



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Proposed storage building for Peter Clark & Martha Rosen

Initial Submittal Revised Preliminary

Street Location: 13 William Street

Zoning District: R-1/2A Property Acreage: 0.031 Tax Map Parcel ID: 123.05/1/44

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 13 WILLIAM STREET

Section III- DESCRIPTION OF WORK:

REPLACE EXIST. STORAGE BUILDING

Section III- CONTACT INFORMATION:

APPLICANT: MARK MUSTACATO, AIA / RMG. ASSOC.
ADDRESS: 350 THEODORE FREMONT AVE., RYE, N.Y. 10580
PHONE: 914-698-5589 MOBILE: 914-374-6042 EMAIL: INFO@RMGARCHITECTS.COM

PROPERTY OWNER:
PETER CLARK & MARTHA ROSEN
ADDRESS: 17 WILLIAM ST., WEST HARRISON, N.Y. 10604
PHONE: 914-473-4006 MOBILE: 914-473-4006 EMAIL: CLARK604@OPTONLINE.NET

PROFESSIONAL: MARK MUSTACATO, AIA / RMG. ASSOC.
ADDRESS: 350 THEODORE FREMONT AVE., RYE, N.Y. 10580
PHONE: 914-698-5589 MOBILE: 914-374-6042
EMAIL: INFO@RMGARCHITECTS.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1/2A Tax ID (lot designation) 123.05/1/44



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenv.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: PROPOSED STORAGE BUILDING FOR FELIX CLARK & MARTHA ROSEN Date: 10/5/21


Tax Map Designation or Proposed Lot No.: 132.05/1/4A

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1348 SQ. FT.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 674 SQ. FT.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = 0
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 _____
5. Amount of lot area covered by **principal building**:
316 existing + 0 proposed = 316 SQ. FT.
6. Amount of lot area covered by **accessory buildings**:
 _____ existing + _____ proposed = 0
7. Amount of lot area covered by **decks**:
 _____ existing + _____ proposed = 0
8. Amount of lot area covered by **porches**:
 _____ existing + _____ proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
 _____ existing + _____ proposed = 0
10. Amount of lot area covered by **terraces**:
 _____ existing + _____ proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
 _____ existing + _____ proposed = 0
12. Amount of lot area covered by **all other structures**:
 _____ existing + _____ proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 316 SQ. FT.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



10/5/21
 Date


PROPOSED STORAGE BUILDING
For: PETER CLARK & MARTHA ROSEN
13 WILLIAM STREET
SECTION:123.05 BLOCK:1 LOT:44
Town Of NORTH CASTLE, NEW YORK

LOT COVERAGE WORKSHEET



$AB = 12.42 \times 25.42 = 315.72 \text{ OR } 316 \text{ SQ. FT.}$

TOTAL = 316 SQ. FT.

 RICHAU
MUSTACATO
GRIPPI
ASSOCIATES

350 Theodore Fremd Ave.
Rye, New York 10580

ARCHITECTS

www.rimgarchitects.com

914-698-5589





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: PROPOSED STORAGE BUILDING
FOR: PETER CLARK & MARTHA ROSEN Date: 1/5/21

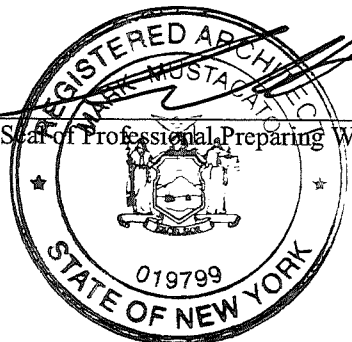
Tax Map Designation or Proposed Lot No.: 123.05/1/44

Floor Area

- 1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 1348 SQ. FT.
- 2. **Maximum** permitted floor area (per Section 355-26.B(4)): 1875 SQ. FT.
- 3. Amount of floor area contained within first floor:
 - 316 existing + 0 proposed = 316 SQ. FT.
- 4. Amount of floor area contained within second floor:
 - _____ existing + 169 proposed = 169 SQ. FT.
- 5. Amount of floor area contained within garage:
 - _____ existing + _____ proposed = 0
- 6. Amount of floor area contained within porches capable of being enclosed:
 - _____ existing + _____ proposed = 0
- 7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = 0
- 8. Amount of floor area contained within attic (if applicable – see definition):
 - _____ existing + _____ proposed = 0
- 9. Amount of floor area contained within all accessory buildings:
 - _____ existing + _____ proposed = 0
- 10. Proposed floor area: Total of Lines 3 – 9 = 485 SQ. FT.

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

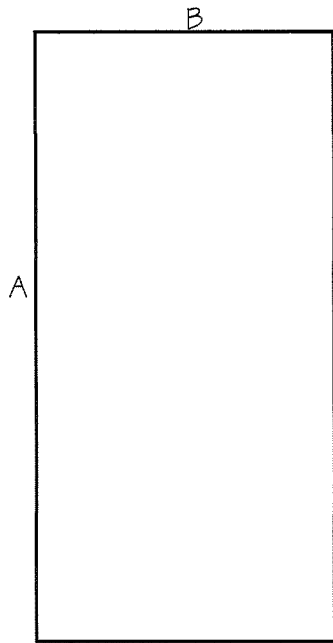
Signature and Seal of Professional Preparing Worksheet



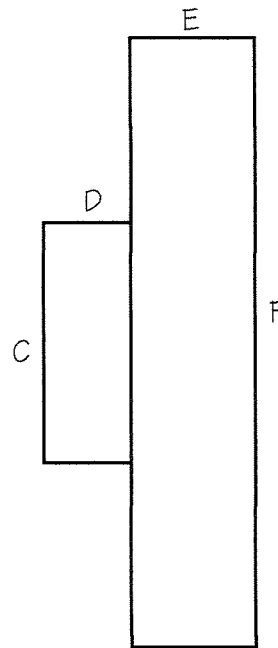
1/5/21
 Date

PROPOSED STORAGE BUILDING
For: PETER CLARK & MARTHA ROSEN
13 WILLIAM STREET
SECTION: 123.05 BLOCK: 1 LOT: 44
Town of NORTH CASTLE, NEW YORK

FAR WORKSHEET




FIRST FLOOR:
 $AB = 12.42 \times 25.42 = 315.72$ OR 316 SQ. FT.
1ST. FLOOR TOTAL = 316 SQ. FT.



LOFT LEVEL (7' + HAEDROOM):
 $CD = 3.61 \times 10 = 36.1$ OR 37 SQ. FT.
 $EF = 5.17 \times 25.42 = 131.42$ OR 132 SQ. FT.
LOFT LEVEL TOTAL = 169 SQ. FT.

TOTAL = 316 + 169 = 485 SQ. FT.

 RICHAU
MUSTACATO
GRIPPI
ASSOCIATES

350 Theodore Fremd Ave.
Rye, New York 10580

ARCHITECTS
www.rmgarchitects.com

914-698-5589







GENERAL NOTES

ALL GENERAL CONSTRUCTION & ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND ALL CODES AND REGULATIONS OF THE TOWN OF NORTH CASTLE.

WORKMANSHIP SHALL BE FIRST CLASS IN EVERY RESPECT.

THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS AND INSPECTIONS AND APPROVALS AS REQUIRED. PERMIT FEES ARE TO BE PAID BY THE OWNER.

THE CONTRACTOR SHALL LAY OUT EACH STAGE OF THE WORK TO VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES, PRIOR TO BEGINNING SAID WORK.

THE CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING THE BID.

MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, SHALL BE INCLUDED IN THE WORK.

BUILDING SETBACKS ARE TO BE COMPUTED BY A STATE OF NEW YORK LICENSED SURVEYOR TO VERIFY CODE CONFORMANCE PRIOR TO BEGINNING ANY WORK. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF SETBACKS.

MIN. SOIL BEARING CAPACITY; 2 TONS P.S.F.; IN COMPLIANCE WITH SECTION 401 AND TABLE 401.4.1 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

MINIMUM COMPRESSIVE STRENGTHS OF CONCRETE USED ARE TO BE IN COMPLIANCE WITH TABLE 402.2 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS FOLLOWS:
 BASEMENT WALLS, FOUNDATION WALLS, FOOTINGS, INTERIOR SLABS ON GRADE (OTHER THAN GARAGE FLOOR SLAB), EXTERIOR AND OTHER WALLS EXPOSED TO THE WEATHER: 3000 PSI
 PORCHES, AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLAB: 3500 PSI.

ALL FOOTINGS MIN. 3'-6" BELOW GRADE OR TO SOLID ROCK.

MIN. 8" BETWEEN FINISH GRADE AND TOP OF FOUNDATION WALL.

FINISH GRADES TO SLOPE AWAY FROM BUILDING FOUNDATION.

PROVIDE WALL BRACING IN ACCORDANCE WITH SECTION R602.10 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

ALL FRAMING LUMBER TO BE DOUGLAS FIR #2.

PROVIDE 5/4" WOOD BRIDGING MAXIMUM 8 FT. O.C.

PROVIDE MIN. 2-2 x 4 POSTS UNDER EACH END OF HEADERS.

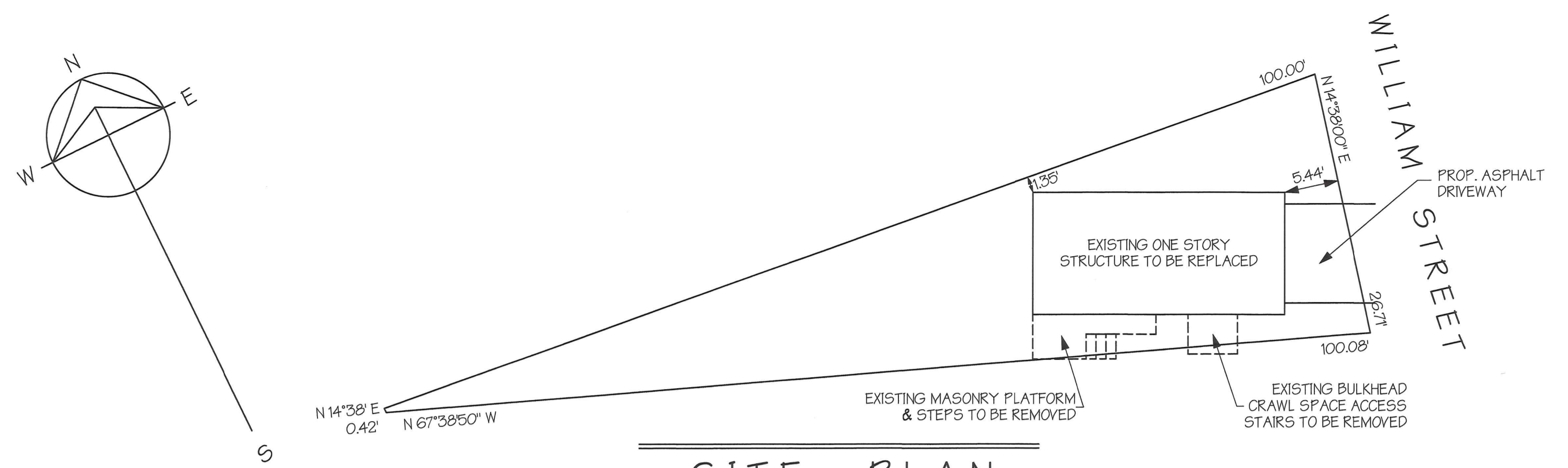
PROVIDE MIN. 2-2 x 10 HEADERS OVER OPENINGS IN BEARING WALLS.

ALL POSTS, BEAMS AND GIRDERS TO BE TAKEN TO SOLID FOUNDATION.

ALL WINDOWS TO BE ANDERSEN, WITH HIGH-PERFORMANCE LOW-E4 SUNSMART GLAZING.

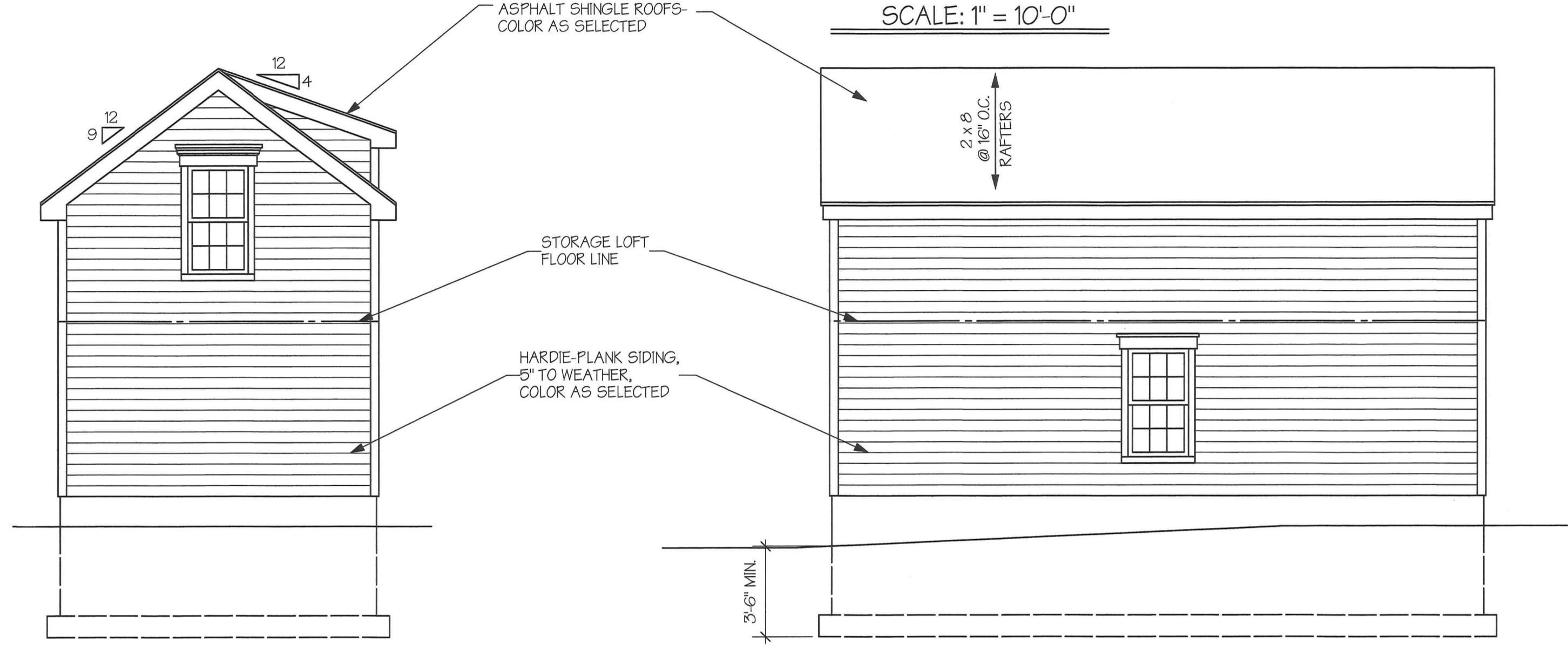
PROVIDE FLASHING AT ALL ROOF/WALL JUNCTURES, ROOFING INTERSECTIONS, VALLEYS AS REQUIRED, CAPS AT FLAT/PITCHED ROOF INTERSECTIONS, CHIMNEYS, EXHAUST CAPS, GRILLES, STACKS, LEDGERS, WINDOW HEADS, DOORS AND ALL OTHER APPLICABLE AREAS AS PER GENERALLY ACCEPTED STANDARDS.

PROVIDE CAULKING AT ALL APPLICABLE AREAS AS PER GENERALLY ACCEPTED STANDARDS AND PRODUCT MANUFACTURER'S INSTALLATION SPECIFICATIONS.



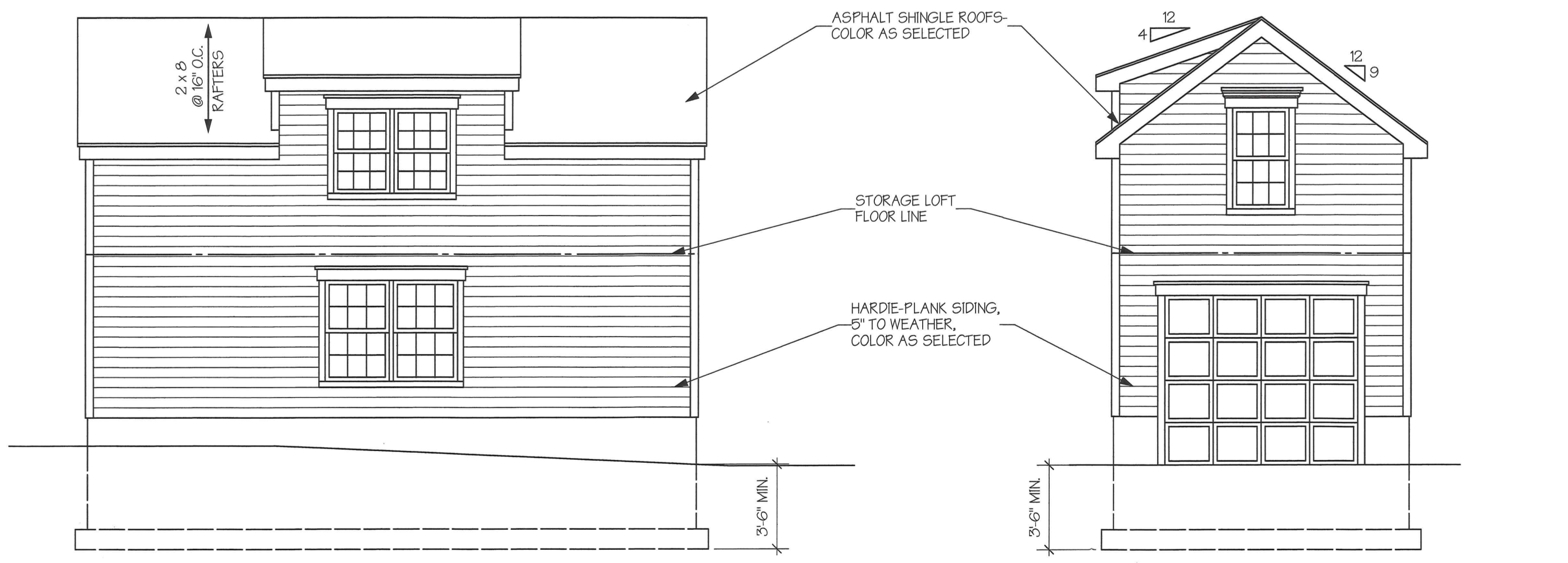
SITE PLAN

SCALE: 1" = 10'-0"



REAR ELEVATION

RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

FRONT ELEVATION

PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA									
SUBJECT TO DAMAGE FROM:									
GROUND-SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 LBS. PSF	100/110	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	7°F	YES	NO MAP NO. 3619C0251F PANEL NO. 0259F EFF. DATE: 9/28/07

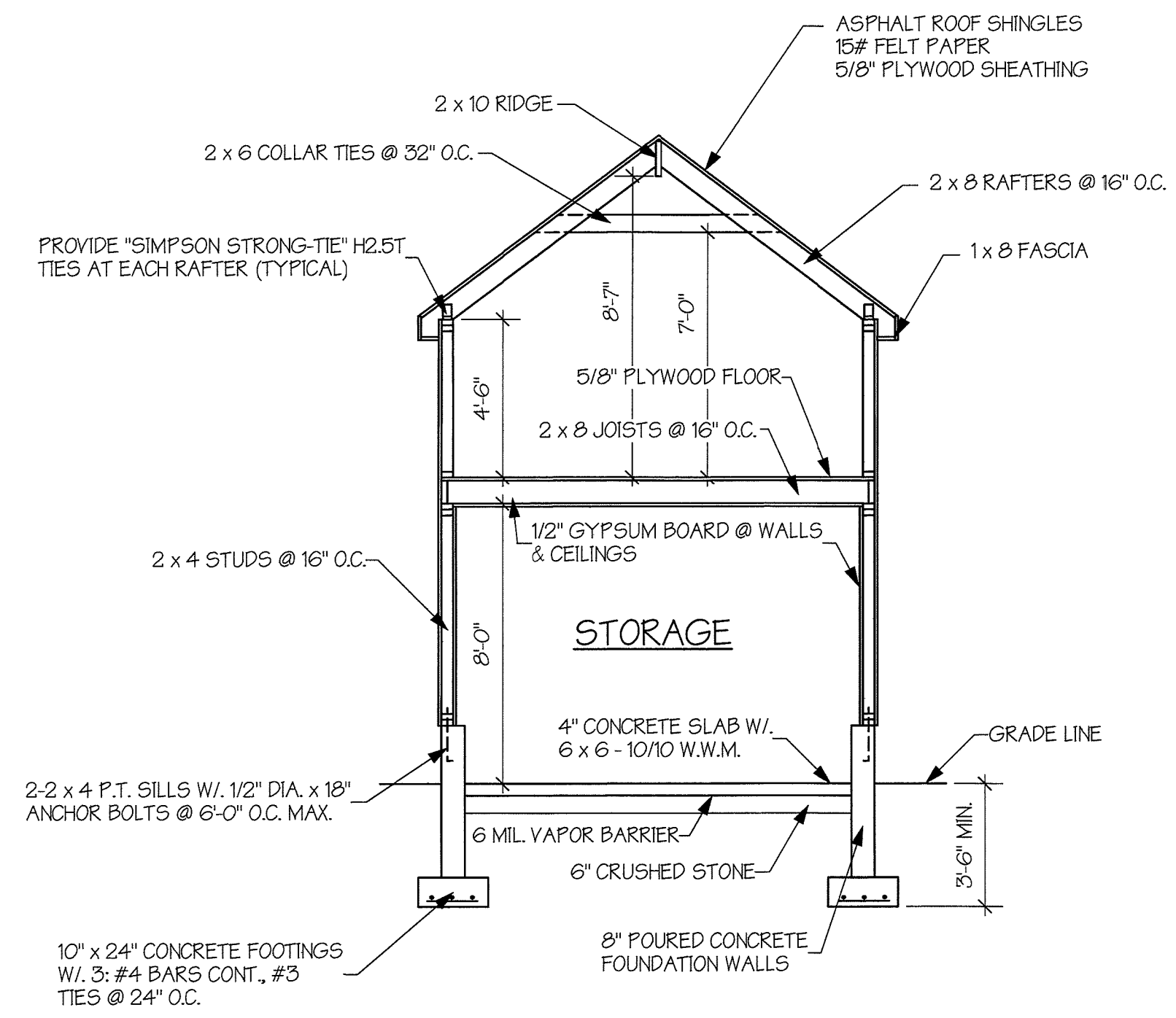
DESIGN LOADS USED TO SAFELY SUPPORT ALL LOADS INCLUDING, DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOR LOADS, SNOW LOADS, WIND LOADS AND SEISMIC LOADS, ARE TO BE IN COMPLIANCE WITH SECTION R301.1 AND TABLE R301.2(1) AND FIGURES R301.2(2), R301.2(3), R301.2(5)A, R301.2(5)B & R301.2(6) OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS FOLLOWS:

DESIGN LOADS (PER SQ. FT.):
 FLOOR: 30# LL/15# D.L.
 EXTERIOR WALLS: 15#



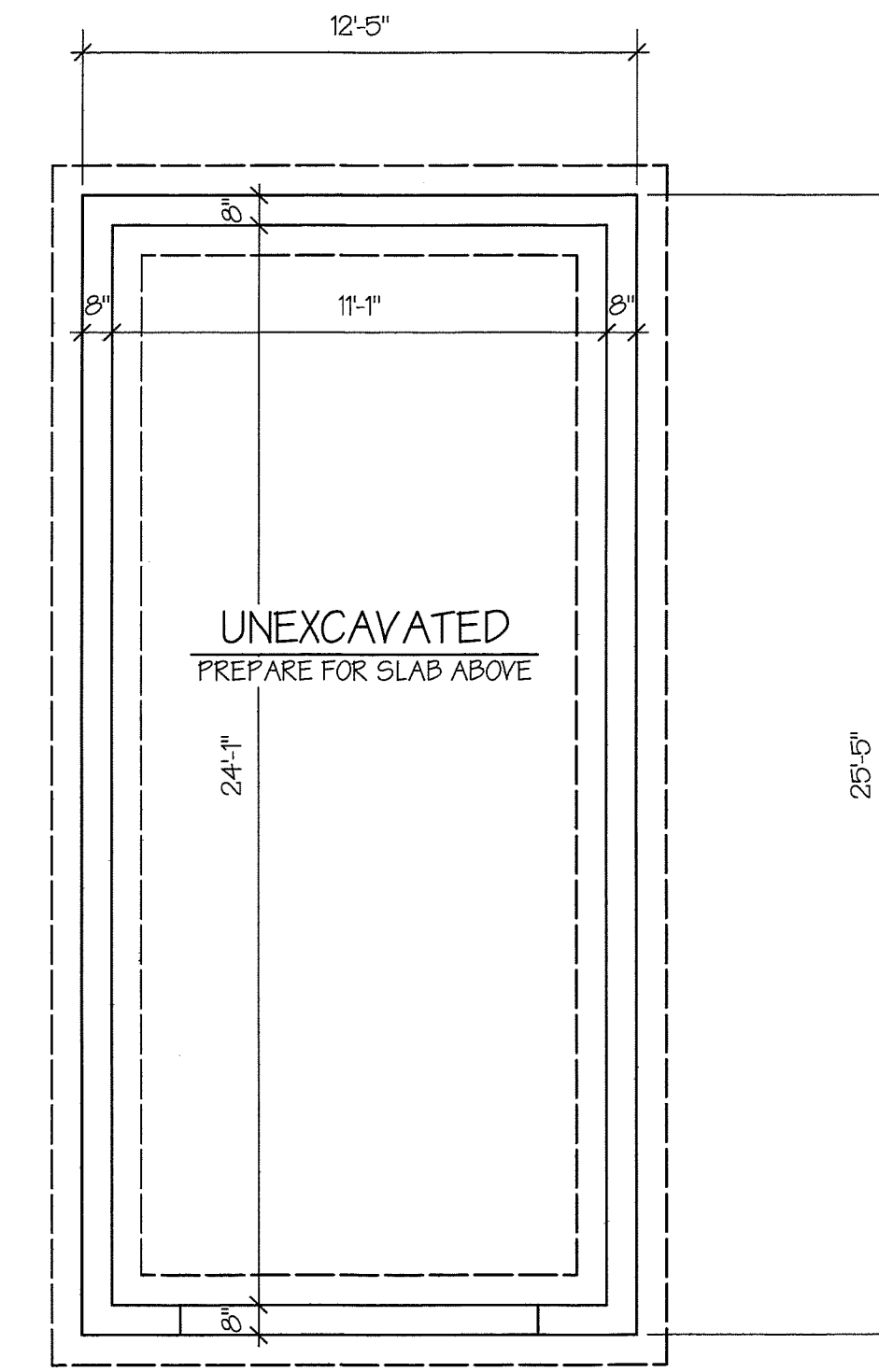
LOCATION MAP

REVISIONS:	A-1
For: PETER CLARK & MARTHA ROSEN 13 WILLIAM STREET SECTION: 123.05 BLOCK: 1 LOT: 44 Town of North Castle, New York	
JOB #: 21-32	
DATE: 10/4/21	
RICHAU MUSTACATO GRIPPI ASSOCIATES ARCHITECTS www.rmgarchitects.com	350 Theodore Fremd Ave. Rye, New York 10580 914-698-5589
COPYRIGHT 2021 RICHAU MUSTACATO GRIPPI ASSOCIATES ALL RIGHTS RESERVED	



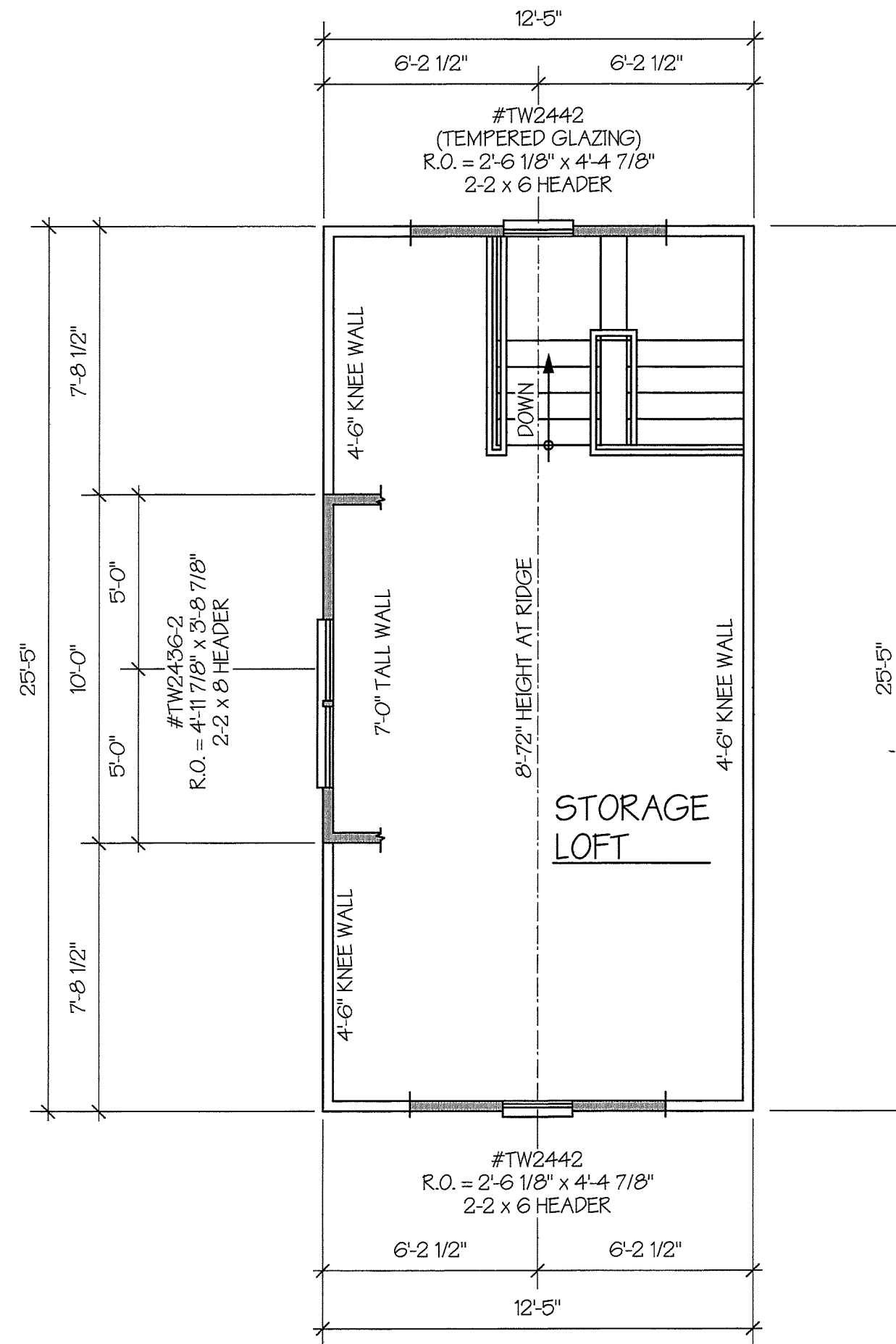
CROSS SECTION

SCALE: 1/4" = 1'-0"



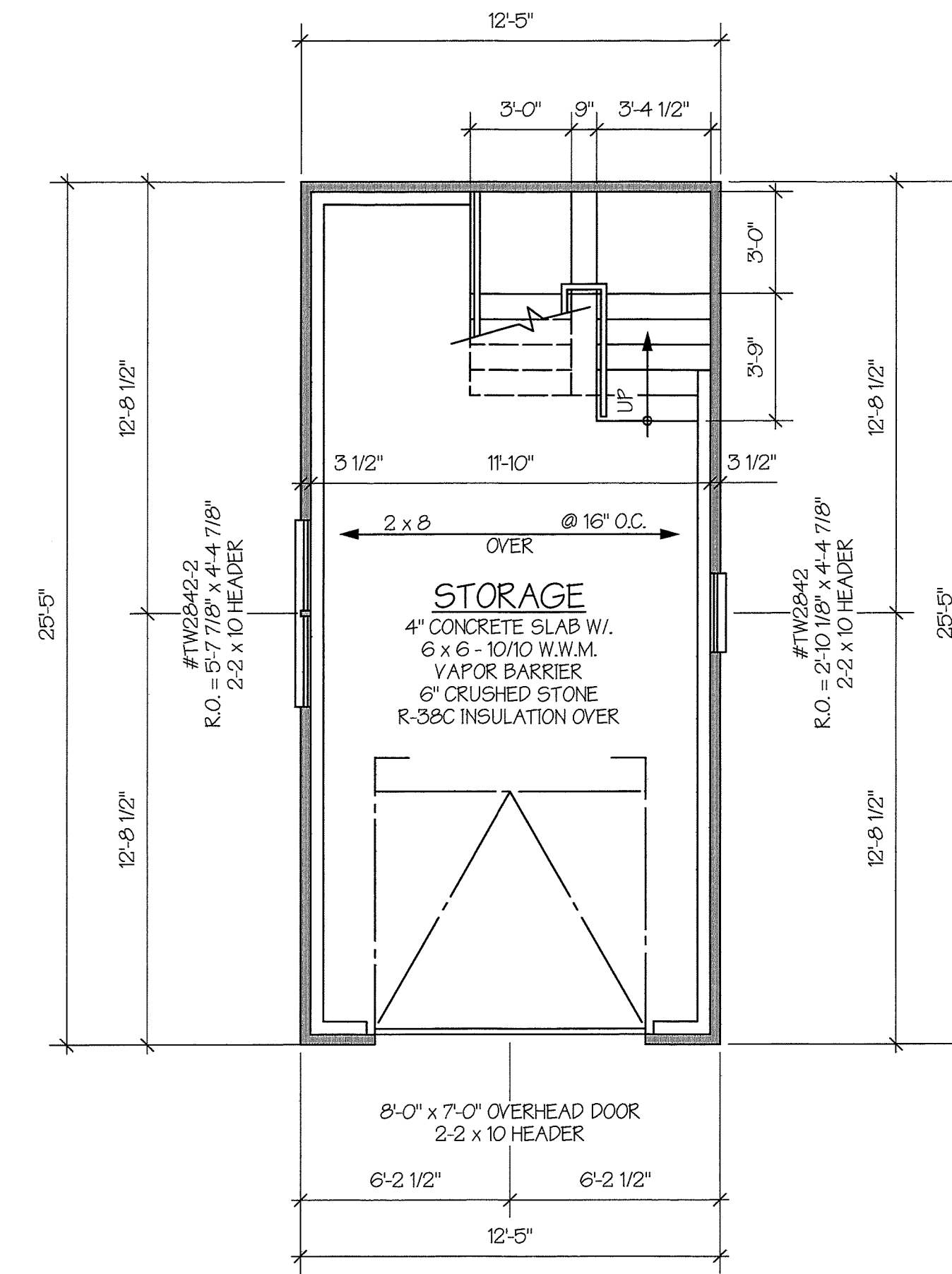
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PROPOSED LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

For: PETER CLARK & MARTHA ROSEN
13 WILLIAM STREET
SECTION: 123.05 BLOCK: 1 LOT: 44
Town of North Castle, New York

A-2

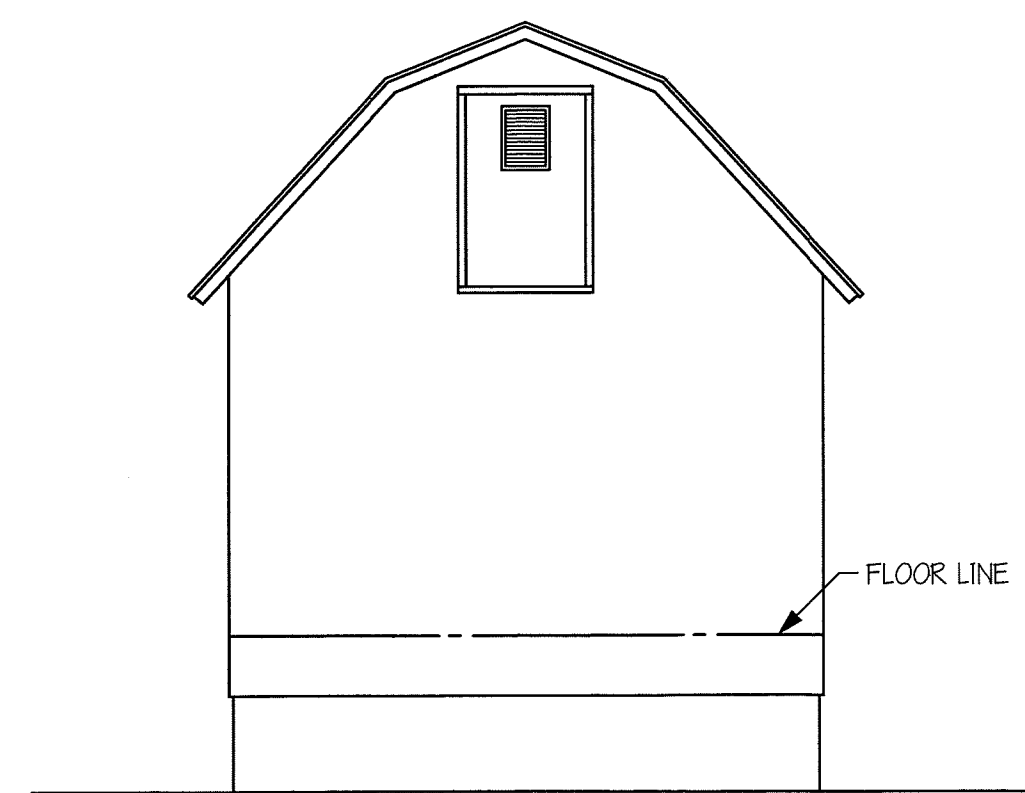
JOB #: 21-32

DATE: 10/4/21

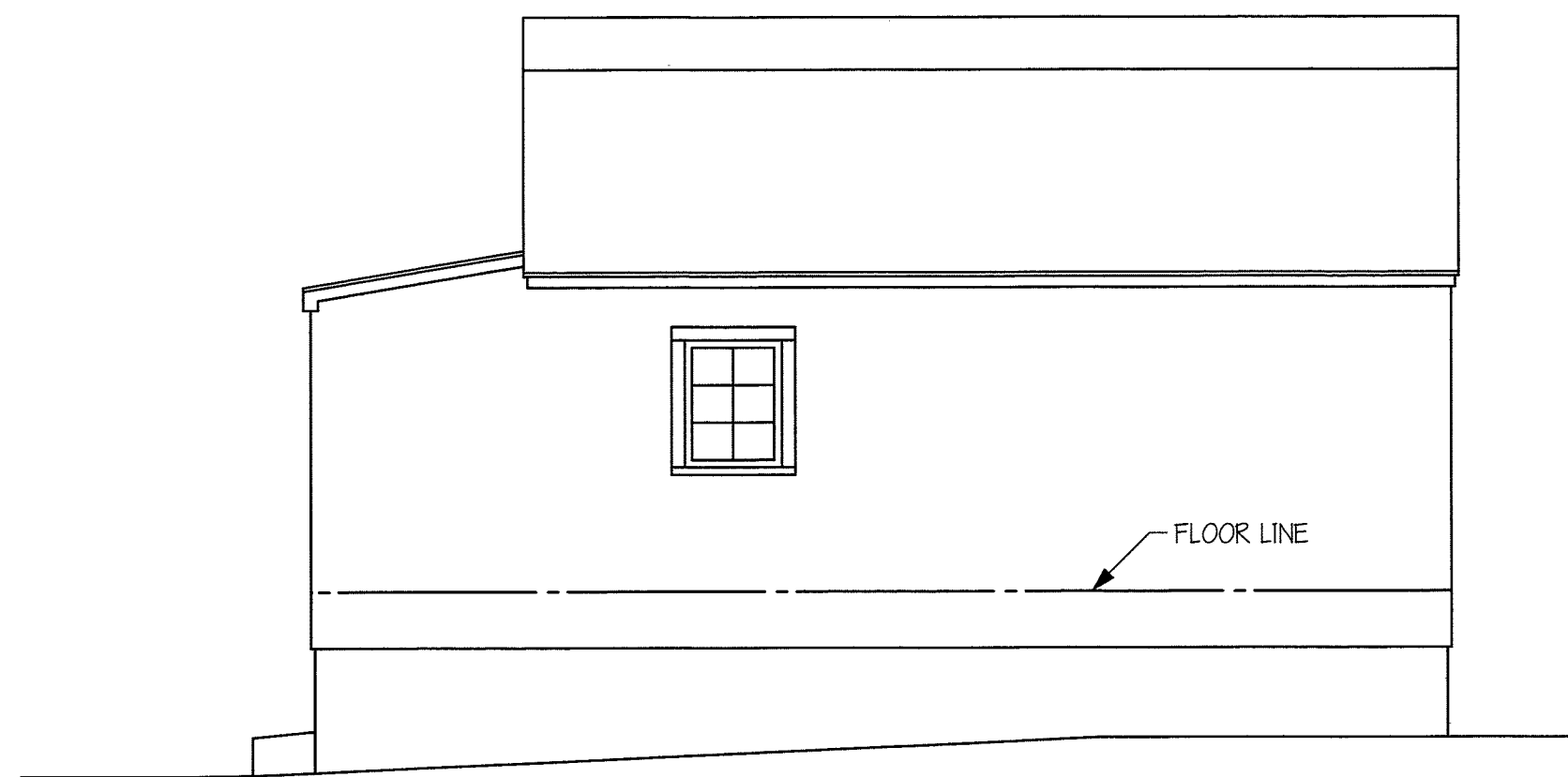
RICHAU MUSTACATO GRIPPI ASSOCIATES
350 Theodore Fremd Ave.
Rye, New York 10580
ARCHITECTS
www.rmgarchitects.com 914-698-5589

COPYRIGHT 2021
RICHAU MUSTACATO GRIPPI ASSOCIATES
ALL RIGHTS RESERVED

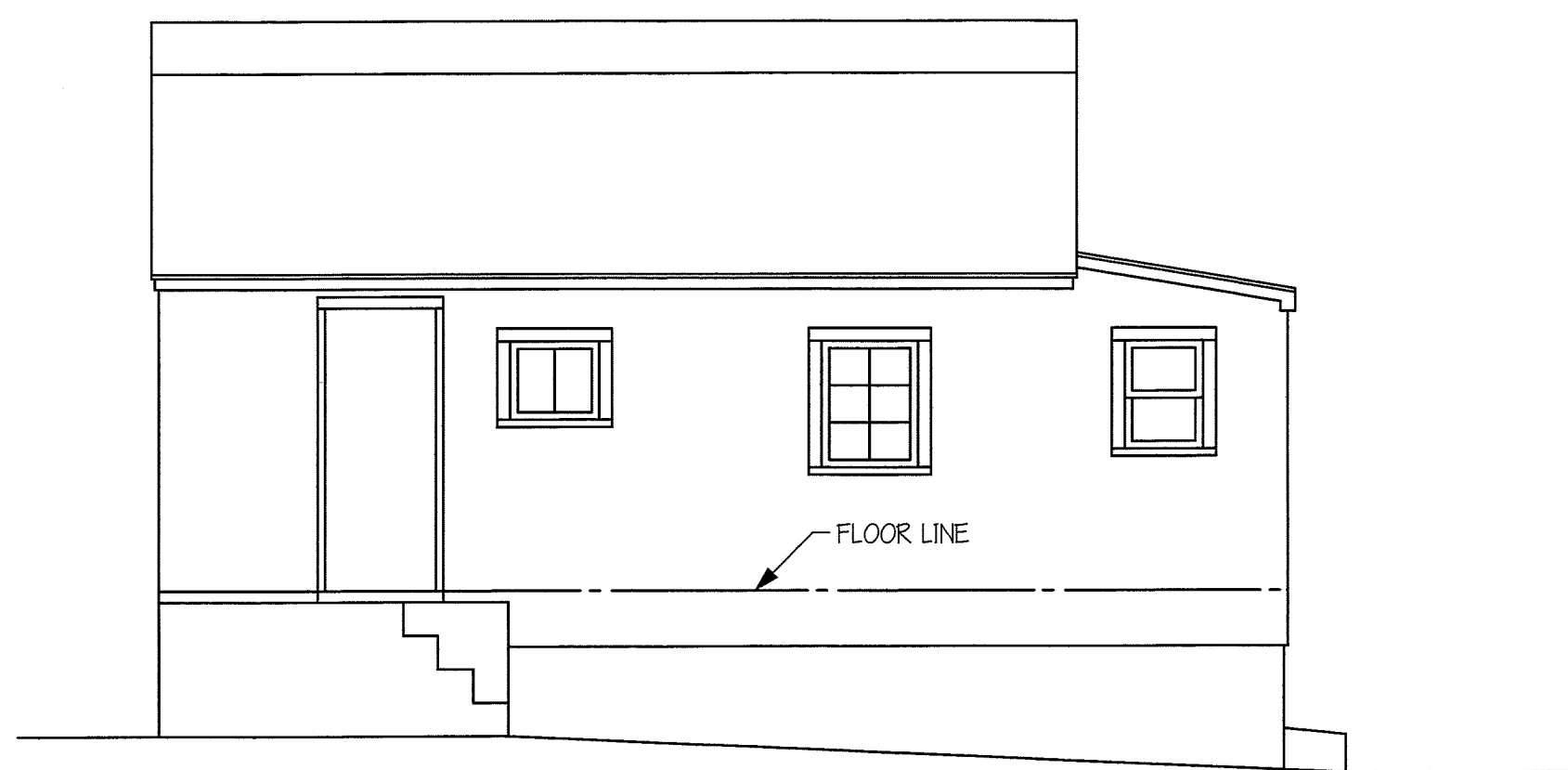




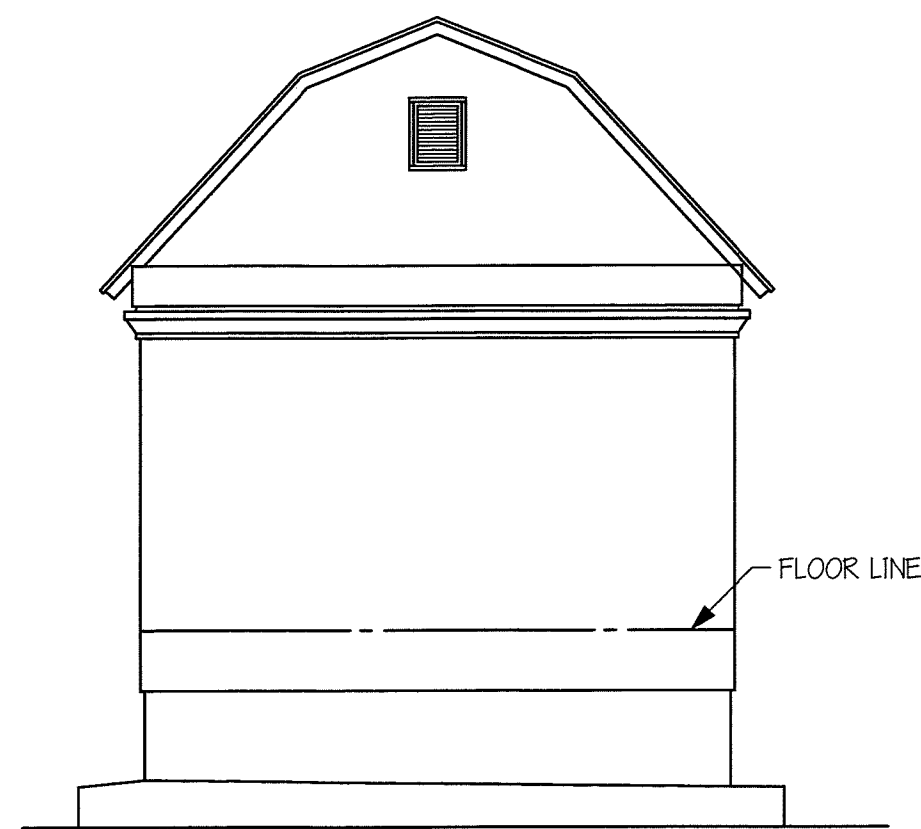
REAR ELEVATION



RIGHT SIDE ELEVATION



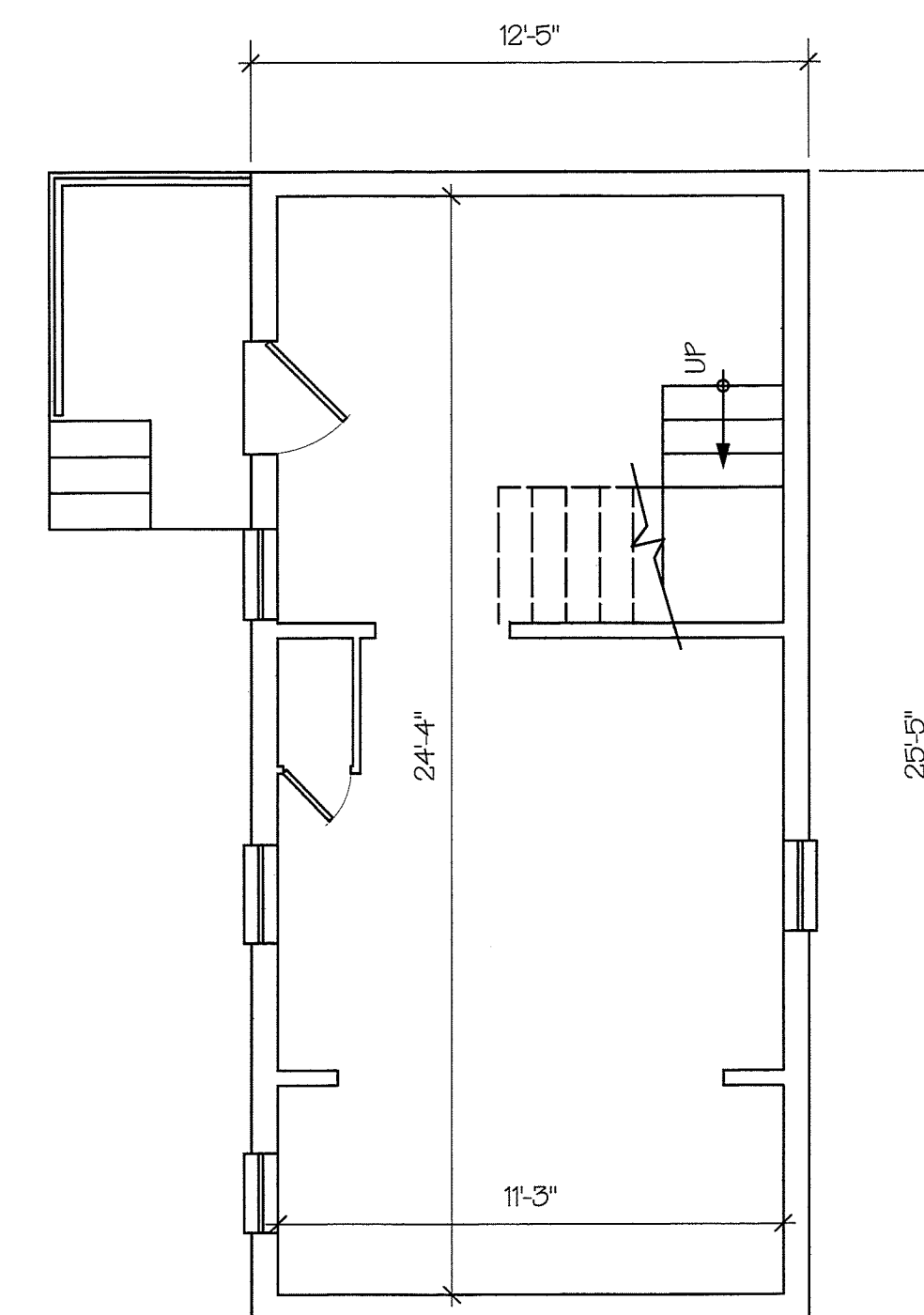
LEFT SIDE ELEVATION



FRONT ELEVATION

EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

A-3

For: PROPOSED STORAGE BUILDING
 PETER CLARK & MARTHA ROSEN
 13 WILLIAM STREET
 SECTION: 123.05 BLOCK: 1 LOT: 44
 Town of North Castle, New York

JOB #: 21-32

DATE: 10/4/21

Ring ARCHITECTS
 RICHAU MUSTACATO
 GRIPPI
 ASSOCIATES
 350 Theodore Fremd Ave.
 Rye, New York 10580
 www.rmgarchitects.com 914-698-5589

COPYRIGHT 2021
 RICHAU MUSTACATO GRIPPI
 ASSOCIATES
 ALL RIGHTS RESERVED

