

Hildenbrand Engineering, PLLC
208 Creamery Road
Hopewell Junction, NY 12533
(845) 206-6994
Brian@HildenEng.com

November 16, 2021

North Castle RPRC
c/o Valerie Desimone
17 Bedford Road
Armonk, NY 10504

RE: Dempsey
606 Bedford Road (NYS 22)

Dear Ms. Desimone:

Please find enclosed a PDF digital submission of the following items:

- Residential Project Review Committee (RPRC) Application
- Gross Land Coverage Figures
- Site Plan prepared by Hildenbrand Engineering, dated November 16, 2021
- Sheet A-102 by George J. Gaspar AIA Architect, dated November 15, 2021
- Check in the amount of \$750 for RPRC application fee (submitted under separate cover)

The subject property is 2.00 acres and located in the R-2A Zoning District. The applicant recently received approval for the construction of an inground pool, patio, stormwater mitigation and associated grading. While the site is under construction, the applicant would like to construct a pool house to compliment the new pool. The addition of the pool house and associated patio expansion will require modifications to the approved grading and stormwater designs. The Applicant will also require a variance from the Zoning Board of Appeals for the Gross Land Cover.

Our hope is to have the RPRC send the application to the ZBA. While wait for the upcoming ZBA meeting, we will address the site engineering changes.

We look forward to presenting this project to the Board at the next RPRC meeting.

Very truly yours,



Brian Hildenbrand P.E

Cc: (via email)

Steven Dempsey, Owner
Kellard Sessions Consulting, Town Engineer
Adam Kaufman, AICP, Town Planner





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 606 Bedford Road (NYS Route 22)

Section III- DESCRIPTION OF WORK:

Construction of a pool house to accompany the recently approved pool/patio in the rear yard

Section III- CONTACT INFORMATION:

APPLICANT: Steven Dempsey

ADDRESS: 606 Bedford Road, Armonk NY 10504

PHONE: MOBILE: (917) 502-3992 EMAIL: dempsey@greyrockcapitalgroup.com

PROPERTY OWNER: Same as Applicant

ADDRESS:

PHONE: MOBILE: EMAIL:

PROFESSIONAL.: Brian Hildenbrand, P.E.

ADDRESS: 208 Creamery Road, Hopewell Junction NY 12533

PHONE: (845) 206-6994

MOBILE:

EMAIL: Brian@HildenEng.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 101.02-1-14



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Dempsey Pool House Date: 11/15/21

Tax Map Designation or Proposed Lot No.: 101.02 - 1 - 14

Gross Lot Coverage

- | | | |
|-----|--|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,126</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>13,270</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback | <u>1210</u> |
| | <u>121</u> x 10 = <u>1210</u> | |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14,480</u> |
| 5. | Amount of lot area covered by principal building:
<u>2,883</u> existing + <u>-</u> proposed = | <u>2,883</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>307</u> proposed = | <u>307</u> |
| 7. | Amount of lot area covered by decks:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of lot area covered by porches:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>8034</u> existing + <u>-</u> proposed = | <u>8,034</u> |
| 10. | Amount of lot area covered by terraces:
<u>991</u> existing + <u>760</u> proposed = <u>640 SF Approved</u>
<u>760</u> Proposed | <u>1,751</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>124</u> existing + <u>1,110</u> proposed = <u>Approved, NOT constructed</u> | <u>1,234</u> |
| 12. | Amount of lot area covered by all other structures:
<u>790</u> existing + <u>97</u> proposed = | <u>693</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 = | <u>14,903</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Planning Worksheet



Date: 11/15/21



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

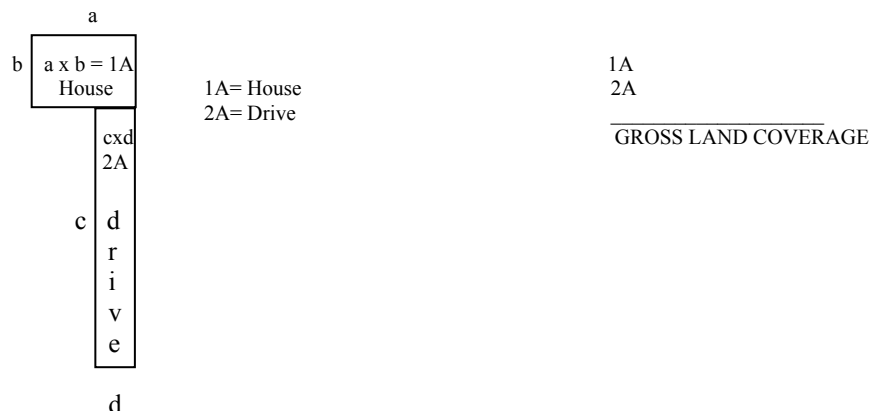
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below

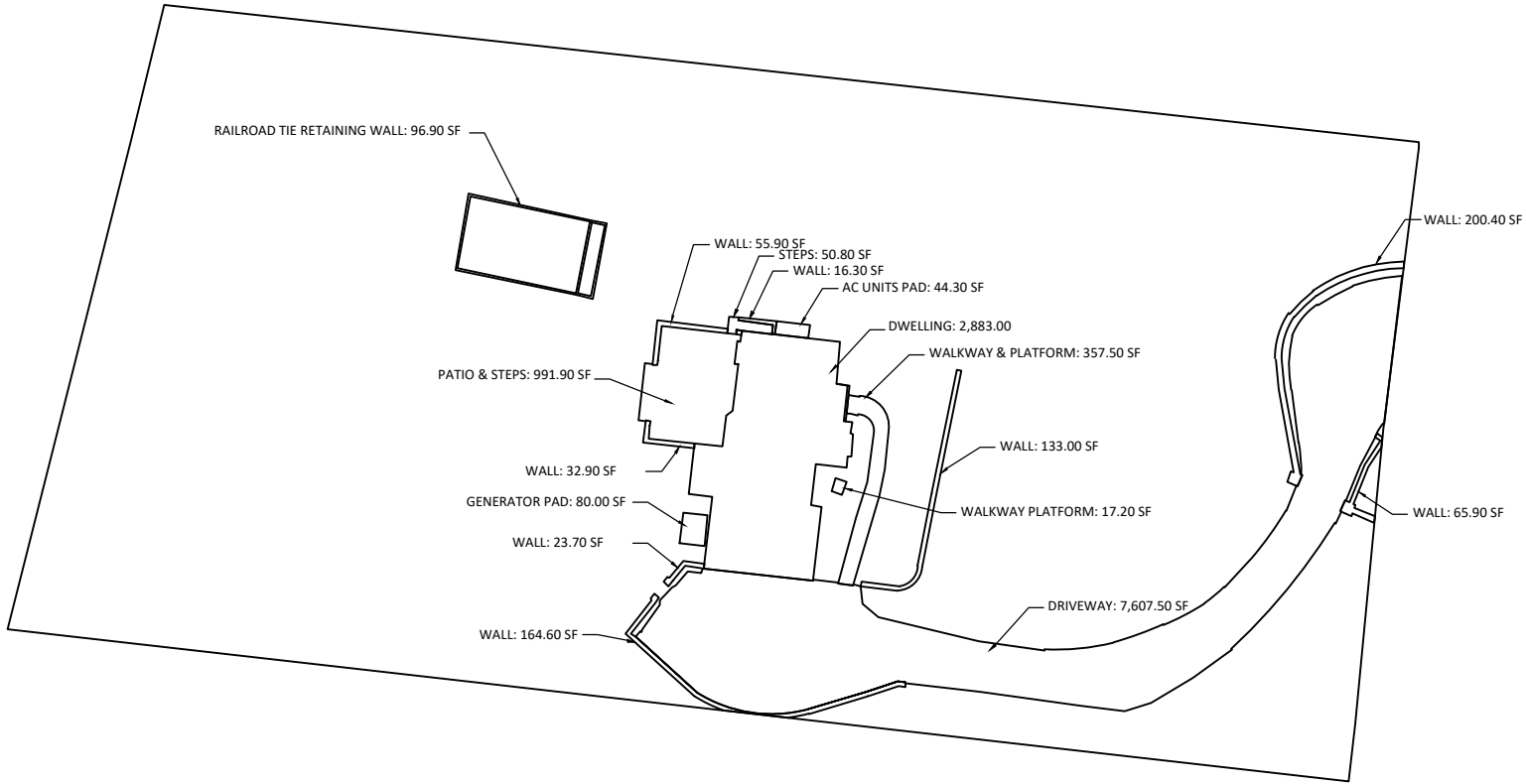


LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



EXISTING GROSS LAND COVERAGE

TOTAL LOT AREA		87,126 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210 SF

TOTAL MAX PERMITTED GROSS LAND COVERAGE = 14,480 SF

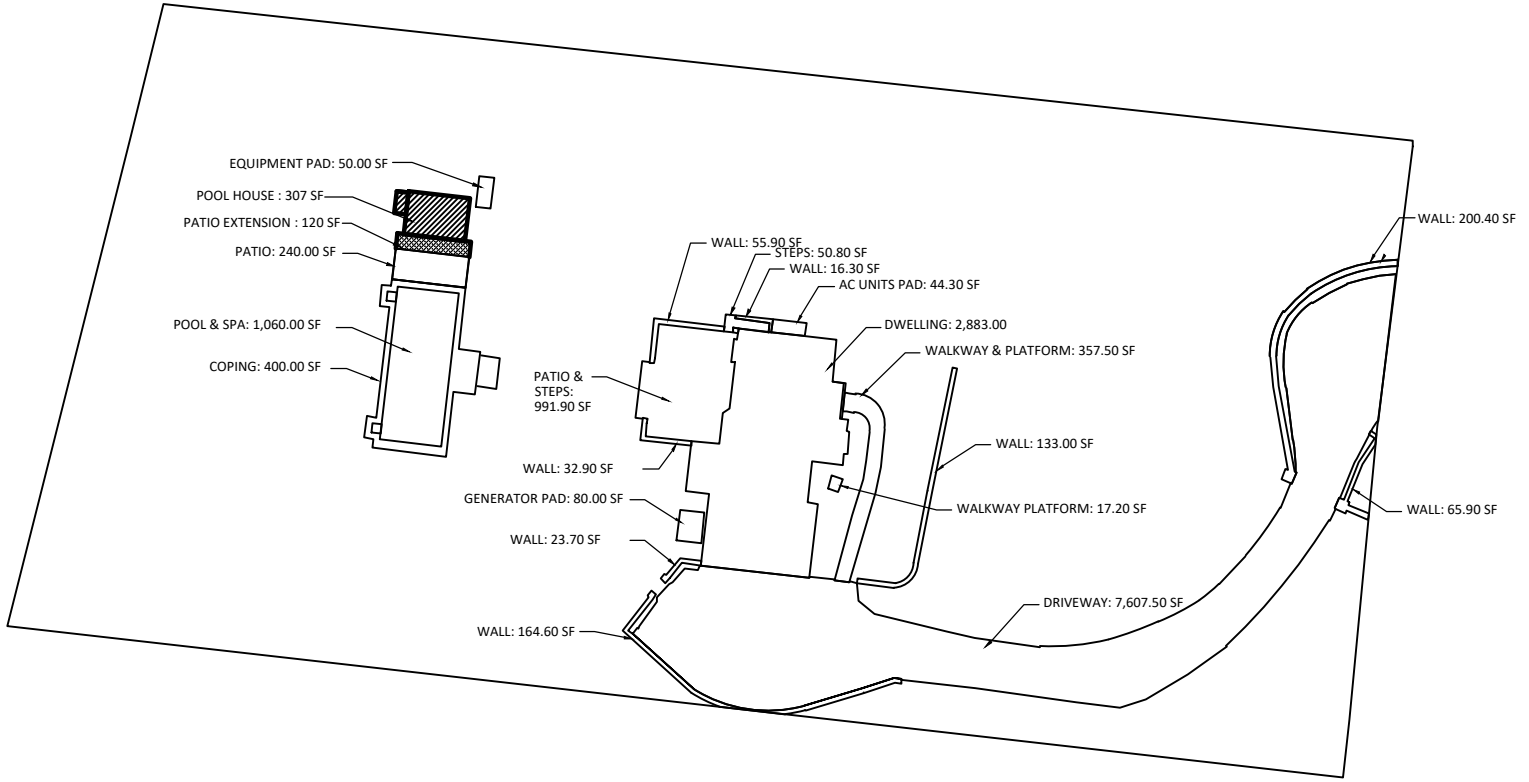
PRINCIPAL BUILDING	=	2,883 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,025 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124 SF
ALL OTHER STRUCTURES - WALLS	=	790 SF

EXISTING GROSS LAND COVERAGE = 12,822 SF



EXISTING
Graphical Depiction - Coverage Calculations
Dempsey Residence Pool
Town of North Castle
Westchester County, New York

HILDENBRAND ENGINEERING, PLLC
Brian@HildenEng.com



PROPOSED GROSS LAND COVERAGE

TOTAL LOT AREA		87,126.689 SF
MAX PERMITTED GROSS LAND COVERAGE	=	13,270.50 SF
BONUS MAX PERMITTED GROSS LAND COVERAGE	=	1,210.60 SF
TOTAL MAX PERMITTED GROSS LAND COVERAGE	=	14,481.10 SF
PRINCIPAL BUILDING	=	2,883.00 SF
ACCESSORY BUILDINGS	=	0.00 SF
DECKS	=	0.00 SF
PORCH	=	0.00 SF
DRIVEWAY, PARKING, WALKWAYS	=	9,024.90 SF
TERRACES	=	0.00 SF
MECHANICAL EQUIPMENT - AC, GENERATOR	=	124.30 SF
ALL OTHER STRUCTURES - WALLS	=	692.70 SF
PROPOSED POOL & SPA	=	1,060.00 SF
PROPOSED COPING	=	400.00 SF
PROPOSED PATIO	=	240.00 SF
PROPOSED POOL EQUIPMENT PAD	=	50.00 SF
PROPOSED POOL HOUSE	=	307 SF
PROPOSED PATIO EXPANSION	=	120 SF
TOTAL GROSS LAND COVERAGE	=	14,902 SF



PROPOSED
 Graphical Depiction - Coverage Calculations
 Dempsey Residence Pool
 Town of North Castle
 Westchester County, New York

HILDENBRAND ENGINEERING, PLLC
 Brian@HildenEng.com



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com


FLOOR AREA CALCULATIONS WORKSHEET

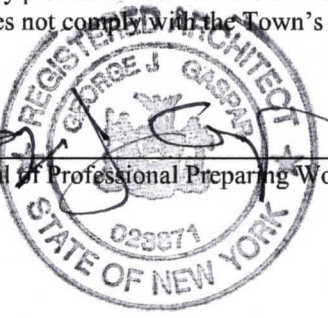
Application Name or Identifying Title: DEMPESEY POOLHOUSE Date: 11/16/2021
 Tax Map Designation or Proposed Lot No.: 101.02-1-14

Floor Area

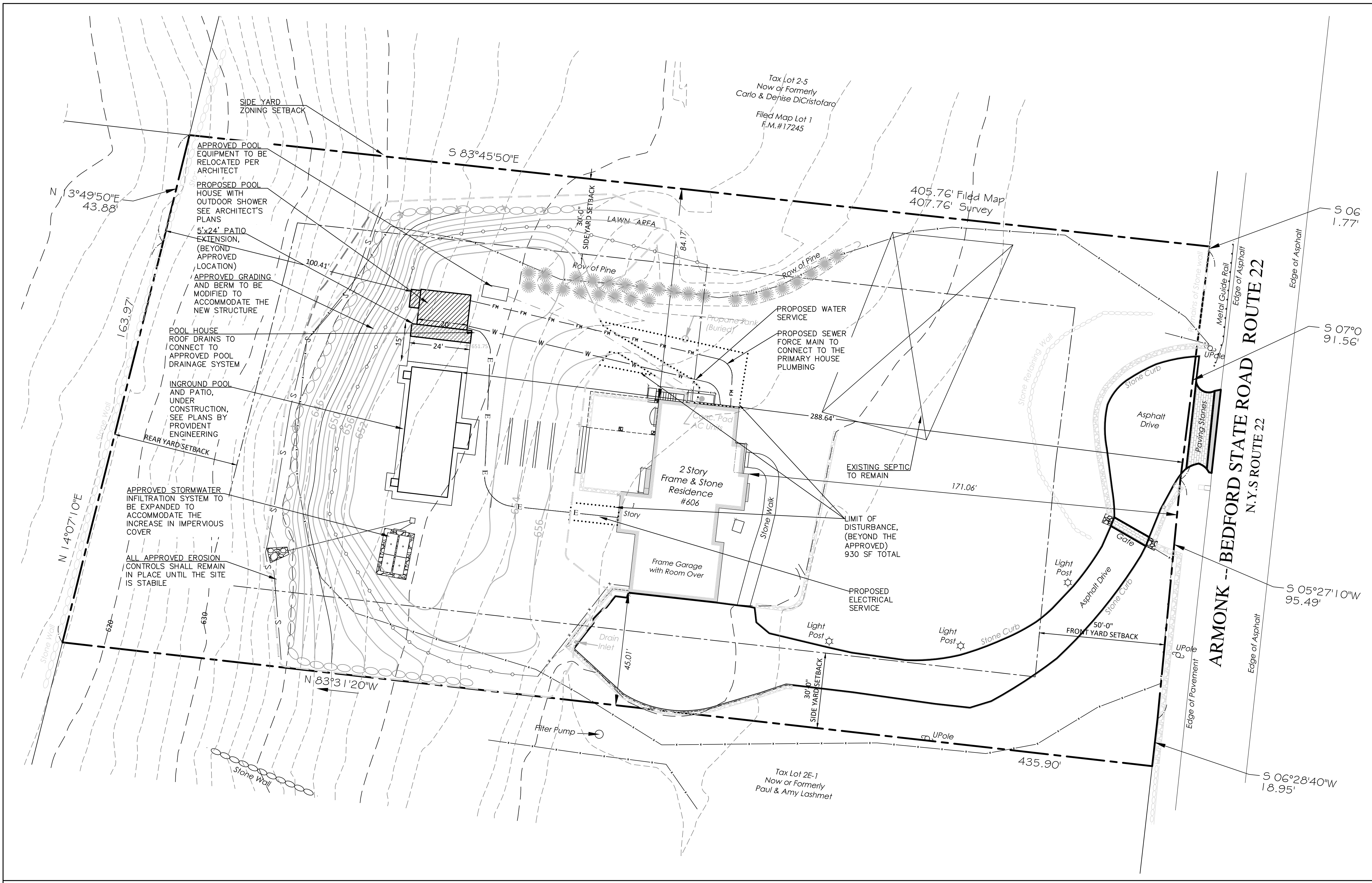
- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>2 AC</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122</u> |
| 3. | Amount of floor area contained within first floor:
<u>2939</u> existing + <u>0</u> proposed = | <u>2,939</u> |
| 4. | Amount of floor area contained within second floor:
<u>2278</u> existing + <u>0</u> proposed = | <u>2,278</u> |
| 5. | Amount of floor area contained within garage:
<u>830</u> existing + <u>0</u> proposed = | <u>830</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>48</u> existing + <u>0</u> proposed = | <u>48</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>572</u> existing + <u>0</u> proposed = | <u>572</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>308</u> proposed = | <u>308</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>6,975</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



11/16/2021
 Date



LOCATION MAP SCALE: NTS

SITE DATA

OWNER / APPLICANT: STEVEN DEMPSEY
606 BEDFORD ROAD, (RT 22)
ARMONK, NEW YORK 10504

PROJECT LOCATION: 606 BEDFORD ROAD, (RT 22)
ARMONK, NEW YORK 10504

PROPERTY AREA: 2.00 AC

TAX MAP: 101.02-1-14

ZONING DISTRICT: R-2A

- GENERAL NOTES**
- THIS MAP IS NOT A SURVEY. EXISTING CONDITIONS REFERENCED FROM SURVEY PREPARED BY THOMAS C. MERRITTS, LAND SURVEYOR.
 - SEE APPROVED SITE PLANS PREPARED BY PROVIDENT DESIGN GROUP FOR INFORMATION RELATING TO THE POOL AND ASSOCIATED DRAINAGE, PATIO, FENCING, GRADING ETC.
 - SEE PLANS PREPARED BY BEDFORD POOLS POOL SERVICE FOR POOL INFORMATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE EXISTING FEATURES DISTURBED BY THE CONSTRUCTION OF THIS CONTRACT TO EXISTING CONDITION OR BETTER, AS DETERMINED BY THE ENGINEER.
 - THE ENGINEER WHOSE SEAL APPEARS HEREON IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND, THEREFORE, ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
 - THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THESE PLANS.

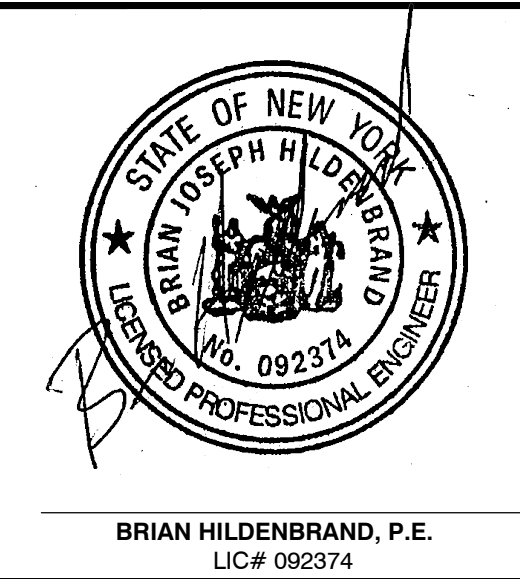
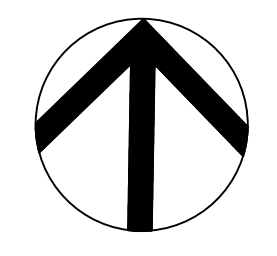
- EROSION CONTROL NOTES**
- THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS AND EXISTING DOWNSTREAM DRAINAGE UTILITIES FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF WORK.
 - ALL PLANS SHOULD FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED AUGUST 2005, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER.
 - THE MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION ARE UNDERTAKEN CONSISTENT WITH THE NEW YORK STATE'S STORMWATER DESIGN MANUAL, DATED AUGUST 2004, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR, SATISFACTORY TO THE TOWN.
 - ALL SURPLUS MATERIAL SHALL BE REMOVED FROM THE SITE AND PROPERTY DISPOSED OF AT AN APPROPRIATE FACILITY.
 - ALL PROPOSED DRAINAGE IMPROVEMENTS SHALL BE 10' MINIMUM FROM ALL PROPERTY LINES.

LAYOUT PLAN SCALE: 1" = 20'

TOWN OF NORTH CASTLE ZONING REQUIREMENTS (R-2A ZONING)

	REQUIRED R1-20	EXISTING	APPROVED*	PROPOSED
LOT AREA (AC)	2.0	2.0	NO CHANGE	NO CHANGE
MIN. LOT WIDTH (FT.)	150	207	NO CHANGE	NO CHANGE
MIN. LOT DEPTH (FT.)	150	421	NO CHANGE	NO CHANGE
ROAD FRONTAGE (FT)	150	207	NO CHANGE	NO CHANGE
FRONT YARD (FT.)	50	171	NO CHANGE	NO CHANGE
SIDE YARD (FT.)	30	45	45	45
ACCESSORY SIDE YARD (FT.)	15	-	-	50
REAR YARD (FT.)	50	200	107	100
MAX. BUILDING HEIGHT (STORY/FT)	30	<30	NO CHANGE	<30
MAX. BUILDING COVERAGE (%)	8%	3.3%	3.3%	3.6%
MAX. GROSS LAND COVERAGE (SF)	14,481	12,821	14,475	14,902 **

* SEE APPROVED SITE PLANS PREPARED BY PROVIDENT ENGINEERING, DATED, LAST REVISED, MAY 19, 2021
** VARIANCE REQUIRED

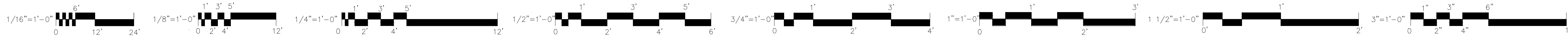


PROJECT: **606 BEDFORD ROAD**
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

DRAWING: **POOL HOUSE SITE PLAN**

DATE:	11-15-2021	DRAWING NO.:	SP.1	SHEET:	1 / 1
PROJECT NO.:	-	DRAWN BY:		B.J.H.	

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



IF THIS SHEET IS NOT 24x36 FULL SIZE, USE GRAPHIC SCALES FOR REDUCTION

GENERAL NOTES

The project shall be governed in any & all respects by the current edition of the Town of Patterson, County of Putnam, State of New York codes and regulations, the latest edition adopted by the municipality. All work shall be performed in accordance with the standard guidelines of the AIA, General Condition of Contract (Document A201).

The Contractor will be responsible for reviewing all existing conditions, inclusive of foundations, sub-grade utilities, piping, framing, grade elevations, and lot line parameters. Any discrepancies between the Architect's documentation and site conditions should be brought to the attention of the Architect prior to construction. The Contractor will accept responsibility and resultant costs from his failure to obtain full knowledge of said existing conditions.

The Contractor shall guarantee all work for one (1) year after issuance of Certificate of Occupancy. This guarantee shall include all assemblies, materials, or workmanship, which prove to be defective, exclusive of ordinary wear and tear. The Contractor assumes that he will provide all the work necessary to meet the intent of the drawings required for the completion of the project.

The Contractor shall notify the Architect of any discrepancies or questions regarding the drawings and related specifications prior to start of work.

All dimensions shown are taken as "rough to rough" unless otherwise noted.

Where the term "approved equal" is used, it was understood that the Owner and/or Architect will be responsible for approval of submitted substitutions.

The Contractor shall submit fixture and equipment cuts as well as samples for the Architect's approval where same are to be furnished by the Contractor.

The Contractor shall submit shop drawings for the Architect's approval.

The Contractor shall coordinate all work of the various trades whether in his contract or not and shall schedule said trades in a manner suitable for an expeditious project completion.

The Contractor shall anticipate the removal of debris throughout the construction process and maintain the site in a safe, clean and accessible condition. In addition, all "unsafe" areas are to be protected.

The Contractor will be responsible for all surveys, inspections, sign-offs, and securing of the final Certificate of Occupancy as per the requirements of the local building jurisdiction.

It shall be understood that the Contractor will not "scale" the documents for dimensional information and will notify the Architect as questions arise and request clarifications.

The Contractor shall be solely responsible for notification to the local building jurisdiction in conjunction with any required inspections performed by the Town and shall be solely responsible for knowledge of which inspections the Town performs.

The Architect has not been retained to perform full time field supervision of the project but shall perform field observation as warranted by the project conditions and as per generally accepted practice.

All material indicated for this project is to be furnished and installed by the Contractor, unless specifically noted otherwise.

All materials and workmanship, of whatever kind, shall be subject to the approval of the Architect at any time during the progress of the work and until the completion and acceptance of it. Acceptance by the Owner shall not relieve the contractor from his responsibility under the Contract.

The Contractor is required to be thoroughly familiar with any licensing and insurance requirements of the jurisdictions within which the project is located and shall not cause any job delays due to failure to comply with this requirement.

The Contractor shall be licensed and shall present such license to the local building jurisdiction as a requirement for obtaining a Building Permit.

The Contractor's subcontractors shall be licensed, bonded and insured as required.

All hazardous material removals, if any, shall be performed as per NY State Law with all sign-offs presented to the Owner upon completion.

The Contractor is solely responsible for product safety, including the selection of methods, sequences and staffing in conjunction with project safety. Abide by all OSHA requirements.

Contractor is solely responsible for determining need for and methods for accomplishing temporary shoring, supports, etc. for all items of work.

Coordinate storage of material, equipment and dumpsters with the Owner and municipality.

Use all products in strict accordance with manufacturers' printed instructions, unless noted otherwise.

Contractor shall be solely and totally responsible for sequence of construction.

The Architect and Owner reserve the right to make changes in the drawings or specifications or to increase or decrease the quantity of work at any time, before or after construction has commenced, with appropriate adjustments to Contract sum, noted in a timely manner. Approval of such changes shall be in writing before proceeding with the work.

Any items added to the project subsequent to the Construction Contract shall follow the specifications for materials previously specified unless noted otherwise.

The Architect may stop, by written order, any work or any part of the work under this Contract if, in his opinion, the materials, methods or conditions are unsatisfactory, pending Owner, Architect and Contractor review.

All Change Orders affecting project cost shall be immediately presented to the Architect for review and approval. All change Orders are to be signed as approved or rejected by both the Architect and Owner.

Upon substantial project completion, the contractor shall supply the Owner "Release of Liens" from all subcontractors.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
ADJ	ADJUSTABLE
A/C	AIR CONDITIONING
BTWN	BETWEEN
B/BLDG	BOTTOM OF BUILDING
CAB	CABINETY
CLG	CEILING
CL	CENTER LINE
CT	CERAMIC TILE
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
DTL	DETAIL
DIA	DIAMETER
D/W	DISHWASHER
DR	DOOR
DN	DOWN
DWG	DRAWING
D	DRYER
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXTG	EXISTING
EXT	EXTERIOR
FF	FINISH FLOOR
FPSC	FIRE PROOF SELF CLOSING
FLR	FLOOR
FAR	FLOOR AREA RATIO
FTG	FOOTING
FNDN	FOUNDATION
FBO	FURNISHED BY OTHERS
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSTUM WALL BOARD
HDR	HEADER
HT	HEIGHT
HORIZ	HORIZONTAL
HB	HOSE BIB
HVAC	HEAT, VENTILATION, AIR CONDITIONING
INSUL	INSULATION
INT	INTERIOR
JSTS	JOISTS
LC	LEAD COATED
LF	LINEAR FEET
MO	MASONRY OPENING
MATLS	MATERIALS
MAX	MAXIMUM
MED CAB	MEDICINE CABINET
MIN	MINIMUM
MLDG	MOULDING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
OA	OVER ALL
PTD	PAINTED
PL	PLATE
PLYWD	PLYWOOD
P_CONC	POURED CONCRETE
PT	PRESSURE TREATED
REF	REFRIGERATOR
REINF	REINFORCING
REQD	REQUIRED
R	RISER
RO	ROUGH OPENING
SIM	SIMILAR
SF	SQUARE FEET
SS	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURAL
SUBFLR	SUBFLOOR
TEMP	TEMPORARY
TBD	TO BE DETERMINED
TME	TO MATCH EXISTING
T&G	TONGUE AND GROOVE
T/	TOP OF
T/	TREAD
TO	TRIMMED OPENING
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
VERT	VERTICAL
W	WASHER
WP	WATERPROOF
WIF	WELDED WIRE FABRIC
WDW	WINDOW
W/	WITH
WD	WOOD

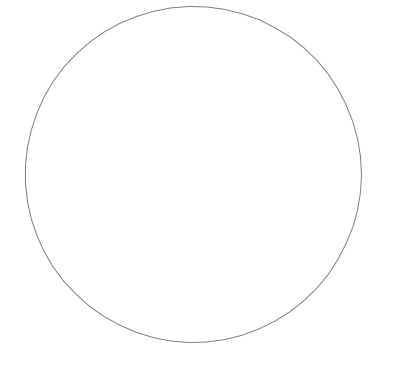
SYMBOL LEGEND

	FIRST FLOOR PLAN	DRAWING TITLE
	Drawing Number	ELEVATION REFERENCE
	Sheet Number	SECTION REFERENCE
	Drawing Number	DETAIL REFERENCE
	Sheet Number	DETAIL REFERENCE
	A-205	INTERIORS REFERENCE
		DOOR TAG
	2, 8, 6	DOOR SIZE
		WINDOW TAG
	Room Name Room Number	ROOM REFERENCE
	T/FIRST FLOOR	HEIGHT REFERENCE
		REVISED AREA
		REVISION TAG
	4'-6 1/2	DIMENSION LINE
		BREAK LINE
		NORTH ARROW

PROJECT TEAM

DRAWING LIST

A-101 TITLE SHEET
A-102 PROPOSED PLAN & ELEV.



GEORGE J. GASPARI ARCHITECT
24 EASTVIEW AVENUE • BRONX, NEW YORK 10469 • C-646-216-8348
WWW.GASPARIARCHITECTURE.COM

PROJECT NO.	GJG 21-267
DATE:	2021-11-15
DRAWN BY:	GASPARI
CHECKED BY:	GASPARI
SCALE:	AS NOTED
FILE:	GJG 267-A101
AREA:	
REVISIONS:	
2020-11-15	SUBMISSION FOR BLDG. DEPT. REVIEW

SHEET TITLE:
COVER SHEET
GENERAL NOTES
ABBREVIATIONS

RESIDENTIAL BUILDING CODE INFORMATION

- THE DESIGN AS PRESENTED WITHIN THESE PERMIT DRAWINGS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF NEW YORK.
 - THE DESIGN AS PRESENTED WITHIN THESE PERMIT DRAWINGS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE STATE OF NEW YORK.
- * SPECIAL WIND REGION
RCNYS 507, EXTERIOR DECKS 40 psf, LIVE LOAD, Soil bearing capacity assumed 3000 psf

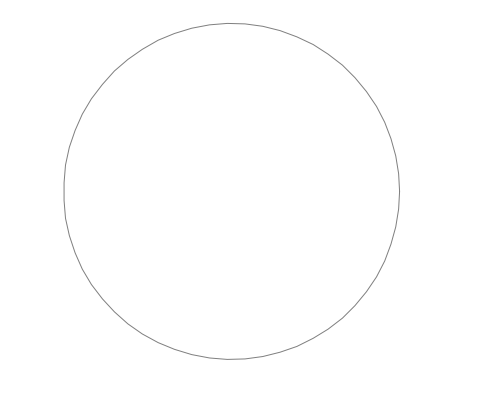
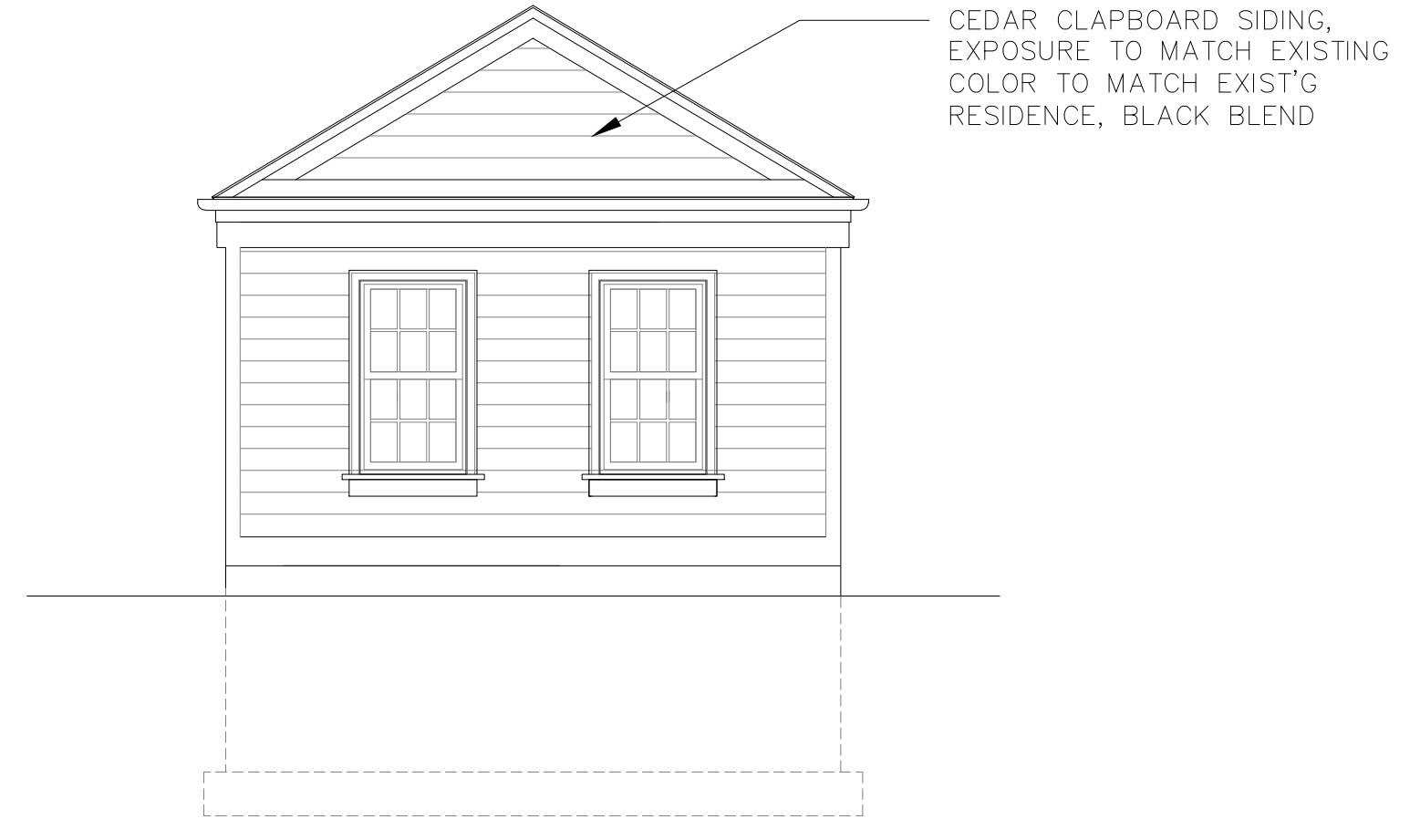
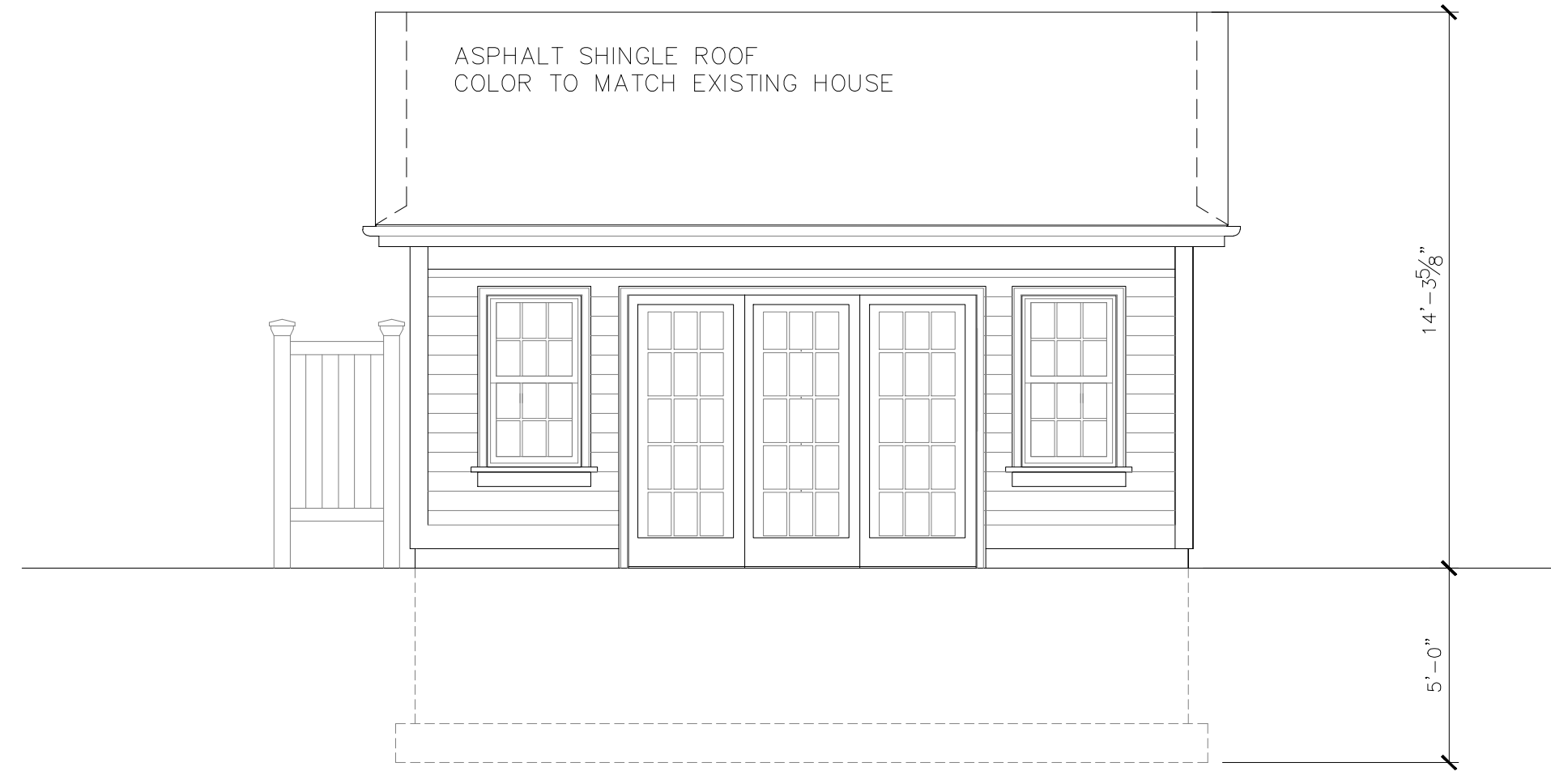
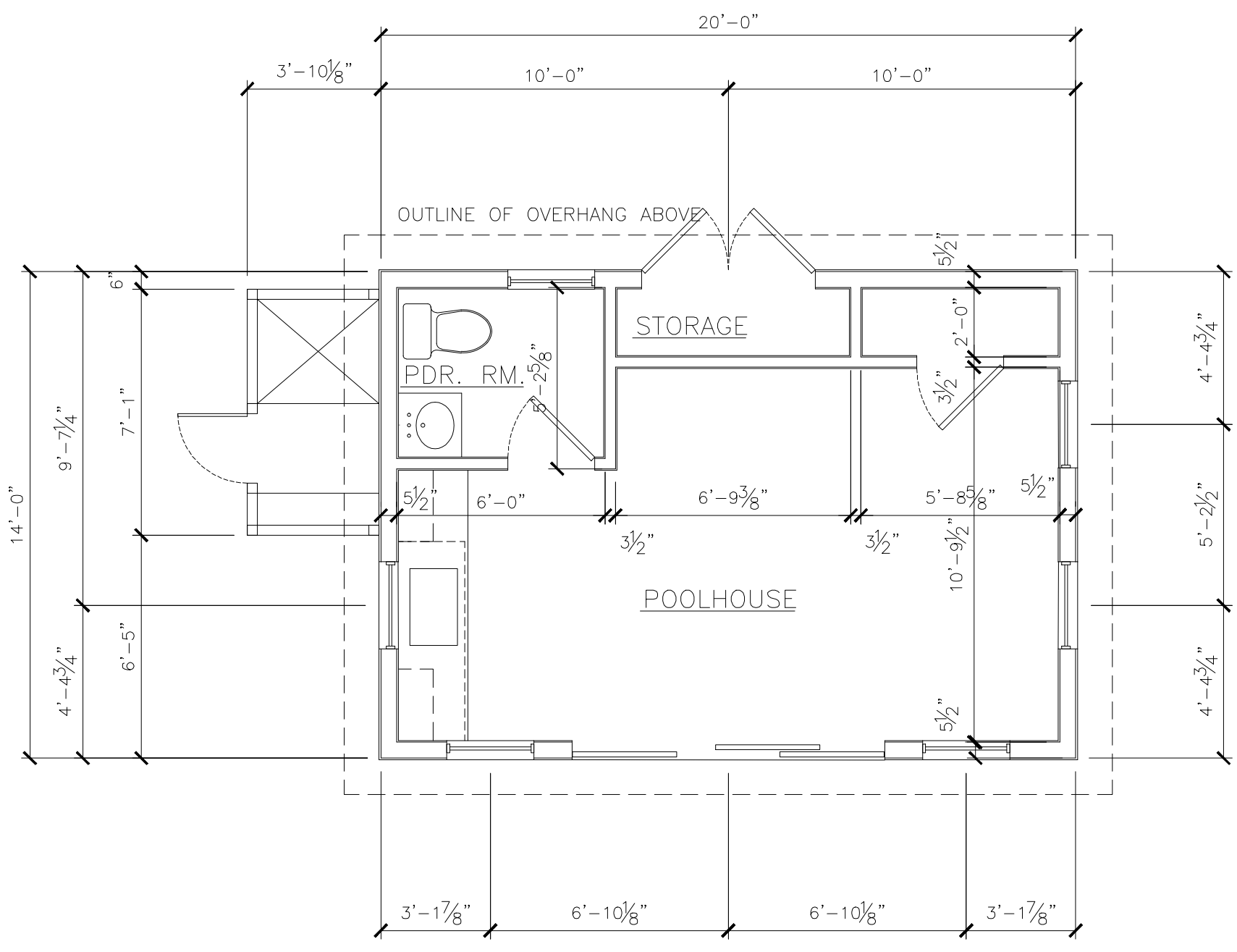
Climatic and Geographic Design Criteria per Table R301.2(1)							
Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to Damage From			Ice Barrier Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termitic		
30 PSF	115 *	B	Severe	42"	Moderate/Heavy	Yes	No

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PROJECT TITLE:
PROPOSED POOL/HOSE
DEMPSEY RESIDENCE
606 ROUTE 22
ARMONK, NY 10504
(TOWN OF NORTH CASTLE)

SHEET NUMBER:
A-100
of

1/16"=1'-0" 1/8"=1'-0" 1/4"=1'-0" 1/2"=1'-0" 3/4"=1'-0" 1"=1'-0" 1 1/2"=1'-0" 3"=1'-0" IF THIS SHEET IS NOT 24x36 FULL SIZE, USE GRAPHIC SCALES FOR REDUCTION



GEORGE J. GASPAR, AIA ARCHITECT
24 EASTVIEW AVENUE, BRENSTER, NEW YORK 10609 • C-845-206-8348
WWW.GASPARARCHITECTURE.COM

PROJECT NO. GJA 21-267
DATE: 2021-11-15
DRAWN BY: GASPAR
CHECKED BY: GASPAR
SCALE: AS NOTED
FILE: GJA 267-A102
AREA:

REVISIONS:

2020-11-15 SUBMISSION FOR BLDG. DEPT. REVIEW

SHEET TITLE:
PROPOSED
PLAN & ELEVATIONS

PROJECT TITLE:
PROPOSED POOLHOUSE
DEMPSEY RESIDENCE
606 ROUTE 22
ARMONK, NY 10504
(TOWN OF NORTH CASTLE)

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SHEET NUMBER:
A-102
of