

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS. WHENEVER DAMAGE SHOULD RESULT FROM SUCH WORK, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENCES, CERTIFICATES, FEES, ETC., REQUIRED BY THE NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. [O.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO NATIONAL ELECTRIC CODE.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.

SUBCONTRACTORS SHALL GUARANTEE, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

THE ARCHITECT/ENGINEER SHALL NOT BE RETAINED FOR ANY EXISTING CONDITIONS THAT DO NOT MEET TODAY'S STANDARDS. ANY CONDITION THAT DOES NOT MATCH THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND CONTRACTOR/OWNER SHALL PROVIDE NECESSARY ITEMS TO MEET AND OR EXCEED ALL CODE REQUIREMENTS.

NOTES:

1. PLANS DO NOT SHOW ALL UNDERGROUND UTILITIES, OIL TANKS OR OTHER SUBSURFACE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR A UTILITY MARK OUT PRIOR TO CONSTRUCTION CALL. 800-962-7962 WWW.DIGSAFEINNEWYORK.COM

2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION

3. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CH. 907.

4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO RESIDENTIAL CODE OF NYS, LOCAL BUILDING AND ZONING CODES.

5. CONTRACTOR IS RESPONSIBLE FOR A SAFE WORKPLACE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND CODES.

6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

7. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

8. CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION

9. FINAL GRADING AROUND THE BUILDING SHALL SLOPE AWAY FROM THE STRUCTURE.

SOIL EROSION NOTES:

1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.

2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.

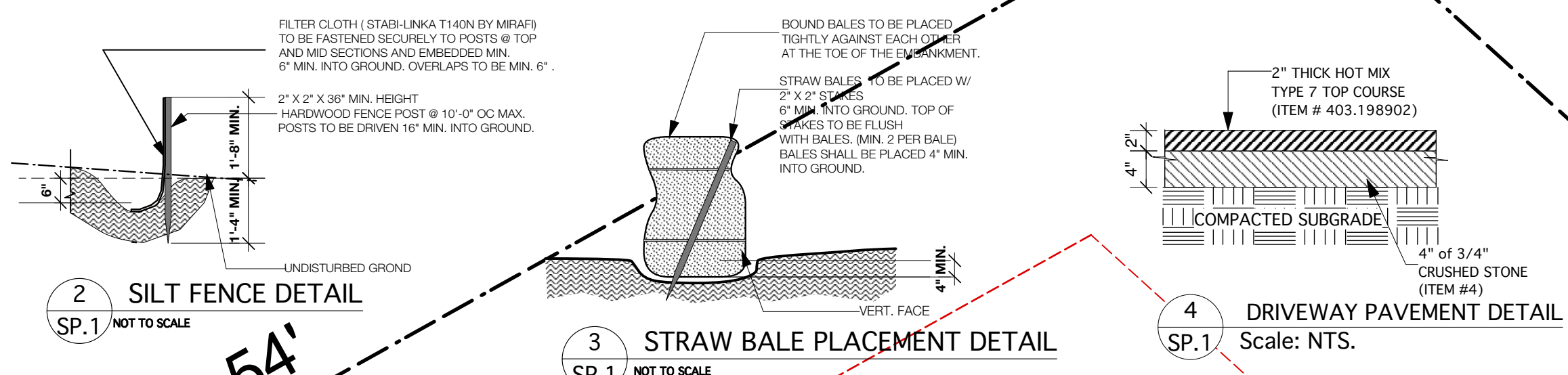
3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.

4. CONTRACTOR SHALL KEEP ALL PUBLIC AND PRIVATE ADJOINING AREAS CLEAR OF SEDIMENTATION DEBRIS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS AT THE END OF EACH WORK DAY.

5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAW BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12" LOOSE STONE AND ROCK SHALL REMOVED FROM SITE. COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.

6. THIS ARCHITECT AND OR ENGINEER HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.

7. ALL WORK SHALL MEET THE WESTCHESTER COUNTY REQUIREMENTS



DEMOLITION:

1- CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.

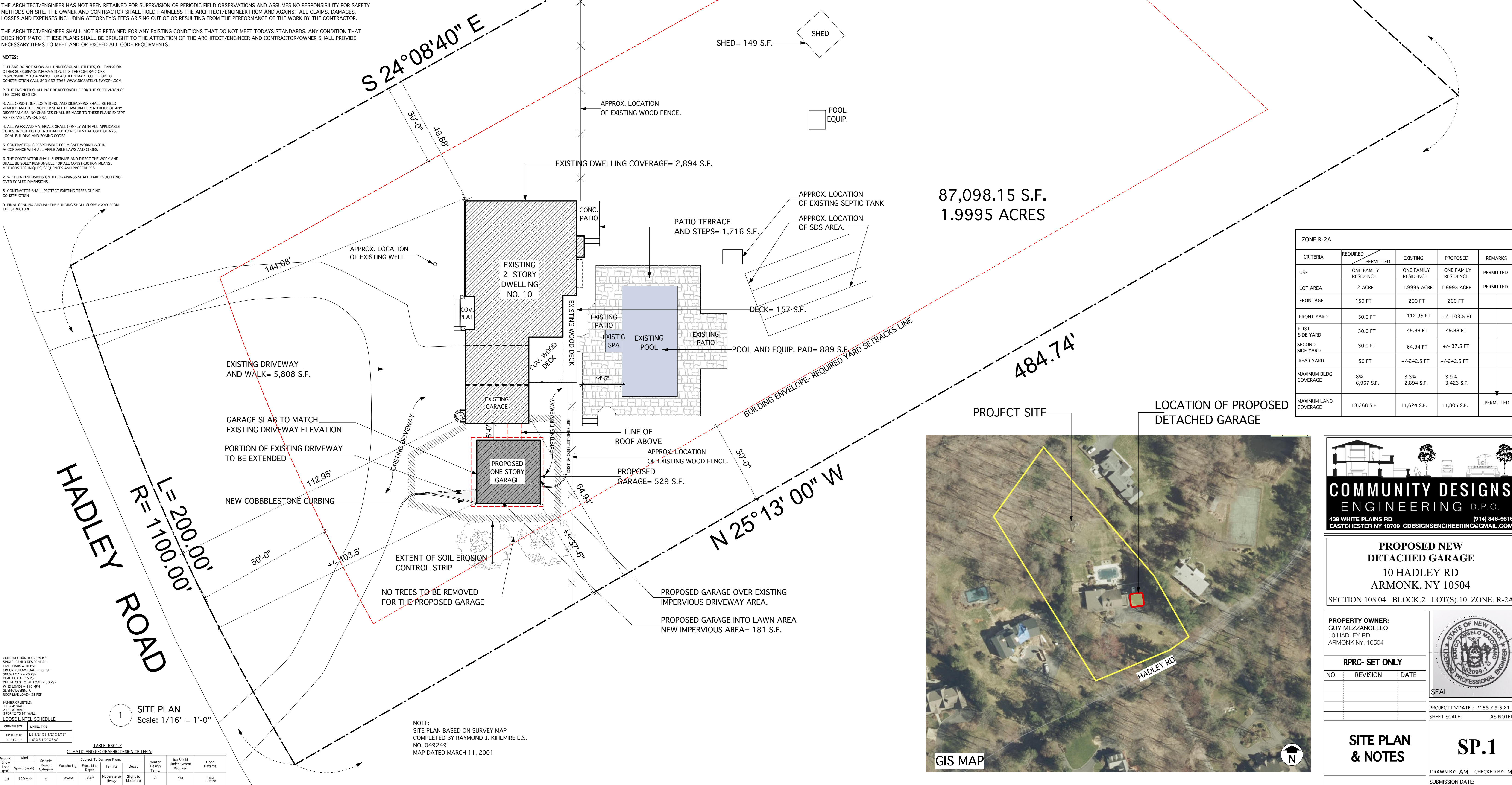
2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.

3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS REQUIRED.

SHORING AND BRACING:

1- CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT. HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.

2- CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.



ZONE R-2A				
CRITERIA	REQUIRED	EXISTING	PROPOSED	REMARKS
	PERMITTED	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	
USE	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	PERMITTED
LOT AREA	2 ACRE	1.9995 ACRE	1.9995 ACRE	PERMITTED
FRONTAGE	150 FT	200 FT	200 FT	
FRONT YARD	50.0 FT	112.95 FT	+/- 103.5 FT	
FIRST SIDE YARD	30.0 FT	49.88 FT	49.88 FT	
SECOND SIDE YARD	30.0 FT	64.94 FT	+/- 37.5 FT	
REAR YARD	50 FT	+/- 242.5 FT	+/- 242.5 FT	
MAXIMUM BLDG COVERAGE	8%	3.3%	3.9%	
	6,967 S.F.	2,894 S.F.	3,423 S.F.	
MAXIMUM LAND COVERAGE	13,268 S.F.	11,624 S.F.	11,805 S.F.	PERMITTED



CONSTRUCTION TO BE "1 1/2" SINGLE FAMILY RESIDENTIAL

LIVE LOAD = 40 PSF

GROUND SNOW LOAD = 20 PSF

WIND LOAD = 20 PSF

DEAD LOAD = 15 PSF

FINISH FLOOR TOTAL LOAD = 30 PSF

WIND LOADS = 110 MPH

SOME DESIGN

ROOF LIVE LOADS = 35 PSF

NUMBER OF LANTERNS:

1 FOR 6" WALL

2 FOR 8" WALL

3 FOR 12 TO 14" WALL

LOOSE LANTER SCHEDULE

OPENING SIZE	LANTER TYPE
UP TO 3'-0"	L 3 1/2" X 3 1/2" X 5 1/4"
UP TO 7'-0"	L 6" X 3 1/2" X 5 1/4"

TABLE BS01.2 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:

Ground Snow Load (psf)	Wind Speed (mph)	Seismic Design Category	Weathering Front Line Design	Subject To Damage From:	Termin	Decay	Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards
30	120 Mph	C	Severe	3'-6"	Moderate to Heavy	Slight to Moderate	7°	Yes	Low (ICC 99)

COMMUNITY DESIGNS ENGINEERING D.P.C.

439 WHITE PLAINS RD EASTCHESTER NY 10709 (914) 346-5616 CDESIGNSENGINEERING@GMAIL.COM

PROPOSED NEW DETACHED GARAGE

10 HADLEY RD ARMONK, NY 10504

SECTION:108.04 BLOCK:2 LOT(S):10 ZONE: R-2A

PROPERTY OWNER: GUY MEZZANCELLO 10 HADLEY RD ARMONK NY, 10504

RPRC- SET ONLY

NO.	REVISION	DATE

SEAL

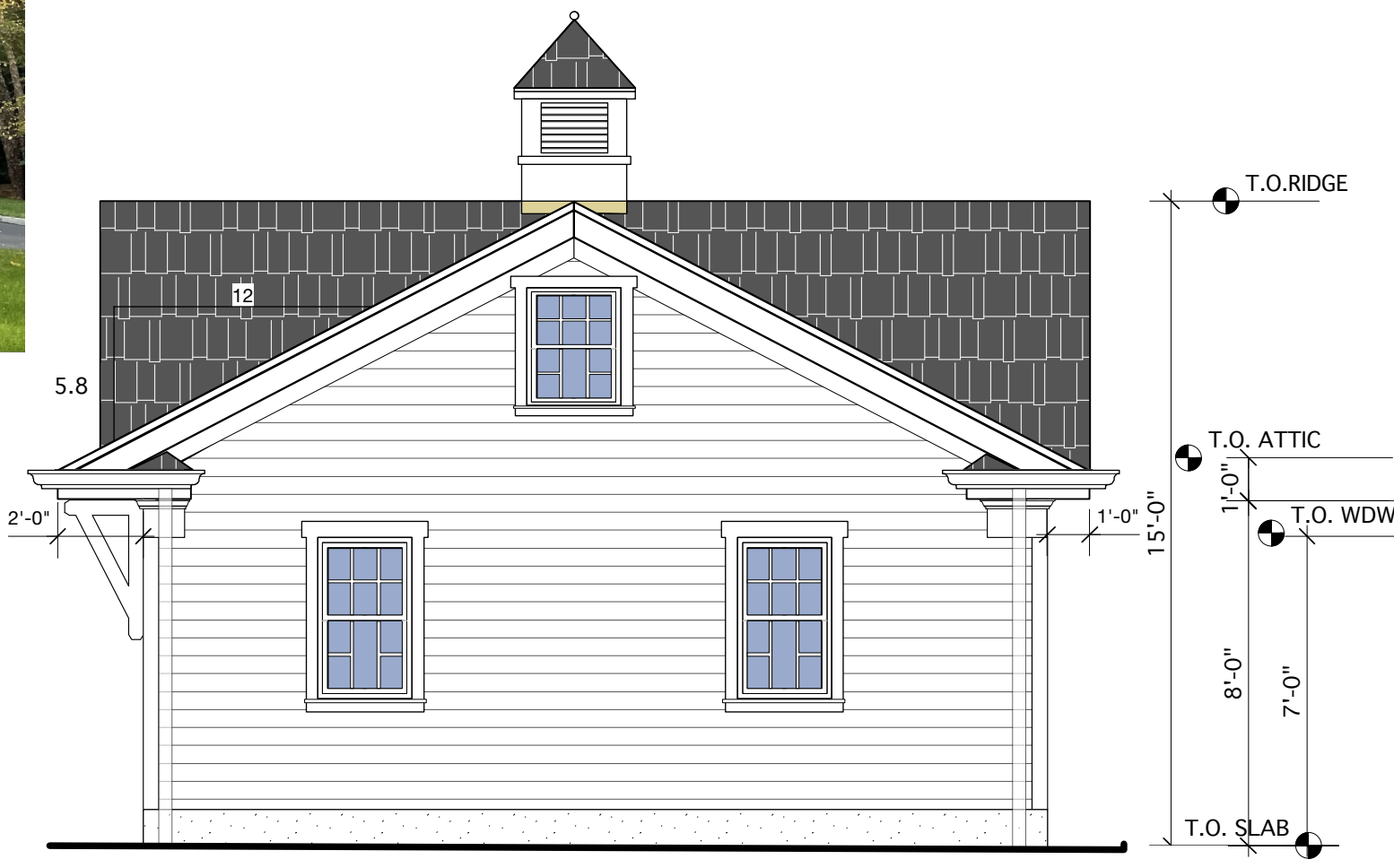
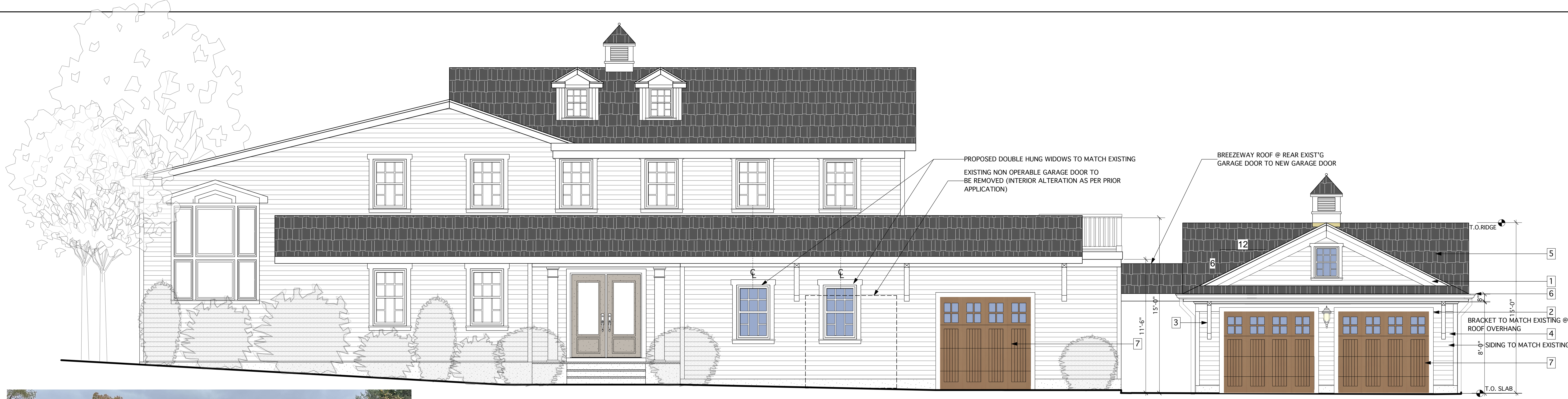
PROJECT ID/DATE: 2153 / 9.5.21

SHEET SCALE: AS NOTED

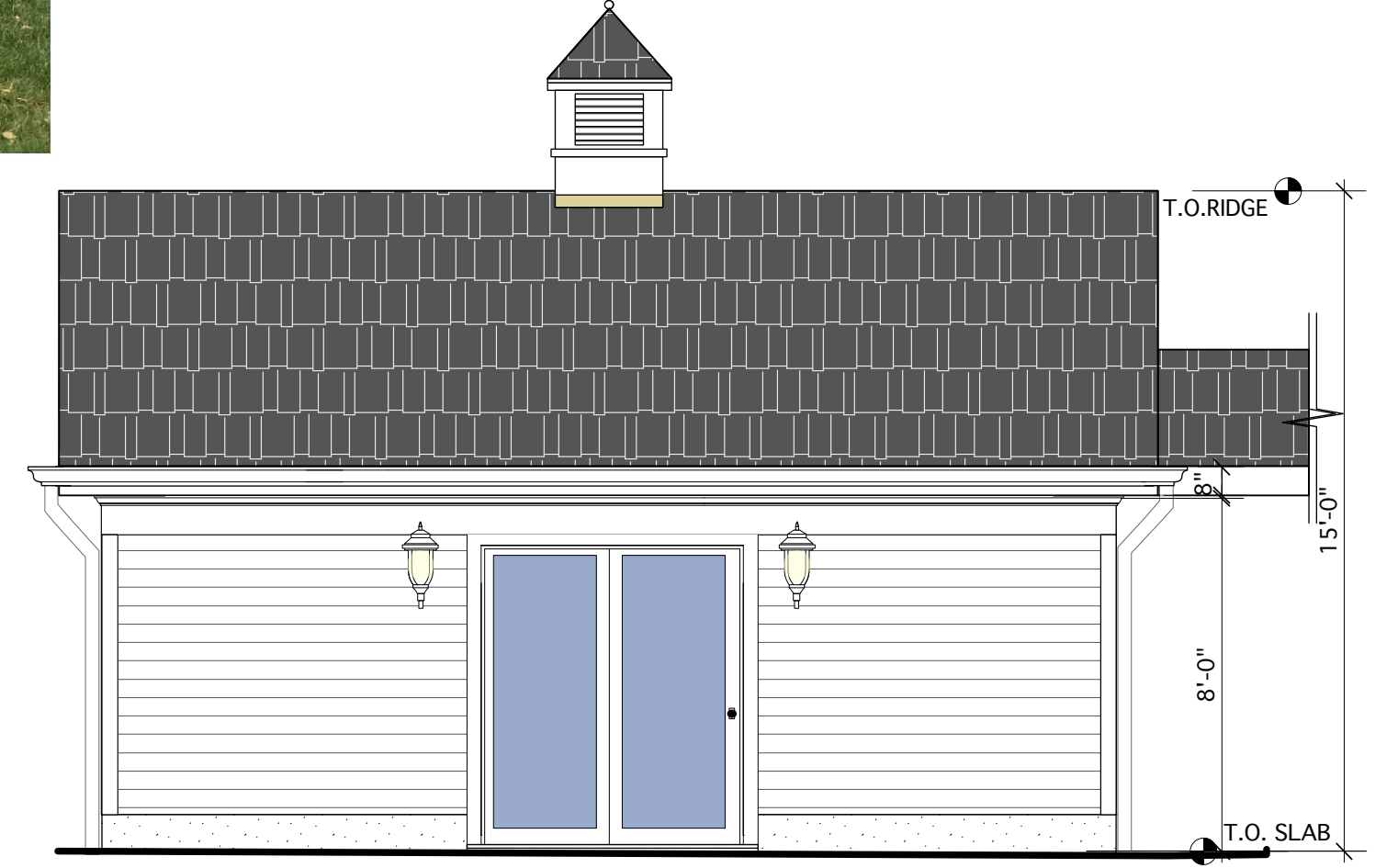
SITE PLAN & NOTES SP.1

DRAWN BY: AM CHECKED BY: MM

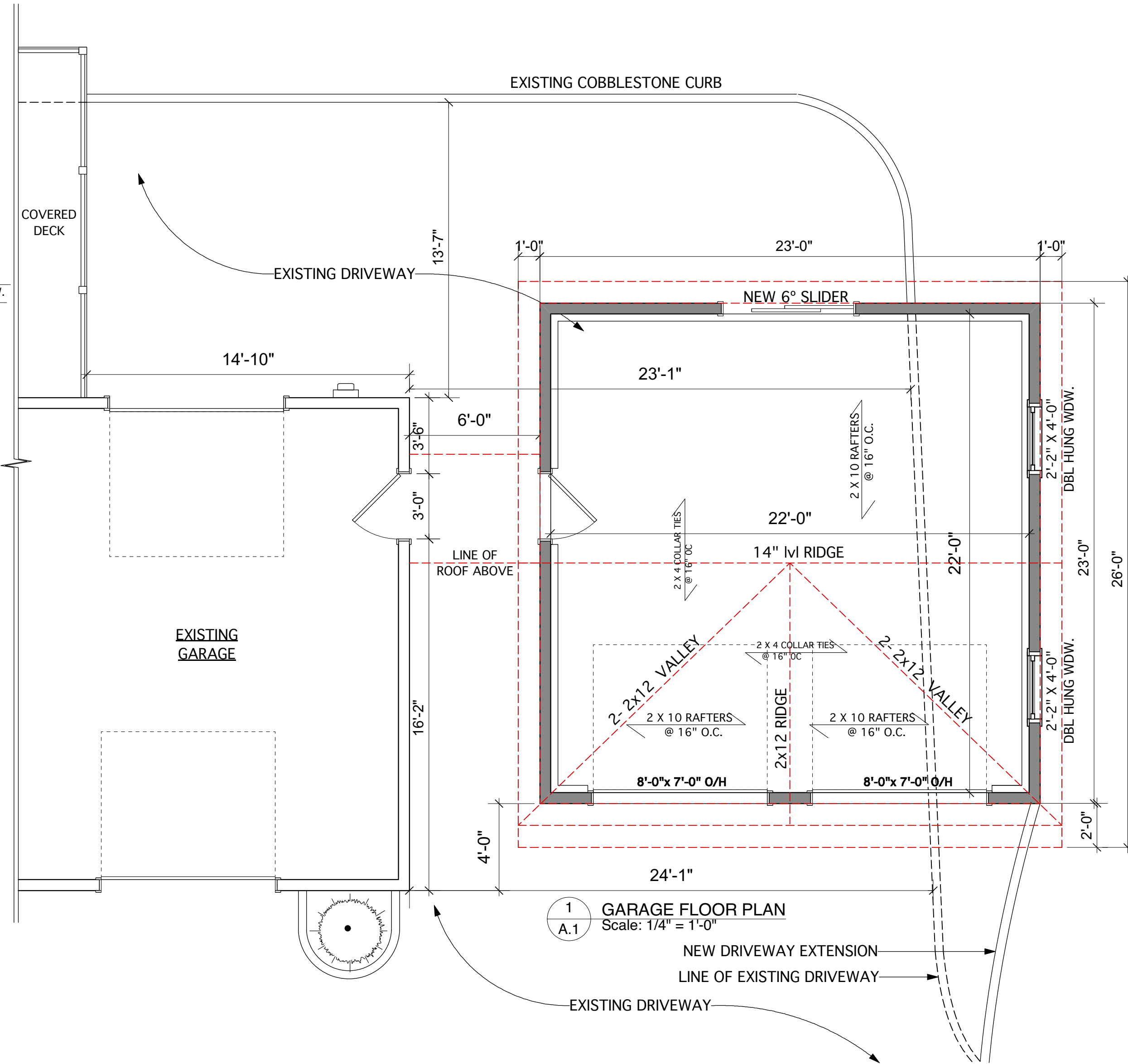
SUBMISSION DATE:



4 GARAGE RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"



3 GARAGE REAR ELEVATION
Scale: 1/4" = 1'-0"



1 GARAGE FLOOR PLAN
Scale: 1/4" = 1'-0"

2 GARAGE FRONT ELEVATION
Scale: 1/4" = 1'-0"

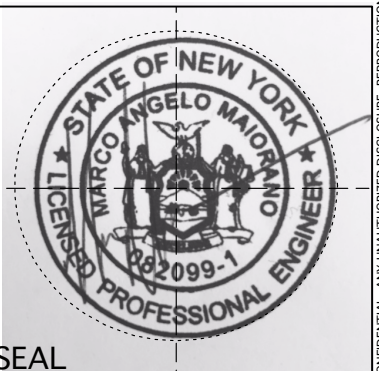
ELEVATION NOTE KEY	
1	AZEK FASCIA & SOFFIT (WHITE)
2	"AZEK" TRIM- WHITE
3	DECORATIVE BRACKET TO MATCH EXISTING
4	HARD-PLANK SIDING OVER BUILDING PAPER AND 1/2" CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS W/ 16" O.C. - DBL TOP PLATES (COLOR- TO MATCH EXISTING RESIDENCE)
5	LIFETIME. 325# ASPHALT / FIBERGLASS SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. PLWD SHEATHING OVER 2 X 10 WD RAFTERS AT 16" O.C. COLOR TO MATCH EXISTING
6	SEAMLESS ALUM. GUTTER TO LEADER.
7	CLOPAY 8'-0" X 7'-0" GARAGE DOOR MULTI LAYERED STEEL AND INSULATION TOPPED WITH A FAUX WOOD COMPOSITE CLADDING AND OVERLAYS. (MEDIUM FINISH)

COMMUNITY DESIGNS ENGINEERING D.P.C.
 439 WHITE PLAINS RD (914) 346-5616
 EASTCHESTER NY 10709 CDESIGNENGINEERING@GMAIL.COM

PROPOSED NEW DETACHED GARAGE
 10 HADLEY RD
 ARMONK, NY 10504
 SECTION:108.04 BLOCK:2 LOT(S):10 ZONE: R-2A

PROPERTY OWNER:
 GUY MEZZANCELLO
 10 HADLEY RD
 ARMONK NY, 10504

RPRC- SET ONLY
 NO. REVISION DATE



SEAL
 PROJECT ID/DATE: 2153 / 9.5.21
 SHEET SCALE: AS NOTED

FLOOR PLANS AND DETAILS
 Scale: 1/4" = 1'-0"

A-1
 DRAWN BY: AM CHECKED BY: MM
 SUBMISSION DATE:



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 HADLEY RD ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

PROPOSED NEW DETACHED GARAGE.
NEW FRONT WINDOWS TO REPLACE EXISTING NON-OPERABLE
GARAGE DOOR.

Section III- CONTACT INFORMATION:

APPLICANT: GUY & JOAN MEZZANCELLO
ADDRESS: 10 HADLEY ROAD
PHONE: 914-273-3910 MOBILE: 914-274-0863 EMAIL: MEZZELECTRIC@GMAIL.COM

PROPERTY OWNER: GUY & JOAN MEZZANCELLO
ADDRESS: 10 HADLEY RD
PHONE: 914-273-3910 MOBILE: 914-274-0863 EMAIL: MEZZELECTRIC@GMAIL.COM

PROFESSIONAL: MARIO MAIORANO
ADDRESS: 439 WHITE PLAINS RD EASTCHESTER NY 10709
PHONE: (914)346-5616 MOBILE: (914)497-2953
EMAIL: COMMUNITY DESIGNS LLC@GMAIL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04/2/10



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

10 HADLEY RD

Zoning District: R-2A Property Acreage: 1.9995 Tax Map Parcel ID: 108.04/2/10

Date: 11/10/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 10 HADLEY RD Date: 11/10/21

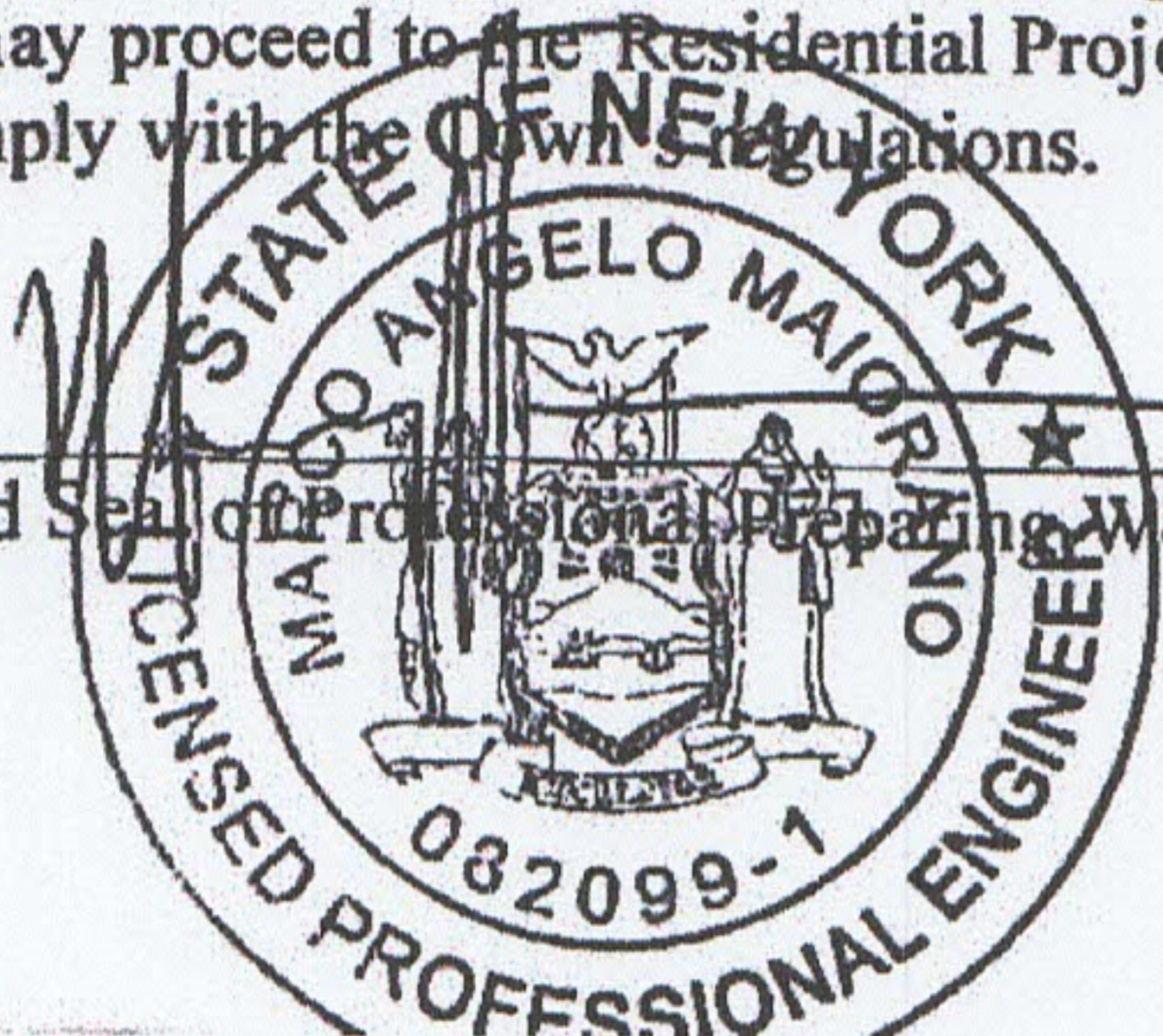
Tax Map Designation or Proposed Lot No.: 108,04/2/10

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,098 S.F.
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 13,268 S.F.
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
62.95 x 10 = 629
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 13,897 S.F.
5. Amount of lot area covered by principal building:
2,894 existing + 0 proposed = 2,894
6. Amount of lot area covered by accessory buildings:
149 existing + 529 proposed = 678
7. Amount of lot area covered by decks:
157 existing + 0 proposed = 157
8. Amount of lot area covered by porches:
NA existing + NA proposed = -0-
9. Amount of lot area covered by driveway, parking areas and walkways:
5,808 existing + -348 proposed = 5,460
10. Amount of lot area covered by terraces: PATIO
1,716 existing + 0 proposed = 1,716
11. Amount of lot area covered by tennis court, pool and mechanical equip:
889 existing + 0 proposed = 889
12. Amount of lot area covered by all other structures:
NA existing + NA proposed = 0
13. Proposed gross land coverage: Total of Lines 5 - 12 = 11,794 S.F.

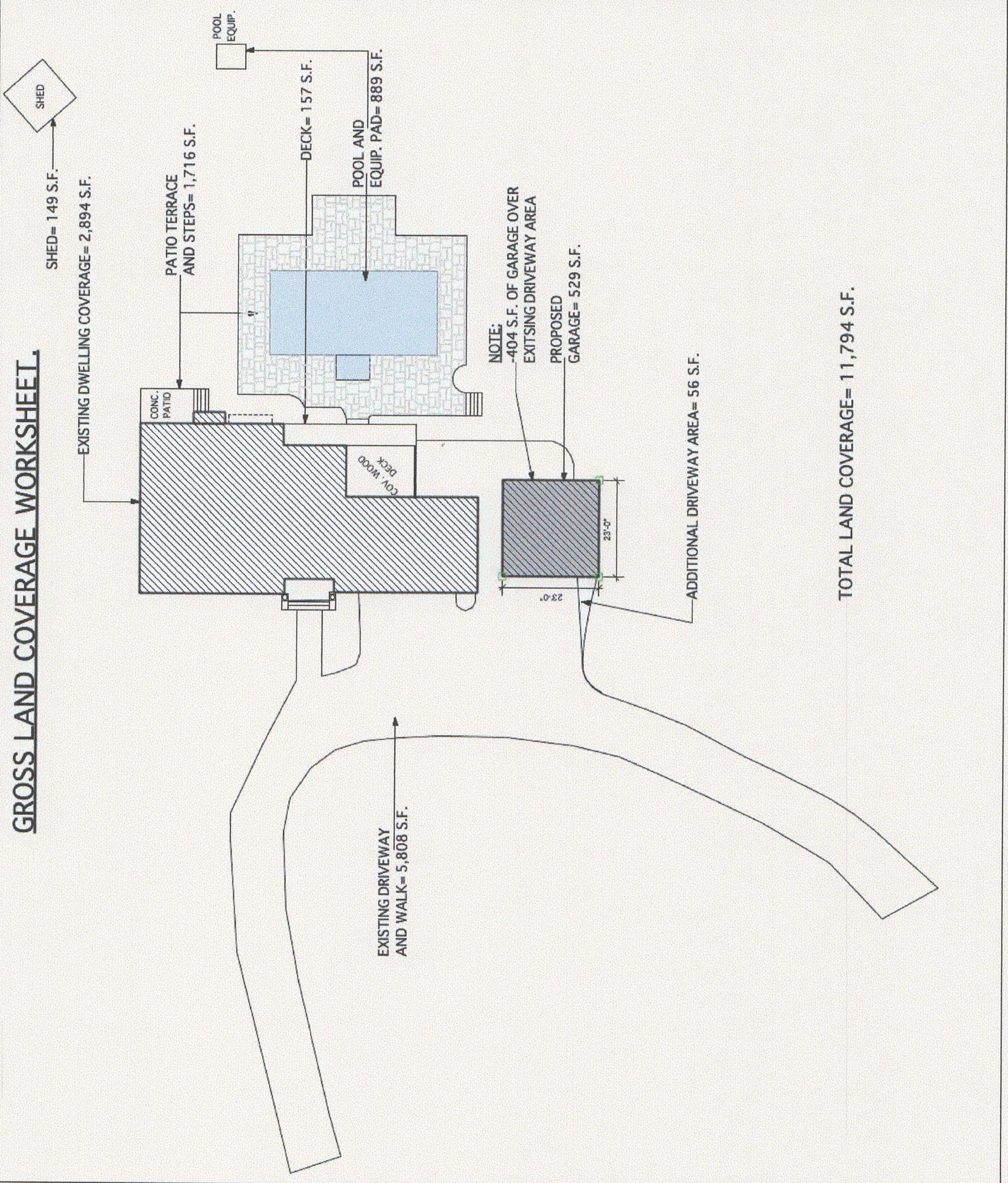
If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



11/16/21
Date

GROSS LAND COVERAGE WORKSHEET.



TOTAL LAND COVERAGE= 11,794 S.F.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 10 HADLEY RD Date: 11/10/21


Tax Map Designation or Proposed Lot No.: 108.04/2/10

Floor Area

- 1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 87,098 S.F.
- 2. Maximum permitted floor area (per Section 355-26.B(4)): 10,121 S.F.
- 3. Amount of floor area contained within first floor:
 - 2,061 existing + 0 proposed = 2,061
- 4. Amount of floor area contained within second floor:
 - 1,845 existing + 0 proposed = 1,845
- 5. Amount of floor area contained within garage:
 - 387 existing + 0 proposed = 387
- 6. Amount of floor area contained within porches capable of being enclosed:
 - 187 existing + 0 proposed = 187
- 7. Amount of floor area contained within basement (if applicable – see definition):
 - NA existing + NA proposed = 0
- 8. Amount of floor area contained within attic (if applicable – see definition):
 - NA existing + NA proposed = 0
- 9. Amount of floor area contained within all accessory buildings:
 - 0 existing + 529 proposed = 529
- 10. Proposed floor area: Total of Lines 3 – 9 = 5,009

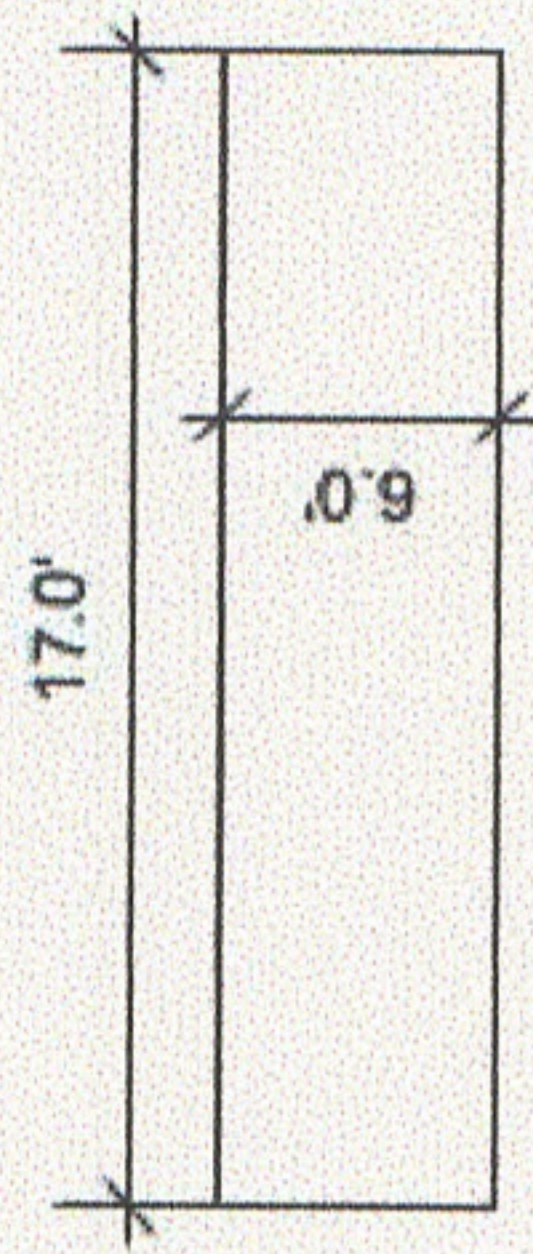
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

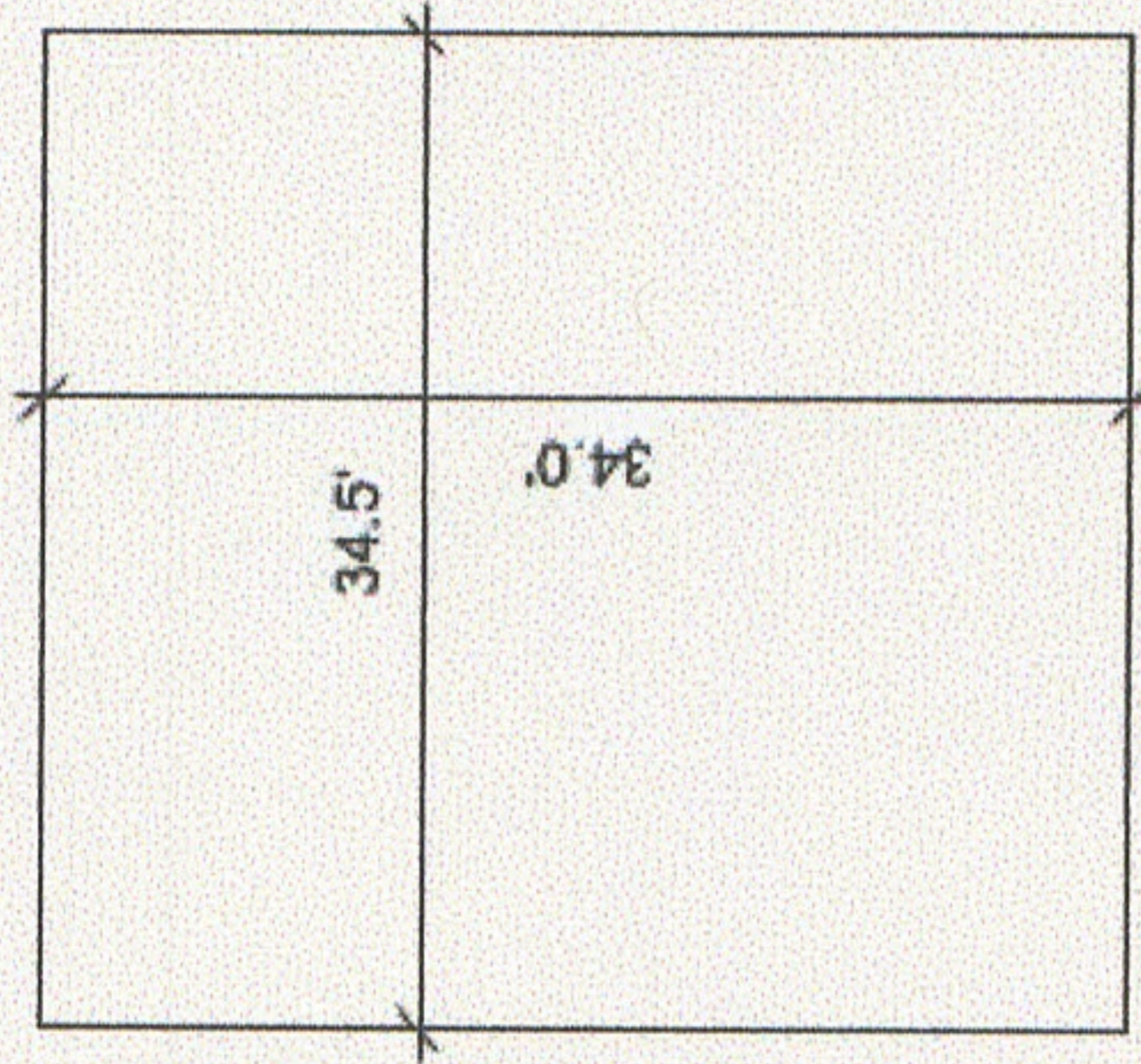


11/10/21
 Date

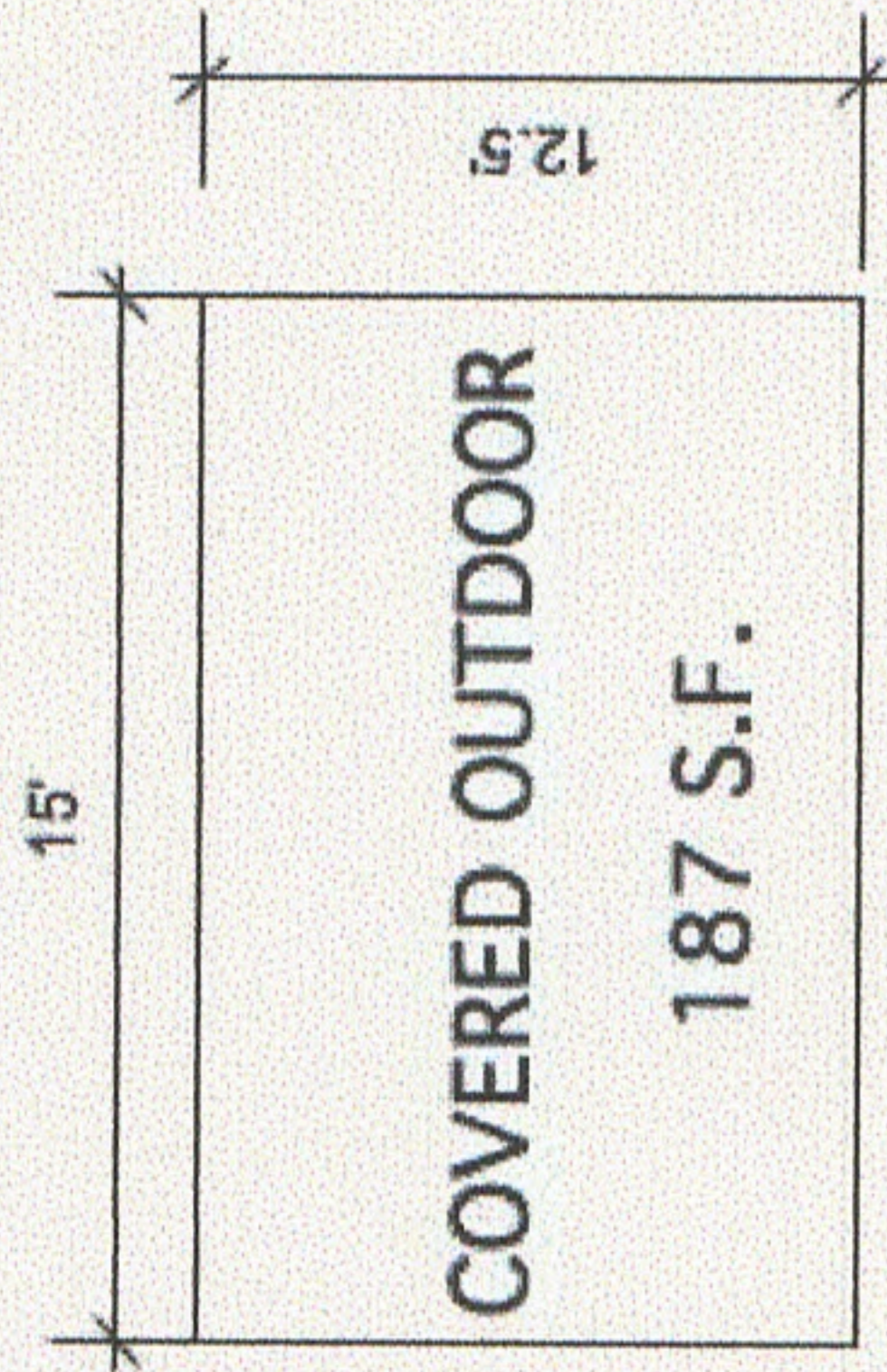
GROSS FLOOR AREA WORKSHEET.



102 S.F.

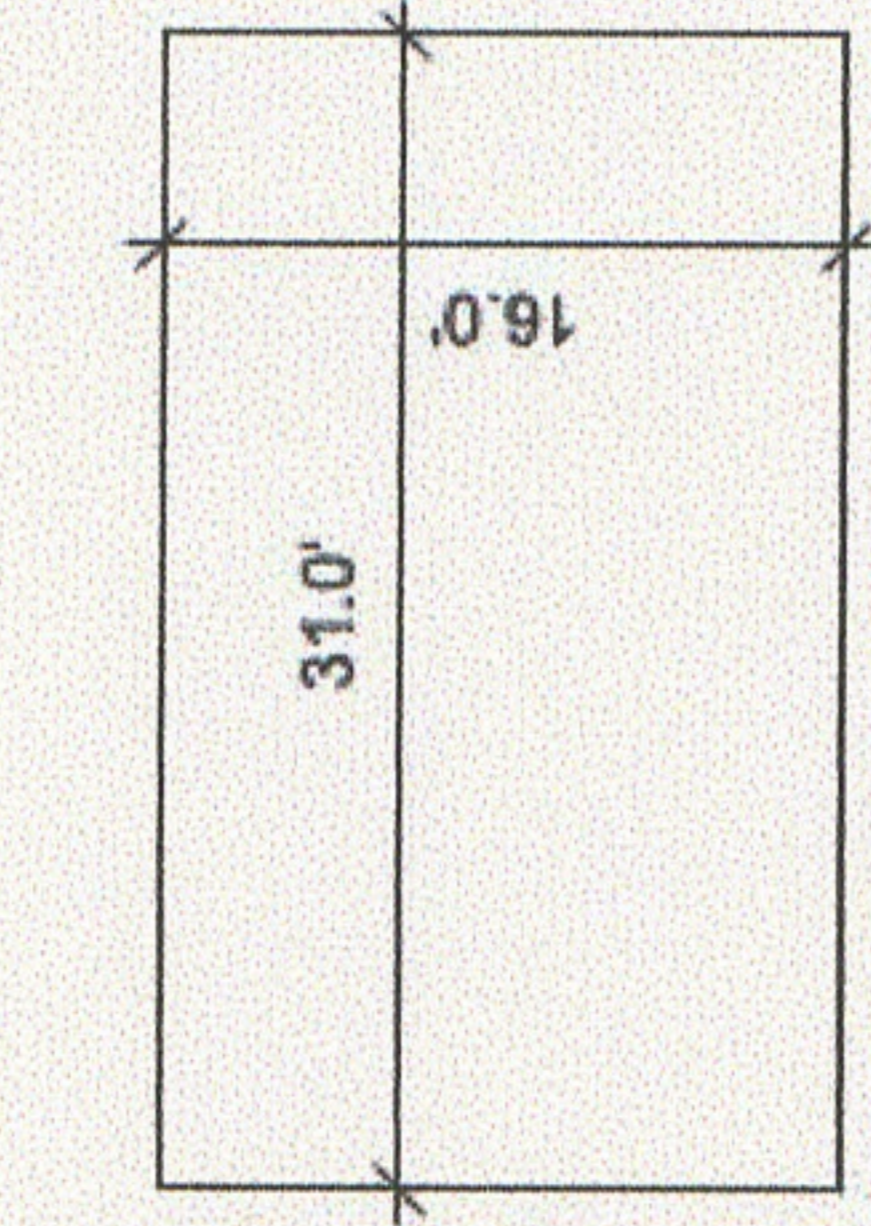


1173 S.F.

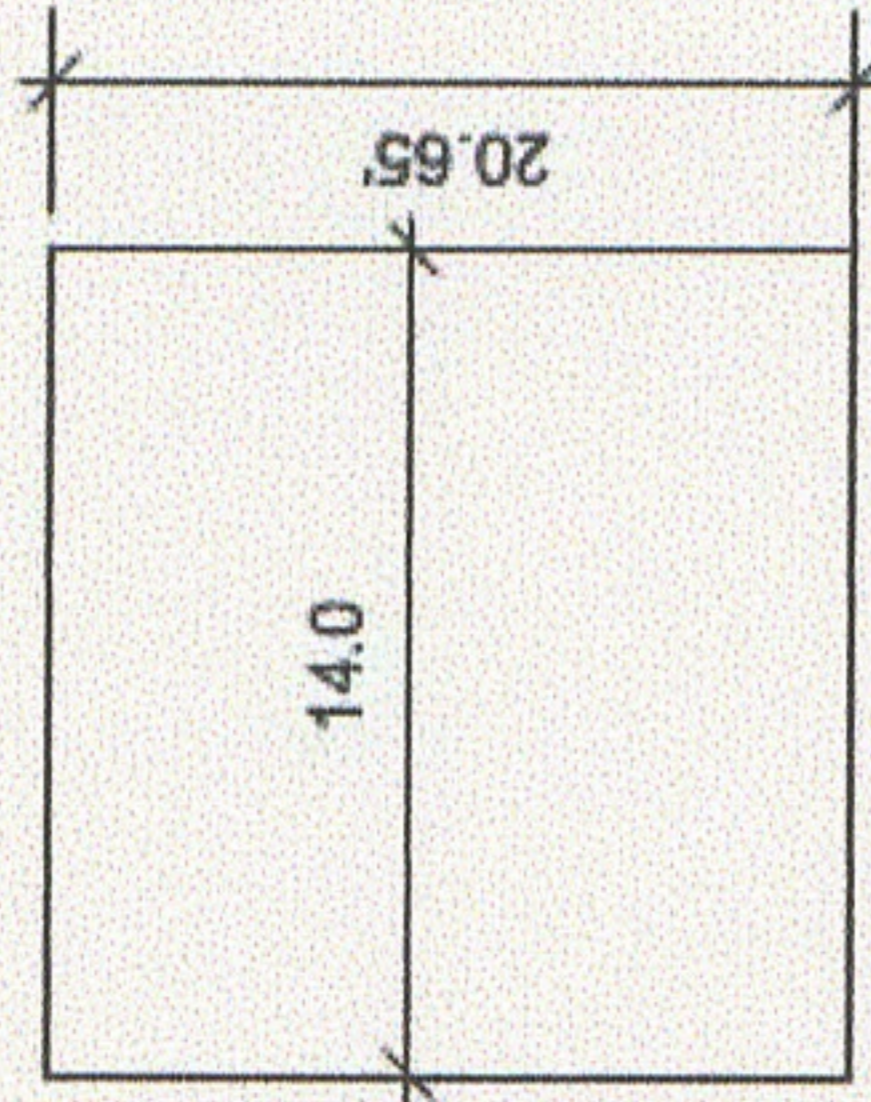


COVERED OUTDOOR

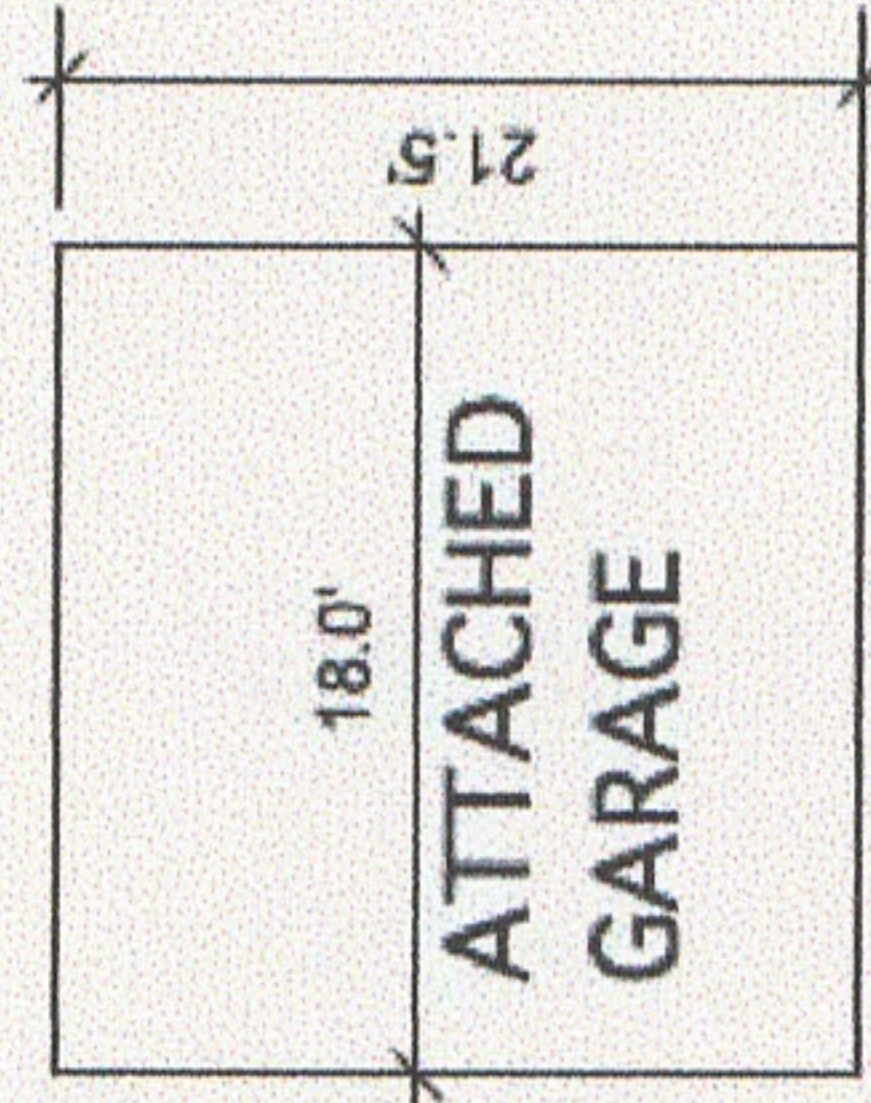
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496 S.F.



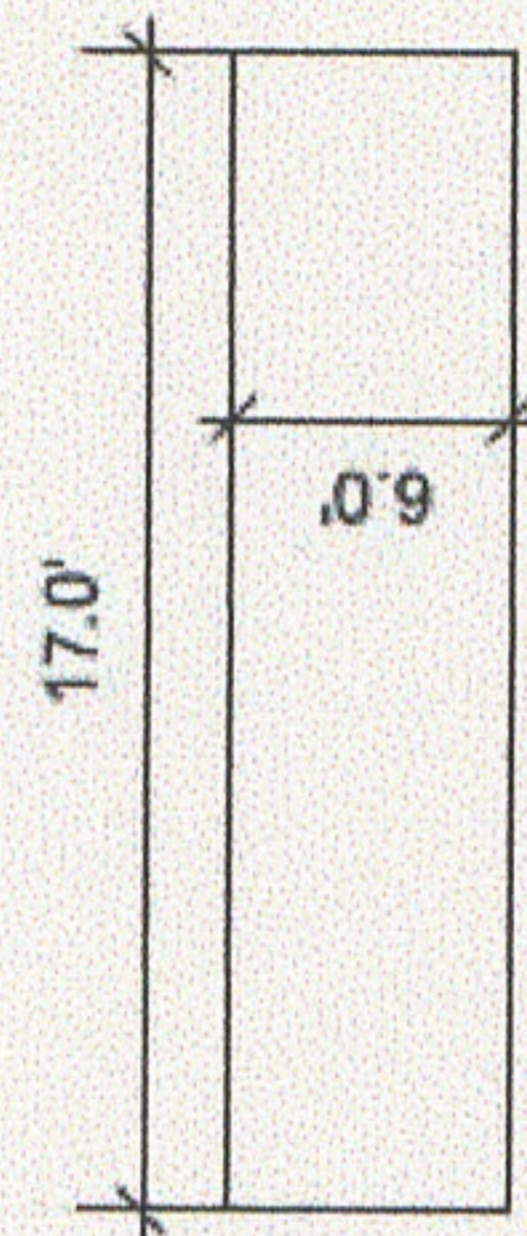
290 S.F.



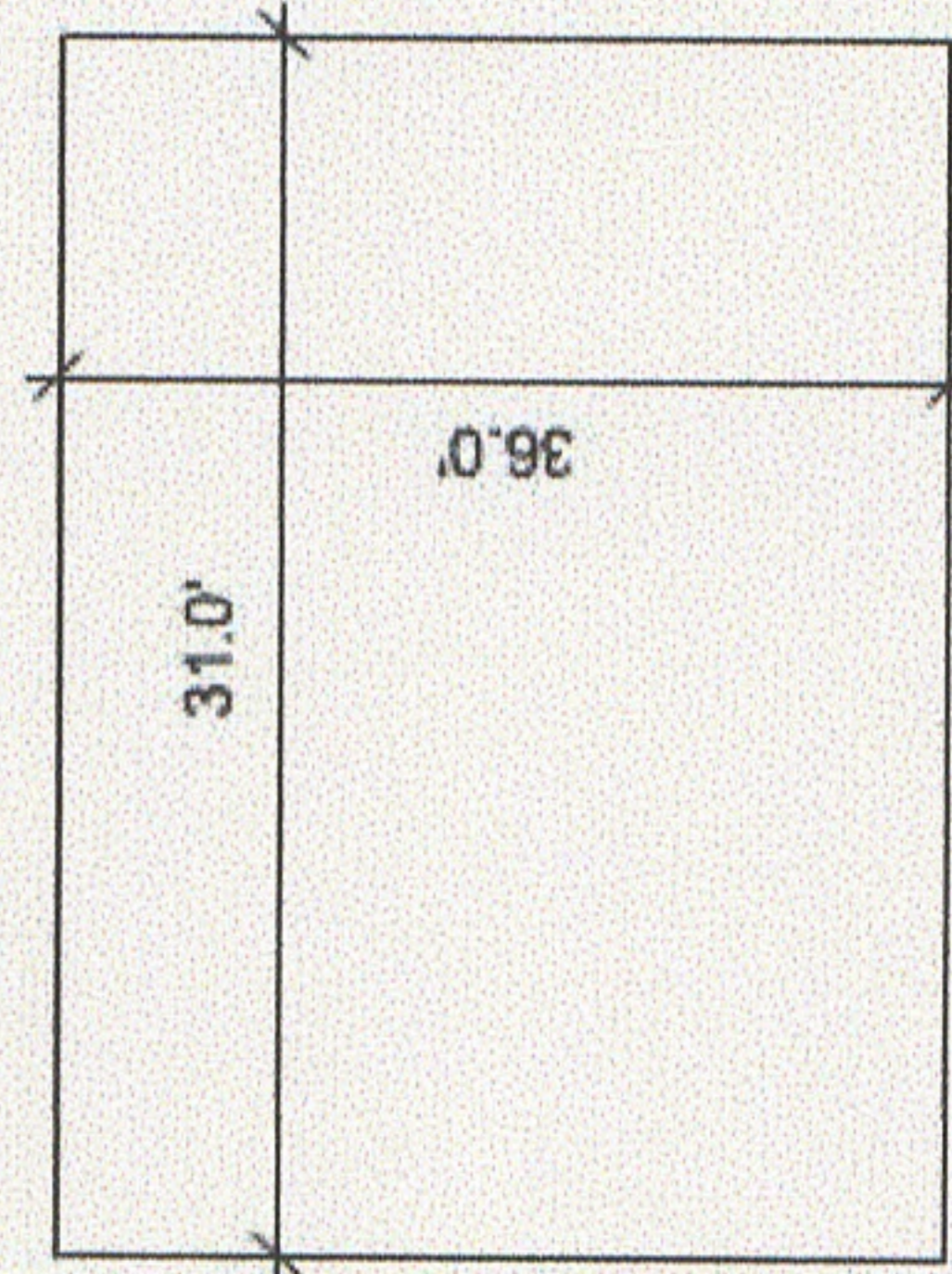
ATTACHED GARAGE

387 S.F.

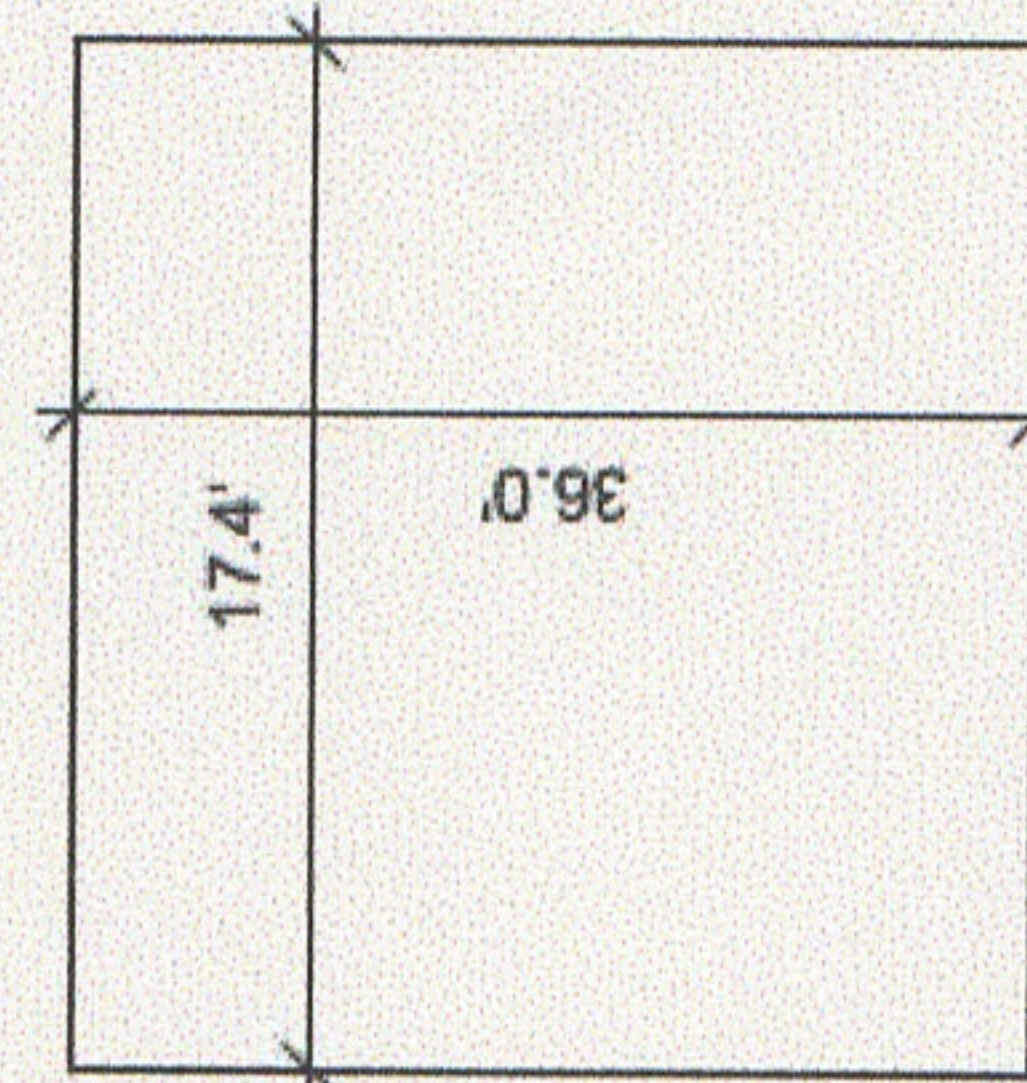
FIRST FLOOR TOTAL= 2,061 S.F.



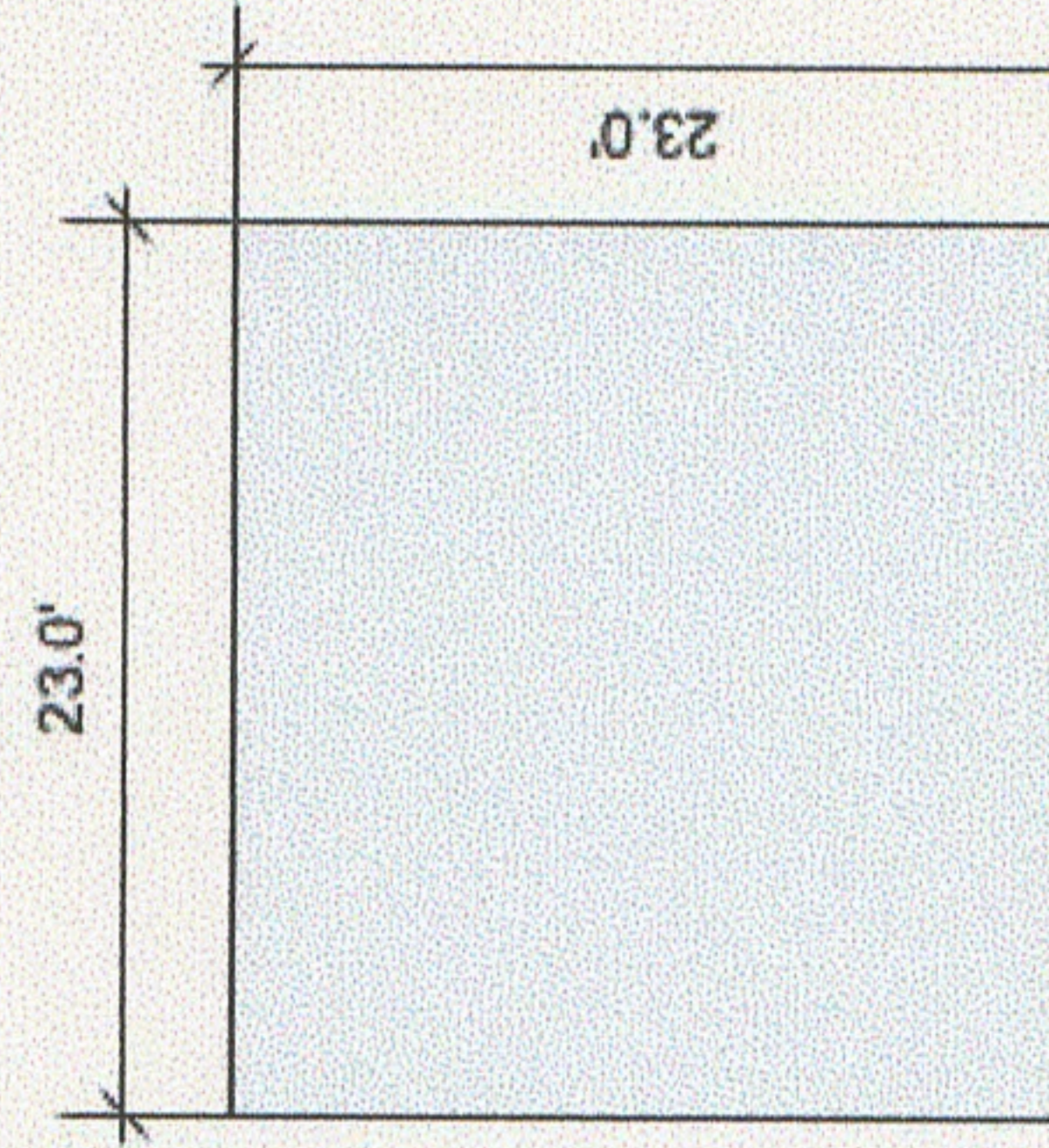
102 S.F.



1,116 S.F.



627 S.F.



529 S.F.

SECOND FLOOR TOTAL= 1,845 S.F.

PROPOSED NEW DETACHED GARAGE= 529 S.F.