



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 35 Edgar Rd

Section III- DESCRIPTION OF WORK:

Applicant is proposing a new swimming pool with patio areas and cabana. As the project is within the wetland buffer, the Applicant is also proposing approximately 4,000 square feet of mitigation planting areas. Setback variances will be required for the pool and cabana. The central portion of the rear yard is where the existing septic system is located.

Section III- CONTACT INFORMATION:

APPLICANT: Brett Allen c/o Harfenist Kraut & Perlstein LLP

ADDRESS: 2975 Westchester Avenue - Suite 415, Purchase, NY 10577

PHONE: 914-701-0800 MOBILE: _____ EMAIL: Inapior@hkplaw.com

PROPERTY OWNER: Same as above

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: Conte & Conte LLC - John Conte

ADDRESS: 28 Langhorne Lane, Greenwich, CT 06831

PHONE: 203-869-1400 MOBILE: _____

EMAIL: john@conteandconte.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 109.01-1-15



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Allen Residence Date: 10/15/21
35 Edgar Road
 Tax Map Designation or Proposed Lot No.: tax ID 109.01-1-15

Gross Lot Coverage

- | | | |
|-----|---|------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>32,199 sf</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>6,420 sf</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | <u>1,562 sf</u> |
| | Distance principal home is beyond minimum front yard setback
<u>na</u> x 10 = <u>na</u> | <u>na</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>7,982 sf</u> |
| 5. | Amount of lot area covered by principal building :
<u>1,800</u> existing + <u>0</u> proposed = | <u>1,800 sf</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>807 sf</u> existing + <u>110</u> proposed = (shed coming down) | <u>917 sf</u> |
| 7. | Amount of lot area covered by decks :
_____ existing + _____ proposed = | _____ |
| 8. | Amount of lot area covered by porches :
<u>207</u> existing + _____ proposed = | <u>207 sf</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>2,879</u> existing + _____ proposed = | <u>2,879 sf</u> |
| 10. | Amount of lot area covered by terraces :
<u>876</u> existing + <u>540</u> proposed = | <u>1,416 sf</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>62</u> existing + <u>667</u> proposed = | <u>753 sf</u> |
| 12. | Amount of lot area covered by all other structures :
_____ existing + _____ proposed = | _____ |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>7,972</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and S



Preparing Worksheet

10/15/21

Date



GENERAL NOTES:

- This set of drawings is intended to depict design elements associated with this project and shall be coordinated with all other drawings prepared for this project by Conte & Conte, LLC (C&C) and/or other professionals developing plans for this project. For information regarding these and other documents, consult with the Construction Manager or Property Owner.
- All construction shall comply with local, state and federal regulatory requirements and all applicable building codes. The contractor is responsible to be familiar with such codes and shall not perform any work that is not in compliance.
- Contractor shall obtain required permits and approvals from all applicable jurisdictional agencies prior to commencing work. No construction may begin until all necessary permits are obtained and posted.
- Contractor shall comply with all requirements and conditions set forth by applicable regulatory agencies and authorities. Contractor shall be responsible for completing and/or confirming compliance with all such conditions and maintaining compliance throughout the project.
- Application for any required certificate of occupancy, release of bonds and/or final approvals from above agencies shall be prepared and obtained by contractor upon completion of their work.
- This project is intended to conform to all local, state and federal codes applicable to the work being performed. All construction shall be governed by said codes.
- Contractor shall follow all applicable guidelines for soil, erosion and sediment control.
- Prior to the start of any excavation, contractor shall contact the local governing "Call Before You Dig" utility service for a full site mark-out of all underground utilities in the work area.
- All work involving the placement, relocation or modification of buried utilities shall only be done in accordance with the respective utility company. Without such prior notification, all liability, repairs or fines resulting from damage to such utilities is at the full responsibility of the contractor.
- Contractor shall field verify all dimensions prior to construction. Contractor shall also field verify benchmark grades and verify coordination with surveyor, engineer, architect and landscape architects' plans prior to construction. Contractor shall report any discrepancies to C&C before proceeding further with construction.
- Contractor shall follow all required OSHA compliance standards and building code regulations.
- Contractor shall conduct and maintain all proper safety procedures during the course of their work and take necessary safety precautions to prevent injuries in and around construction areas and keep the work area safe.
- Contractor shall take necessary measures to keep unauthorized personnel away from work areas. This shall include but is not limited to temporary railings, barricades, signage, fall protection, and other measures as required.
- Contractor shall obtain and maintain throughout the project, all required insurance policies including but not limited to worker's compensation, builder's liability and general liability to properly protect the owner and subject property.
- Contractor shall take all necessary precautions to prevent dust, mud, rubbish and construction debris from accumulating in and around work areas and those areas immediately affected by it, including but not limited to adjacent inhabited areas, community streets and neighboring properties.
- In addition to these drawings this project is governed by specifications that relate to the work. All work must be done in accordance with these specifications. Contractor shall notify C&C in the event of any discrepancies between the plans and specifications for clarification prior to continuing with work in question.
- The design team may make changes to this design, its components and/or details during the course of the project. It is the responsibility of the contractor to verify that the plans being used for construction are the most current approved drawings before commencing with the layout and/or construction of the project or any portion of project components.
- The contractor and/or sub-contractors are responsible for the construction of the project and its parts. C&C is not responsible for construction, sequencing, implementation or the acts and/or omissions of any contractor, sub-contractors or suppliers of the project. C&C is not responsible for any product or material defects used by the contractor or sub-contractors in the construction of the project nor makes any warranties or endorsements of such.
- The methods, techniques and procedures employed by the contractor to implement these plans are the sole responsibility of the contractor and/or sub-contractor. Job site phasing, material storage, material handling and material placement and safekeeping during the course of work are the responsibility of the contractor and/or sub-contractors.
- No changes or deviations from these plans shall be made without the written approval of C&C. Prior to commencement of construction, the contractor shall verify existing conditions, and conduct tests to ascertain if the drawing's assumptions are correct. Any discrepancies must be immediately reported to C&C. Any such construction performed without prior resolution shall be at the contractor's risk.
- The information contained in these drawings is subject to change as the project progresses. Design modifications may occur at any time during any phase of the project.
- The contractor shall verify that the plans being used to direct the work are the most current approved drawings before finalizing bids, commencing with layout and/or commencing with construction of project.
- The contractor shall report job progress to C&C weekly with photographs and percent complete estimates.

ALL INQUIRES OR COMMENTS SHOULD BE DIRECTED TO THE OFFICE OF:

CONTE & CONTE, LLC
28 LANGHORNE LANE
GREENWICH, CT 06830
(203) 869-1400
WWW.CONTEANDCONTE.COM

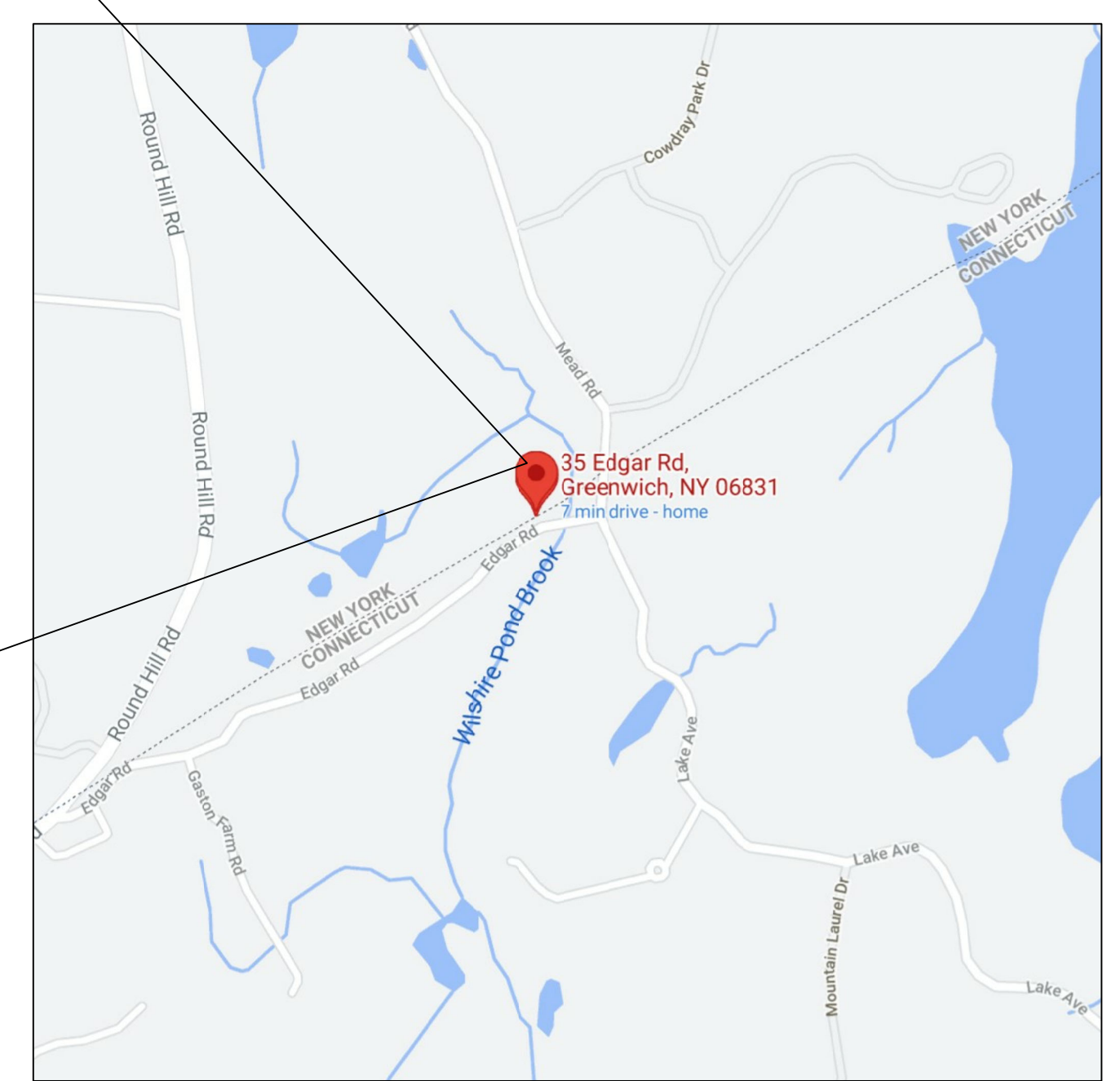
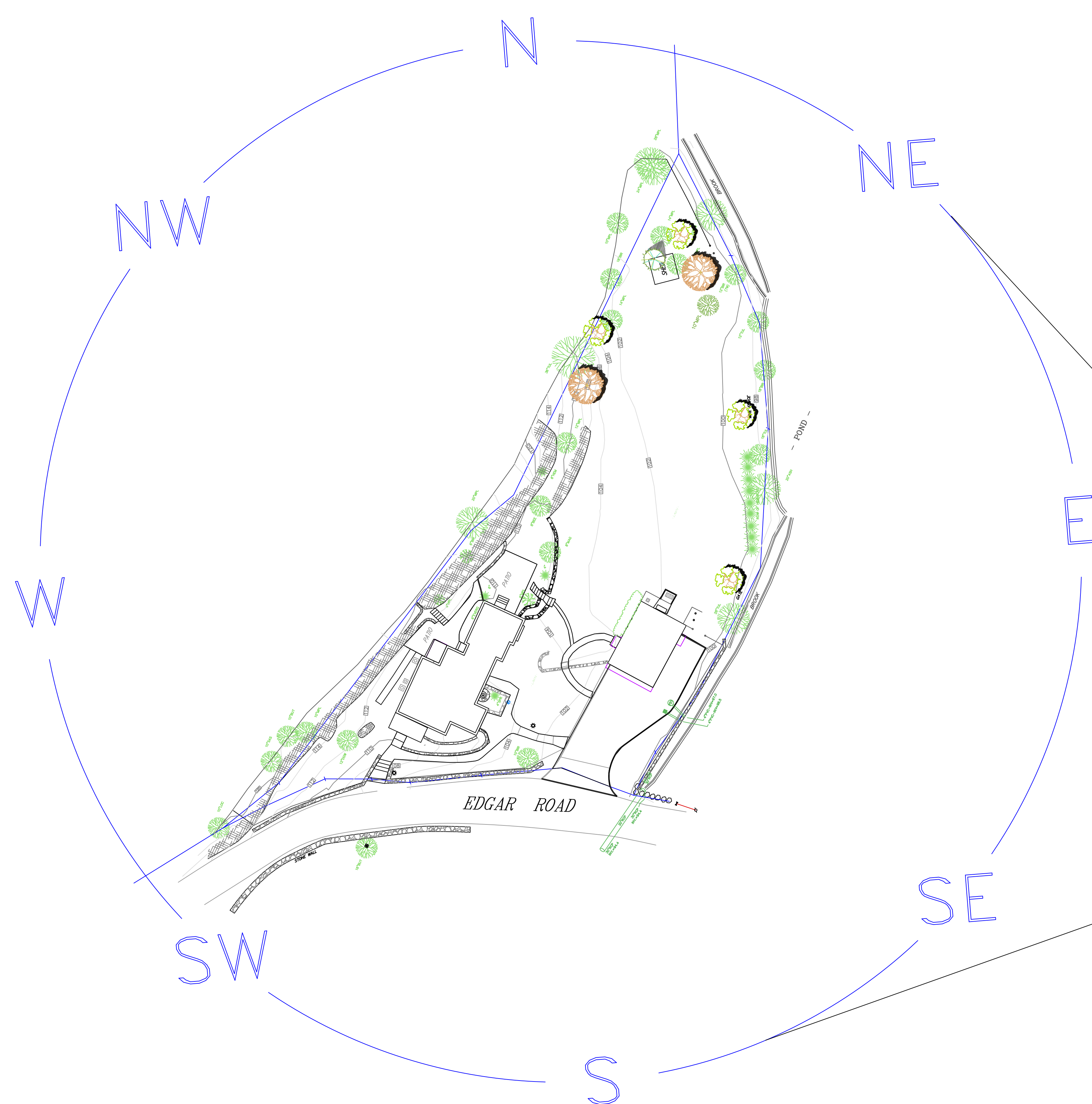
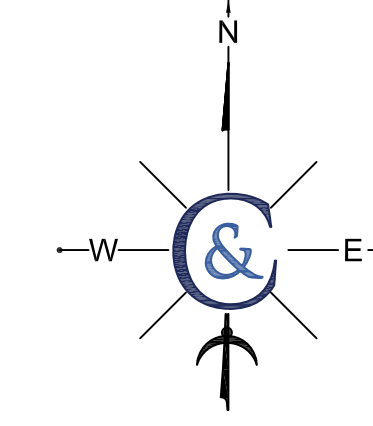
ALLEN RESIDENCE

35 EDGAR ROAD

NORTH CASTLE, NY

Plan Set Issued On: 10/15/2021

Milestone: PERMIT



PROJECT LOCATION

Scale: NTS



Connecticut 1-800-925-5425
New York 1-800-962-7862
AD: Contractor shall notify Dig Alert
operator at least 2 business days, but
not more than 14 calendar days, prior
to beginning work. Dig alerts shall not
marked-out before any work is to begin.

NOT FOR CONSTRUCTION

SHEET LIST TABLE

SHEET	DESCRIPTION
L-0	TITLE SHEET AND EXISTING CONDITIONS
L-1	PROPOSED LANDSCAPE OVERVIEW
L-2	EXISTING PROPOSED OVERLAY
L-3	MITIGATION PLANTING PLAN
L-4	LOT COVERAGE PLAN

& CONTE
just imagine
CONTE & CONTE, LLC
LANDSCAPE ARCHITECTURE | ENGINEERING
28 Langhorne Lane, Greenwich CT 06831
T: 203.869.1400
ConteAndConte.com

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO C&C. CONTRACTOR SHALL ONLY WORK FROM ANNOTATED, FIGURED, DIMENSION DRAWINGS UNLESS OTHERWISE DIRECTED BY C&C.

Client & Project:

ALLEN RESIDENCE
35 EDGAR ROAD
NORTH CASTLE, NY

No	DATE	REVISION

Seal & Signature:



Sheet title:
TITLE SHEET AND EXISTING CONDITIONS

Drawing No. **L-0**

Issued: XXXX/XXXX | By: JRC

Scale: **1"=30'**

This sheet may not be used individually for construction without reference to the entire set of drawings and specifications.

Project #: 2021-05-10-1

01 SITE OVERVIEW
Scale: 1"=30'

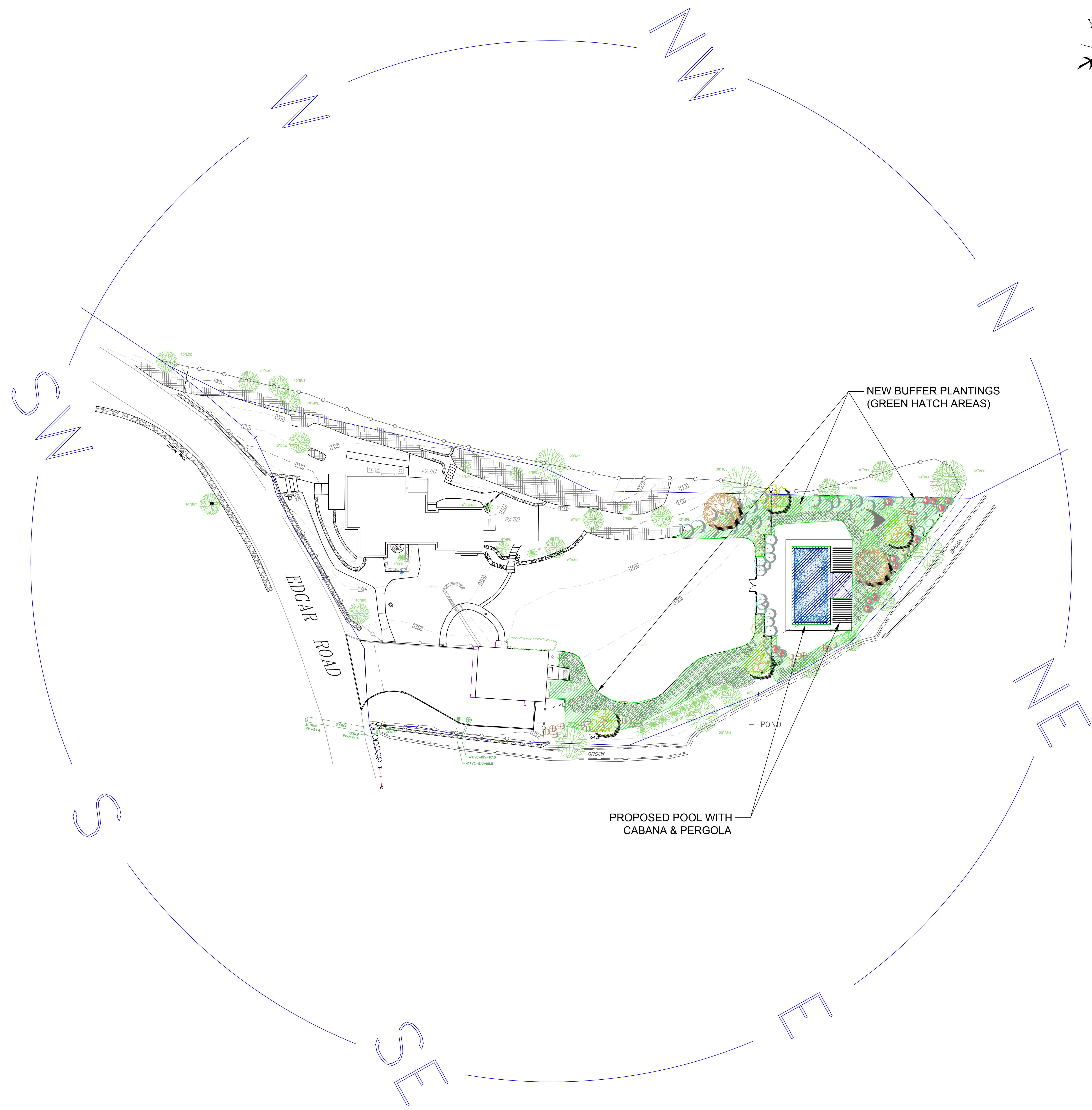
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- PROJECT NOTES:
1. ADD TO EXISTING DRIVEWAY AS SHOWN ON SHEET L-2
 2. REMOVE SECTIONS OF WALL, TREES AND WALKWAYS SHOWN IN RED ON SHEET L-2
 3. RETROFIT EXISTING WALKS AND TERRACES TO NEW DESIGN AS SHOWN
 4. CONSTRUCT NEW SWIMMING POOL AND PERGOLA
 5. PROVIDE MITIGATION PLANTING AREA.
 6. GRADE AND SEED - NO MAJOR GRADING IS REQUIRED. ALL DISTURBED AREAS SHALL BE GRADED AND SEEDED TO BE LEFT IN CLEAN USEABLE LANDSCAPED CONDITION UPON COMPLETION OF PROJECT



01 PROPOSED LANDSCAPE PLAN
Scale: 1"=20'

NOT FOR CONSTRUCTION

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Client & Project:

**ALLEN RESIDENCE
35 EDGARR ROAD
NORTH CASTLE, NY**

No	DATE	REVISION

Seal & Signature:

Sheet title:
PROPOSED LANDSCAPE OVERVIEW

Drawing No.
L-1

Issued: 10/15/21 | By: JRC
Scale: 1"=20'

This sheet may not be used individually for construction without reference to the entire set of drawings and specifications.
Project #: 2021-05-10-1

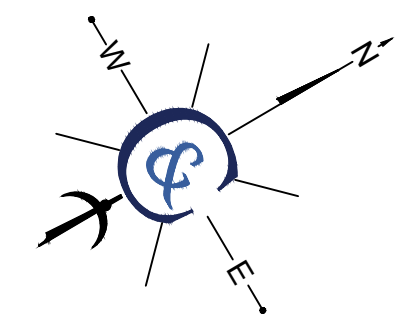
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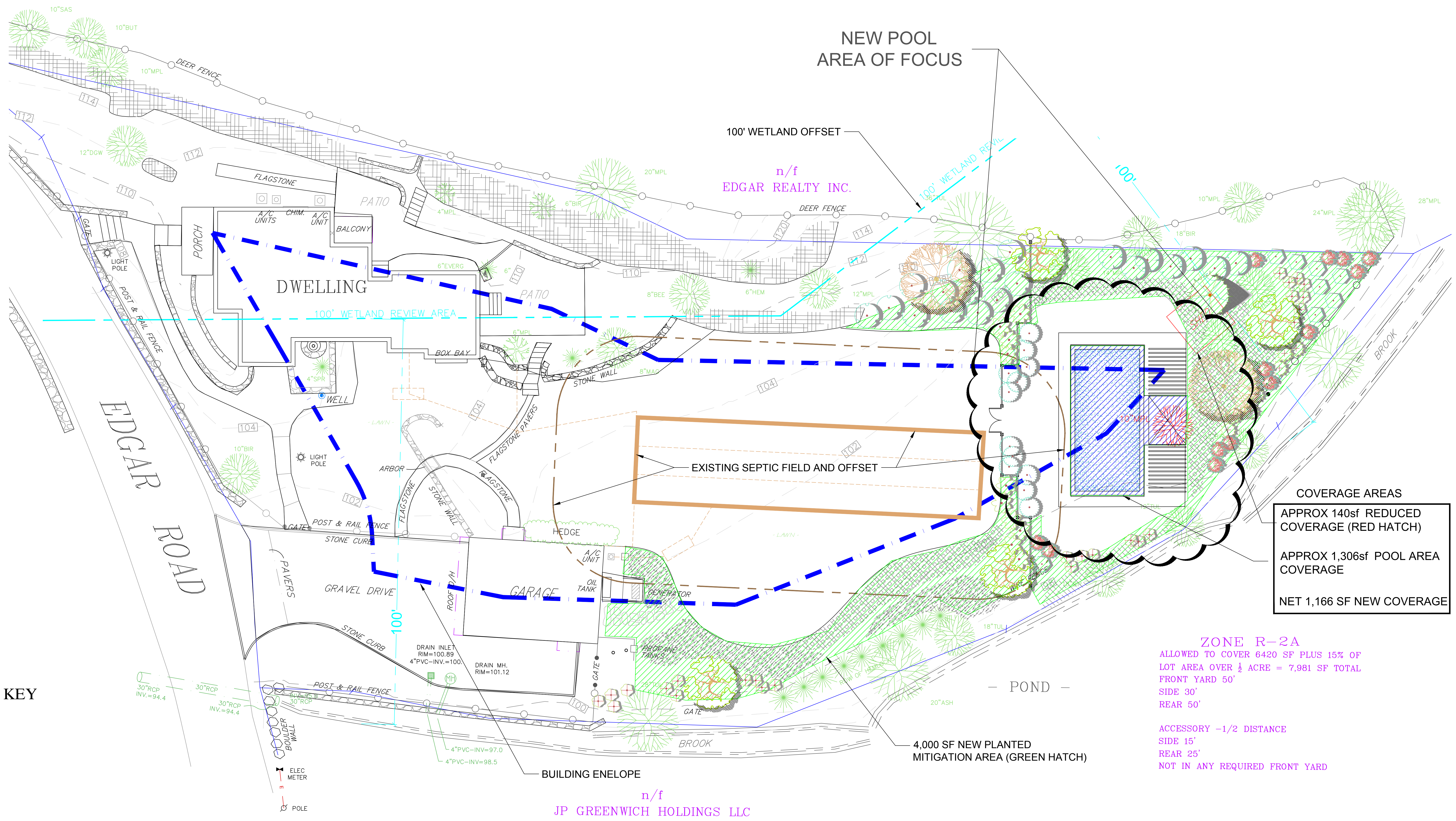
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NORTH CASTLE, NY



COVERAGE AREAS

- APPROX 140sf REDUCED COVERAGE (RED HATCH)
- APPROX 1,306sf POOL AREA COVERAGE
- NET 1,166 SF NEW COVERAGE

ZONE R-2A
ALLOWED TO COVER 6420 SF PLUS 15% OF LOT AREA OVER 1/2 ACRE = 7,981 SF TOTAL
FRONT YARD 50'
SIDE 30'
REAR 50'

ACCESSORY - 1/2 DISTANCE
SIDE 15'
REAR 25'
NOT IN ANY REQUIRED FRONT YARD

4,000 SF NEW PLANTED MITIGATION AREA (GREEN HATCH)

KEY

EXISTING SEPTIC

COVERAGE AREAS HATCHED IN VARIOUS COLORS

NEW MITIGATION PLANTING AREAS IN GREEN

100' WETLAND REVIEW AREA SETBACK

BUILDING ENVELOPE

01 SITE OVERVIEW
Scale: 1" = 10'

No	DATE	REVISION

Seal & Signatures

Sheet title:
SITE FEATURES PLAN

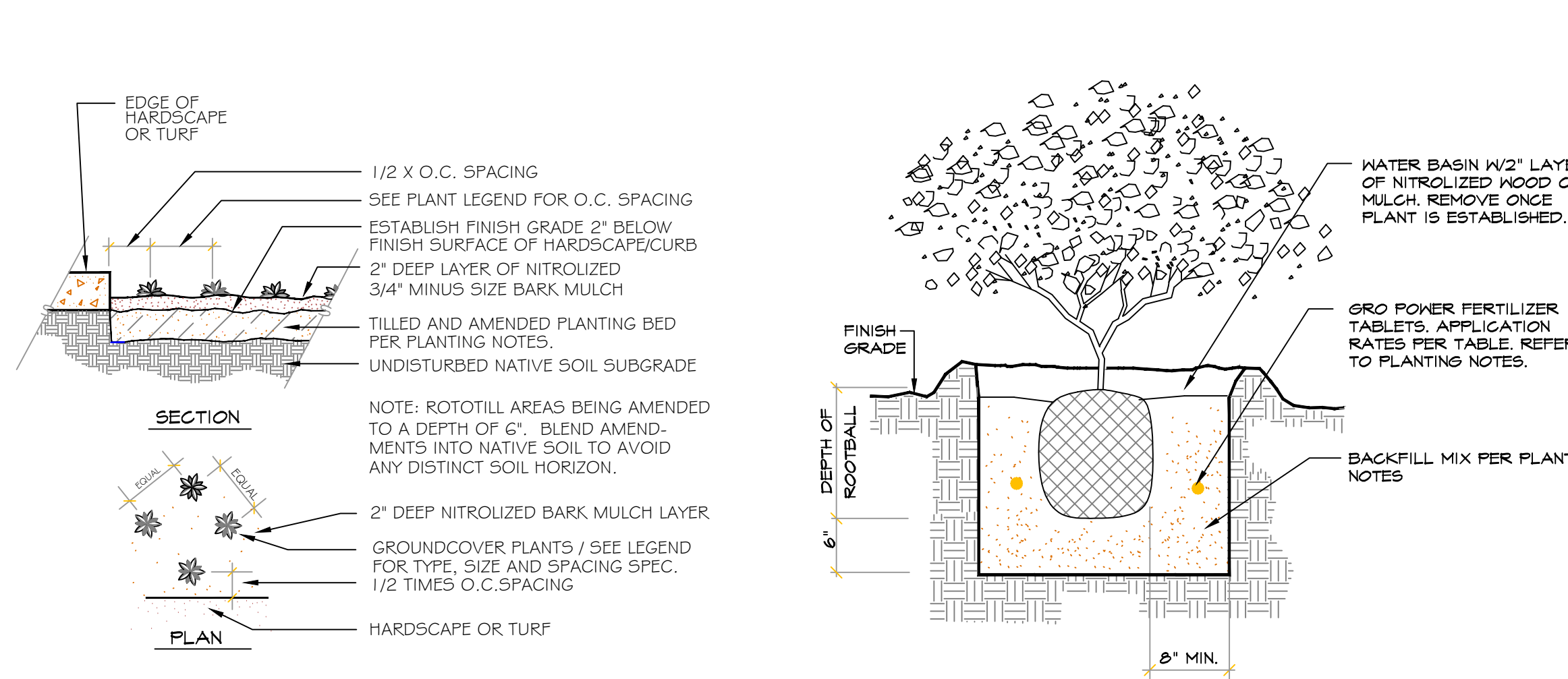
Drawing No.
L-2

Issued: 10/15/21 By: JRC
Scale: 1" = 10'

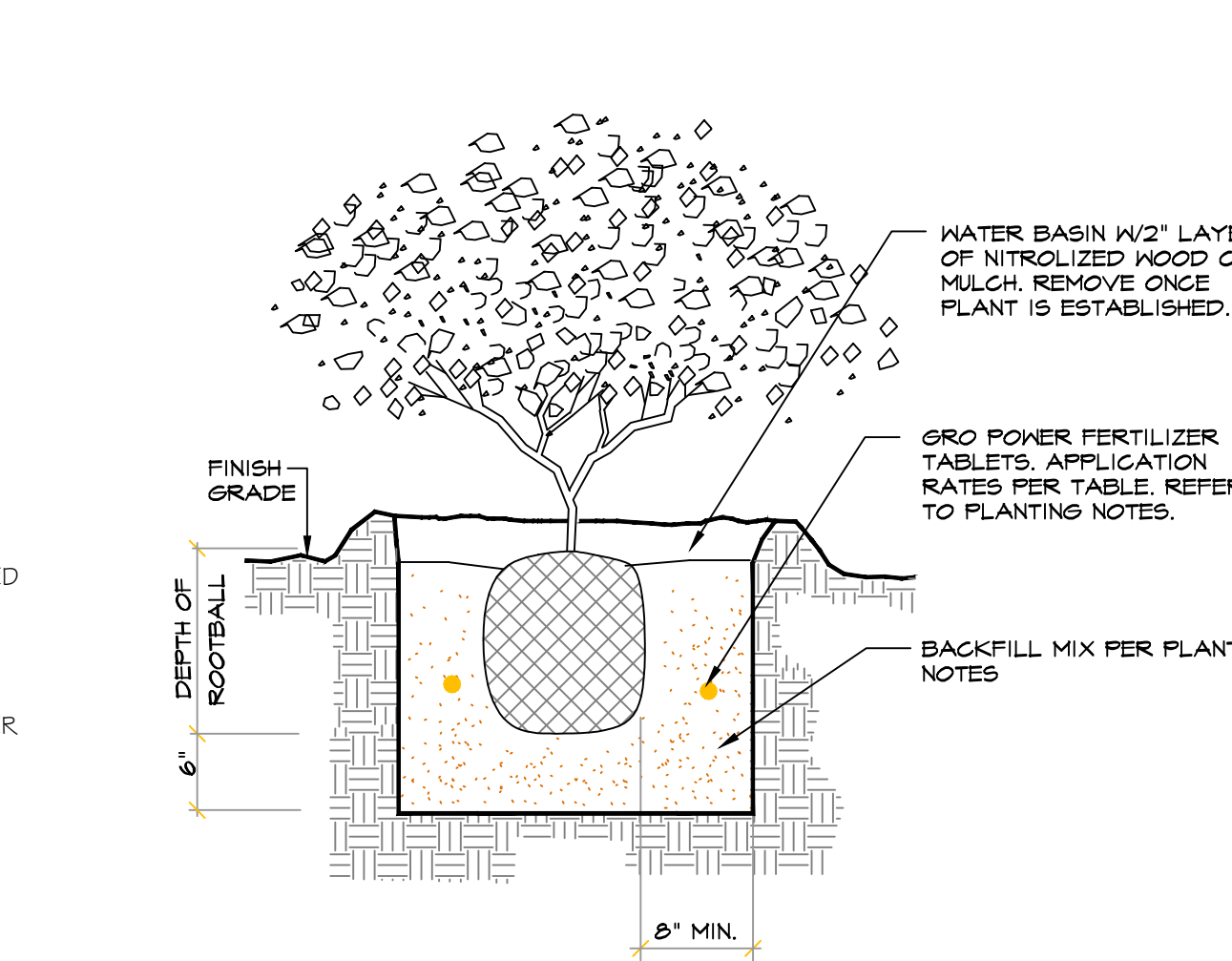
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NOT FOR CONSTRUCTION

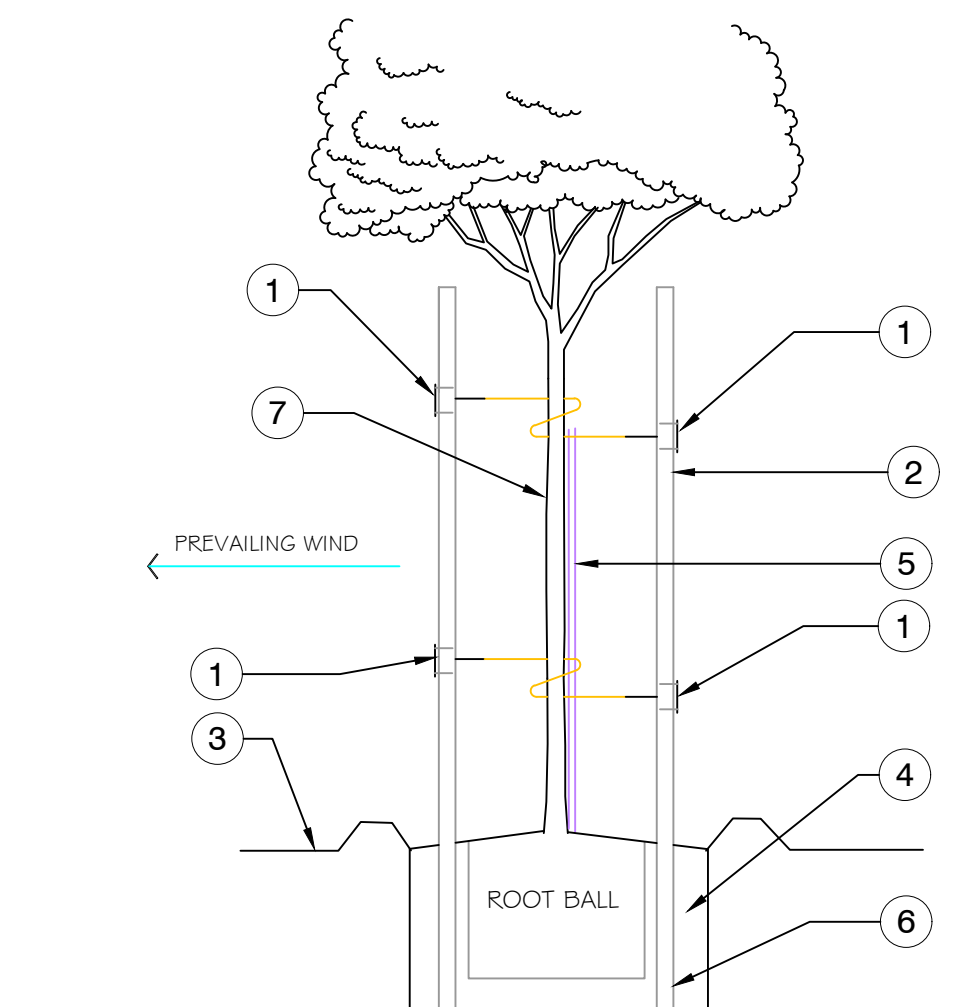
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1 GROUNDCOVER SPACING
NTS



2 SHRUB PLANTING DETAIL
NTS

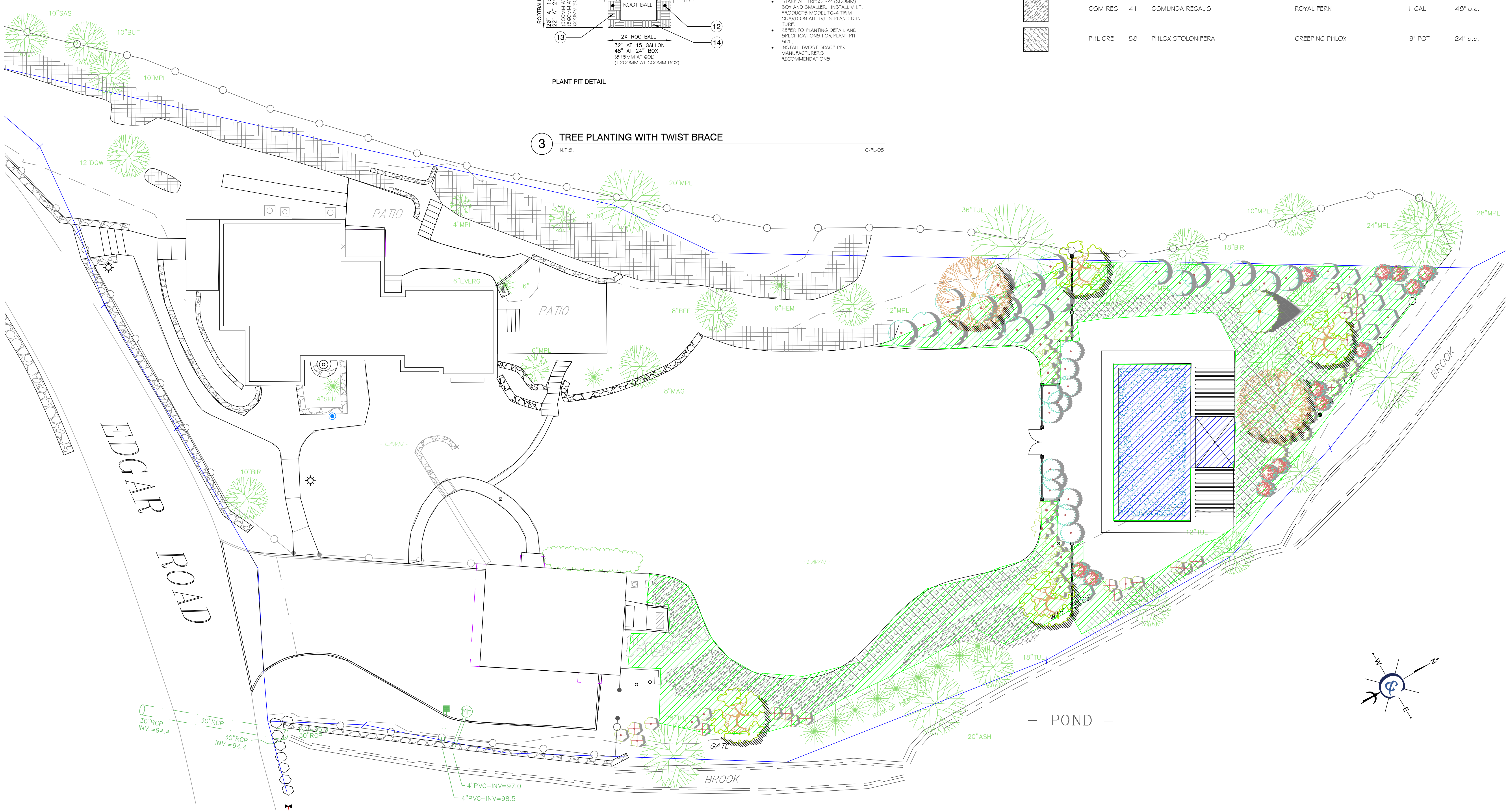


3 TREE PLANTING WITH TWIST BRACE
NTS

- 1 V.I.T. TWIST BRACE - SECURE TO EACH POLE WITH TWO (2) GALVANIZED NAILS.
- 2 2" (50MM) DIAMETER LODGE POLE PINE TREE STAKE.
- 3 FINISHED GRADE.
- 4 BACKFILL AS PER PLANTING DETAIL.
- 5 REMOVE NURSERY STAKE BY THE END OF MAINTENANCE.
- 6 AVOID DAMAGE TO THE ROOT BALL WITH THE SUPPORT STAKES.
- 7 TREE AS SPECIFIED.
- 8 SET ROOTBALL CROWN 1 1/2" (38MM) HIGHER THAN THE SURROUNDING FINISHED GRADE. 3/4\"/>
- 9 KEEP TURF CLEAR FOR A 18" (450MM) RADIUS CIRCLE AROUND THE TREE MULCH WITH A 3/4" (19MM) THICK LAYER OF SHREDDED BARK.
- 10 KEEP MULCH 6" TO 8" (150-200MM) FROM BASE OF TREE.
- 11 4" (100MM) HIGH WATER WELL AT SHRUB AREAS.
- 12 PLANT TABLETS AS NOTED OR SPECIFIED.
- 13 BACKFILL MIX AS NOTED OR SPECIFIED.
- 14 NATIVE SOIL MIX FIRMLY COMPACTED.
- 16 RECESS TURF AREA 1" (25MM) TO ALLOW FOR MULCH.
- 17 MULCH WATER WELL AREA TO 3" (75MM) DEPTH.

- NOTES:**
- STAKE ALL TREES 24" (600MM) BOX AND SMALLER. INSTALL V.I.T. PRODUCTS MODEL TG-4 TRIM GUARD ON ALL TREES PLANTED IN TURF.
 - REFER TO PLANTING DETAIL AND SPECIFICATIONS FOR PLANT PIT SIZE.
 - INSTALL TWIST BRACE PER MANUFACTURER'S RECOMMENDATIONS.

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	ACE RED	2	ACER RUBRUM	RED MAPLE	2.5'-3" CAL	
	COR FLO	4	CORNUS FLORIDA	EASTERN DOGWOOD	3.5'-4" CAL	
	FIN WHI	1	PINUS STROBUS	WHITE PINE	8'-10'	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AES PVF	13	AESCLULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	42"-48"	
	CEA AME	26	CEANTHUS AMERICANUS	NEW JERSEY TEA	2 GAL	
	CLE ALN	7	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	5 GAL	
	COR RES	13	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL	
	HYD ANN	10	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	36"-42"	
	HYD INC	13	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL WHITE HYDRANGEA	5 GAL	
	ILE VER	8	ILEX VERTICILLATA	WINTERBERRY	5 GAL	
	VIB LEA	7	VIBURNUM RHYTHIDOPHYLLUM	LEATHERLEAF VIBURNUM	36"-42"	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	ARC UVA	36	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	4" POT	24" o.c.
	OSM CIN	48	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL	48" o.c.
	OSM REG	41	OSMUNDA REGALIS	ROYAL FERN	1 GAL	48" o.c.
	PHL CRE	58	PHLOX STOLONIFERA	CREeping PHLOX	3" POT	24" o.c.



01 SITE OVERVIEW
Scale: 1" = 10'

28 Langhorne Lane, Greenwich CT 06831
T: 203.869.1400
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO C&C. CONTRACTOR SHALL ONLY WORK FROM ANNOTATED, FIGURED, DIMENSION DRAWINGS UNLESS OTHERWISE DIRECTED BY C&C.

Client & Project:

ALLEN RESIDENCE
35 EDGAR ROAD
NORTH CASTLE, NY

No	DATE	REVISION

Seal & Signature:

Sheet title:
MITIGATION PLANTING PLAN

Drawing No.
L-3

Issued: 10/15/21 | By: JRC
Scale: 1" = 10'
Project #: 2021-05-10-1

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LANDSCAPE ARCHITECTURE | ENGINEERING

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Client & Project:



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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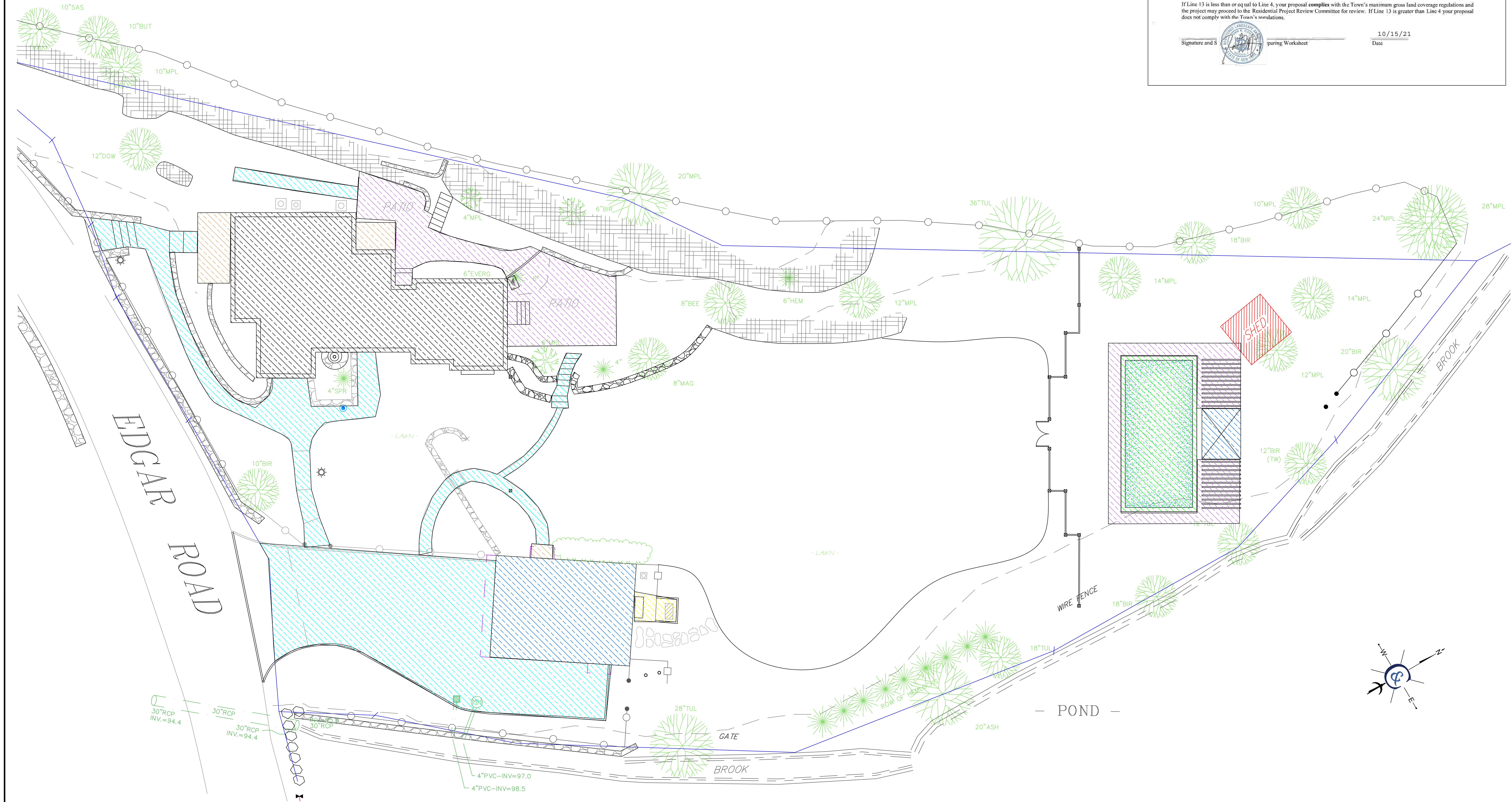
GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Allen Residence Date: 10/15/21
35 Edgarr Road
Tax ID: 109-01-1-15

Gross Lot Coverage		
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	32,199 sf
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	6,420 sf
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	1,562 sf
Distance principal home is beyond minimum front yard setback: na x 10' = na		
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	7,982 sf
5.	Amount of lot area covered by principal building: 1,800 existing + 0 proposed =	1,800 sf
6.	Amount of lot area covered by accessory buildings: 807 sf existing + 110 proposed = (shed coming down)	917 sf
7.	Amount of lot area covered by decks: existing + proposed =	
8.	Amount of lot area covered by porches: 207 existing + proposed =	207 sf
9.	Amount of lot area covered by driveway, parking areas and walkways: 2,879 existing + proposed =	2,879 sf
10.	Amount of lot area covered by terraces: 876 existing + 540 proposed =	1,416 sf
11.	Amount of lot area covered by tennis court, pool and mechanical equip: 62 existing + 667 proposed =	753 sf
12.	Amount of lot area covered by all other structures: existing + proposed =	
13.	Proposed gross land coverage: Total of Lines 5 - 12 =	7,972

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

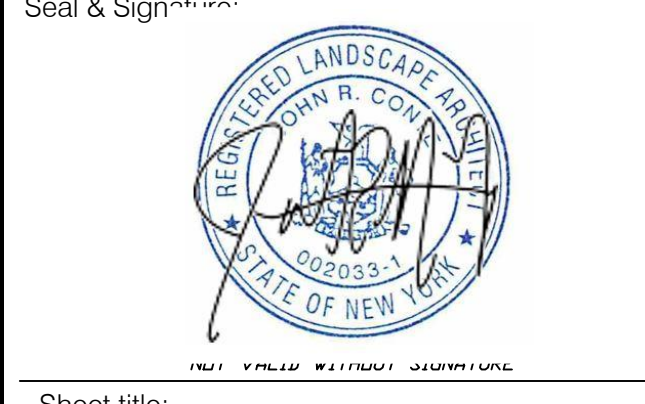
Signature and Seal: [Signature] Planning Worksheet Date: 10/15/21



SITE OVERVIEW
Scale: 1" = 10'

ALLEN RESIDENCE
35 EDGARR ROAD
NORTH CASTLE, NY

No	DATE	REVISION



Sheet title:
LOT COVERAGE PLAN

Drawing No.
L-4

Issued: 10/15/21 By: JRC
Scale: 1" = 10'

This sheet may not be used individually for construction without reference to the entire set of drawings and specifications.
Project #: 2021-05-10-1

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