



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: _____

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Nims Date: 11-8-21

Tax Map Designation or Proposed Lot No.: 101.03-2-34

Gross Lot Coverage

- | | | |
|-----|---|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>43,581</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9,352</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>57</u> x 10 = <u>570</u> | <u>570</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9,922</u> |
| 5. | Amount of lot area covered by principal building :
<u>1812</u> existing + <u>428</u> proposed = | <u>2,240</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks :
<u>558</u> existing + <u>0</u> proposed = | <u>558</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>80</u> proposed = | <u>80</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>2,845</u> existing + <u>60</u> proposed = | <u>2,905</u> |
| 10. | Amount of lot area covered by terraces :
<u>1,553</u> existing + <u>0</u> proposed = | <u>1,553</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>667</u> existing + <u>0</u> proposed = | <u>667</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage , Total of lines 5-12 | <u>8,003</u> |

If Line 13 is less than or equal to Line 4 your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

11-8-21

Date





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Nims Date: 11-8-21

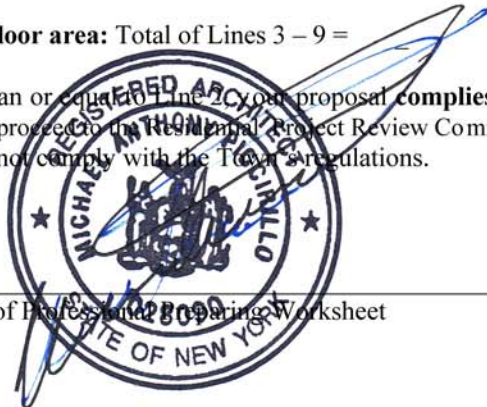
Tax Map Designation or Proposed Lot No.: 101.03-2-34

Floor Area

- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>43,581</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>7,728</u> |
| 3. | Amount of floor area contained within first floor:
<u>1,206</u> existing + <u>0</u> proposed = | <u>1,206</u> |
| 4. | Amount of floor area contained within second floor:
<u>1,812</u> existing + <u>428</u> proposed = | <u>2,240</u> |
| 5. | Amount of floor area contained within garage:
<u>568</u> existing + <u>0</u> proposed = | <u>568</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>80</u> proposed = | <u>80</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>NA</u> existing + <u>NA</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>NA</u> existing + <u>NA</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>4,094</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Zoning Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Planning Worksheet



11-8-21
Date

ZONING DATA: NORTH CASTLE			
TAX MAP #	201 02-24		
ZONE	RC-4		
TABLE BUILDING REQUIREMENTS			
MINIMUM LOT AREA	REQUIRED	EXISTING	PROPOSED
	7,000 SF	4,581 SF	NO CHANGE
BUILDING COVERAGE	25% (2,250 SF)	42% (1,827 SF)	5.3% (232 SF)
GROSS LAND COVER	REFER TO COVERAGE CALCULATION WORKSHEET		
FAR	REFER TO FAR CALCULATION WORKSHEET		
MINIMUM HEIGHT	30 FT	17 FT	17 FT
RETRACK REQUIREMENTS			
MIN. RETRACK (FEET)	5'	116.25'	109.25'
MIN. SIDE (NORTH)	5'	70.0'	70.0'
MIN. SIDE (EAST)	25'	35.3'	35.3'
MIN. SIDE (SOUTH)	49'	118.0'	111.0'

ADDITION/ALTERATION 27 ELIZABETH PLACE ARMONK, NY

GENERAL NOTES

CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.

SCOPE OF WORK:
ADDITION AND ALTERATION TO EXISTING HOUSE

APPLICABLE CODES:
2020 RCNYS
ENERGY CODE COMPLIANCE:
2020 ECCCNY CHAPTER 4: RESIDENTIAL ENERGY EFFICIENCY
THIS PROJECT MEETS THE PRESCRIPTIVE METHOD FOR ENERGY CODE COMPLIANCE: CLIMATE ZONE 4

ENERGY CODE NOTES:

1. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION.
2. ALL JOINTS, SEAMS, AND PENETRATIONS
3. JOINTS AROUND DOORS/WINDOWS AND THEIR FRAMING
4. UTILITY PENETRATIONS
5. WALLS AND CEILINGS SEPARATING CONDITIONED FROM NON CONDITIONED SPACE
6. ATTIC ACCESS OPENINGS
7. RIM JOIST JOINTS, SILL PILATES AND HEADERS
8. REFER TO SHEET A360 FOR AIR SEALING DETAILS AND NOTES
9. BUILDING ENVELOPE AIR TIGHTNESS SHALL BE TESTED IN ACCORDANCE WITH ASHREA/ASTM E779.
10. AIR BARRIER AND THERMAL BARRIER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
11. PROVIDE A MINIMUM OF ONE THERMOSTAT FOR EACH HEATING AND COOLING SYSTEM CAPABLE OF AUTOMATICALLY ADJUSTING SPACE TEMPERATURE PER IECC 2015, R403.1.1.
12. REFER TO HVAC SPECIFICATIONS FOR OTHER REQUIREMENTS
13. IC-RATED RECESSED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE <2.0 CFM LEAKAGE @ 75 Pa.
14. AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
15. AIR LEAKAGE: BLOWER DOOR TEST REQUIRED AND SHALL BE <3 ACH @ 50 Pa.
16. WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR AIR FOR COMBUSTION.
17. U-FACTOR OF FENESTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100.
18. ALL INSULATION SHALL BE LABELED OR THE INSTALLED R-VALUE SHALL BE PROVIDED.
19. FLOOR INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION SHALL BE INSTALLED ON THE UNDERSIDE OF THE FLOOR FRAMING AND EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
20. WALL INSULATION SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
21. CEILING INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SPRAY POLYURETHANE FOAM THICKNESS AND INSTALLED R-VALUE SHALL BE LISTED ON CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.
22. ATTIC ACCESS HATCH AND DOOR INSULATION R-VALUE SHALL BE OF THE ADJACENT ASSEMBLY.
23. BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLenums.
24. ALL DUCTS SHALL BE SEALED AND COMPLY WITH M1601 OF IRC 2015
25. DUCT TIGHTNESS TEST RESULT OF <4CFM/100 FT² ACROSS THE SYSTEM OR <3CFM/100 FT² WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH IN TEST, VERIFICATION MAY NEED TO OCCUR DURING FARMING INSPECTION.
26. DUCTS SHALL BE PRESSURE TESTED PER 403.2.2 IECC 2015.
27. AIR HANDLER LEAKAGE DESIGNED BY MANUFACTURER AT <2% OF DESIGN AIR FLOW.
28. DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8. ALL OTHER DUCTS SHALL BE INSULATED TO MIN. R-6 (EXCEPT DUCTS LOCATED COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE)
29. ALL MECHANICAL VENTILATION SYSTEMS FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT SHALL MEET EFFICACY AND AIR FLOW LIMITS.
30. HVAC PIPING CONVEYING FLUIDS ABOVE 105 D OR CHILLED FLUIDS BELOW 55D ARE INSULATED TO >= R-3
31. HEATING AND COOLING EQUIPMENT SHALL BE SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY CODE OFFICIAL.
32. GC SHALL PROVIDE SYSTEM SPECIFICATIONS SHOWING COMPLIANCE WITH ABOVE.
33. HOT AND COLD WATER PIPES SHALL BE INSULATED TO MIN. R-3
34. A MINIMUM OF 75% OF LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

- R-VALUE CERTIFICATE**
- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE MECHANICAL ROOM, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON THE CEILING/ ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND SOLAR HEAT GAIN COEFFICIENT OF FENESTRATION, AND THE RESULTS FOR ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT

PLUMBING WORK
PROVIDE ALL LABOR, MATERIAL AND APPLIANCES REQUIRED FOR A COMPLETE PLUMBING INSTALLATION AS SHOWN ON DRAWINGS AND HEREINAFTER SPECIFIED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING PRINCIPAL ITEMS:

- PIPE AND FITTINGS
- INSULATION
- SUPPORTS, SLEEVES AND ESCUTCHEONS
- TESTS AND ADJUSTMENTS
- PERMITS (G.C. SHALL PROCURE AND PAY ALL CHARGES FOR PERMITS, INSPECTIONS, ETC., PERTAINING TO THE PLUMBING WORK.)
- WORK IN CONNECTION WITH OTHER TRADES
- MAINTENANCE AND GUARANTEE
- PROVIDE GAS SHUT OFF VALVES FOR ALL EQUIPMENT
- PROVIDE PROPER ROUGHING TO ALL EQUIPMENT AND APPLIANCES REQUIRING PLUMBING.
- PROVIDE ACCESSIBLE SHUT_OFF VALVES ON ALL SERVICES TO EACH ITEM OF EQUIPMENT.

TESTS:

1. PROVIDE ALL APPARATUS, TEMPORARY WORK OR ANY OTHER REQUIREMENTS NECESSARY FOR ALL PLUMBING TESTS.
2. TAKE ALL PRECAUTIONS TO PREVENT DAMAGE TO THE BUILDING AND ITS CONTENTS THAT MAY OCCUR BY SUCH TESTS.
3. REPAIR AND MAKE GOOD, AT NO EXPENSE TO THE OWNER, ANY DAMAGE SO CAUSED.
4. ANY DEFECTS OR DEFICIENCIES DISCOVERED AS A RESULT OF TESTS SHALL BE IMMEDIATELY REPAIRED AND TESTS SHALL BE REPEATED UNTIL ALL REQUIREMENTS ARE FULFILLED.
5. NEW WATER SYSTEMS SHALL BE TESTED WITH 125 PSI PRESSURE AND STAND WITHOUT LOSS OF PRESSURE FOR A PERIOD OF NOT LESS THAN THIRTY MINUTES.
6. SANITARY, STORM AND VENT PIPING SHALL BE TESTED WITH A HEAD OF WATER NOT LESS THAN TEN FEET AND STAND FOR A PERIOD OF SIXTY MINUTES WITHOUT A LOSS OF WATER.
7. ALL TESTS SHALL BE CONDUCTED BEFORE INSULATION AND PRIOR TO CLOSING UP OF CEILINGS AND WALLS.
8. UPON COMPLETION OF TESTS TO WATER PIPING, FLUSH LINES AND DISINFECT TO HEALTH DEPARTMENTS STANDARDS.

ELECTRICAL WORK

1. NEW ELECTRICAL COMPONENT, EQUIPMENT, AND SYSTEMS AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.
2. PROVIDE RECEPTACLES IN LOCATIONS REQUIRED BY CODE.
3. REFER TO ELECTRICAL PLANS

PRESCRIPTIVE LIGHT REQUIREMENTS

PROVIDE ARTIFICIAL LIGHT CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL

FIRE PROTECTION SYSTEMS:

1. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX < 200, AND SMOKE DEVELOPMENT INDEX < 450
2. PROVIDE FIREBLOCKING PER R302.11
3. FIREBLOCKING: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10', AROUND ALL PIPING, VENTS AND WIRING HOLES, ETC.
- 2.1. FIREBLOCKING MATERIAL: 2" NOMINAL LUMBER
- 2.2. REFER TO WALL SECTION
3. PROVIDE 5/8" TYPE X GYP. BOARD ABOVE FURNACE/BOILER
4. INSTALL SMOKE ALARM/DETECTORS IN BASEMENT AS INDICATED ON PLAN.
- 4.1. IN EXISTING DWELLING UNIT, SMOKE ALARM/DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, ADJACENT HALL, AND ONE ON EACH STORY OF DWELLING
- 4.2. ALL SMOKE ALARMS/DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- 4.3. ALL SMOKE ALARMS/DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- 4.4. INTERCONNECTION IN EXISTING DWELLING NOT REQUIRED IN EXISTING SPACES WHERE FRAMING CAVITIES HAVE NOT BEEN EXPOSED.
5. PROVIDE CARBON MONOXIDE ALARMS/DETECTORS IN BASEMENT AS INDICATED ON FLOOR PLAN.
- 5.1. CARBON MONOXIDE ALARMS/DETECTORS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE WILL ACTIVATE ALL CARBON MONOXIDE ALARMS/DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 2034/JUL 2075 AND INSTALLED IN ACCORDANCE WITH NFPA 720.

ENERGY CODE NOTE:
I CERTIFY THAT I AM A LICENSED PROFESSIONAL. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH THE 2020 ECCC NY S

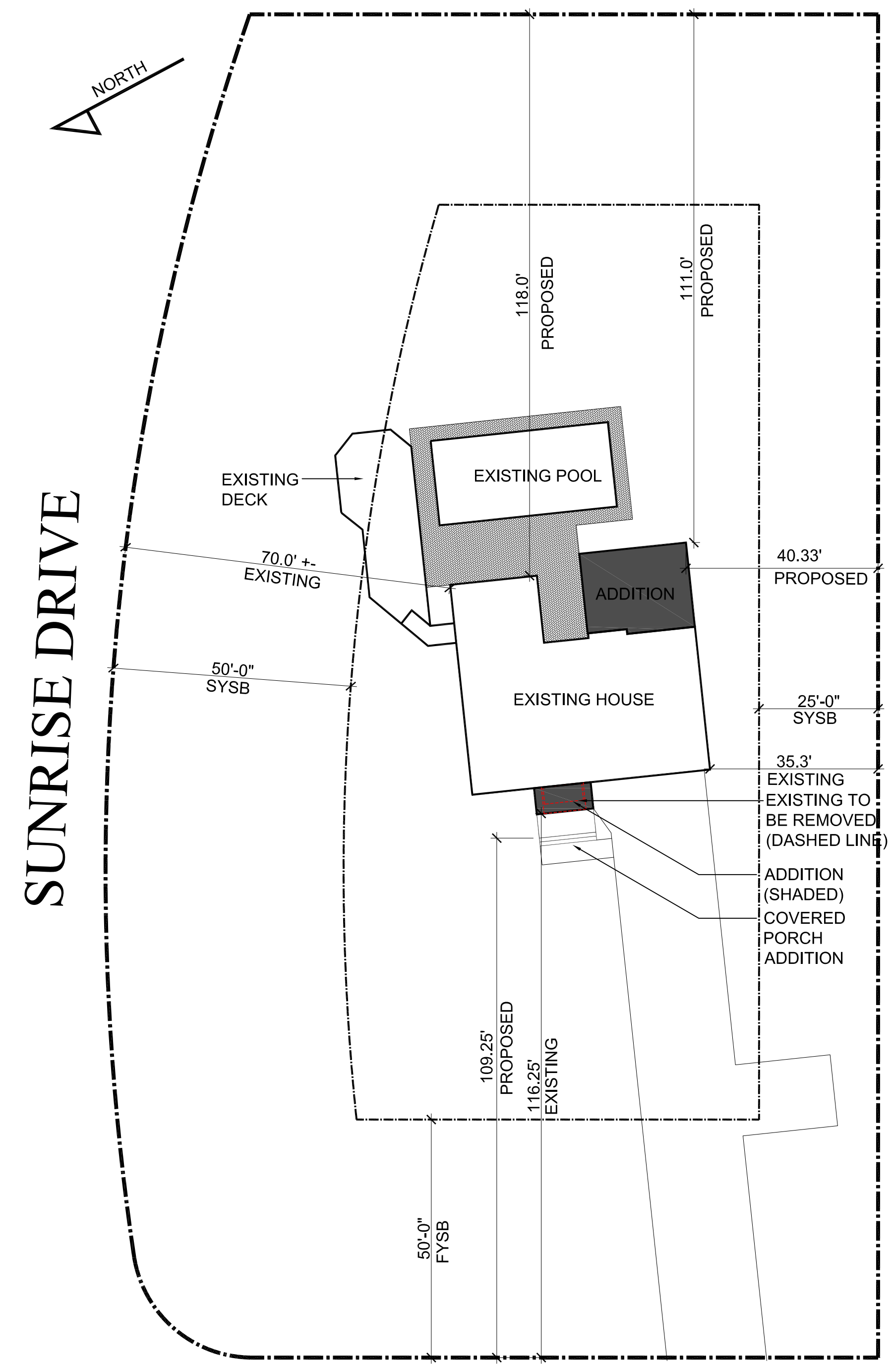
SIGNED: _____ DATE: _____

INSULATION AND FENESTRATION REQUIREMENTS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH
4	0.35	0.55	49	20	5/10 ^B	19	10/13 ^C	10, 2 FT ^D

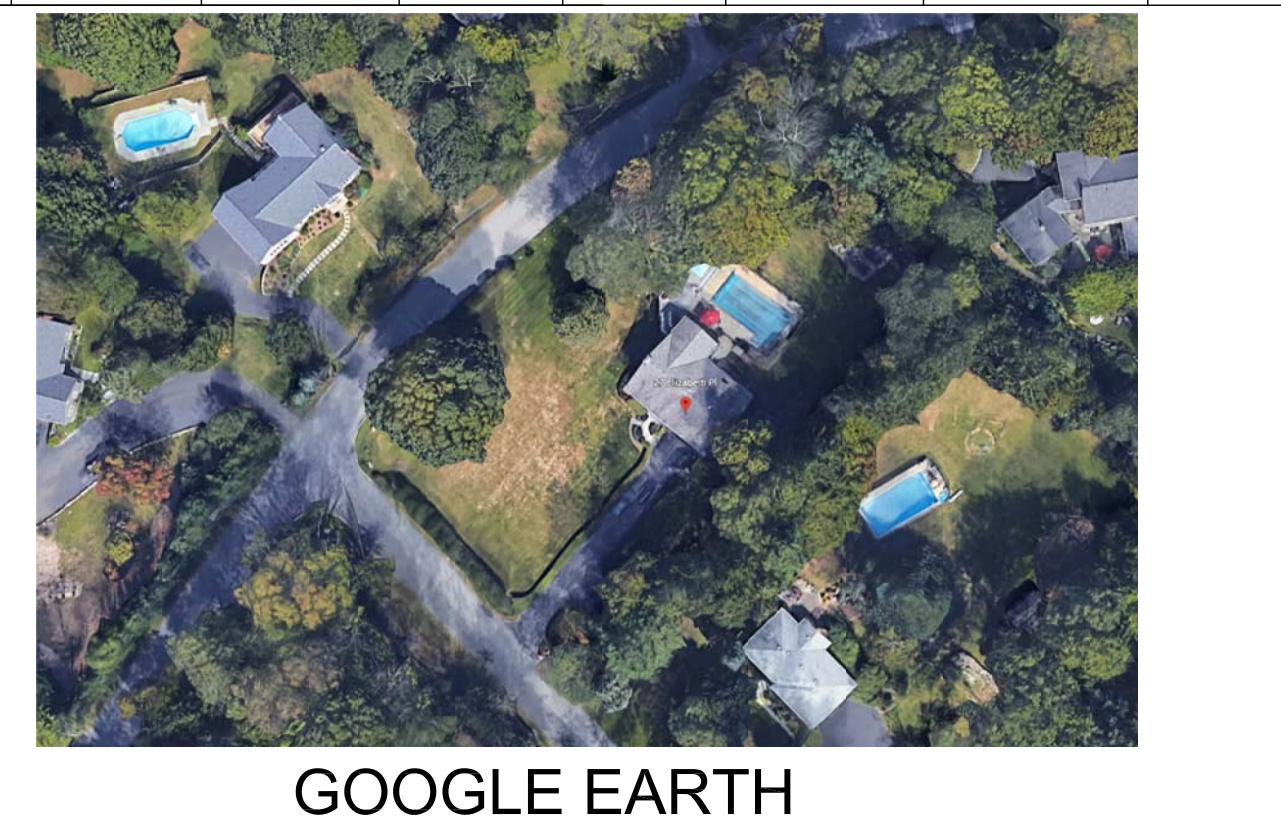
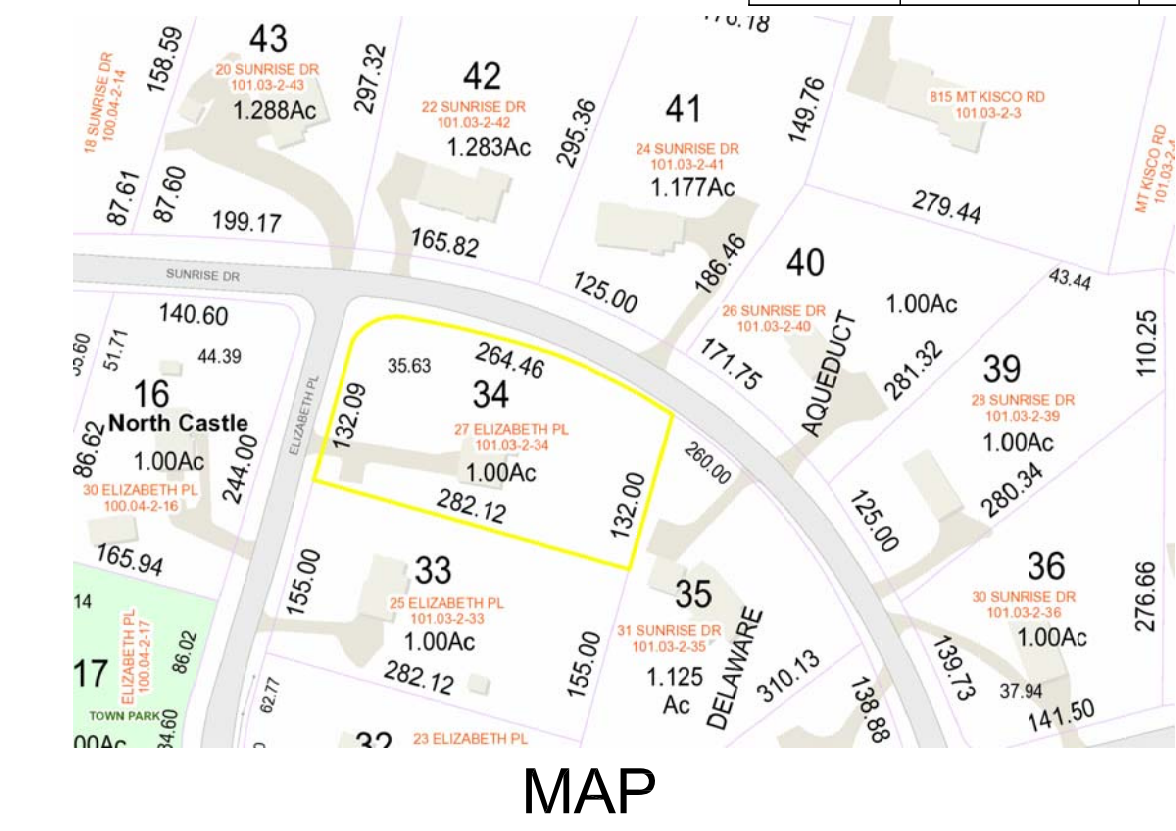
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1)

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS	
			WEATHERING	FROST DEPTH LINE	TERMITE			DECAY
45 PSF	115 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7°F	YES



ELIZABETH PLACE

A SITE PLAN
SCALE: 1" = 20'



HEATING, VENTILATION AND AIR CONDITIONING

- The HVAC system shall be designed by the HVAC sub contractor to heat the entire house to a minimum inside temperature of 72°F when the outside temperature is -5°F and with a 15mph wind. The cooling system shall cool all conditioned spaces to an inside temperature of 72°F when the outside temperature is 90°F.
- The G.C. shall be responsible for the adequacy of the system design and its ability to meet the performance specifications herein. All tonnages to be determined. All materials to be best quality new materials as specified. No substitutions will be permitted except with Architect's written approval.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J. DUCTS SHALL BE DESIGNED IN ACCORDANCE WITH MANUAL D, AIR DISTRIBUTION IN ACCORDANCE WITH MANUAL T, TEST/ADJUST/BALANCE IN ACCORDANCE WITH MANUAL B
- The specifications identify the HVAC system type and describe its general arrangement. Detailed design and layout of the HVAC system including the sizing and placement of registers, grilles, ductwork, piping and other HVAC components is the responsibility of the HVAC contractor.
- The contractor shall prepare shop drawings of all work including equipment locations and sizes for review by the Architect prior to installation.
- It is the intent of these specifications to call for complete operational systems. Provide all details and components necessary for a fully operational system, whether specified herein or not.
- All work shall be in accordance with applicable National, State and Local codes, rules and regulations.

NOTE: THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A COMPLETE, WRITTEN DESCRIPTION (SPECIFICATION) OF THE SYSTEM DESIGN, FOR REVIEW BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK UNDER THIS SECTION. DESCRIPTION SHALL OUTLINE ALL EQUIPMENT, MATERIALS, SIZES, AND MAKES ETC. THE GENERAL CONTRACTOR SHALL ARRANGE A WALK-THRU WITH THE ARCHITECT AND THE MECHANICAL SUB-CONTRACTOR DOING THE WORK PRIOR TO COMMENCEMENT OF THE WORK. ALL DUCTWORK, EQUIPMENT SIZES AND LOCATIONS MUST BE REVIEWED AND APPROVED. ALL SUPPLY AND RETURN AIR REGISTER LOCATIONS MUST BE APPROVED ON A ROOM-BY-ROOM BASIS. PAYMENT FOR WORK UNDER THIS SECTION SHALL NOT BE AUTHORIZED UNTIL SUBMITTALS ARE REVIEWED BY THE ARCHITECT AND THE WALK-THRU TAKES PLACE.

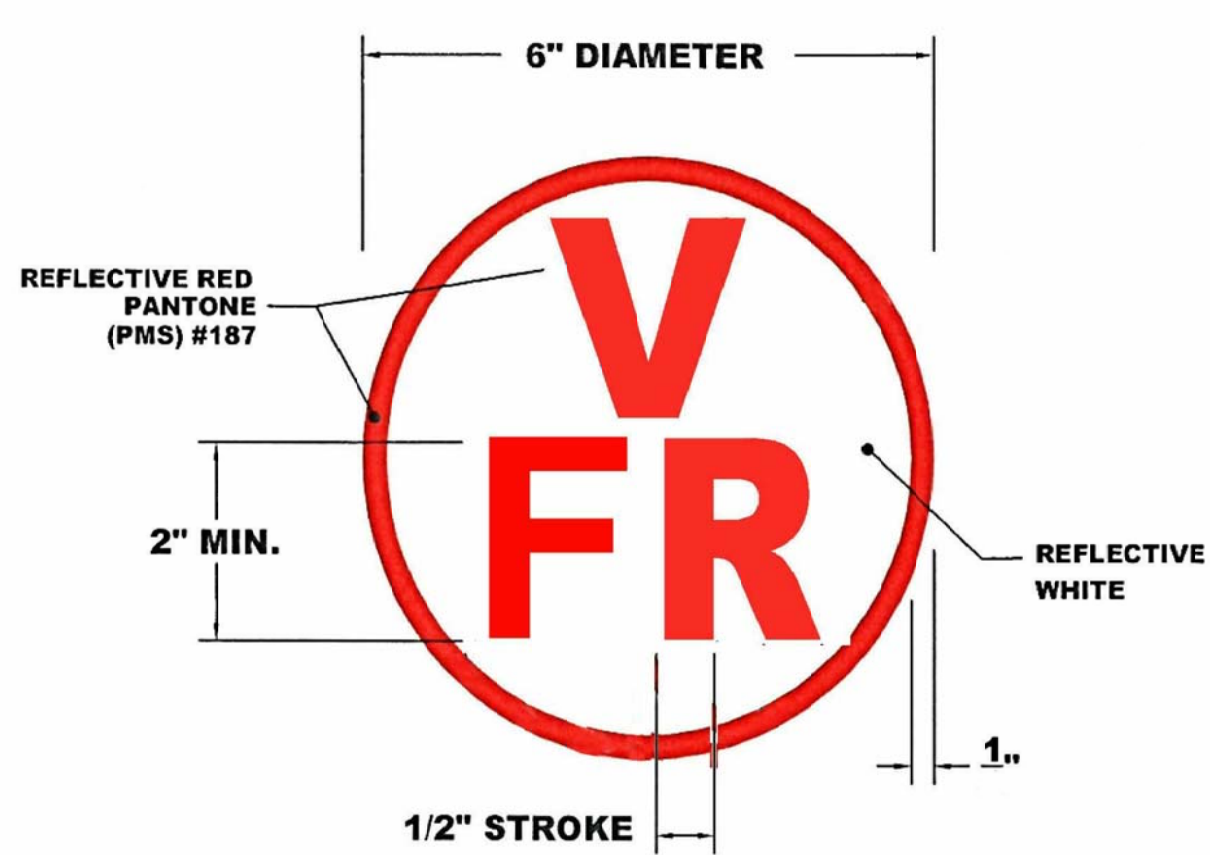
CODES AND PERMITS: all work shall be done in strict accordance with the rules and regulations of the n.b.f.u. and all applicable required local and state codes.

- The general contractor shall make all required applications for permits and inspections pertaining to h.v.a.c. work and pay all fees for same.
- It is the intent of these specifications to call for complete operational systems. Provide all equipment and material provided be installed according to the manufacturer's instructions.
- All work shall be performed by experienced, first class workmen experienced in the type of construction represented by the Construction Documents, under competent supervision, and in accordance with the best practices of the trade.
- At the completion of the project, Contractor shall clean all equipment supplied by him.

DUCTS
DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER: ROUGH IN TEST: TOTAL LEAKAGE TESTED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF TEST. POSTCONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE

MECHANICAL AND WATER HEATING

- AIR HANDLER LEAKAGE SHALL BE DESIGNED BY MANUFACTURER AT <2% OF DESIGN AIR FLOW
- PROVIDE PROGRAMMABLE THERMOSTATE INSTALLED FOR CONTROL OF HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS
- HEAT PUMP THERMOSTATES SHALL BE INSTALLED ON ALL HEAT PUMPS.
- CIRCULATING SERVICE HOT WATER SYSTEMS SHALL HAVE AUTOMATIC OR ACCESSIBLE MANUAL CONTROLS.
- ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT SHALL MEET EFFICIENCY AND AIRFLOW LIMITS.
- HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE-OR-TWO-PIPE SYSTEMS SHALL HAVE OUTDOOR SETBACK CONTROL TO LOWER BOLER WATER TEMP. BASED ON OUTDOOR TEMP.
- HEATED WATER CIRCULATION SYSTEM SHALL HAVE A CIRCULATION PUMP. THE SYSTEM RETURN PIPE SHALL BE A DEDICATED RETURN PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY OR THERMOSTAT-CONTROL SYSTEMS SHALL NOT BE USED. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS SHALL START THE PUMP WITH SIGNAL FOR HOT WATER DEMAND WITHIN THE OCCUPANCY. CONTROLS SHALL AUTOMATICALLY TURN OFF THE PUMP WHEN WATER IS IN CIRCULATION LOOP IS SET AT SET-POINT TEMP. AND NO DEMAND FOR HOT WATER EXISTS.



PRE-ENGINEERED WOOD PLACARD TO BE INSTALLED ON EXTERIOR WALL. LOCATION TO BE DETERMINED BY BUILDING INSPECTOR.

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

USE	LIVE LOAD (PSF)
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING ROOMS LIVE LOAD	40
SLEEPING ROOMS LIVE LOADS	30
FLOOR DEAD LOADS	15
STAIRS	40
GUARDRAILS AND HANDRAILS	200
GROUND SNOW LOAD / ROOF LIVE LOAD	45



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES

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27 ELIZABETH PLACE
ARMONK NY

ARCHITECT/APPLICANT:
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345 KEAR STREET, SUITE 203
YORKTOWN HEIGHTS, NY

No.	DATE:	ISSUE:
1	8/10/21	ISSUED
2	11/8/21	RPRC

PROJECT NAME:
NIMS RESIDENCE RENOVATION

PROJECT ADDRESS:
27 ELIZABETH PLACE
ARMONK, NY 10504



MICHAEL A. PICCIRILLO, AIA

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TITLE SHEET
SITE PLAN

SCALE: AS NOTED DATE: 04-16-21

DRAWN BY: MAP
CHKD BY: MAP

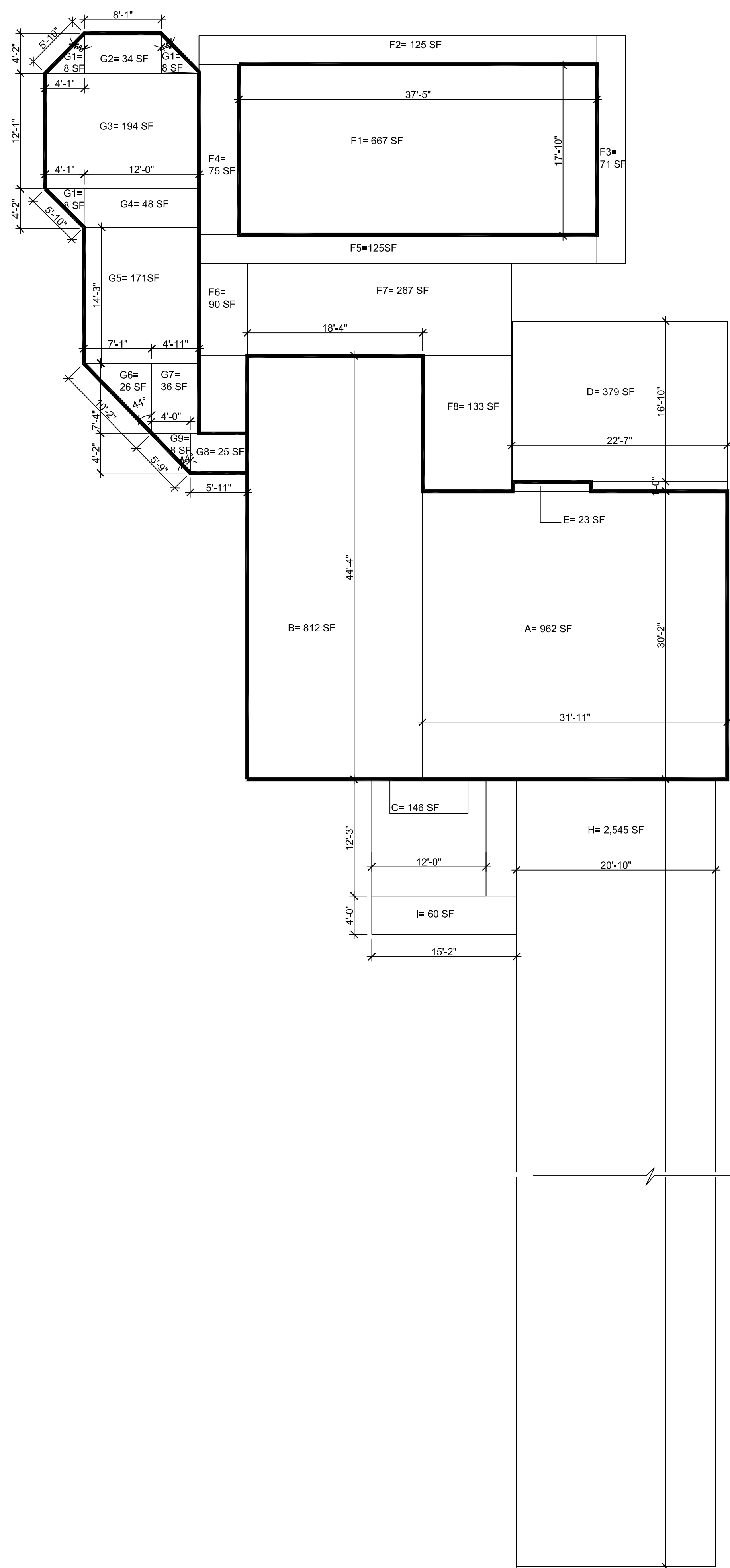
A-001

1 OF 1



Michael Piccirillo Architecture

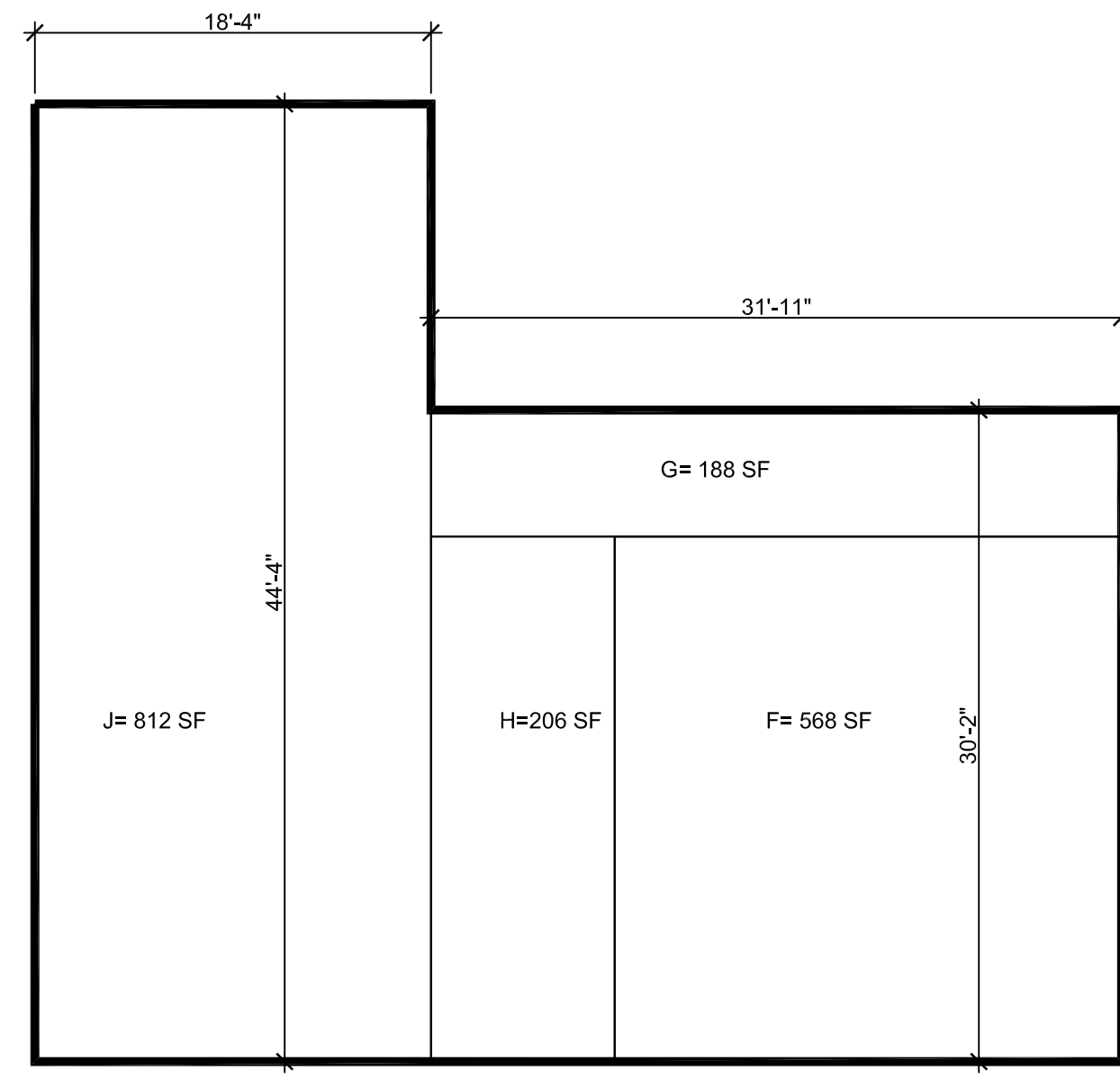
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A GROSS LAND COVERAGE
SCALE: 1/8" = 1'

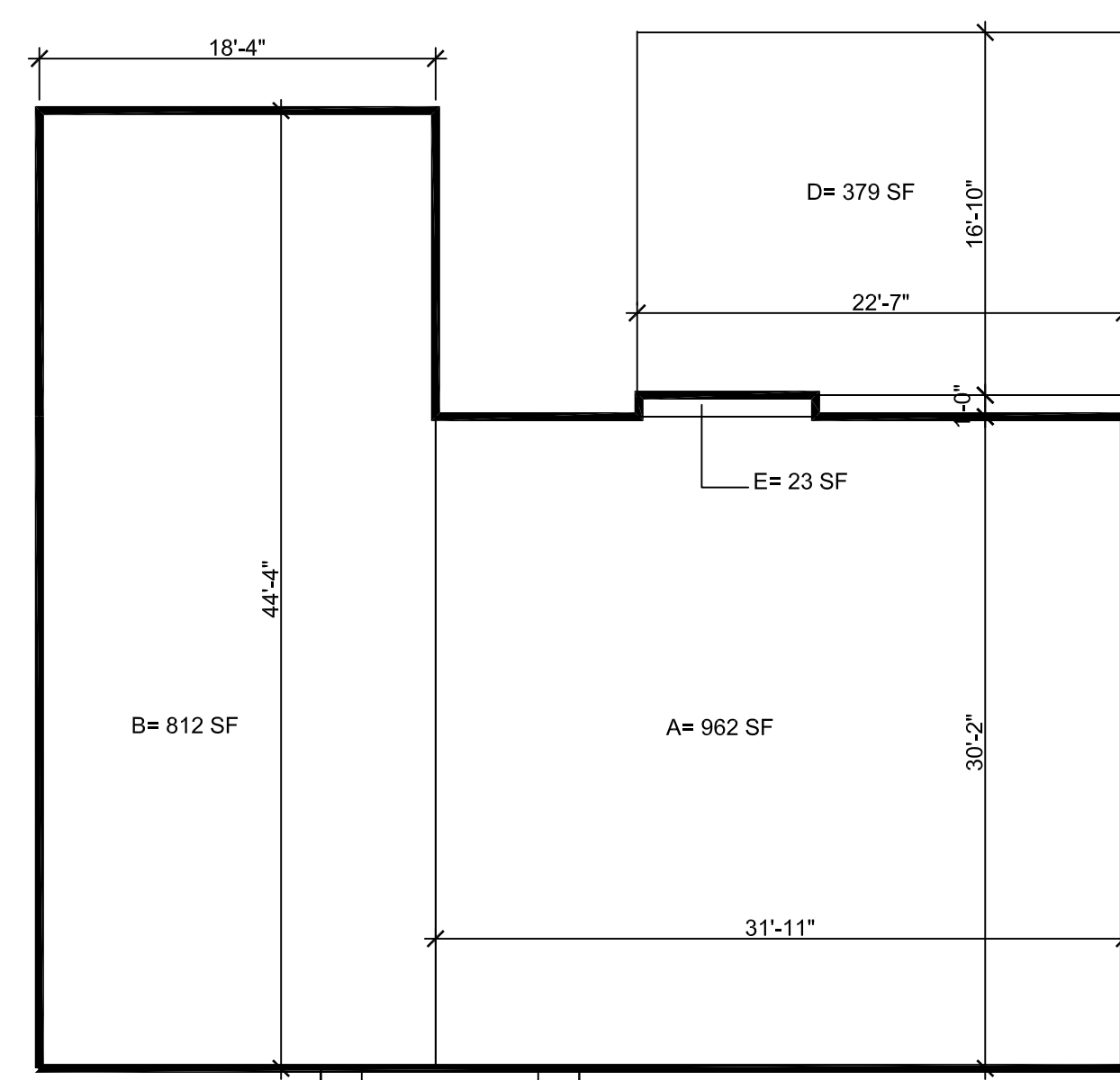
- HOUSE**
A= 962 SF
B= 812 SF
C= 144 SF
D= 379 SF
E= 23 SF
TOTAL= 2,320 SF
- POOL**
F1= 667 SF
- PATIO**
F1= 667 SF
F2= 125 SF
F3= 71 SF
F4= 75 SF
F5= 125 SF
F6= 90 SF
F7= 267 SF
F8= 133 SF
TOTAL= 1,553 SF
- DECK**
G1= 8 SF
G1= 8 SF
G2= 34 SF
G3= 194 SF
G4= 48 SF
G5= 171 SF
G6= 26 SF
G7= 36 SF
G8= 25 SF
TOTAL= 558 SF
- DRIVEWAY**
H= 2,545 SF
J= 300 SF
TOTAL= 2,845 SF
- WALK**
I= 60 SF

GROSS LAND COVERAGE= 8,003



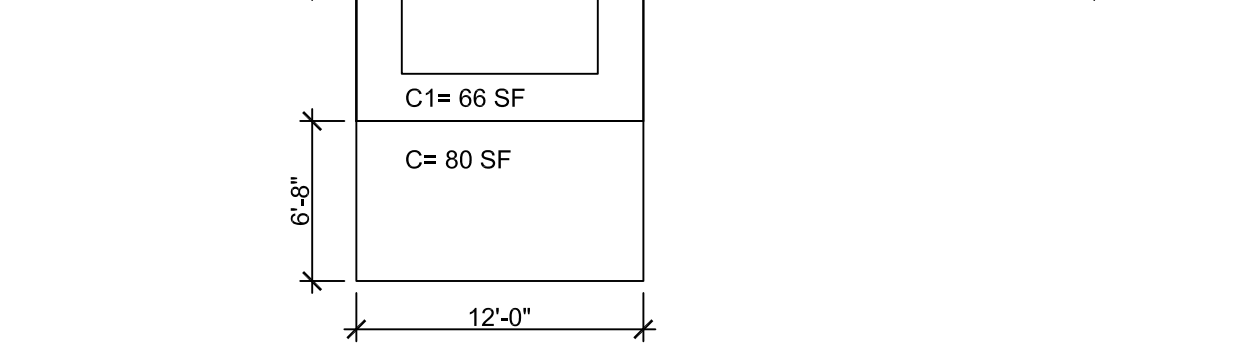
HOUSE 1ST FLOOR
F= 568 SF
G= 188 SF
H= 206 SF
J= 812 SF
TOTAL= 1,774 SF

LOWER LEVEL



HOUSE 2ND FLOOR
A= 962 SF
B= 812 SF
C= 80 SF
D= 379 SF
E= 23 SF
TOTAL= 2,320 SF

GROSS FLOOR AREA= 4,094 SF



FIRST FLOOR

B GROSS FLOOR AREA
SCALE: 1/8" = 1'

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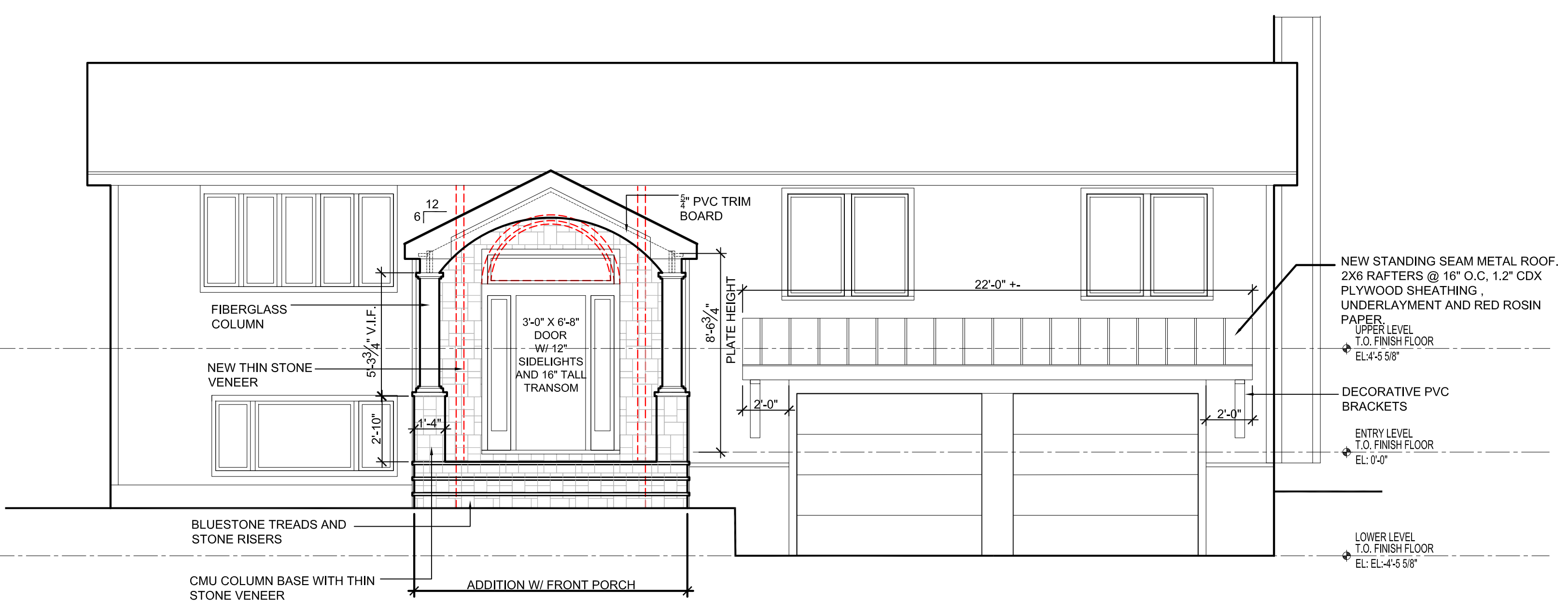


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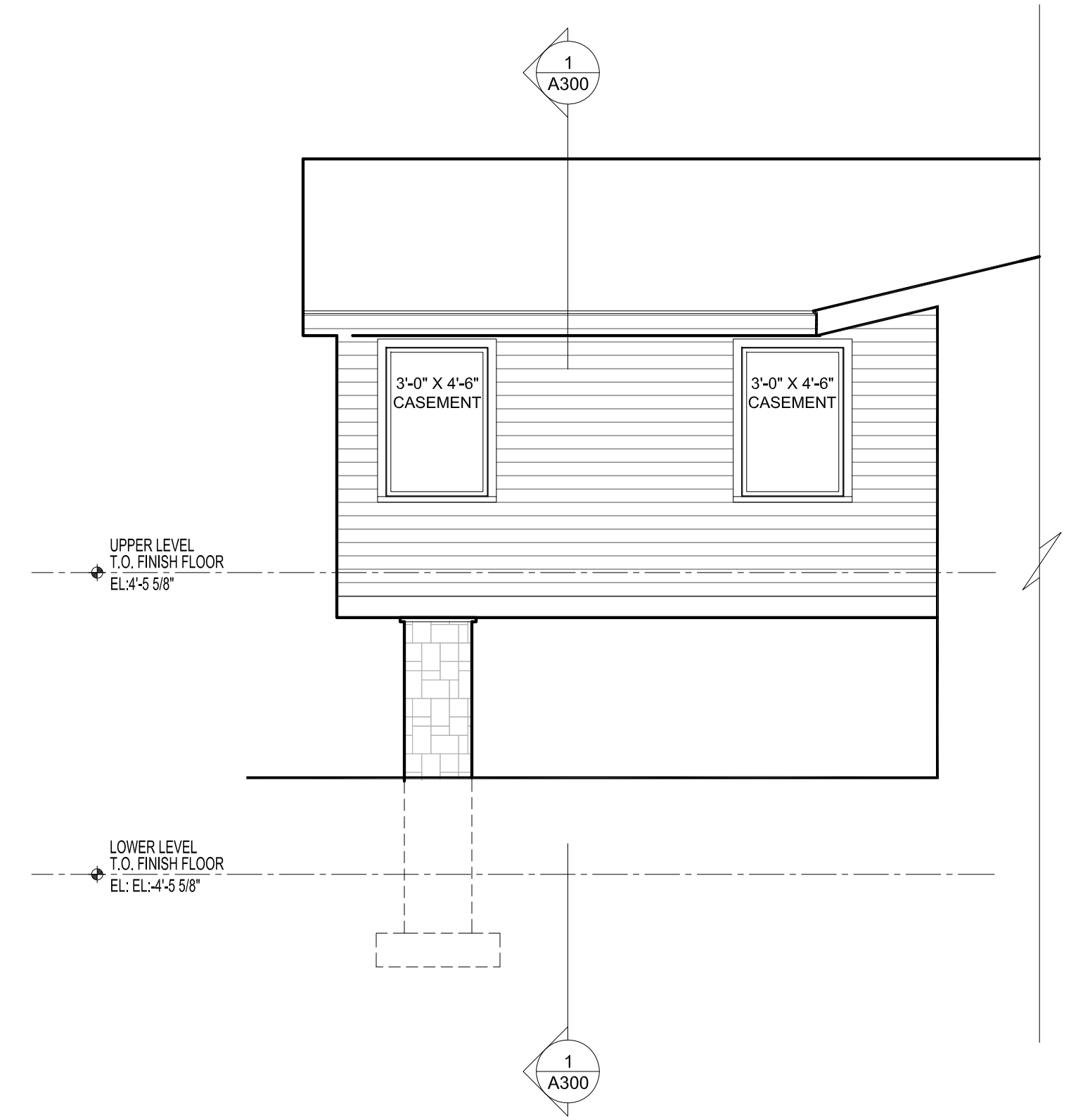
COVERAGE CALCULATION DIAGRAMS

SCALE: AS NOTED	DATE: 04-16-21
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1 OF 1	

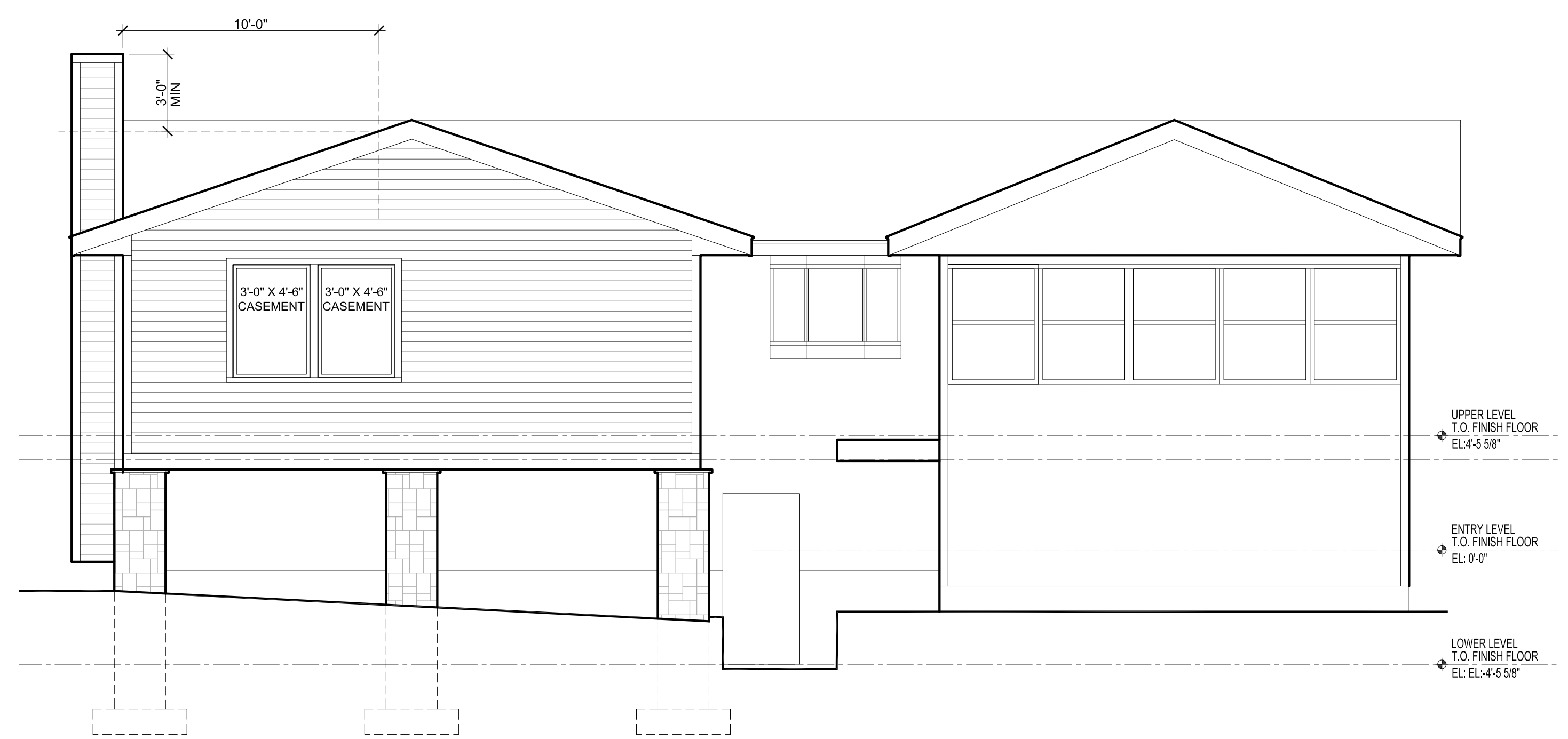
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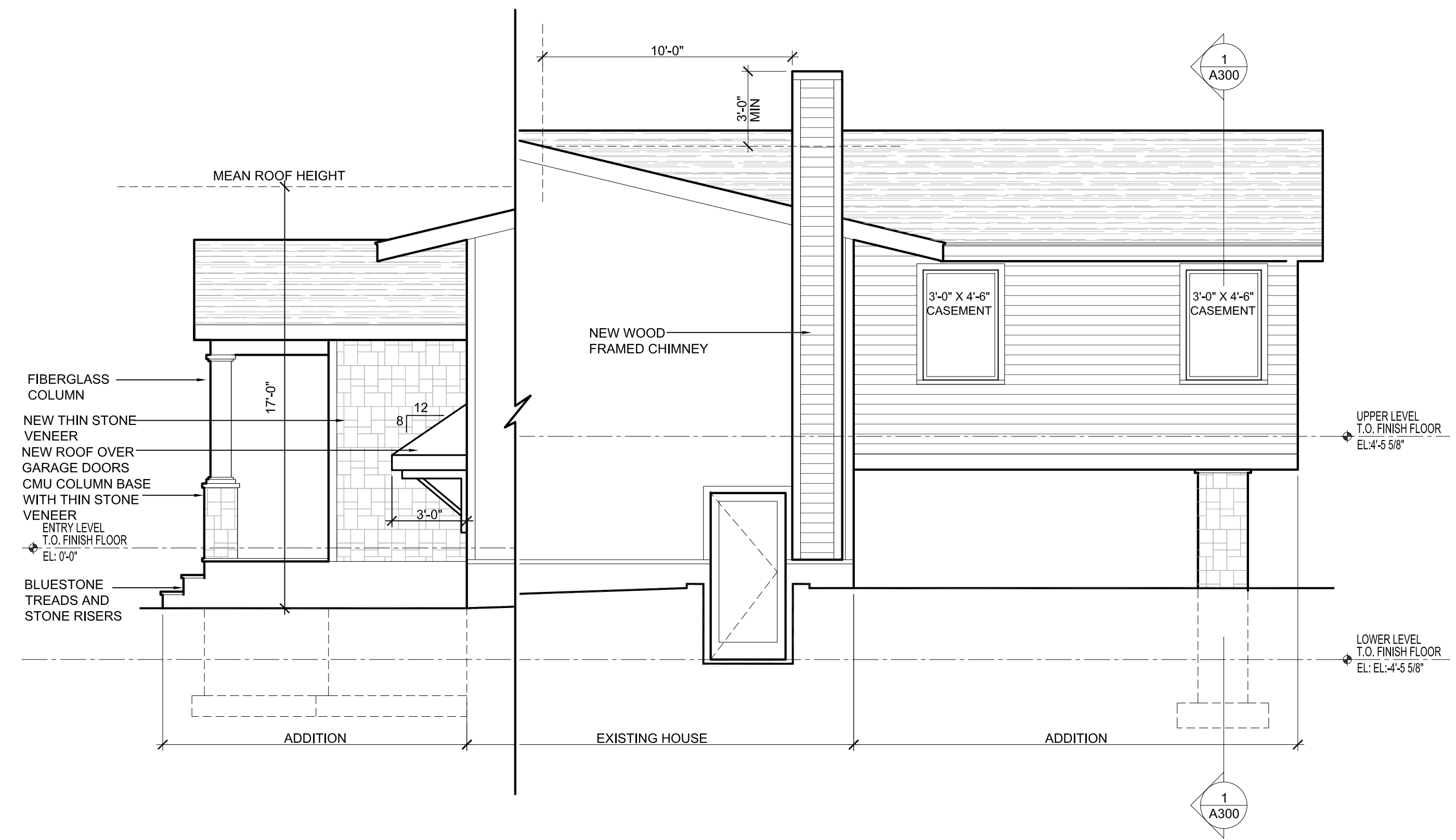
1 EAST ELEVATION
SCALE: 1/4 = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4 = 1'-0"



2 WEST ELEVATION
SCALE: 1/4 = 1'-0"

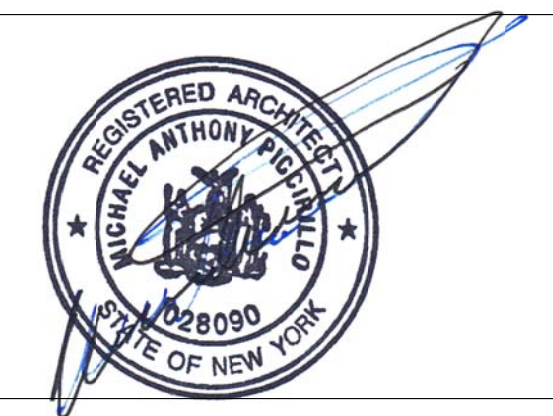


2 NORTH ELEVATION
SCALE: 1/4 = 1'-0"

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ELEVATIONS

SCALE:	AS NOTED	DATE:	04-16-21
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1 OF 1			