



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Liso Residence

Initial Submittal Revised Preliminary

Street Location: 9 HOBBY Lane, Bedford, NY 10506

Zoning District: R-2A Property Acreage: 1.6 Tax Map Parcel ID: 102.04 -2-28

Date: 9/30/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer.
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: 9 HOBBY Lane DATE: 9/30/2021

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: John G Scarlato JR Architect

ADDRESS: 33 Byram Hill Rd, Armonk, NY 10504

PHONE: (914) 273-7350 MOBILE: (914) 714-052 EMAIL: JGScarlato@gmail.com

PROPERTY OWNER: Dino & Donna Liso

ADDRESS: 9 HOBBY Lane, Bedford, NY 10506

PHONE: _____ MOBILE: (917) 685-8001 EMAIL: ddLiso@aol.com

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: 1 Family Home

PROPOSED RESIDENTIAL:

- One Family Dwelling
- Two Family Dwelling
- Townhouse
- Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ _____

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

Town of North Castle Building Department

Section V- (Continued)

I John G Scarlato Jr Architect do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ _____, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: _____ Date: _____

Sign and Affix Seal Here

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ENG: John G Scarlato Jr Architect
ADDRESS: 33 Byram Hill Rd, Armonk, NY 10504
PHONE: (914) 273-7350 MOBILE: (914) 714-0152
EMAIL: JGScarlato@gmail.com

CONTRACTOR: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PLUMBER: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

ELECTRICIAN: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: [Signature] Date: 11/15/20

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

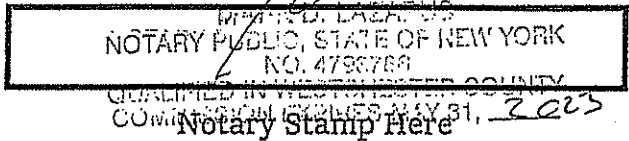
STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant John G Scarlata Jr North West has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Dino Liso Owner's Signature [Signature]

Sworn to before me this 19 day of Sept, 2021

Notary Signature [Signature]



OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: Section: Block: Lot:

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
GC License Work. Comp. Liability. Ins. Disability Two sets of documents
Permit Fee Payment: Check #: Cash Credit Card

Name on check:

Received By: Application No.:

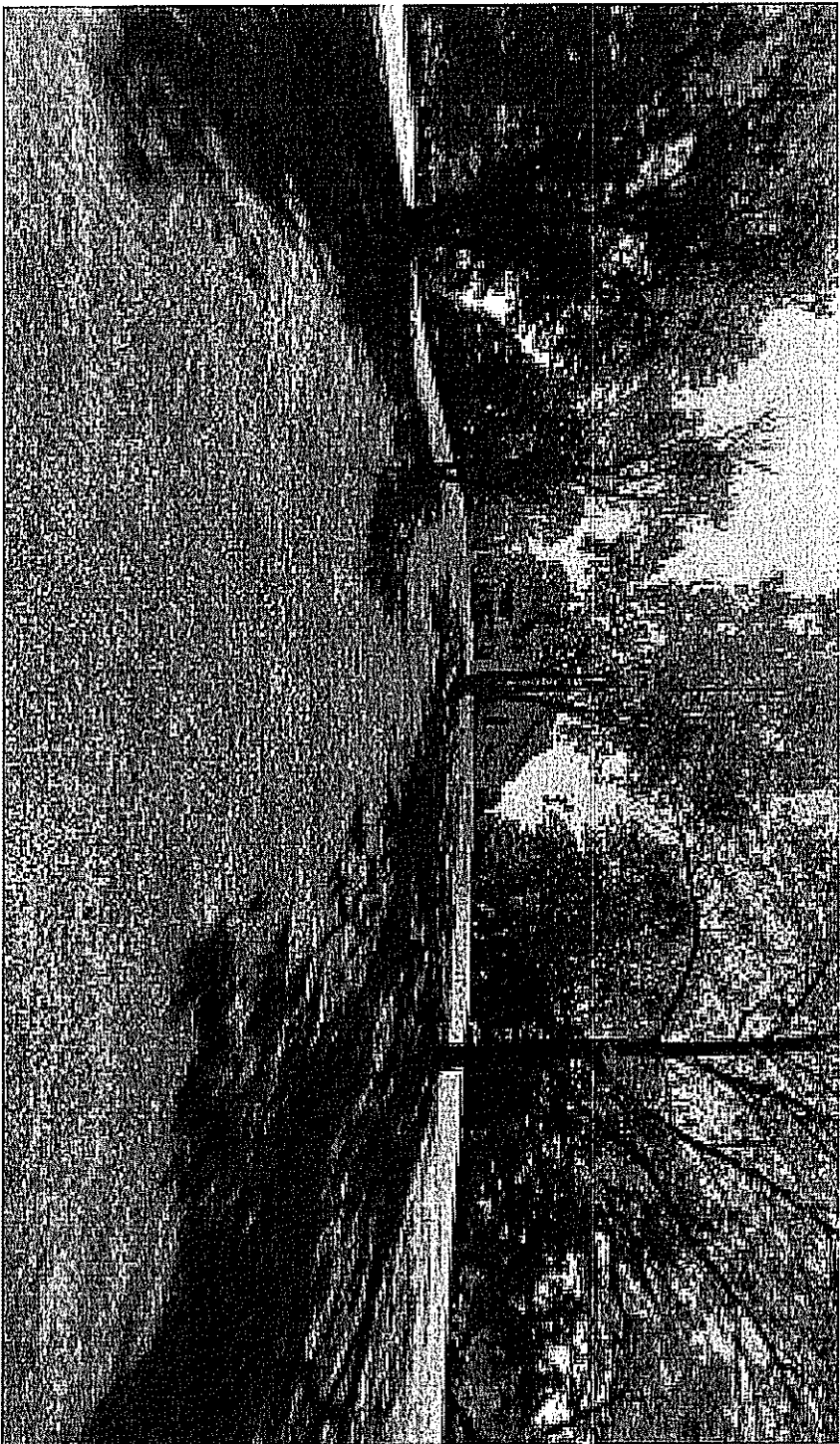
BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? Yes NA
Is a Flood Development permit required? Yes No

Reviewed By: Date:

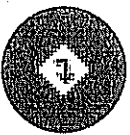
Building Inspector Approval: Date:

Conditions:

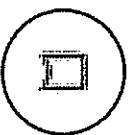


9 Hobby Ln

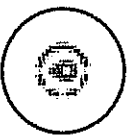
Bedford, NY 10506
Building



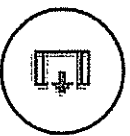
Directions



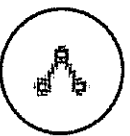
Save



Nearby

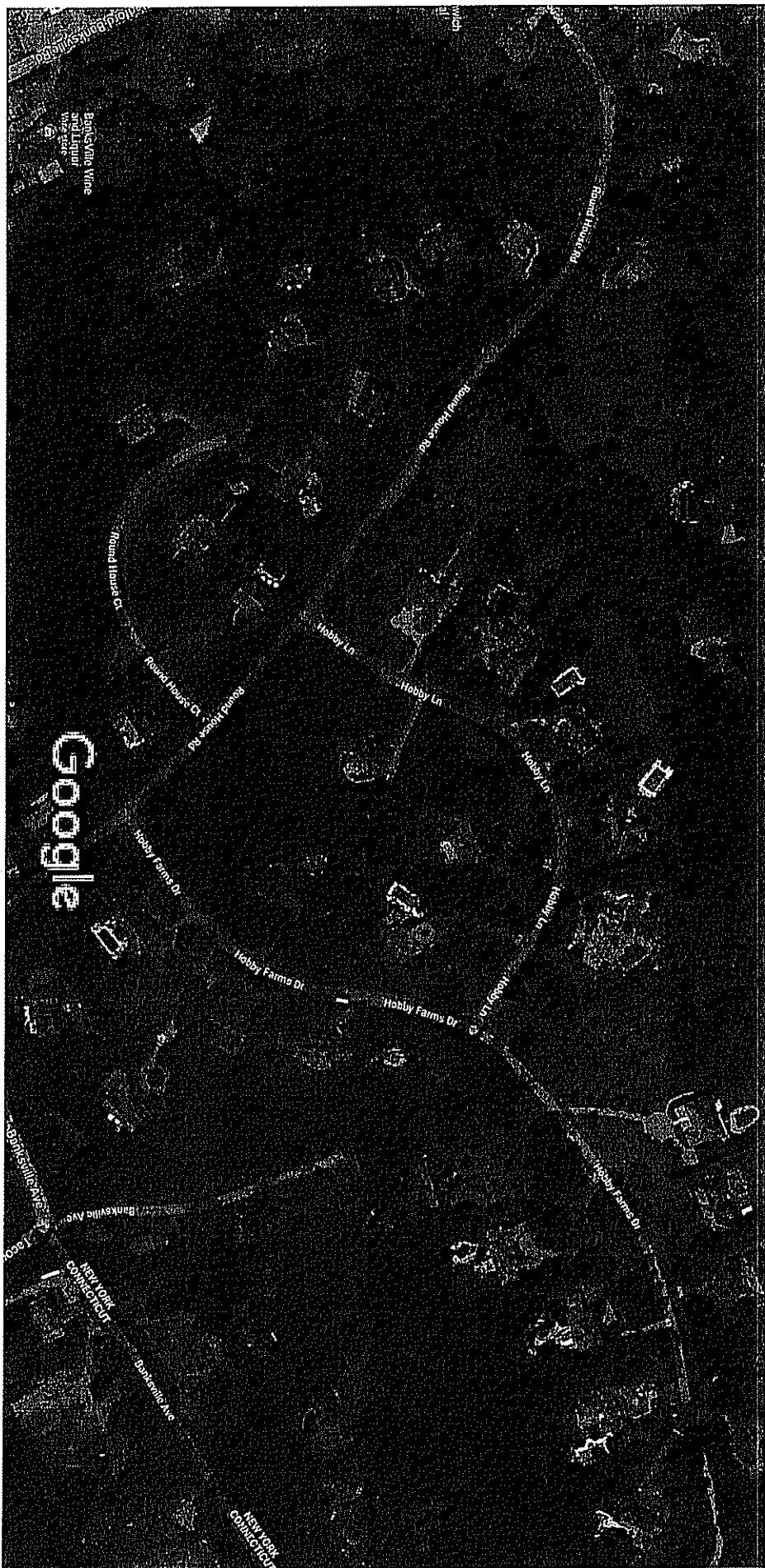


Send to your
phone



Share

Google Maps 9 Hobby Ln



Imagery ©2020 Maxar Technologies, New York GIS, USDA Farm Service Agency, Map data ©2020 100 ft



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

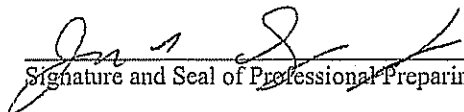
Application Name or Identifying Title: Lisa Residence Date: 11/15/20

Tax Map Designation or Proposed Lot No.: 102.04-2-28

Floor Area

- | | | |
|-----|---|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>69,822.47</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122</u> |
| 3. | Amount of floor area contained within first floor:
- <u>2053</u> existing + <u>0</u> proposed = | <u>2053</u> |
| 4. | Amount of floor area contained within second floor:
- <u>1827</u> existing + <u>0</u> proposed = | <u>1827</u> |
| 5. | Amount of floor area contained within garage:
- <u>782</u> existing + <u>0</u> proposed = | <u>782</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
- <u>80</u> existing + <u>810</u> proposed = | <u>890</u> |
| 7. | Amount of floor area contained within basement (if applicable - see definition):
- <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable - see definition):
- <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
- <u>120</u> existing + <u>0</u> proposed = | <u>120</u> |
| 10. | Proposed floor area: Total of Lines 3 - 9 = | <u>5,672</u> |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

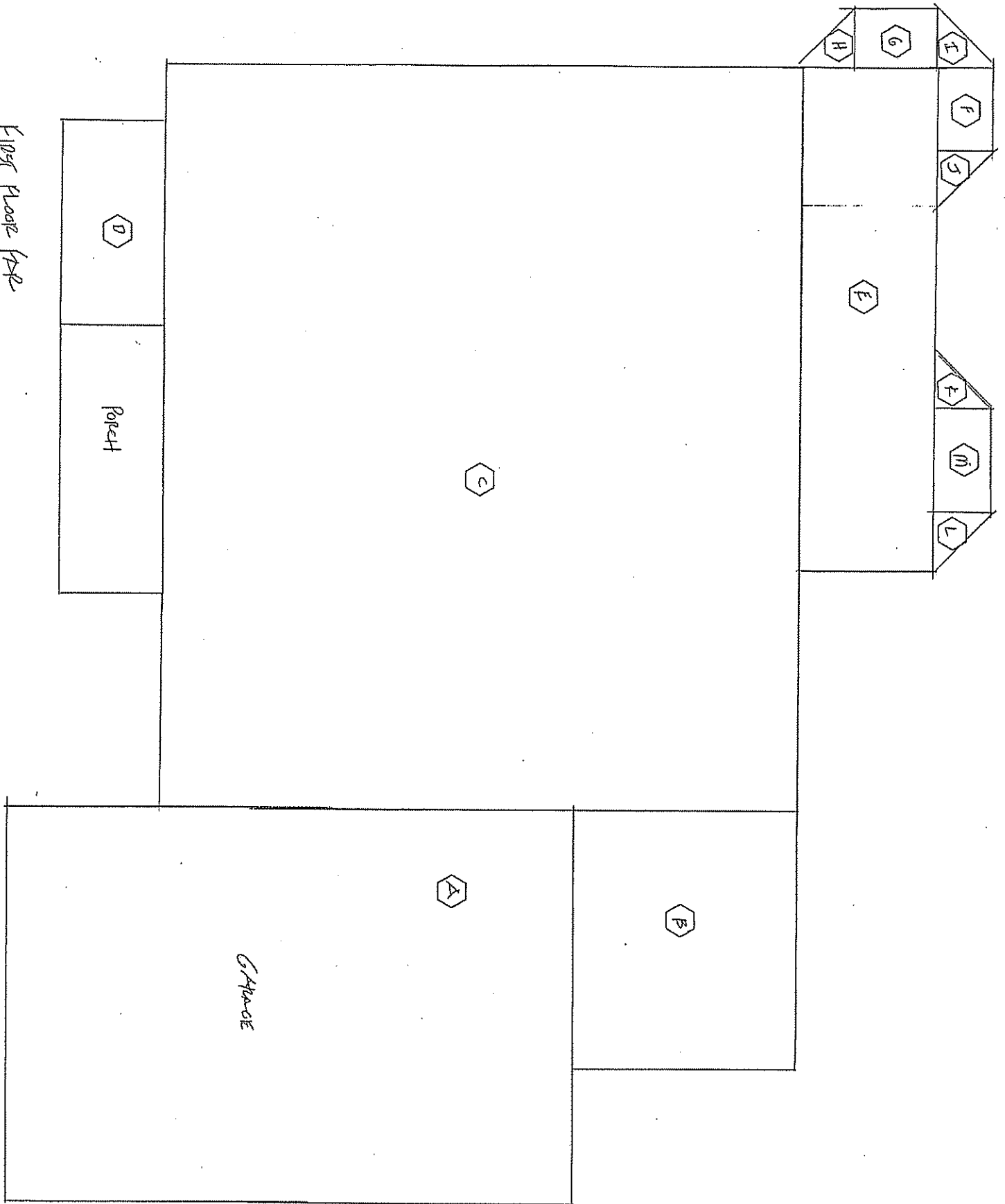

 Signature and Seal of Professional Preparing Worksheet

9/30/2021
 Date

FIRST FLOOR KAR 9 HOBBY LAKE

Scale 1/8" = 1'-0"

FIRST FLOOR KAR



9 HOBOM LAHKE FAR FIRST FLOOR

A $23 \times 34 = 782$

B $13 \times 15 = 195$

C $33 \times 44 = 1452$

D $6 \times 12 = 72$

E $8 \times 30 = 240$

F $6 \times 3.5 = 21$

G $6 \times 3.5 = 21$

H $3.5 \times 3.5 \div 2 = 6.2$

F $3.5 \times 3.5 \div 2 = 6.2$

J $3.5 \times 3.5 \div 2 = 6.2$

K $3.5 \times 3.5 \div 2 = 6.2$

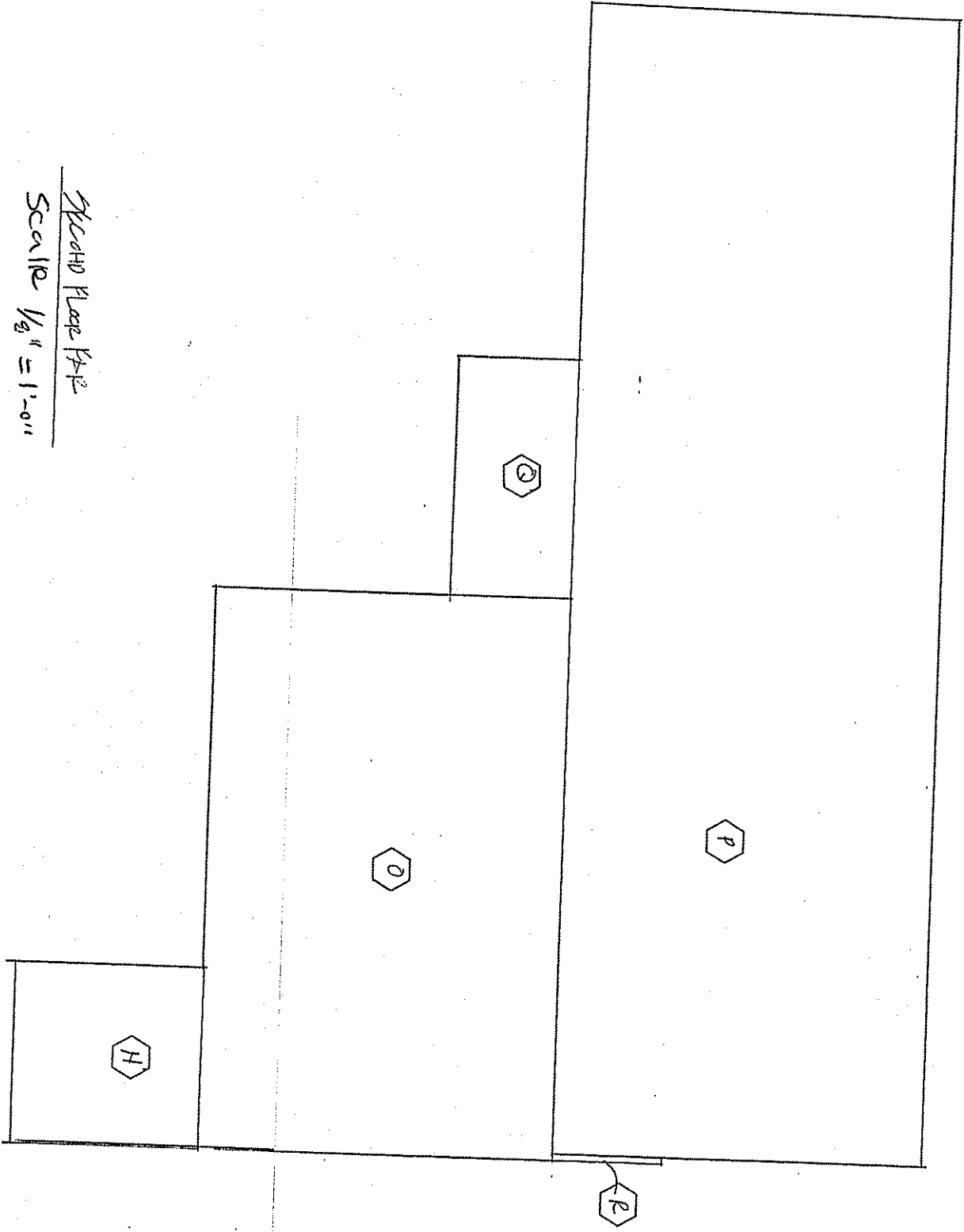
L $3.5 \times 3.5 \div 2 = 6.2$

M $6 \times 3.5 = 21$

FIRST FLOOR 2835 FAR

9 HUBBY LATHR SECOND FLOOR PLAN

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



9 HOBBY LANE SKECHD FLOOR FAR

$$\text{H} \quad 9 \times 10 = 90$$

$$\text{O} \quad 18 \times 29 = 522$$

$$\text{P} \quad 19 \times 60 = 1140$$

$$\text{Q} \quad 6 \times 12 = 72$$

$$\text{R} \quad 6 \times .5 = 3$$

SKECHD FLOOR 1827 FAR



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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Lisa Residence Date: 11/15/20

Tax Map Designation or Proposed Lot No.: 102.04-2-28

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 69,822.47
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 13,270
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):

78 Distance principal home is beyond minimum front yard setback
 x 10 = 780 780
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 14050
5. Amount of lot area covered by principal building:
2835 existing + 0 proposed = 2835
6. Amount of lot area covered by accessory buildings:
120 existing + 0 proposed = 120
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches: 80 existing + 80 proposed = 80
(porch is over existing patio & new patio in patio number)
9. Amount of lot area covered by driveway, parking areas and walkways:
3361 existing + 0 proposed = 3361
10. Amount of lot area covered by terraces:
3844 existing + 127 proposed = 3971
11. Amount of lot area covered by tennis court, pool and mechanical equip:
900 existing + 0 proposed = 900
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 11,267

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

[Signature]
 Signature and Seal of Professional Preparing Worksheet

9/30/2021
 Date

Lot Coverage

9 HOBBY LAKE

A Footprint of House 2835 (From Florence)

B Porch $15 \times 5 = 75$

AI New stair $6 \times 6 = 36$

C steps/walk $4 \times 8 = 32$

D Walk $3 \times 27 = 81$

E Step 8 steps $7 \times 4 = 28$

F Walk $3 \times 5 = 15$

G patio $10 \times 59 = 590$

H patio $10 \times 25 = 250$

I patio $52 \times 21 = 1092$

J patio $18 \times 22 = 396$

K patio $10 \times 20 \div 2 = 100$

L patio $16 \times 20 \div 2 = 160$

M patio $10 \times 5 \div 2 = 25$

N patio $40 \times 21 \div 2 = 420$

O patio $26 \times 26.5 = 689$

P patio $3 \times 10 \div 2 = 15$

Q patio New $3.5 \times 26 = 91$

R patio $12 \times 3.5 = 42$

S driveway $90 \times 14 = 1260$

T driveway $25 \times 45 = 1125$

U driveway $12 \times 35 = 420$

V driveway $35 \times 20 \div 2 = 350$

W driveway $10 \times 10 \div 2 = 50$

X Pool $20 \times 45 = 900$

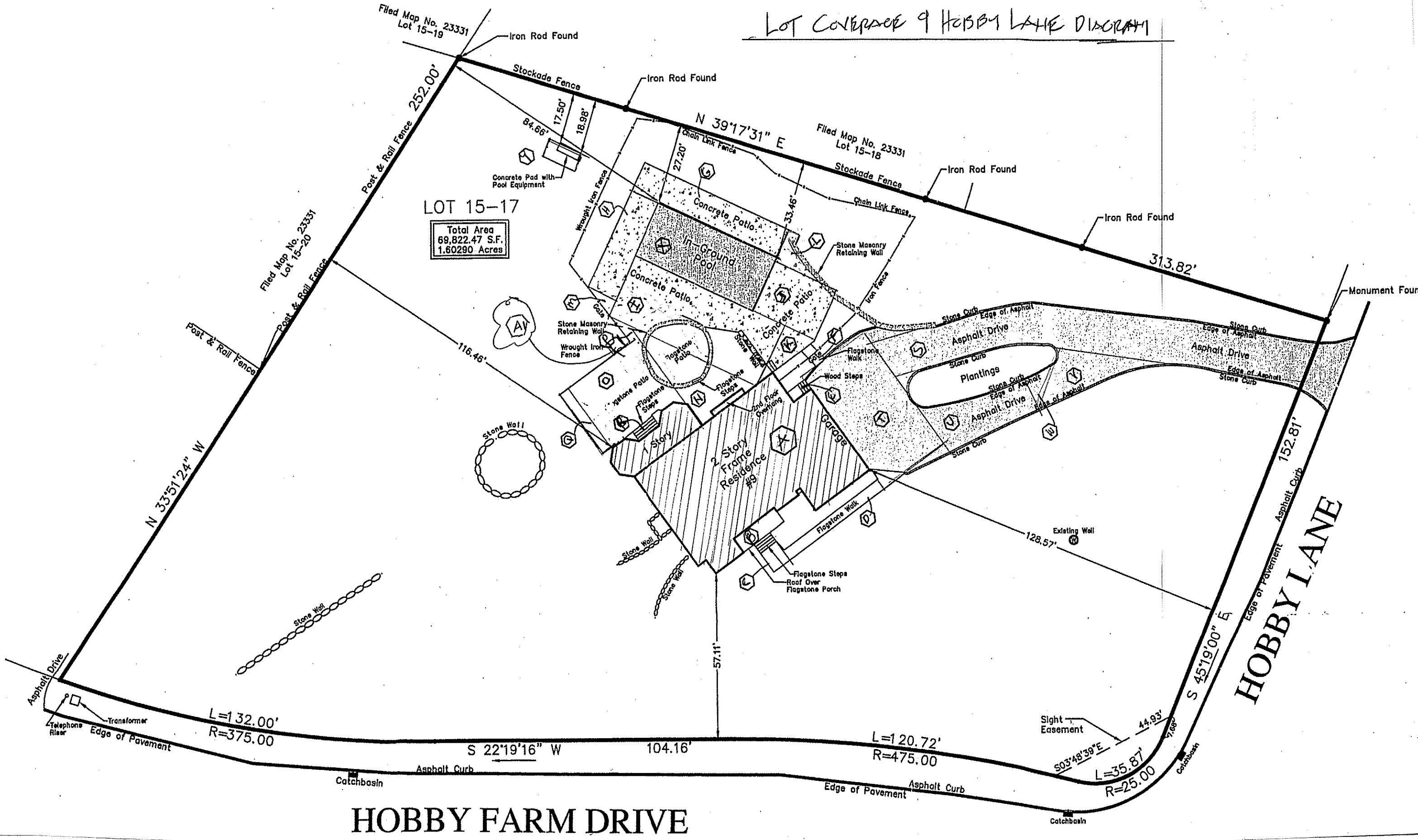
Y SHED $10 \times 12 = 120$

Z walls $1 \times 130 = 130$

TOTAL LOT COVERAGE

11,267 SQ FT

LOT COVERAGE 9 HOBBY LANE DIAGRAM



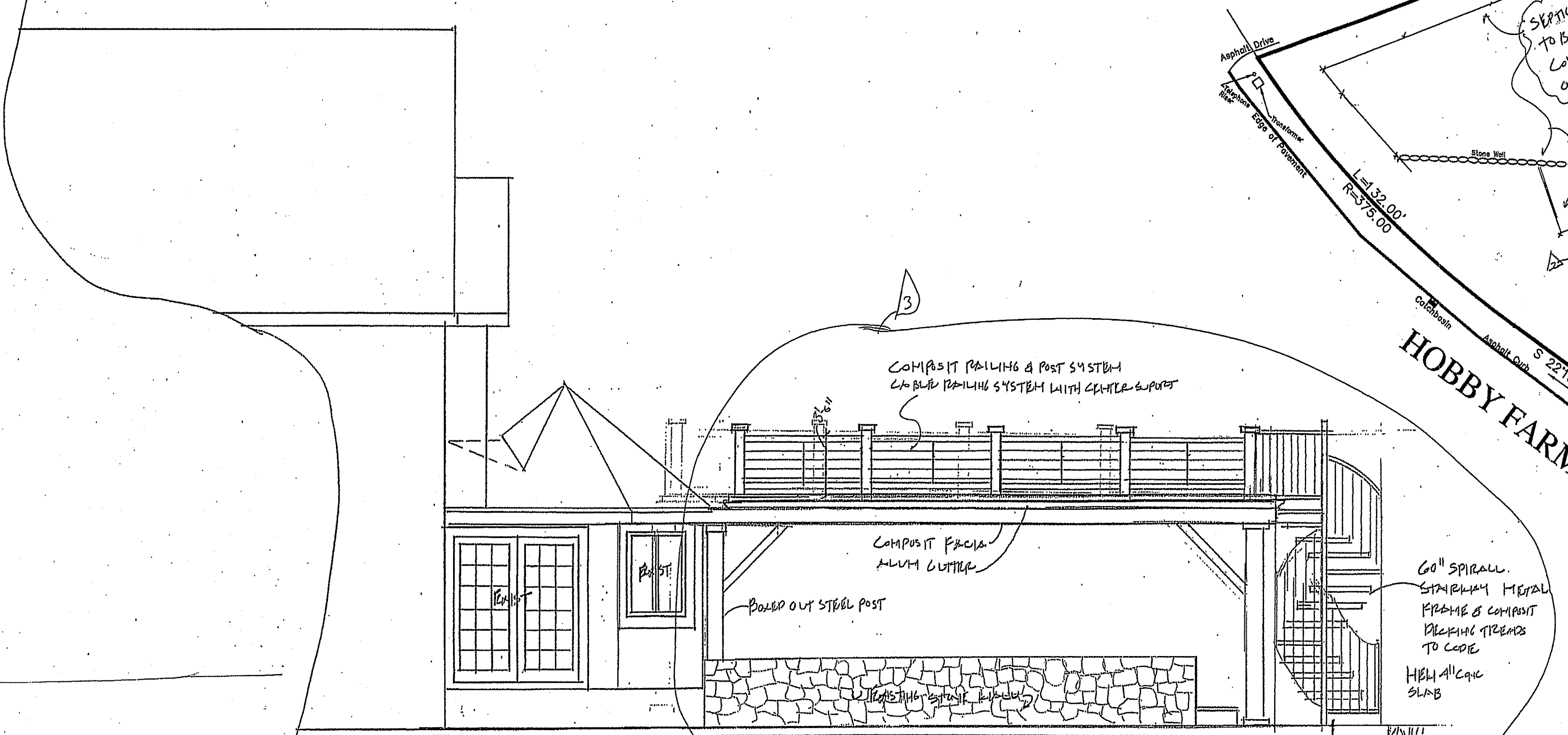
HOBBY FARM DRIVE

HOBBY LANE



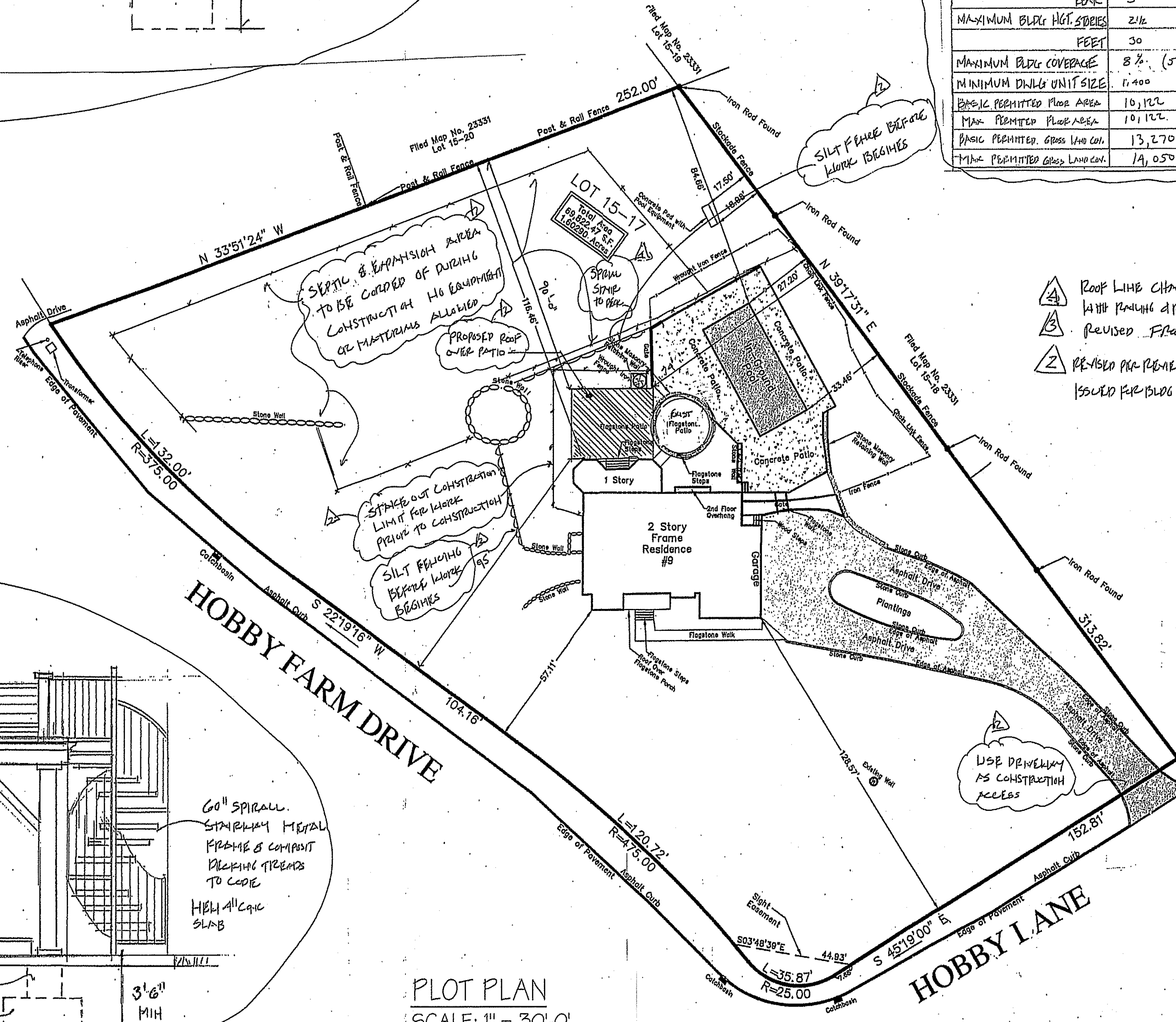
REAR ELEVATION

SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PLOT PLAN

SCALE: 1" = 30'-0"

General notes:

1. ALL WORK SHALL CONFORM TO THE 2020 NEW YORK STATE BUILDING CODE, RESIDENTIAL CODE, FIRE CODE, ENERGY CONSERVATION CONSTRUCTION CODE, EXISTING BUILDING CODE, MECHANICAL CODE, FUEL GAS CODE, AND PROPERTY MAINTENANCE CODE.
2. CONTRACTOR SHALL PROTECT & BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
3. ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN COMPLIANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH N.E.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS, LATEST EDITION. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE LICENSED AND INSURED. ALL PLUMBERS AND ELECTRICIANS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
4. LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY FREE FROM ROT, LARGE AND LOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. ALL NEW LUMBER SHALL CONFORM TO 2020 NEW YORK STATE BUILDING CODE CHAPTER 23. FASTENINGS SHALL CONFORM TO 2020 NYSDOT TABLE 2304.10.1. ALL LUMBER SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WOOD COUNCILS NATIONAL DESIGN SPECIFICATIONS FOR BENDING STRESS AND DEFLECTION, AND 2020 NYSBC 2306. ALL WORKMANSHIP INCLUDING BLOCKING, MILLING, BRIDGING, ETC. SHALL CONFORM TO THE 2020 NYSBC AND OR 2020 NYSRC. PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMP. ALL STRUCTURAL LUMBER INCLUDING BUT NOT LIMITED TO TIL, TGI, & LVL BEAMS OR EQUIVALENT SHALL BE INSTALLED PER DRAWINGS AND MANUFACTURERS SPECIFICATIONS. ALL HANDLING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. TJ JOISTS AND LVL BEAMS SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
5. WITH USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION A SIGN WILL BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
6. ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 332 OR PCA 100, AND THE 2020 NEW YORK STATE RESIDENTIAL CODE CHAPTER 8. ALL CONCRETE SHALL BE TYPE-I, 3000 PSI COMPRESSIVE AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CURING. STRENGTH AT 28 DAYS. REINFORCING BARS TO CONFORM TO 2020 NYS BUILDING CODE SECTION 1905 MODIFICATIONS TO ACI 318. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION. CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
7. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF TONS PER SQ. FT. BRACE RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL, BACKFILLING UNDER SLABS, AROUND PERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE.
8. EXCAVATION MUST BE FREE OF WATER WHILE FOUNDATION WORK IS IN PROGRESS. TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
9. ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN AND STRAIGHT AND SHALL CONFORM TO THE LATEST EDITION FOR A.S.T.M. DESIGNATION A-36 OR A-500 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL COMPLY WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDING OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION PROVIDE STIFFENER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR STRUTS THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS. UNLESS OTHERWISE SHOWN OR SPECIFIED PROVIDE 6mm 1/2 BEARING ON CONCRETE MASONRY IF ANY.
10. HEADERS TO BE (3) 2" X 10" IN 2x6 WALLS OR (2) 2" X 10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
11. INSULATION IN FLOORS, WALLS AND CEILING TO BE A COMBINATION OF FIBERGLASS BAT, CONTINUOUS RIGID, OR SPRAY FOAM OR CELLULOS INSULATION TYPES TO CONFORM TO 2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE CHAPTER 4. WESTCHESTER COUNTY IS CLIMATE ZONE 4A.
12. ALL FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW GRADE, OR LOCAL FROST DEPTHS SPECIFIED BY THE ARCHITECT, UNDERPIN WHEN NECESSARY.
13. HOUSE TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
14. PROVIDE BLOCKING AS REQUIRED TO BEARING POSTS ONTO GIRDER OR BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
15. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH 2020 N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE.
16. ALL DECK RAILS AND STAIR HANDRAILS SHALL CONFORM TO THE 2020 N.Y.S. BUILDING CODE SECTIONS 1014 HANDRAILS AND 1014 GUARDS.
17. ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS (HURRICANE TIES) IN COMPLIANCE WITH 2020 N.Y.S. BUILDING CODE.
18. ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING THE ROOF OR OTHER STRUCTURAL ELEMENTS SHALL BLOCKING AS SPECIFIED BY THE ARCHITECT OR A NOMINAL DIMENSION OF 4x4 FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTIGUOUS TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED ROOF DEPTH AND RESTS ON A FOOTING OF TYPICAL CONSTRUCTION.
19. ALL SIMPSON STRONG TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN SPECIFIED BY THE ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH THE DESIGN PROFESSIONAL.

TOWN OF NORTH CASTLE ZONING COMPARISON CHART

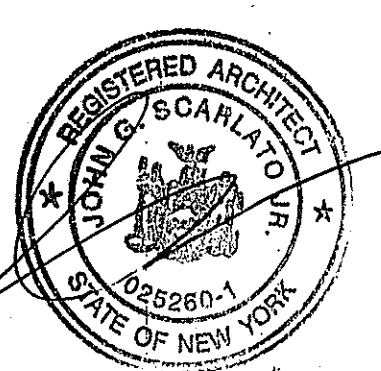
ADDRESS:	SECTION/BLOCK/LOT:	ZONE:
9 HOBBY LANE	102.04 - 2-28	R-2A
	REQUIRED	EXISTING
MINIMUM LOT AREA	2AC (97,100)	1.6A 69,822.47
FRONTAGE	150	152
WIDTH	150	152
DEPTH	150	313
MINIMUM SETBACK FRONT	50	57-11
SIDE	30	70
REAR	50	116
MAXIMUM BLDG HGT. FEET	21/6	2
MAXIMUM BLDG COVERAGE	8% (5585)	2453
MINIMUM DWLS UNIT SIZE	1100	2863
BASIC PERMITTED FLOOR AREA	10,122	4,862
MAX. PERMITTED FLOOR AREA	10,122	4,862
BASIC PERMITTED GROSS VOLUME	13,270	-
MAX. PERMITTED GROSS LAMP CAP.	14,050	11,267

- 1. ROOF LINE CHANGED TO FLAT ROOF 9/29/2021
- 2. REVISED FRAMING 1/20/21
- 3. REVISED PER PERMITS 2/2/2021
- 4. ISSUED PER 1506 PERMIT 11/15/2020

John G. Scarlato Jr.
Architect




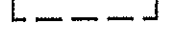



33 Byram Hill Road
Armonk, NY 10504
Phone: (914) 273-7350
JGSCARLATO@GMAIL.COM

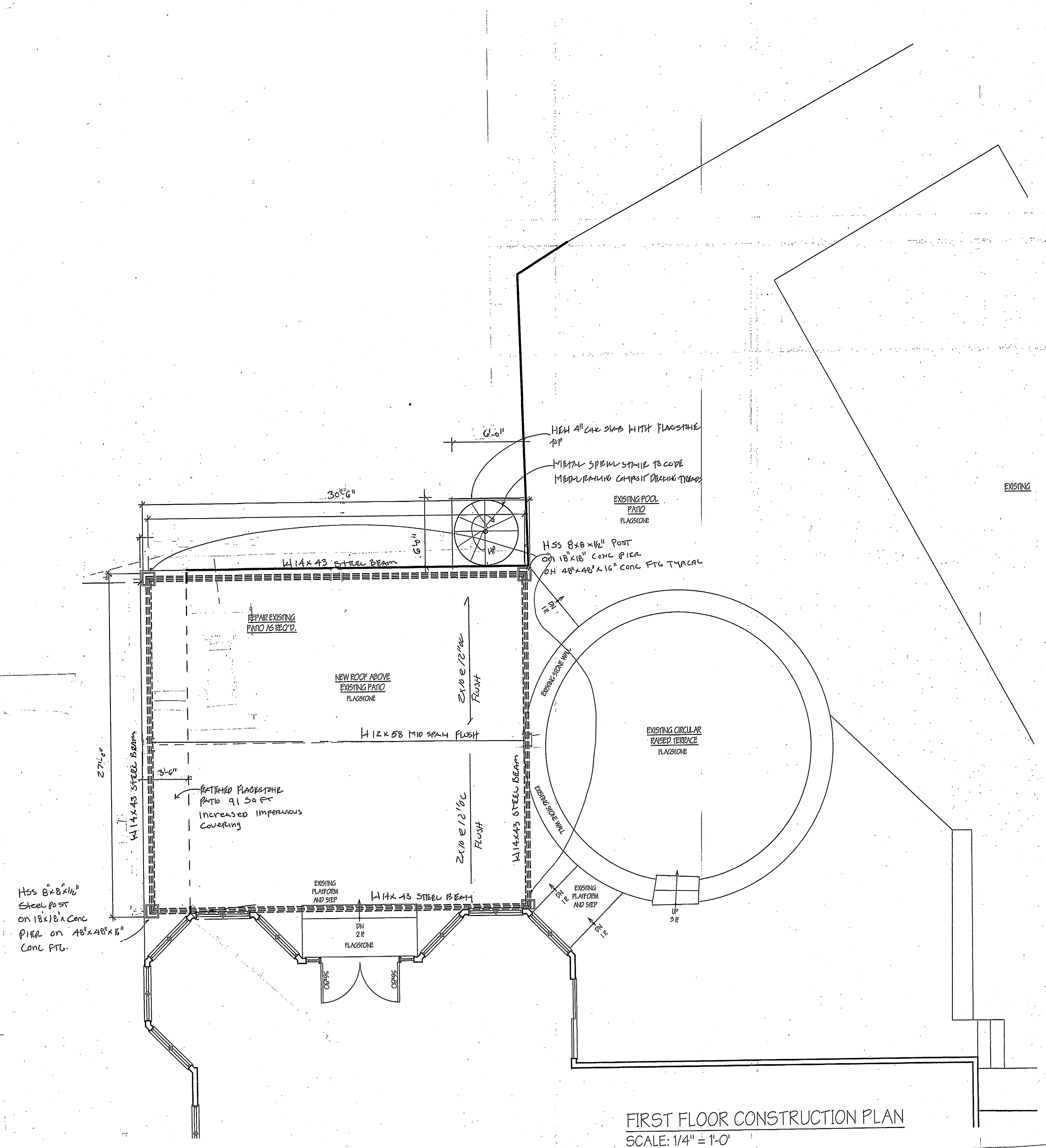
LISO RESIDENCE
9 HOBBY LANE
BEDFORD, NY 10506
NEW ROOF OVER EXISTING PATIO
EXTERIOR ELEVATIONS
PLOT PLAN
ZONING CHART
GENERAL NOTES






DRAWING NO.
A-1

LEGEND

-  NEW CONSTRUCTION
-  NEW FOUNDATION
-  EXISTING CONSTRUCTION TO STAY
-  EXISTING TO BE REMOVED
-  DOOR NUMBER
-  WINDOW NUMBER
-  ELEVATION LOCATION



-  Revised Roof Line to Flat Roof with Roof Deck 9/29/21
-  Revised Framing 1/29/21
-  RE-ISSUED 2/2/2021
- ISSUED FOR PERMITS 11/15/2020

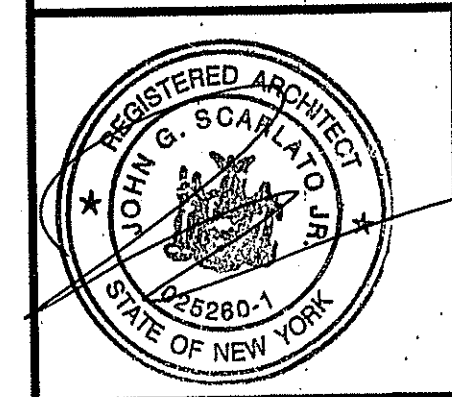
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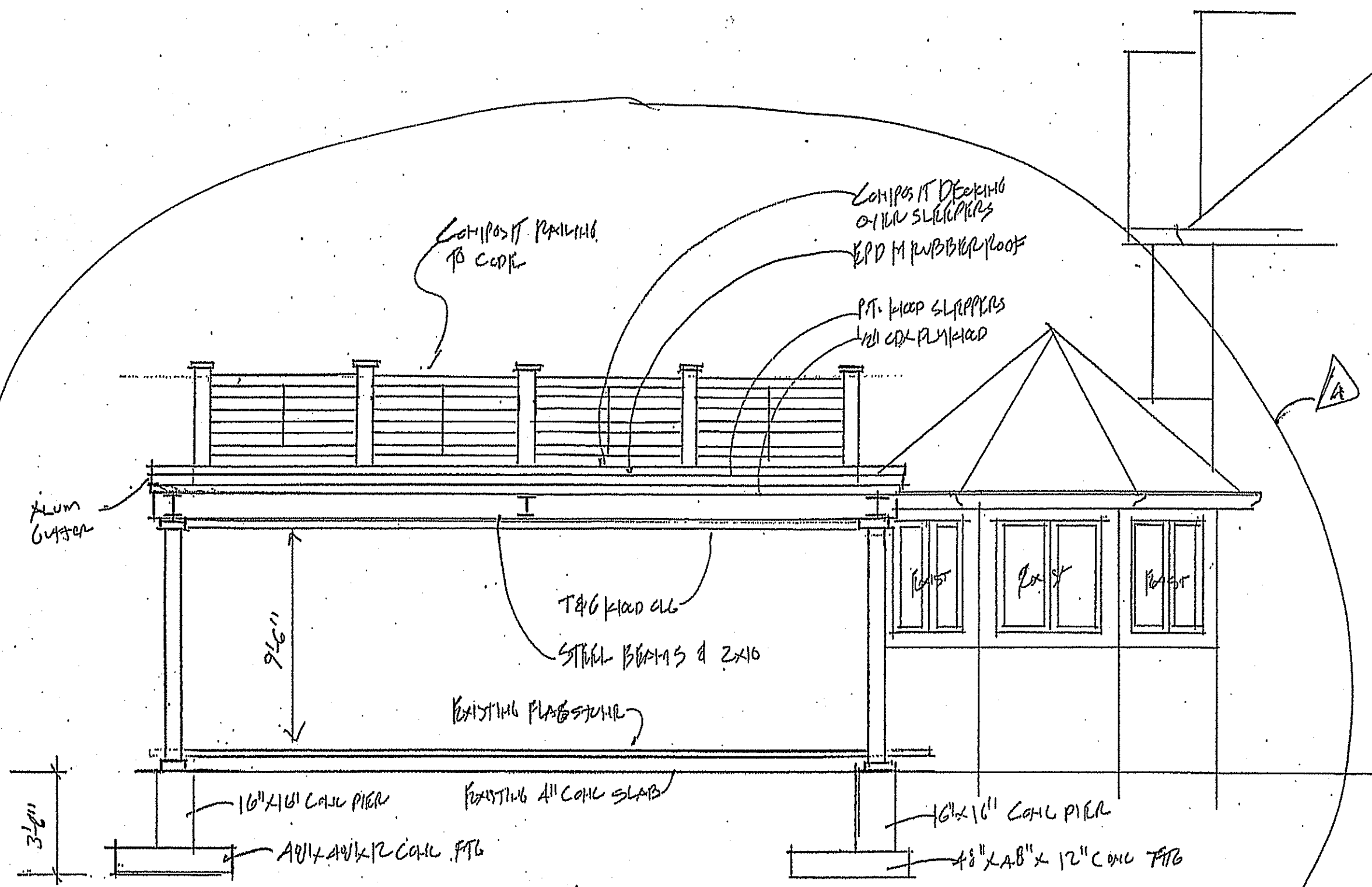
NEW ROOF OVER EXISTING PATIO

FIRST FLOOR CONSTRUCTION PLAN

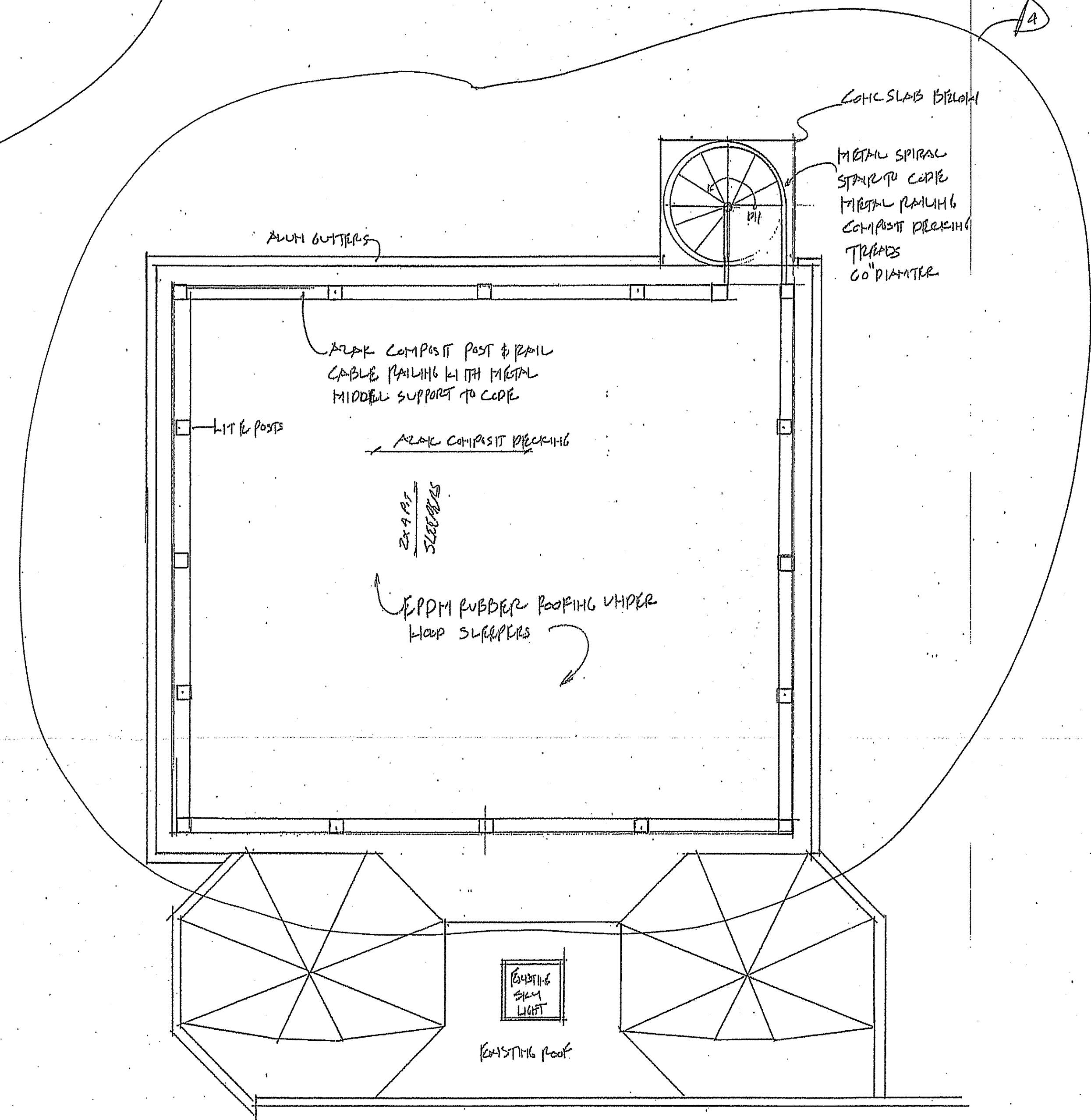


DRAWING NO.
A-3

FIRST FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



SECTION THRU ROOF
SCALE 1/4" = 1'-0"



ROOF DECK PLAN
SCALE 1/4" = 1'-0"

- ① Revised Roof 9/29/2021
- ③ Revised Structure 11/21/2021
- ② RE-ISSUED 2/2/2022
- ISSUED FOR PERMITS & PERMIT 11/15/2022

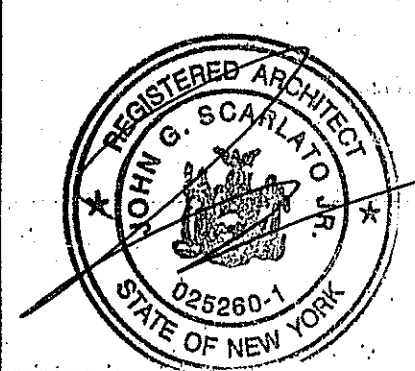
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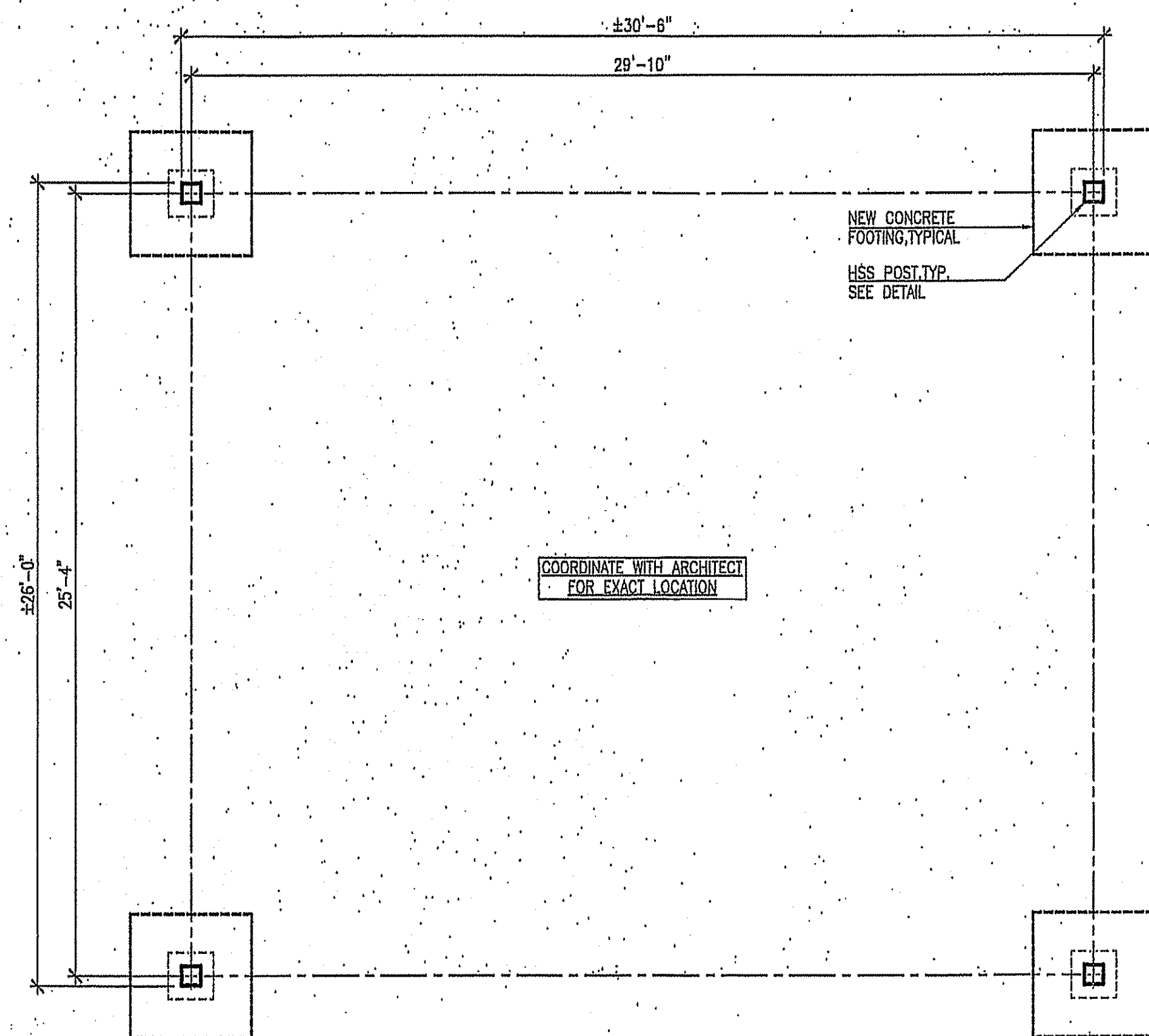
LISO RESIDENCE
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NEW ROOF OVER EXISTING PATIO

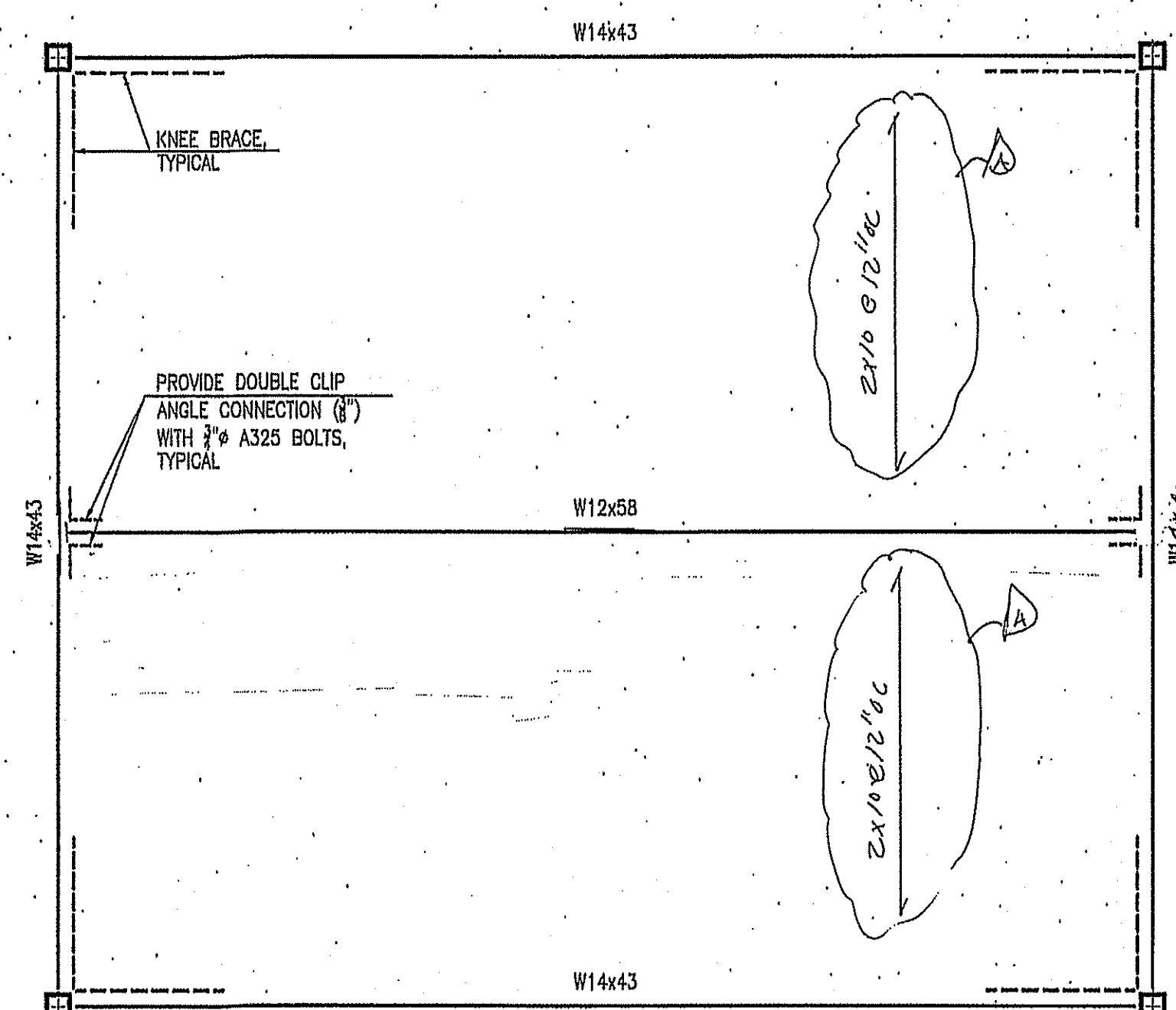
EXTERIOR ELEVATIONS
SECTIONS



DRAWING NO.
A-4



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



2 MAIN FRAME PLAN
SCALE: 1/4"=1'-0"

SEE ARCHITECTURAL DRAWINGS FOR OTHER INFORMATION NOT SHOWN SUCH AS ELECTRICAL, ELEVATIONS, ETC.

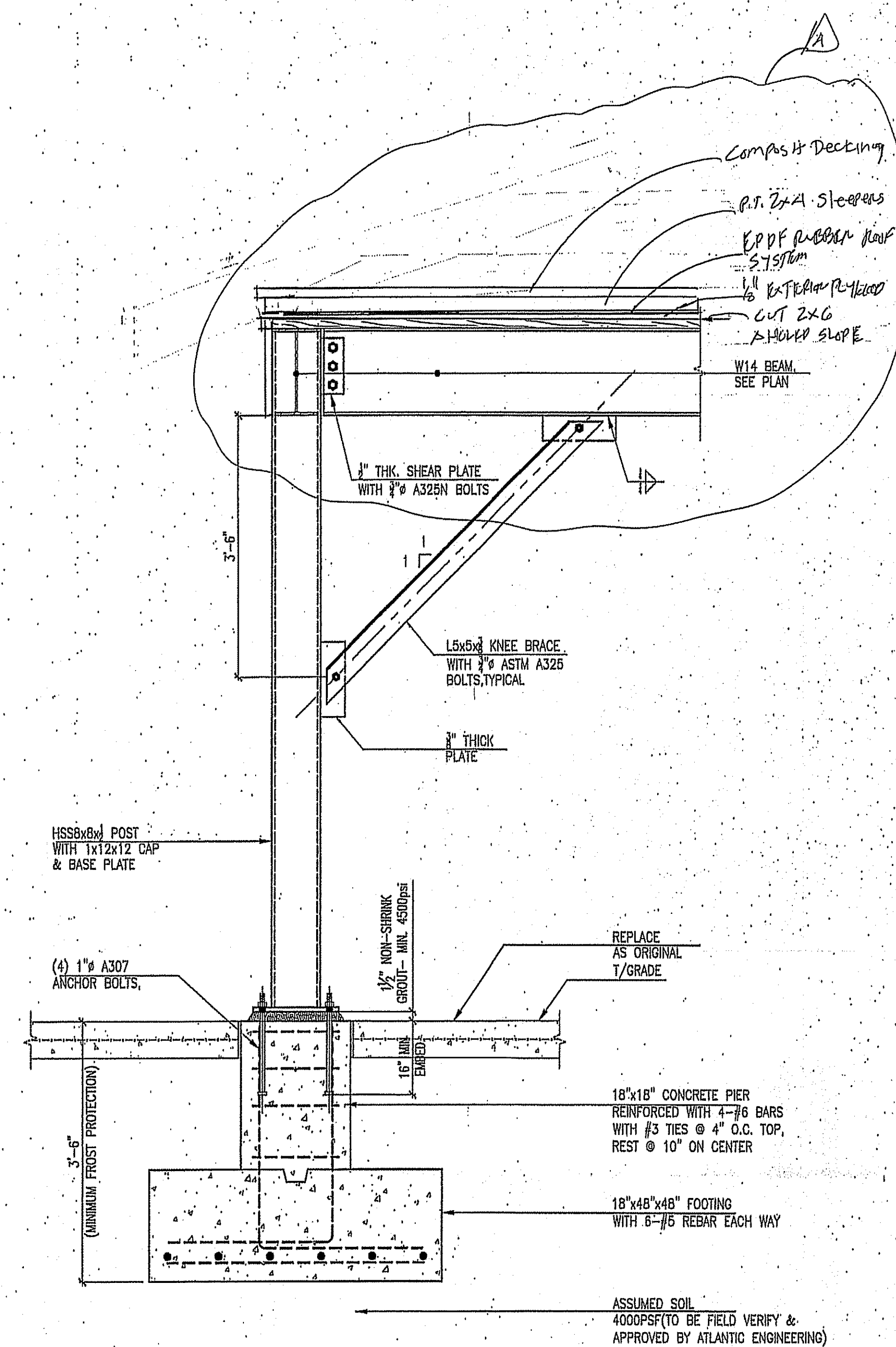
- DESIGN BASIS:
- 2020 NEW YORK STATE RESIDENTIAL CODE / 2018 IRC
 - AMERICAN CONCRETE INSTITUTE "BLOG CODE REQUIREMENT FOR REINF. CONCRETE (ACI318)
 - AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI301)
 - SOIL BEARING = 4000PSF (TO BE VERIFIED IN FIELD)

WIND DESIGN PARAMETERS: 115 mph(V) CATEGORY II
GROUND SNOW LOAD: 35 PSF

- GENERAL NOTE:
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY PROCEDURES REQUIRED DURING THE ENTIRE CONSTRUCTION, ADHERING TO ALL LOCAL AND STATE CODE REQUIREMENT FOR SAFETY.
 - PROVIDE TEMPORARY SHORING AS REQUIRED.
 - COORDINATE WITH OTHER TRADES PRIOR TO CONSTRUCTION.
 - WORK WITH ARCHITECTURAL DRAWINGS FOR OTHER INFORMATION NOT SHOWN.
 - PROVIDE NECESSARY CONNECTORS BY SIMPSON STRONG-TIE AS REQUIRED.
 - ATLANTIC CONSULTING & ENGINEERING (ACE) SHOULD CONDUCT INSPECTION AS REQUIRED FOR SIGN OFF. OTHERWISE, ACE IS RELIEVED OF ALL RESPONSIBILITIES WITH THE APPLICABLE PLANS.

MATERIALS:
REINFORCING BARS: ASTM615 GR60 (DEFORMED)
STEEL: BEAM - A36, GR50
HSS - A500
CONCRETE: 4000PSI
LVL = WEYERHAEUSER
TIMBER = SPF1 OR 2
CONNECTORS = SIMPSON STRONG TIE

- ROOF FRAMING:
- 2x10@16 ROOF RAFTERS, TYPICAL
 - PROVIDE SLOPED FACE MOUNT (RIZ) HANGER TO CONNECT TO RIDGE BEAM
 - PROVIDE HURRICANE TIES (1/2" DIA) TO CONNECT TO PERIMETER BEAM
 - PROVIDE HIP RIDGE AND HIP CORNER CONNECTOR AS REQUIRED.



A TYPICAL DETAIL
SCALE: 3/4"=1'-0"

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Job Number:
21-4502

Job Start Date:
042321

Issued For: Date:
PERMIT 042821

Drawn By: Checked By:
BZ JEQ

Sheet Title:
PATIO COVER

Scale:
AS NOTED

Sheet Number:
SK-1