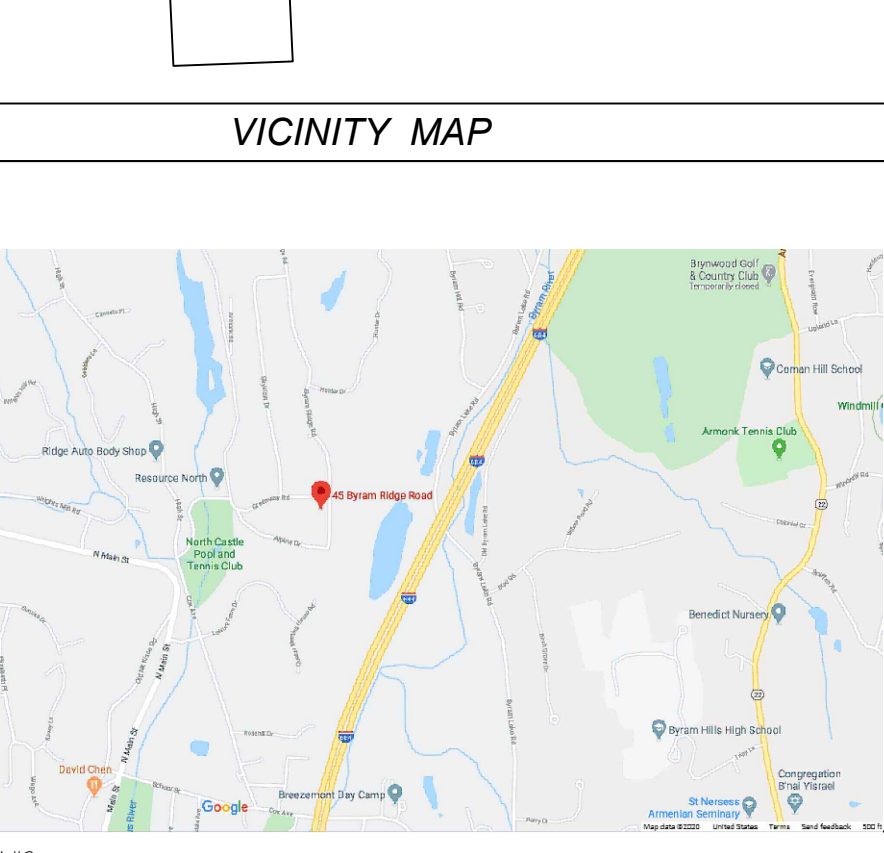
IMPERVIOUS SURFACE



DRAINAGE CALCULATION SYSTEM 1

Table with columns for Design Criteria, Soil Permeability Rate, Volume of Precipitation, and Required Number of Culic Chambers. Includes calculations for System 1 and System 2.

VICINITY MAP



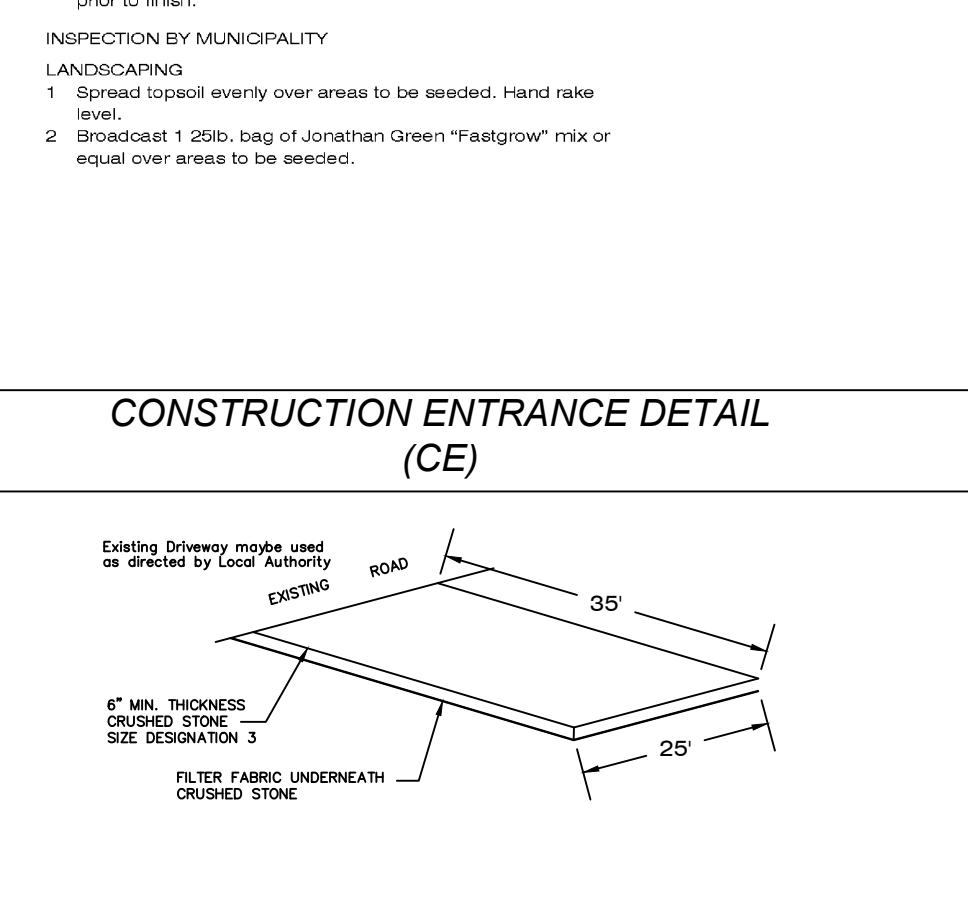
POST CONSTRUCTION MAINTENANCE

- 1. Land Owner to visually inspect all stormwater structures for silt and debris during May and November of each year. Any silt and debris to be removed by jet wash or within 12' of down pipe area once 2" represented.
2. De-composition of weeds following construction is recommended. This will not only aid in the re-establishment of vegetation following construction, but will help to ensure that less erosion is in the future.
3. Verification of the quantity of any topsoil designated to be re-installed on the property line prior to the tree removal.

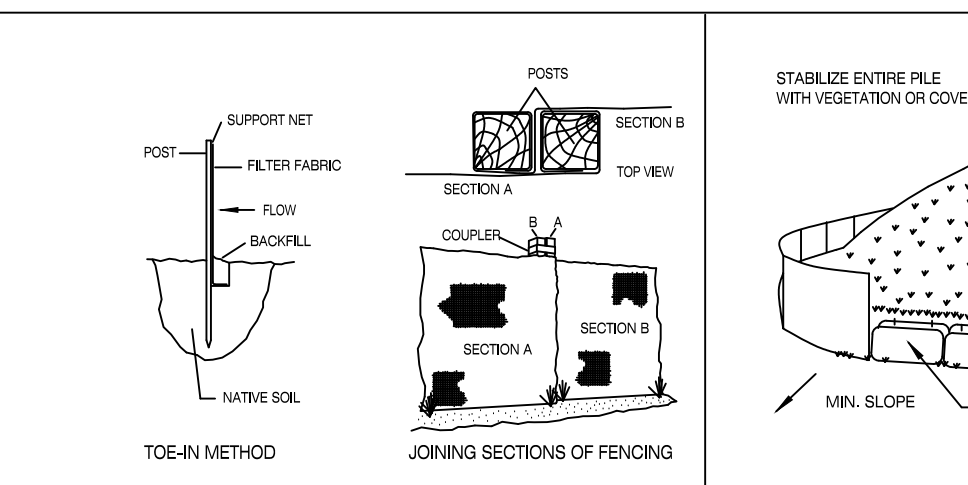
EROSION CONTROL NOTES

- 1. Install all erosion control measures prior to start of construction.
2. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to final.
3. Inspect by MUNICIPALITY MAINTENANCE TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION
1. After any rain causing runoff, Contractor to inspect all fences, etc. and remove any excessive sediment and inspect stockpiles and correct any problems with seed establishment.
2. Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

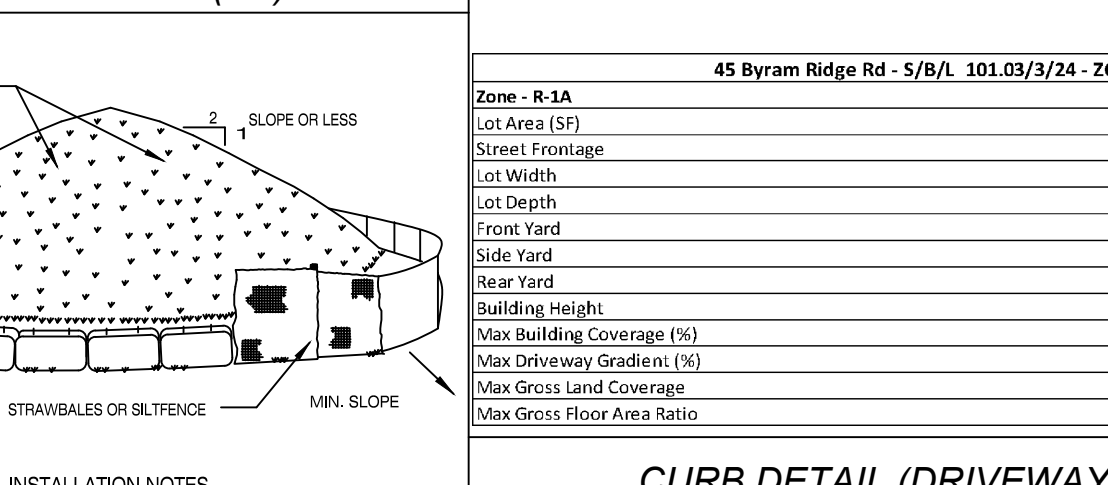
CONSTRUCTION ENTRANCE DETAIL (CE)



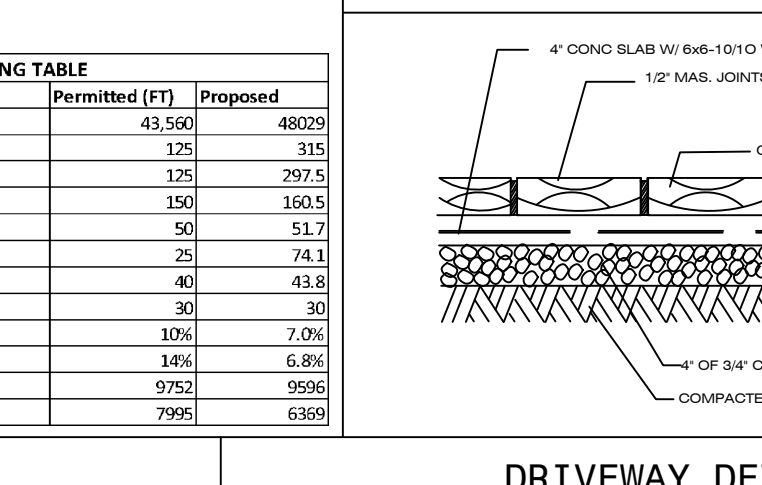
SILT FENCE (SF)



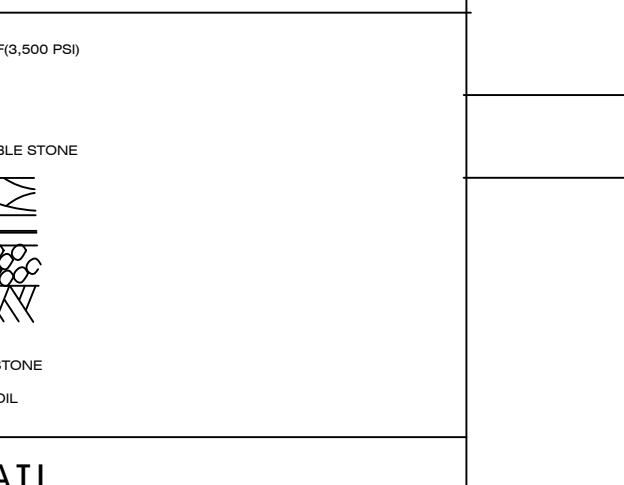
SOIL STOCKPILING (SS)



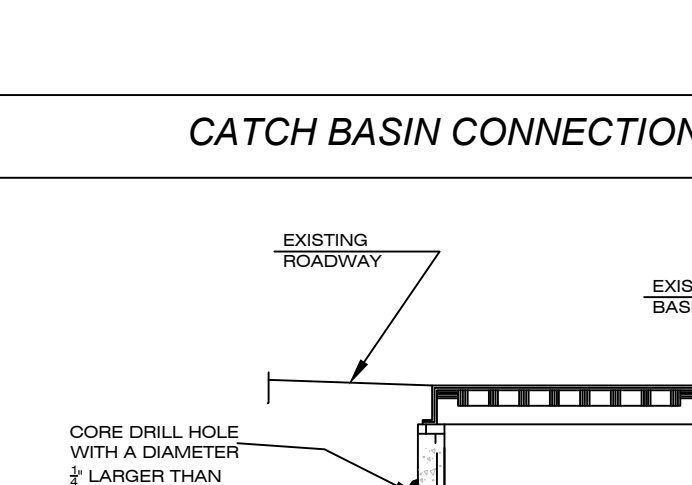
WALKWAY/PATIO/POOL PATIO



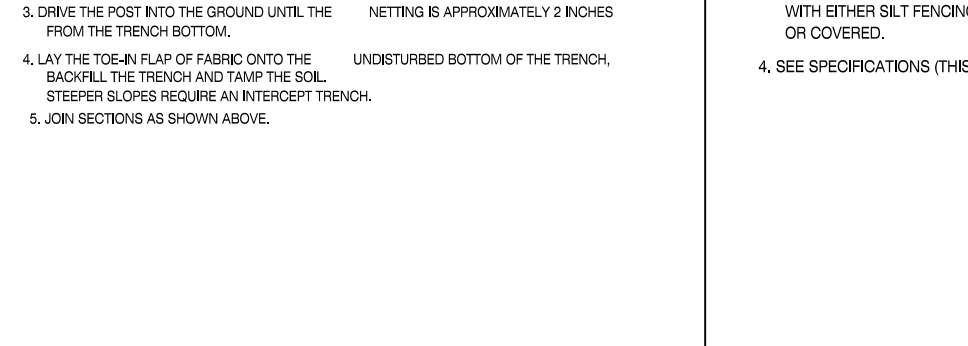
DRIVEWAY DETAIL



CATCH BASIN CONNECTION DETAIL



CURB DETAIL (DRIVEWAY)



45 Byram Ridge Rd - 5/8/L 101.03/3/24 - ZONING TABLE

Zoning table with columns for Zone, Lot Area, Street Frontage, Lot Width, Lot Depth, Front Yard, Side Yard, Rear Yard, Building Height, Max Building Coverage, Max Driveway Gradient, Max Gross Land Coverage, Max Gross Floor Area Ratio.

INSTALLATION NOTES

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW/BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE APPROPRIATIONS (THIS MANUAL) FOR INSTALLATION OF SILTY NET.

NOTES

- 1. JOINTS NO MORE THAN 3/4" SHALL BE NOTED.
2. ALL OTHERS JOINTS SHALL BE FULLY FILLED WITH 1/2" GRANITE MORTAR, NEELY POINTED AND CLEANED OF EXCESS MORTAR.

Legend table listing symbols for Utility Pole, Sign Post, Hydrant, Water Valve, Light Pole, Guy Wires, Sewer Manhole, Water Manhole, Electric Manhole, Drain Manhole, Manhole, Electric Box, Existing Grade, Proposed Grade, 14 Tree, Size, Chain Link Fence, Tree to be removed.

Revisions table with columns for No, Date, Description, By.

STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN

PREPARED FOR: JOE DANIELS
STREET: 45 BYRAM RIDGE RD
CITY: TOWN OF ARMONK
A.K.A. SECTION 101.03- TAX BLOCK 3 - LOT 24

SITUATE IN THE TOWN OF ARMONK WESTCHESTER COUNTY, NEW YORK

GABRIEL E. SENOR, P.C. CONSULTING ENGINEER LAND SURVEYORS 90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530 (914) 422-0070 FAX 422-3009

Professional seal and signature of Gabriel E. Senor, P.C. with date July 30, 2020 and scale 1 inch = 20 feet.



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 45 Byram Ridge Road, Armonk

### Section III- DESCRIPTION OF WORK:

Construction of pool, patio, fencing, pool house, outdoor kitchen, landscape plantings.

### Section III- CONTACT INFORMATION:

APPLICANT: Anthony & Courtney Scavo  
ADDRESS: 800 Third Avenue, NY, NY 10021  
PHONE: \_\_\_\_\_ MOBILE: 718-702-6739 EMAIL: anthony.scavo@ragny.com

PROPERTY OWNER:  
Joseph Daniel  
ADDRESS: 9 Cole Drive, Armonk NY  
PHONE: 914 273-4330 MOBILE: \_\_\_\_\_ EMAIL: josephdaniel@msn.com

PROFESSIONAL: Stephen Lopez, PLA  
ADDRESS: 254 Bedford Road, Pleasantville, NY  
PHONE: 914-769-7606 MOBILE: 914-588-4751  
EMAIL: stephenlopez@optonline.net

### Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 106.03-3-24