



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 38 WAMPUS LAKES DR.

Section III- DESCRIPTION OF WORK:

PROPOSED IN-GROUND SWIMMING POOL, STONE PATIO, STONE RETAINING WALL + STEPS

Section III- CONTACT INFORMATION:

APPLICANT: DANIEL SHERMAN

ADDRESS: 4 BROADWAY SUITE #9, VALHALLA NY 10595

PHONE: 914-824-0999 MOBILE: _____ EMAIL: DAN.DANSHERMANLANDSCAPE @GMAIL.COM

PROPERTY OWNER:

MICHAEL + CLAUDIA COSTA

ADDRESS: 38 WAMPUS LAKES DR, ARMONK NY

PHONE: 917-518-1007 MOBILE: _____ EMAIL: DANINCI DECISIONS @GMAIL.COM

PROFESSIONAL: DANIEL SHERMAN, LANDSCAPE ARCHITECT

ADDRESS: 4 BROADWAY SUITE #9, VALHALLA, NY 10595

PHONE: 914-824-0999 MOBILE: _____

EMAIL: DAN.DANSHERMANLANDSCAPE @GMAIL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 107.02-3-53



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

COSTA RESIDENCE

Initial Submittal Revised Preliminary

Street Location:

38 WAMPUS LAKES DR.

Zoning District: R-1A Property Acreage: 1.03 Tax Map Parcel ID: 107.02-3-53

Date: 11/16/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: COSTA RESIDENCE Date: 11/16/21

Tax Map Designation or Proposed Lot No.: 107.02-3-53

Gross Lot Coverage

- | | | |
|-----|---|-----------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>45,014.5</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9480.9</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback x 10 = | <u>0</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9480.9</u> |
| 5. | Amount of lot area covered by principal building: <u>3814.1</u> existing + <u>0</u> proposed = | <u>3814.1</u> |
| 6. | Amount of lot area covered by accessory buildings: <u>0</u> existing + <u>-</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks: <u>516</u> existing + <u>0</u> proposed = | <u>516</u> |
| 8. | Amount of lot area covered by porches: <u>0</u> existing + <u>-</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways: <u>4871.4</u> existing + <u>-</u> proposed = | <u>4871.4</u> |
| 10. | Amount of lot area covered by terraces: <u>736.4</u> existing + <u>648.2</u> proposed = | <u>1384.6</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip: <u>0</u> existing + <u>808.1</u> proposed = | <u>808.1</u> |
| 12. | Amount of lot area covered by all other structures: <u>-</u> existing + <u>161</u> proposed = | <u>161</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>11,555.2</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

DSM
 Signature and Seal of Professional Preparing Worksheet

11/16/21
 Date

AREA 51 INC.
 L42164 P50
 2-2-5-J5
 LOT 1-C
 FILED MAP NO. 21886
 FORMERLY
 THE TOWN OF NORTH CASTLE

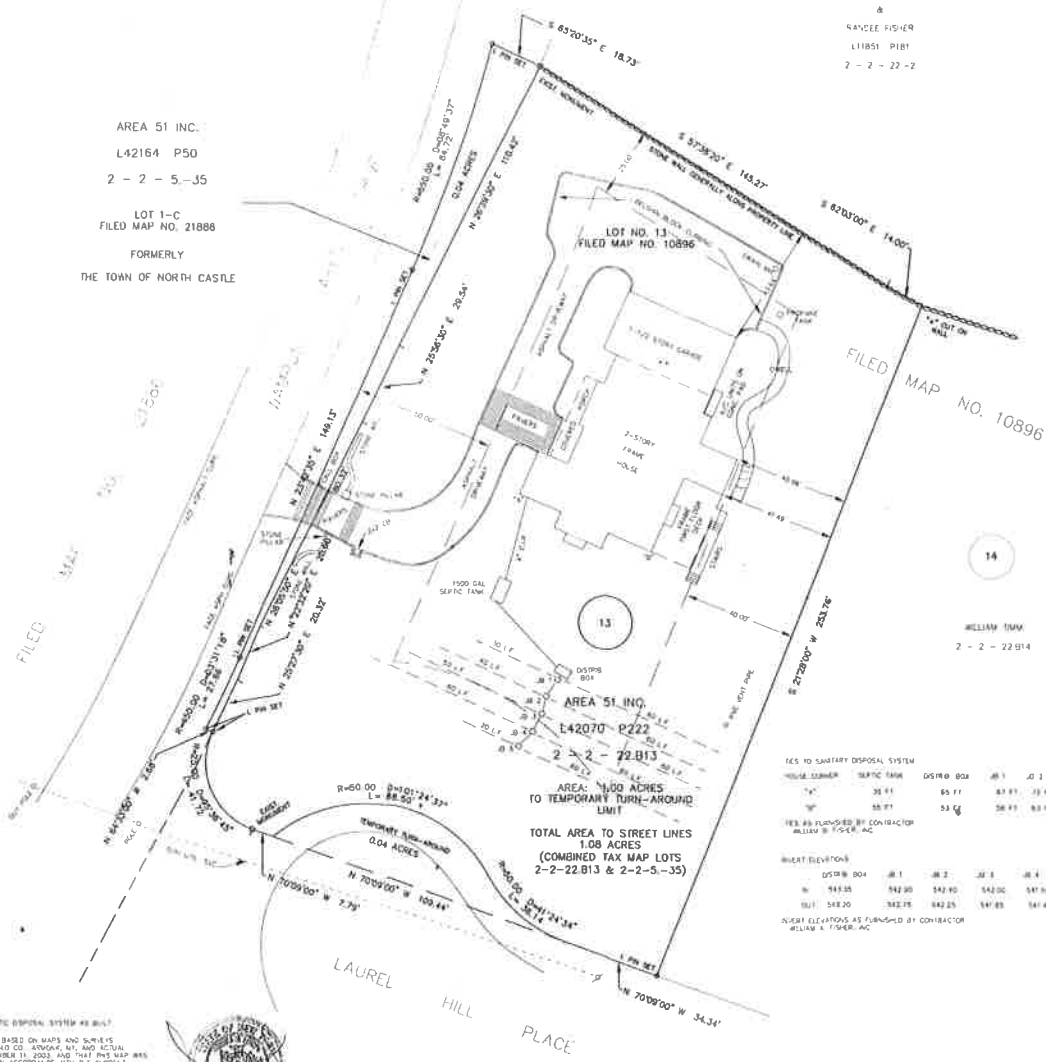
HOWARD FISHER
 &
 SANDY FISHER
 L11851 P181
 2-2-22-2

ZONING
 DISTRICT R-1A
 MIN. LOT AREA 1 ACRE
 MIN. FRONTAGE 128 FT.
 MIN. WIDTH 128 FT.
 MIN. DEPTH 160 FT.
 MIN. YARDS
 FRONT 80 FT.
 SIDE 28 FT.
 REAR 40 FT.
 MAX. LOT COV. 12%



Westchester County
 WESTCHESTER COUNTY DEPARTMENT OF HEALTH
 PUBLIC HEALTH DIVISION
 Name: ALDIO Address: 142070 P222
 City: North Castle Phone: 508-5875
 # of Beds: 1
 All health records are filed pursuant to provisions of Chapter 879, Article VII, Section 879.111 and Article VII, Section 879.112 of the Westchester County Sanitary Code, subject to the provisions of the Certificate of Confidentiality Compliance issued by the state.
 Reviewed by: [Signature] Date: 4/1/04
 Recommended by: [Signature] Date: 4/1/04
 Approved by: [Signature] Date: 4/1/04

THIS MAP SUBJECT TO ANY STATE OF FACTS THAT AN ACCURATE, UP-TO-DATE ABSTRACT OF TITLE MAY SHOW
 SURFACE UTILITIES, IF ANY, NOT LOCATED NOR SHOWN HEREON
 REFERENCE SHOULD BE MADE TO A MAP ENTITLED "SUBDIVISION OF PROPERTY OF AREA 51 INC. BEING LOT NO. 13 ON A MAP ENTITLED 'TOWNSHIP MAP OF THE WESTCHESTER COUNTY CLERK'S OFFICE AS MAP NO. 10886 AND LOT 1-C-35 SHOWN ON A MAP ENTITLED 'TOWNSHIP MAP OF WAMPUS LAKES ESTATED PARCELS' AS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE AS MAP NO. 21886.
 TOWN OF NORTH CASTLE 142 ASSESSMENT MAP LOTS 2-2-22B13 AND 2-2-5-J5 TO BE COMBINED UNDER ONE OWNERSHIP AND THE TAX ASSESSMENT MAP LOT NUMBER UNAUTHORIZED IN VARIATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 7209 (E) OF THE NEW YORK STATE EDUCATION LAW.
 PRINTS NOT VALID WITHOUT SIGNATURE AND SEAL.



FEES TO SANITARY DISPOSAL SYSTEM

| HOUSE NUMBER | SEPTIC TANK | DISP. BOX | JUL 1 | JUL 2 | JUL 3 | JUL 4 | JUL 5 |
|--------------|-------------|-----------|-------|-------|-------|-------|-------|
| "A" | 35 FT | 65 FT | 87 FT | 73 FT | 86 FT | 66 FT | 88 FT |
| "B" | 55 FT | 53 FT | 58 FT | 63 FT | 62 FT | 76 FT | 82 FT |

FEES AS FURNISHED BY CONTRACTOR
 WILLIAM B. FISHER, INC.

HIGHEST ELEVATIONS

| DISP. BOX | JUL 1 | JUL 2 | JUL 3 | JUL 4 | JUL 5 |
|-----------|--------|--------|--------|--------|--------|
| "A" | 545.35 | 542.30 | 542.40 | 542.00 | 541.55 |
| "B" | 542.20 | 542.75 | 542.25 | 541.85 | 541.40 |

HIGHEST ELEVATIONS AS FURNISHED BY CONTRACTOR
 WILLIAM B. FISHER, INC.

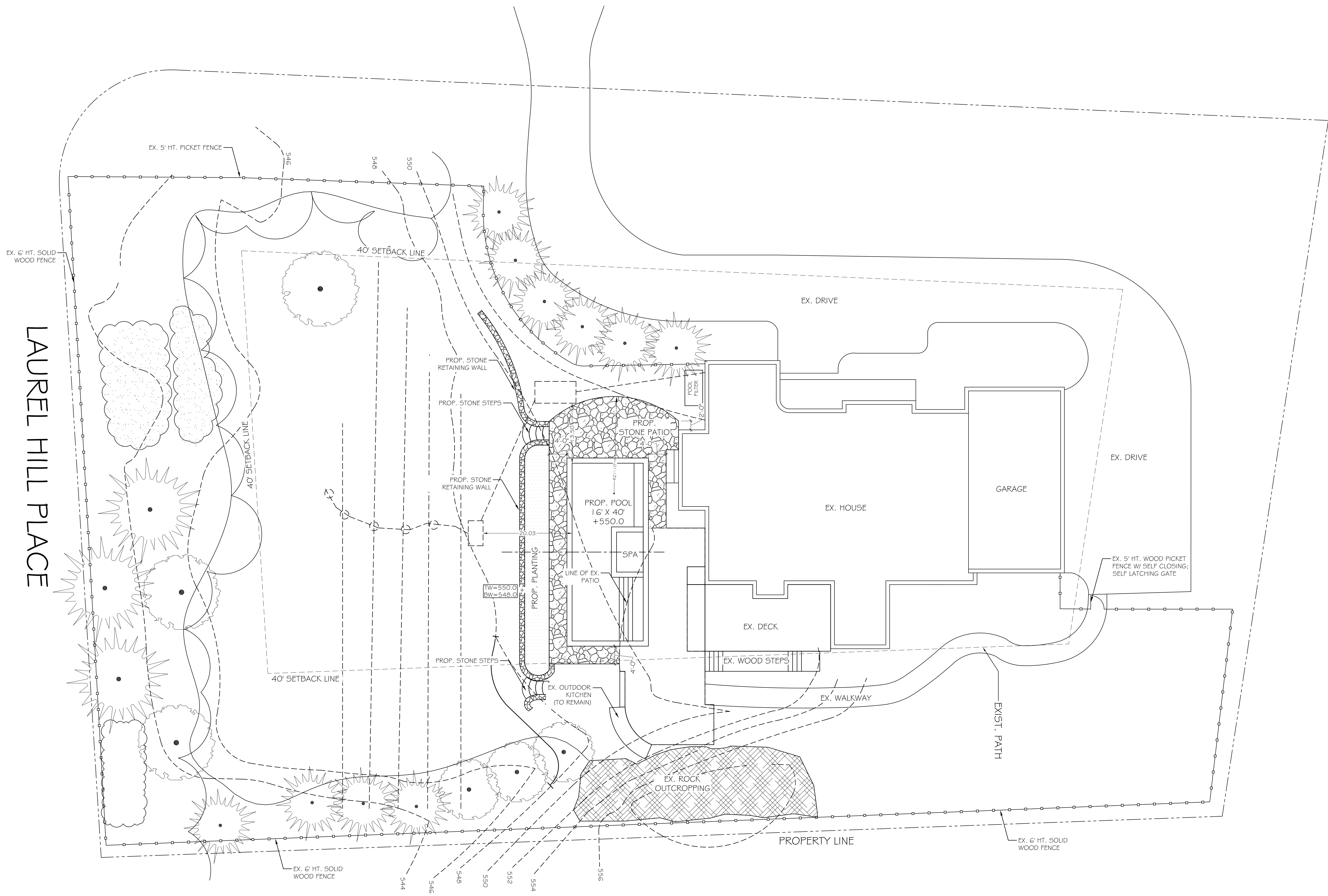


PRINTED: JANUARY 14, 2004 - SEPTIC DISPOSAL SYSTEM AS BUILT
 I HEREBY CERTIFY THAT THIS MAP IS BASED ON MAPS AND SURVEYS ON FILE WITH THE RALPH L. MACDONALD CO., ARDRAVE, NY, AND ACTUAL FIELD SURVEYS COMPLETED ON NOVEMBER 11, 2003, AND THAT THIS MAP WAS COMPLETED ON NOVEMBER 17, 2003 IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SURVEYING AND MAPPING OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.



DENNIS W. JONES, L.S.
 NY STATE LICENSE NO. 4304

ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
 ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.



LAUREL HILL PLACE

REVISION DATE

| REVISION | DATE |
|----------|------|
| | |
| | |
| | |
| | |

COSTA RESIDENCE

38 WAMPUS LAKES DRIVE
 ARMONK, NY 10504

SITE PLAN
 (POOL)

DANIEL SHERMAN
 LANDSCAPE ARCHITECT
 4 BROADWAY - SUITE 9
 VALHALLA, NY 10595
 PHONE: (914) 824 - 0999
 FAX: (914) 824-0251
 dan.danshermanlandscape@gmail.com
 www.danshermanlandscape.com

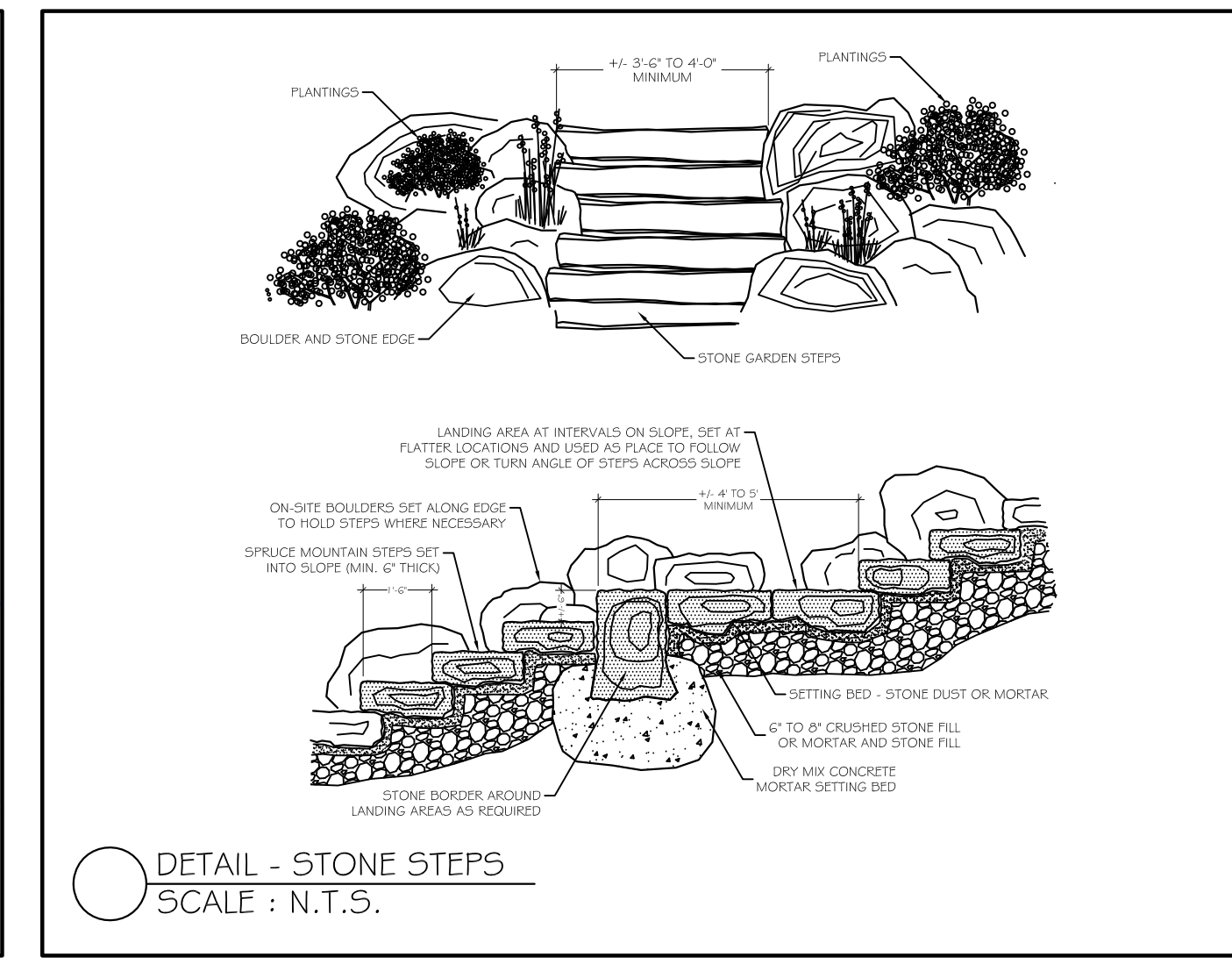
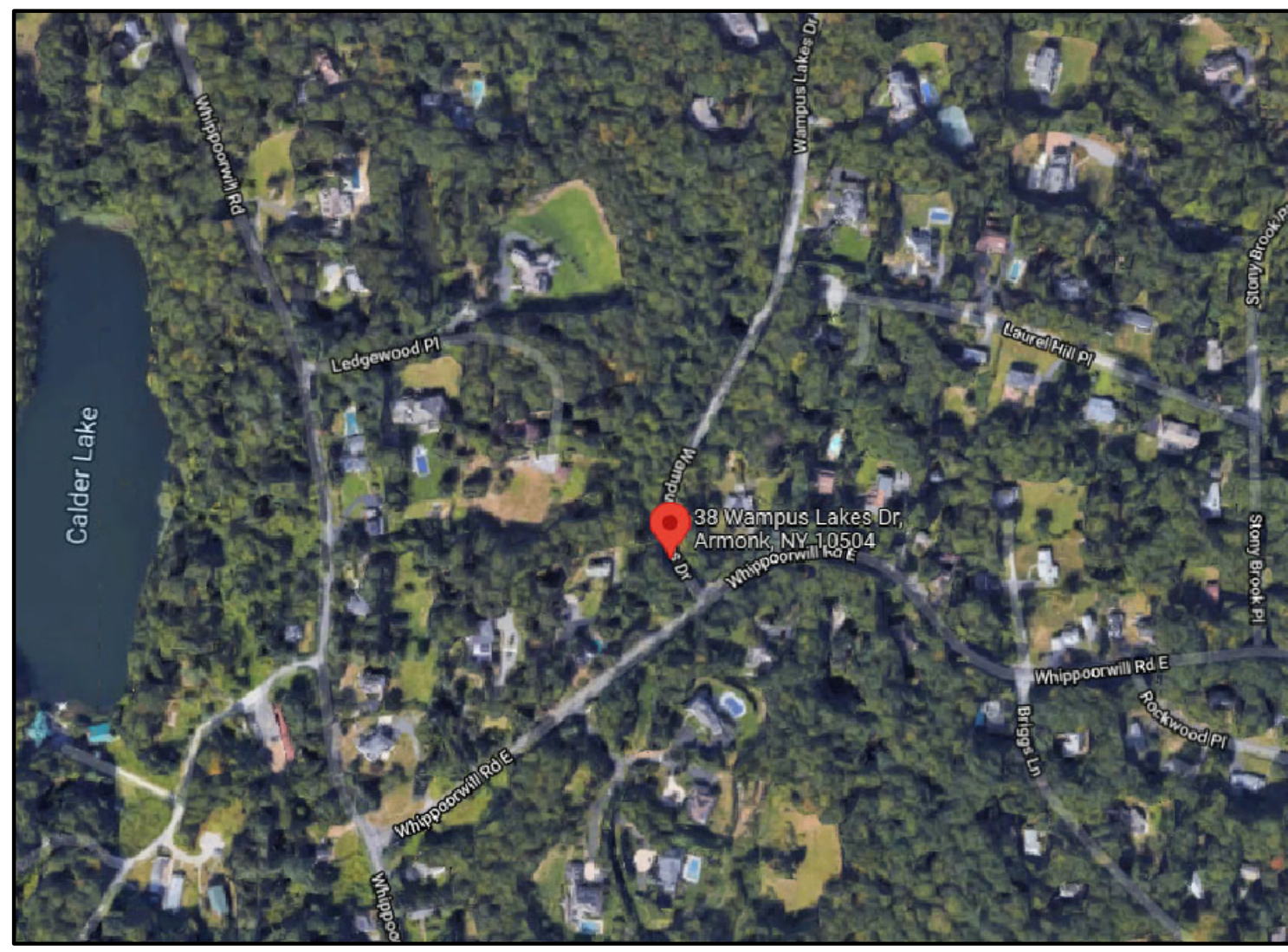


DATE: OCT. 1, 2021 SCALE: 1" = 10' - 0"

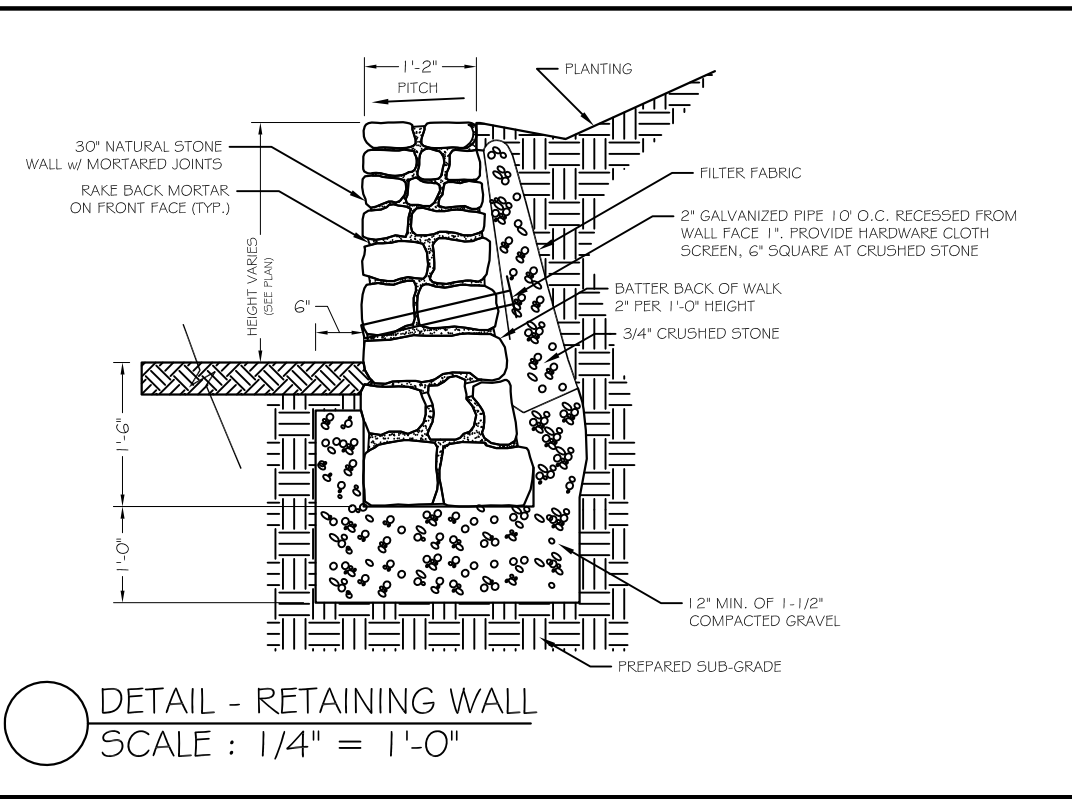
DRAWN BY: AL DRAWING # L - 1

GENERAL NOTES

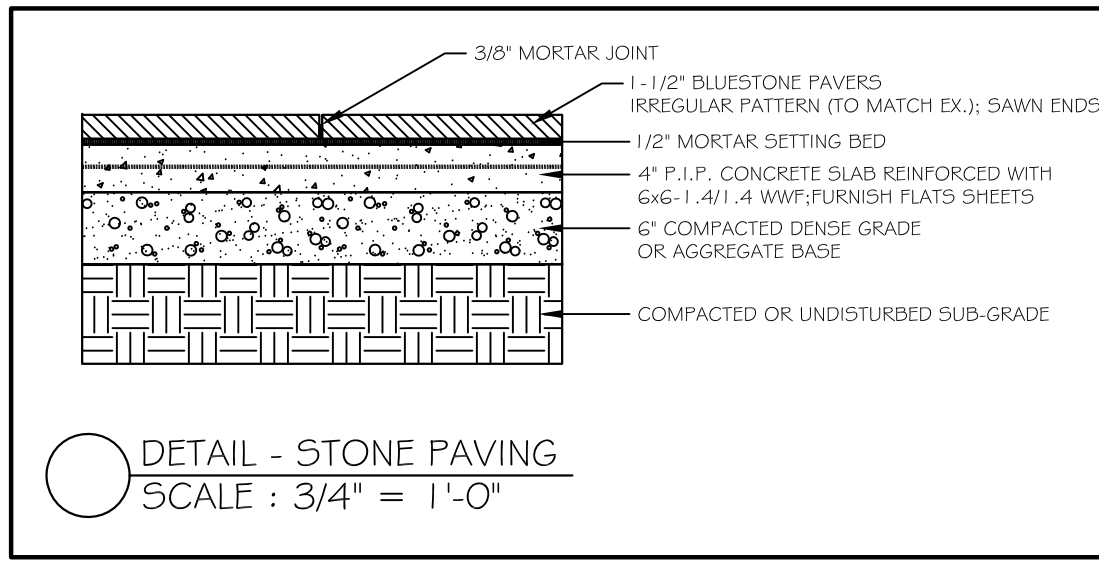
1. CONTRACTOR IS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS (INCLUDING UNDERGROUND UTILITIES, PIPES, ETC) AND LIMITATIONS AFFECTING THE PROPOSED WORK
2. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND APPLICABLE BUILDING CODE REGULATIONS.
3. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE IS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY REPRESENTATIVES HARMLESS FROM AND ALL LIABILITY, REAL AND/OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF THIS PROJECT.
4. CONTRACTOR SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES THAT MAY AFFECT THE WORK. SHOULD EXISTING CONDITIONS DIFFER FROM THESE PLANS, STANDARD SPECIFICATIONS, AND SPECIAL PROVISIONS DO NOT ADEQUITELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WITH ANY RELATED WORK. NO ALLOWANCE WILL BE MADE IN HIS BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLECT IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
5. A SET OF SIGNED BLUEPRINTS AND A SET OF SPECIFICATIONS SHALL BE KEPT ON SITE AT ALL TIMES
6. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES (48) HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
7. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE MUNICIPAL BUILDING DEPARTMENT.
8. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.



DETAIL - STONE STEPS
SCALE : N.T.S.



DETAIL - RETAINING WALL
SCALE : 1/4\"/>



DETAIL - STONE PAVING
SCALE : 3/4\"/>

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REVISION DATE

| REVISION | DATE |
|----------|------|
| | |

COSTA RESIDENCE

38 WAMPUS LAKES DRIVE
ARMONK, NY 10504

CONSTRUCTION DETAILS

DANIEL SHERMAN
LANDSCAPE ARCHITECT
4 BROADWAY - SUITE 9
VALHALLA, NY 10595
PHONE: (914) 824 - 0999
FAX: (914) 824-0251

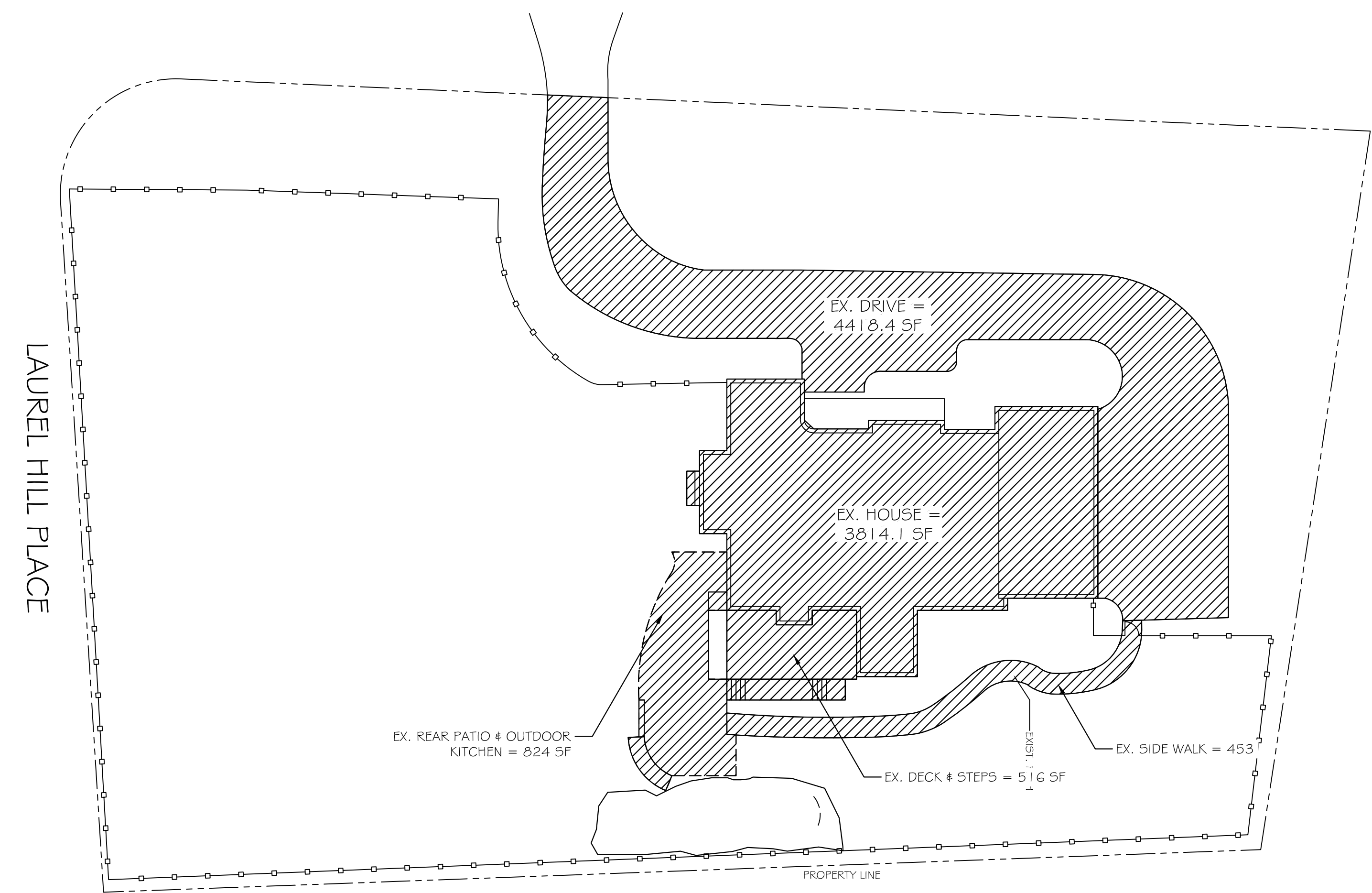
dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



| | |
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| DATE: | SCALE: |
| OCT. 1, 2021 | 1" = 10' - 0" |

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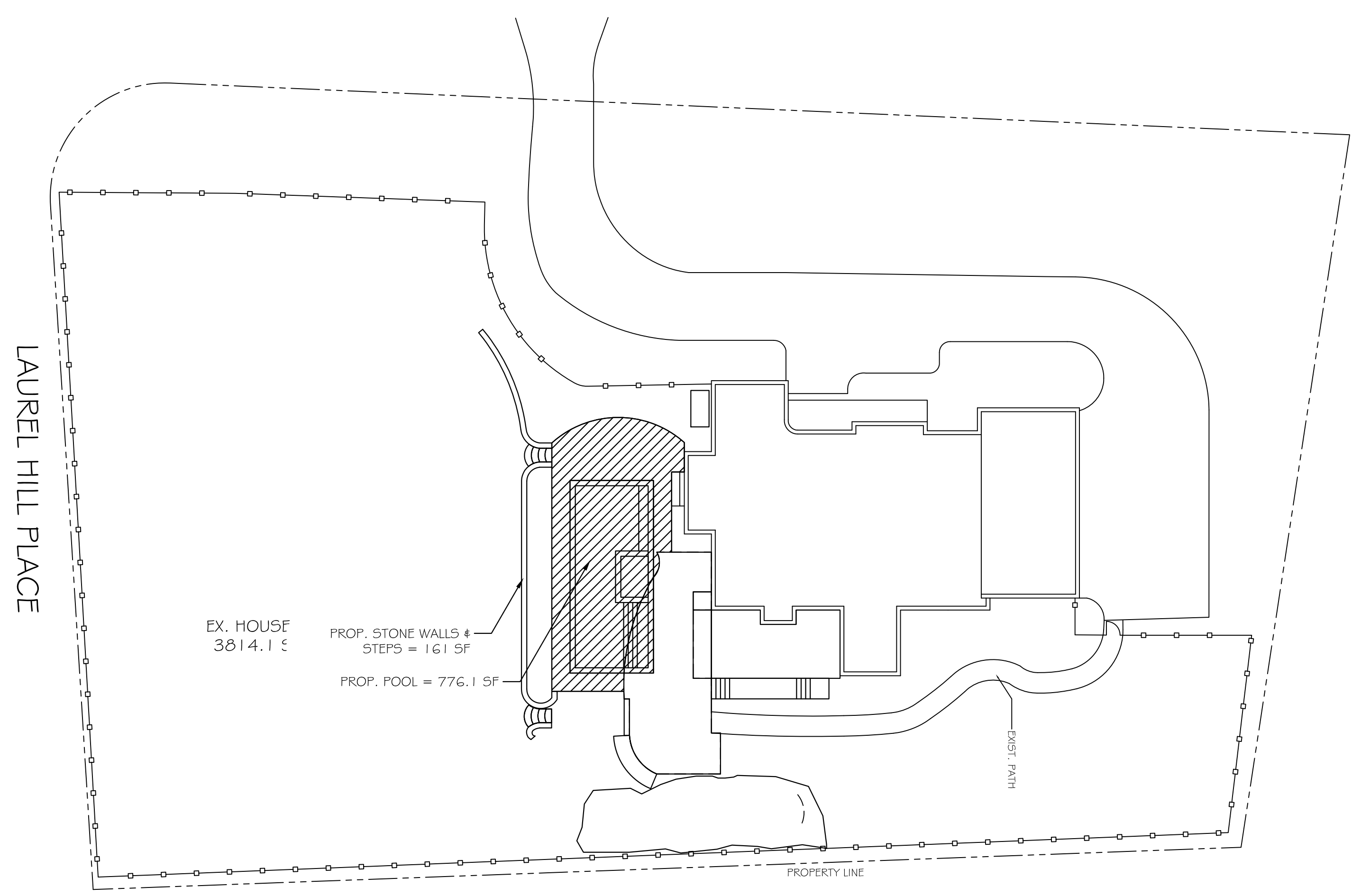
| REVISION | DATE |
|----------|------|
| | |

COSTA RESIDENCE

38 WAMPUS LAKES DRIVE
 ARMONK, NY 10504

GROSS LAND COVERAGE DIAGRAM

DANIEL SHERMAN
 LANDSCAPE ARCHITECT
 4 BROADWAY - SUITE 9
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 PHONE: (914) 824 - 0999
 FAX: (914) 824-0251
 dan.danshermanlandscape@gmail.com
 www.danshermanlandscape.com



| | |
|--------------|---------------|
| DATE: | SCALE: |
| OCT. 1, 2021 | 1" = 20' - 0" |

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| DRAWN BY: | DRAWING # |
| AL | L - 3 |











