



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

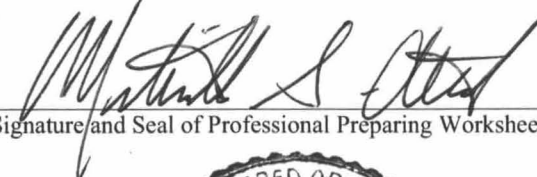
FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 2ND FLOOR ADDITION Date: 11/16/21
 Tax Map Designation or Proposed Lot No.: 2-8-7C1

Floor Area

- | | | |
|-----|---|-------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>115,176.00</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>11,244.24</u> |
| 3. | Amount of floor area contained within first floor:
- <u>1997</u> existing + <u>169.3</u> proposed = | <u>2166.30</u> |
| 4. | Amount of floor area contained within second floor:
- <u>757</u> existing + <u>794.55</u> proposed = | <u>1551.55</u> |
| 5. | Amount of floor area contained within garage:
- <u>603</u> existing + <u>0</u> proposed = | <u>603.00</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
- <u>40.71</u> existing + <u>0</u> proposed = | <u>40.71</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
- <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
- <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
- <u>799</u> existing + <u>0</u> proposed = | <u>799</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 =
<u>2166.30 - 799</u> | <u>1367.30</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet

11/16/21
 Date





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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 2ND FLOOR ADDITION Date: 11/16/21
 Tax Map Designation or Proposed Lot No.: 2-8-7C1

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 115,716.00
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 15,414.70
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = 1,115.00
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 16,529.70
5. Amount of lot area covered by **principal building**:
2000 existing + 963.85 proposed = 3563.85
6. Amount of lot area covered by **accessory buildings**:
799 existing + 0 proposed = 799.00
7. Amount of lot area covered by **decks**:
813 existing + 73.16 proposed = 739.84
8. Amount of lot area covered by **porches**:
 _____ existing + _____ proposed = _____
9. Amount of lot area covered by **driveway, parking areas and walkways**:
4391 existing + _____ proposed = 4391.00
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = 0
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
6384 existing + 0 proposed = 6384.00
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 3563.85 - 0

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the town's regulations.

Signature and Seal of Professional Architect

11/16/21
 Date



**Town of North Castle
Residential Project Review Committee**
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

SECOND FLOOR ADDITION

Initial Submittal Revised Preliminary

Street Location:

102 PYRAM LAKE ROAD, ARMONK, NY

Zoning District: R-2A Property Acreage: 2.6565 Tax Map Parcel ID: 2-8-7C1

Date: 11/16/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adara R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 182 BYRAM LAKE ROAD, ARMONK

Section III- DESCRIPTION OF WORK:

ADDING A SECOND FLOOR TO A PORTION OF
THE HOUSE & INCREASING FIRST FLOOR
FOOTPRINT

Section III- CONTACT INFORMATION:

APPLICANT: KIL CHING YUN
ADDRESS: 182 BYRAM LAKE ROAD, ARMONK, NY
PHONE: 914-266-8613 MOBILE: 917-440-0266 EMAIL: YUN@MSYGROUPUSA.COM

PROPERTY OWNER: ABOVE

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: MITCHELL G. ATTICK - ARCHITECT

ADDRESS: 501 EAST 79TH STREET - NY, NY 10075

PHONE: 212-752-8210 MOBILE: _____

EMAIL: MITCHELLARCHITECT@YAHOO.COM

Section IV- PROPERTY INFORMATION:

Zone R-2A Tax ID (lot designation) 2-8-7C1

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

GENERAL NOTES

- ALL NEW WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE, COUNTY AND MUNICIPAL CODES HAVING JURISDICTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AIA DOCUMENT A201. GENERAL CONDITIONS CONSTRUCTION UNLESS MODIFIED BY THE SPECIFICATIONS.
- CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER DATE OF THE OWNER'S FORMAL, WRITTEN ACCEPTANCE OF THE PROJECT. IT IS UNDERSTOOD BY THE CONTRACTOR'S ACCEPTANCE OF THE CONTRACT THAT HE WILL MAKE GOOD ANY AND ALL WORK WHICH IN ANY WAY BECOMES DEFECTIVE AS TO THE QUALITY OF MATERIALS AND WORKMANSHIP FOR ANY CAUSE OTHER THAN ORDINARY WEAR AND TEAR.
- CONTRACTOR SHALL VISIT THE SITE AND INFORM HIMSELF FULLY OF ALL CONDITIONS AND LIMITATIONS THAT WILL AFFECT HIS WORK. CONTRACTOR SHALL INCLUDE IN HIS PROPOSAL A SUM TO COVER ALL WORK CALLED FOR IN, OR REASONABLY INFERRABLE FROM, THE DRAWINGS, INCLUDING ALL LABOR, MATERIALS AND MEANS OF CONSTRUCTION NECESSARY FOR A COMPLETE INSTALLATION.
- THE SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION LATER CLAIMS FOR ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN, HAD AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONS REGARDING THE DRAWINGS AND SPECIFICATIONS OR CONFLICTS AMONG THE DRAWINGS, SPECIFICATIONS AND EXISTING FIELD CONDITIONS PRIOR TO THE START OF WORK.
- ALL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE AS BINDING AS IF CALLED FOR BY ALL.
- WHERE THE TERM "APPROVED EQUAL" IS USED IN DRAWINGS OR SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF THE ARCHITECT AND SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT ACTUAL SAMPLES AND ANY NECESSARY TECHNICAL DATA OR INFORMATION OF ALL PROPOSED SUBSTITUTIONS.
- ALL WORK SHALL BE SCHEDULED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH A PROGRESS SCHEDULE TO THE ARCHITECT FOR ALL PHASES OF ERECTION.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES WHETHER INCLUDED IN HIS CONTRACT OR NOT. CONTRACTOR SHALL MAKE OPENINGS AS REQUIRED BY OTHER TRADES AND CLOSE SAME. HE SHALL SCHEDULE THE WORK OF THE VARIOUS TRADES SO AS NOT TO IMPEDE THE PROPER SEQUENCE OR THE PROGRESS OF THE WORK.
- REMOVALS OF DUST AND DEBRIS SHALL BE MADE AS OFTEN, AND AS NECESSARY, AS NEEDED TO MAINTAIN SAID PREMISES IN A SAFE, CLEAN AND ACCESSIBLE CONDITION.
- PRIOR TO THE START OF WORK THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS FOR AND AGAINST ALL SUITS, CLAIMS OR LIABILITY ON ACCOUNT OF PERSONAL INJURIES OR PROPERTY DAMAGES ARISING OUT OF THE NEGLIGENT ACTS OF THE CONTRACTOR IN THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT.
- THE CONTRACTOR SHALL PROVE AND MAINTAIN ALL TEMPORARY PROTECTION OF ADJACENT WORK, EQUIPMENT AND FINISHED AREAS.
- ALL WOOD SHALL COMPLY WITH ALL APPLICABLE CODES.
- ALL FINISH PAINTING IS BY THE CONTRACTOR UNLESS NOTED OTHERWISE. CONTRACTOR WILL FURNISH AND INSTALL PRIMING AND ALL OTHER FINISHES ON ALL NEW WORK TO MATCH EXISTING.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE ON DRAWINGS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS, ELEMENTS, COMPONENTS AND SYSTEMS REQUIRED TO COMPLETE ALL PARTS OF THE PROJECT DESIGN AS SHOWN AND OR REASONABLY IMPLIED BY THE CONTRACT DOCUMENTS. ANY ITEM NOT SHOWN BUT REQUIRED TO COMPLETE THE WHOLE SYSTEM TO MAKE IT FUNCTIONAL OR TO MEET ANY GOVERNMENTAL CODE SHALL BE INCLUDED IN THE CONTRACT AS IF IT WERE SHOWN.
- IN ALL INSTANCES WHERE THE CONTRACTOR DESIRES TO SUBSTITUTE A DIFFERENT BRAND AND /OR MODEL FOR AN ITEM SHOWN OR SPECIFIED IN THE CONTRACT DOCUMENTS, CONTRACTOR SHALL SUBMIT IN WRITING TO THE ARCHITECT A FORMAL CONTRACTOR'S SUBSTITUTION REQUEST. NO SUBSTITUTIONS FOR ANY ITEM SHALL BE ALLOWED WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL OF THE CONTRACTOR'S SUBSTITUTION REQUEST. SUBSTITUTION ITEMS GENERATED BY THE CONTRACTOR SHALL BE INCLUSIVE AND COMPLETE.
- BY INITIATING ANY PROPOSAL SUBSTITUTION, THE CONTRACTOR ASSUMES THE RESPONSIBILITY FOR THE INCLUSION OF COMPLETE COORDINATION, CONFORMANCE AND PROVISION OF ALL UTILITY, SERVICE AND/OR EQUIPMENT REQUIREMENTS, INCLUDING MODIFICATIONS, RESULTING FROM THE SUBSTITUTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL RELATED CHANGES NECESSITATED, DIRECTLY OR INDIRECTLY, BY THE SUBSTITUTION, WHETHER IMMEDIATELY RECOGNIZED OR NOT. THE CONTRACTOR SHALL BE REQUIRED TO MAKE THE SUBSTITUTION ITEM AND ANY OTHER AFFECTED, ASSOCIATED OR RELATED ITEM PERFORM IN CONFORMANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS AND TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT AND/OR HIS CONSULTANTS.
- CONTRACTOR SHALL ACTIVELY AND DILIGENTLY INITIATE ACTION TO ASSURE THE SMOOTH AND TIMELY FLOW OF PROGRESS OF CONSTRUCTION. IF ARCHITECT OR HIS CONSULTANTS IS REQUIRED TO PERFORM SCHEDULING OR OTHER CONSTRUCTION DUTIES TO MAINTAIN JOB PROGRESS, WHICH ARE, BY CONTRACT, THE RESPONSIBILITY OF THE CONTRACTOR, ARCHITECT WILL RECORD ALL TIME USED BY HIM AND HIS CONSULTANTS TO ACCOMPLISH THIS WORK. CONTRACTOR, PROMPTLY UPON RECEIPT OF THE OWNER'S BILLING, SHALL REIMBURSE THE OWNER AT THE PREVAILING BILLING RATES OF THE ARCHITECT AND HIS CONSULTANTS FOR ALL THE TIME SPENT PERFORMING THE CONTRACTOR'S DUTIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND ACTUAL SAMPLES FOR ALL MATERIALS, FIXTURES AND EQUIPMENT CALLED FOR IN DRAWINGS. SUBMITTALS REQUIRED INCLUDE, BUT ARE NOT LIMITED, TO:
 - SHOP DRAWINGS FOR ALL CUSTOM SHOP FABRICATED ITEMS.
 - PRODUCT DATA, MANUFACTURER'S LITERATURE OR CATALOG "CUT SHEETS" AND TECHNICAL DATA FOR ALL MANUFACTURED ITEMS.
 - SAMPLES FOR ALL FINISH MATERIALS, WHETHER MANUFACTURED CUSTOM SHOP-FABRICATED OR EXECUTED IN THE FIELD. OTHER SAMPLES ARE ALSO REQUIRED AS NOTED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- N.I.C. INDICATES NOT IN CONTRACT.
- ALL ITEMS NOTED "BY OWNER" SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- ALL CABINETWORK TO CONFORM TO AW STANDARDS.

- CONTRACTOR TO PROVIDE ALL WOOD BLOCKING OR METAL PLATES AT DRYWALL CONSTRUCTION WHERE REQUIRED FOR CABINETWORK OR OTHER APPURTENANCES SHOWN ON THE DRAWINGS.
- ALL GYPSUM WALLBOARD AT WET OR DAMP LOCATIONS SHALL BE WATER-RESISTANT TYPE
- FIELD VERIFY ALL DIMENSIONS SHOWN
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN AND LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- UPON COMPLETION OF THE WORK THE CONTRACTOR(S) SHALL OBTAIN ALL NECESSARY CERTIFICATE(S) OF COMPLETION AND APPROVALS FROM ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PROTECT ALL NEW WORK IN PLACE AND DELIVER TO THE OWNER IN PROPER, WHOLE AND UNBLEMISHED CONDITION.
- THE CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE PROJECT AND PRIOR TO "TURN OVER" TO THE OWNER.

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE,
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK AND PAY ALL REQUIRED FEES.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS AND VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS TO REMAIN OR BE REMOVED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS WHICH VARY WITH THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION WITH ALL PROPOSED NEW CONSTRUCTION. AS SHOWN ON THE DRAWINGS AND NOTED IN THE SPECIFICATIONS.
- THE SCOPE OF DEMOLITION AND REMOVAL SHALL NOT BE LIMITED BY THESE DRAWINGS AND SPECIFICATIONS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION. HOWEVER, DEMOLITION THAT IS NOT REQUIRED FOR NEW CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO CHARGE TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT AREAS TO REMAIN AND MAINTAIN ALL POINTS OF ACCESS AND OPERATIONS AT ALL TIMES. PROVIDE TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LAW AND /OR NOTED IN THE SPECIFICATIONS
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING UTILITY SERVICES TO REMAIN. THE CONTRACTOR SHALL NOTIFY AND COORDINATE ANY UTILITY COMPANIES 48 HOURS IN ADVANCE OF STARTING WORK. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION/ALARM REMOVALS WITH OWNERSHIP AND ITS REPRESENTATIVES.
- FOR REMOVAL OF ALL ELECTRICAL CONDUITS, WIRES, INSTRUMENTS, OUTLETS, SWITCHES, PANELS, ETC. REFER TO ENGINEERING DRAWINGS.
- FOR THE REMOVAL, CUTTING, AND PATCHING OF HVAC DUCTS, PLUMBING LINES, SPRINKLER LINES, FIXTURES, EQUIPMENT, ETC. REFER TO ENGINEERING DRAWINGS.
- FOR THE REMOVAL, CUTTING AND MODIFICATION OF STRUCTURAL COLUMN, BEAMS, SLABS, BEARING PARTITIONS, EXTERIOR WALLS, ETC. REFER TO ENGINEERING DRAWINGS
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE FINAL DISPOSITION, REUSE AND/ OR SALVAGE OF ANY ITEMS, EQUIPMENT AND MATERIAL SCHEDULED FOR REMOVAL.

BUILDING DEPARTMENT NOTES

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE STATE OF NY BASIC BUILDING CODE, STATE FIRE SAFETY CODE, AS WELL AS ANY AND ALL OTHER APPLICABLE CODES, ORDINANCE AND REGULATION OF THE TOWN OF ARMONK, STATE OF NY INCLUDING LOCAL HEALTH DEPARTMENT REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED.
- NO CHANGE SHALL BE MADE TO THE PROJECT WITHOUT THE REVIEW AND APPROVAL OF THE BUILDING DEPARTMENT AND THE ARCHITECT.
- WORK PERFORMED CONSIST OF THE FOLLOWING:
 - ADDITION AT THE 2ND FLOOR ABOVE EXISTING GARAGE.
 - NEW FAMILY ROOM ADDITION.
 - NEW EXTERIOR DECK.
- EXISTING SEPTIC SYSTEM SIZED FOR 3 BEDROOM HOUSE, EXISTING HOUSE IS LEGAL 2 BEDROOM HOUSE WITH ADDITION OF MASTER BEDROOM THIS WILL NOW BE LEGAL 3 BEDROOM.

ENERGY CONSERVATION CONSTRUCTION CODE

THIS ADDITION COMPLIES WITH THE ENERGY CODE AND IS BASED ON THE CALCULATIONS BELOW :

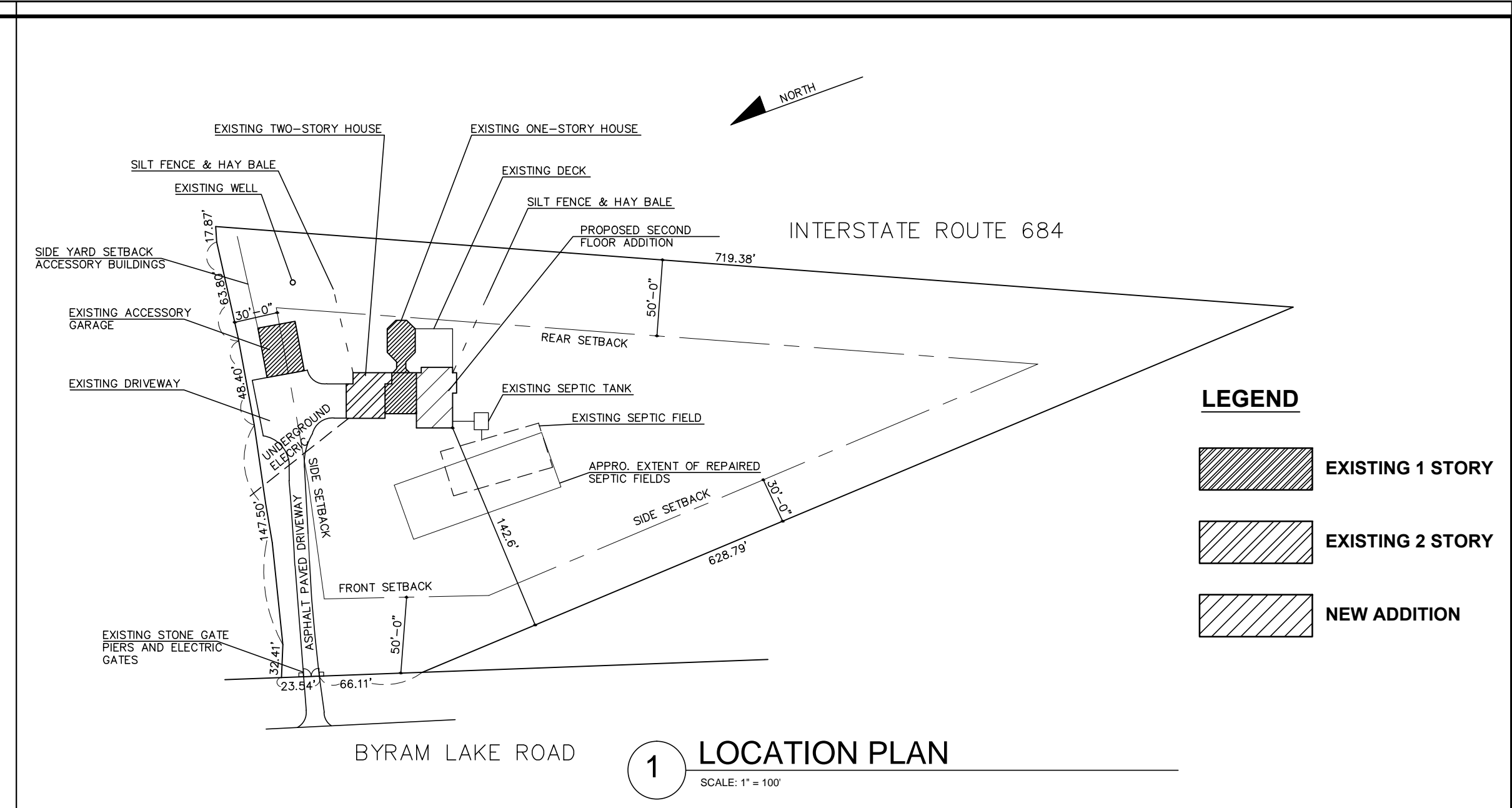
METHOD:
7814 BUILDING DESIGN BY ACCEPTABLE PRACTICE

NOTE: WESTCHESTER COUNTY HAS 6000 HEATING DEGREE DAYS

TABLE 5-1 (FROM SECTION 7814, NEW YORK STATE ENERGY CODE)

	NON-ELECTRIC COMFORT HEATING	
	'U'- VALUE	'U'- VALUE
ROOF/ CEILING	0.05	R20
FLOOR	0.05	R20
EXTERIOR WALL	0.05	R20
GLAZING	0.58	R1.7
ENTRANCE DOOR	0.40	R2.5
SLAB EDGE INSULATION		R10
BASEMENT/ CELLAR WALL	0.09	R11

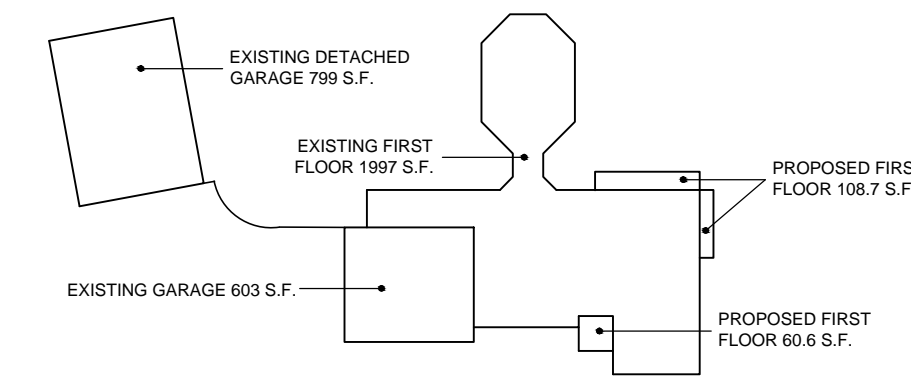
ZONING TABLE				
ITEM	REQUIRED	EXISTING	PROPOSED	
ZONE	R-2A	R-2A	R-2A	
PERMITTED USE	(1)-FAMILY	(1)-FAMILY	(1)-FAMILY	
LOT REQUIREMENTS				
AREA	2 ACRE	2.656 ACRE	2.656 ACRE	
FRONTAGE (SQ. FT.)	150	89.65	89.65	
WIDTH (FT.)	150	716.38	716.38	
DEPTH (FT.)	150	300	300	
YARD REQUIREMENTS				
FRONT (FT.)	50	161.5	161.5	
REAR (FT.)	50	52.5	52.5	
SIDE (FT.)	30	61.6	61.6	
SIDE (FT.) ACCESSORY BLDGS.	15	7.2	15	
DISTANCE TO INTERSTATE HIGHWAY	200	176.14	175.00	
BUILDING HEIGHT REQUIREMENTS				
MAIN BUILDING	FEET	30 FEET	23.1 FEET	23.1 FEET
	STORIES	2.5 STORIES	2.5 STORIES	2.5 STORIES
ACCESSORY BUILDING	FEET	15 FEET	NA	14.5 FEET
	STORIES	1 STORY	NA	1 STORY
MAXIMUM BUILDING COVERAGE		8 %	2.90 %	3.27 %



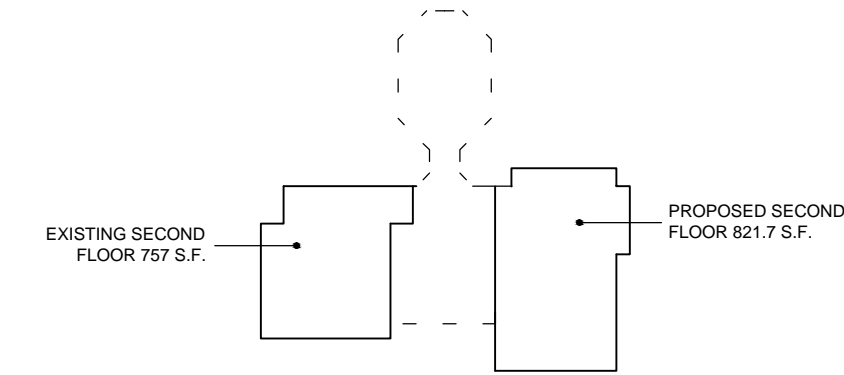
INFORMATION SHOWN IS TAKEN FROM CERTIFIED SURVEY PREPARED BY LINK LAND SURVEYORS OF MAHOPAC, NEW YORK, DATED NOV. 13, 2002

LOT SIZE: 2.6565 ACRES = 115,716 SQ. FT.
EXISTING BUILDING AREA: 2138 SQ. FT.
PROPOSED ADDITION: 470 SQ. FT.
PROPOSED TOTAL BUILDING AREA: 2608 SQ. FT.
PROPOSED BUILDING COVERAGE: 2.25%
BUILDING HEIGHT: 2 STORIES, 23'-11"

SECTION C
LOT 7C1
BLOCK 8



3 SECOND FLOOR AREA DIAGRAM



LEGEND

- EXISTING GYPSUM BOARD & METAL STUD PARTITION TO REMAIN
- REMOVE EXISTING GYPSUM BOARD & METAL STUD PARTITION
- NEW GYPSUM BOARD & METAL STUD PARTITION
- NEW SMOKE DETECTOR
- NEW 2 X 6 STUD EXTERIOR PARTITION

ARCHITECT	11/5/21	11/4/21	11/1/21
			10/30/21
			10/27/21
			10/26/21
			10/23/21
			08/3/21
			06/13/21
			09/19/16

MITCHELL G. ATTICK
501 EAST 9TH STREET P: 212-752-8210
NEW YORK, NY 10075 F: 212-752-8207

PROJECT **SECOND FLOOR ADDITION**
182 Byram Lake Rd
Armonk, NY 10504

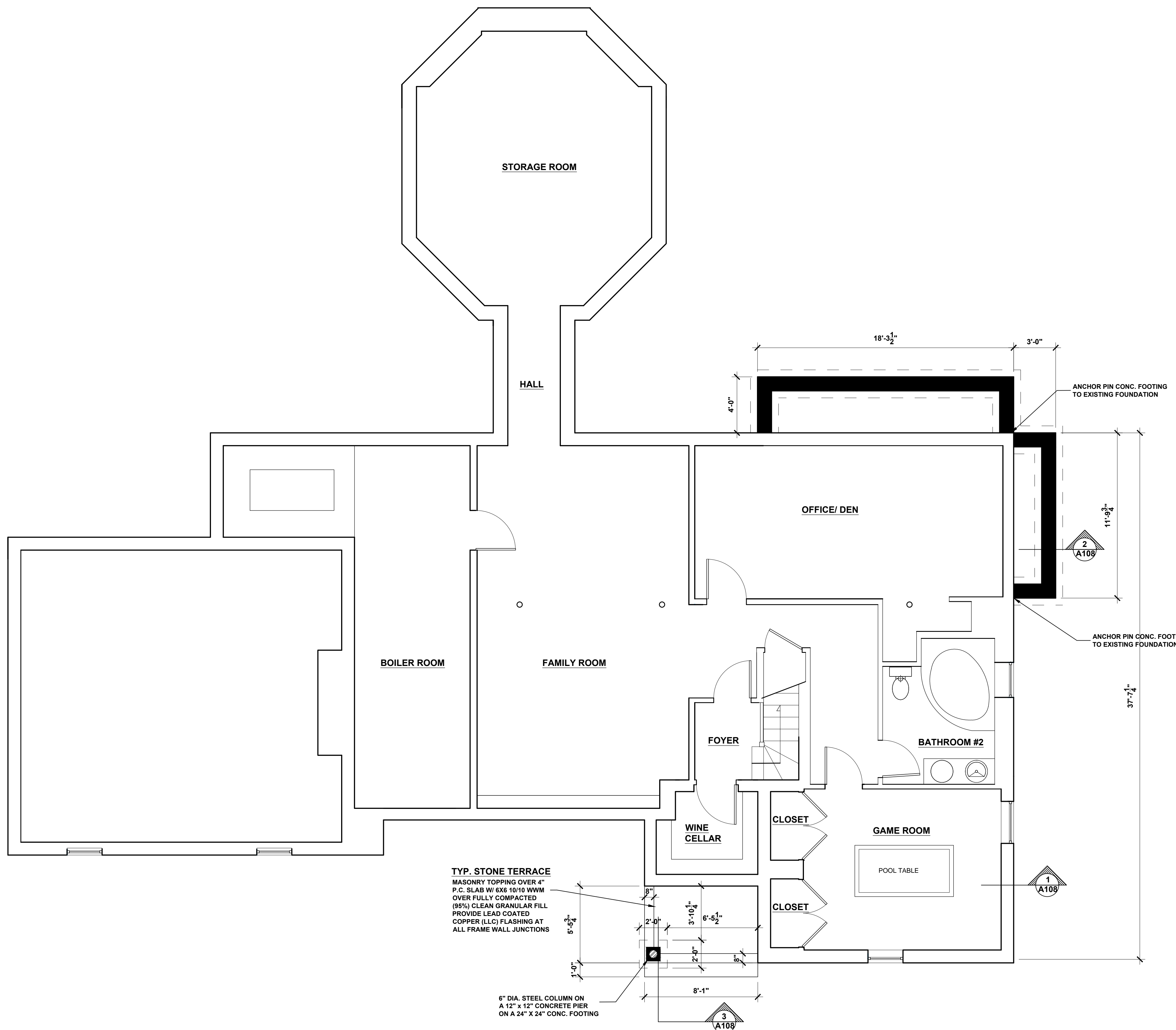
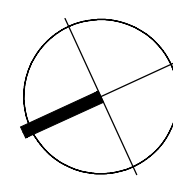
GENERAL NOTES, DEMOLITION NOTES, PLOT PLAN, BUILDING DEPT. NOTES,

SEAL & SIGNATURE

DATE: 12/21/20
PROJECT No: 20218
DRAWING BY: DAVID CHARLTON
CHK BY: M. ATTICK
DWG No:

A-101

CADD FILE No: (20218) 1 OF 9



TYP. STONE TERRACE
 MASONRY TOPPING OVER 4"
 P.C. SLAB W/ 6X6 10/10 WWM
 OVER FULLY COMPACTED
 (95%) CLEAN GRANULAR FILL
 PROVIDE LEAD COATED
 COPPER (LLO) FLASHING AT
 ALL FRAME WALL JUNCTIONS

6" DIA. STEEL COLUMN ON
 A 12" X 12" CONCRETE PIER
 ON A 24" X 24" CONC. FOOTING

1 CELLAR FLOOR PLAN

SCALE: 1/4" = 1'-0"

11/5/21	11/4/21	11/1/21
		10/30/21
		10/27/21
		10/26/21
		10/23/21
		08/3/21
		06/13/21
		09/19/16

ARCHITECT
MITCHELL G. ATTICK
 501 EAST 79TH STREET
 NEW YORK, NY 10075

P: 212-752-8210
 F: 212-752-8207

PROJECT **SECOND FLOOR ADDITION**
 182 Byram Lake Rd
 Armonk, NY 10504

CELLAR FLOOR PLAN

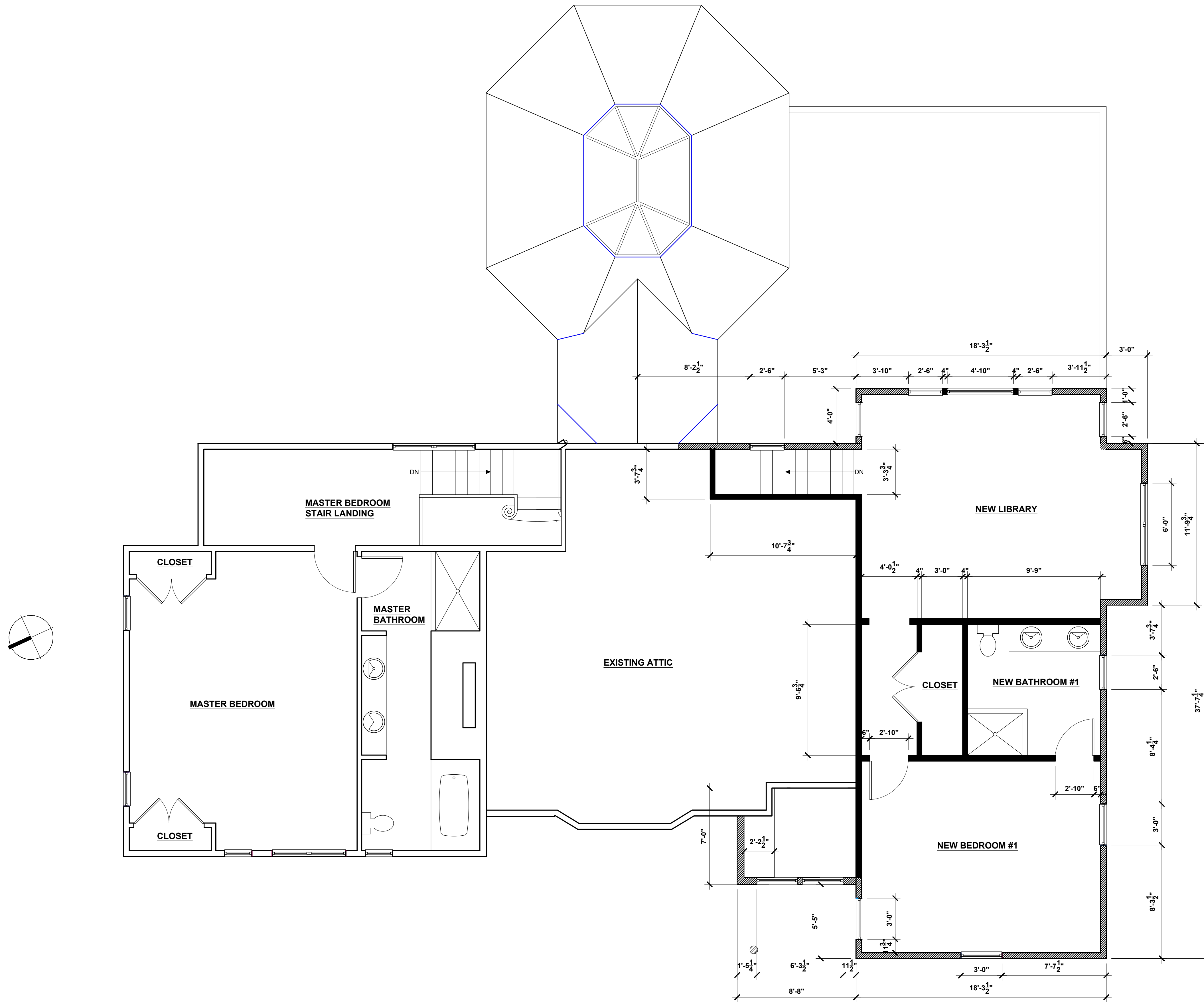
SEAL & SIGNATURE



DATE: 12/21/20
 PROJECT No: 20218
 DRAWING BY: DAVID CHARLTON
 CHK BY: M. ATTICK
 DWG No:

A-102

CADD FILE No: (20218) 2 OF 8



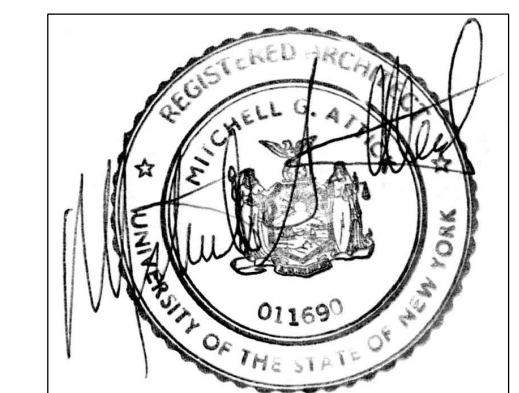
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ARCHITECT MITCHELL G. ATTICK 501 EAST 79TH STREET NEW YORK, NY 10075	11/5/21	11/4/21	11/1/21
			10/30/21
			10/27/21
			10/26/21
			10/23/21
			08/3/21
			06/13/21
		09/19/16	
			P: 212-752-8210 F: 212-752-8207

PROJECT **SECOND FLOOR ADDITION**
182 Byram Lake Rd
Armonk, NY 10504

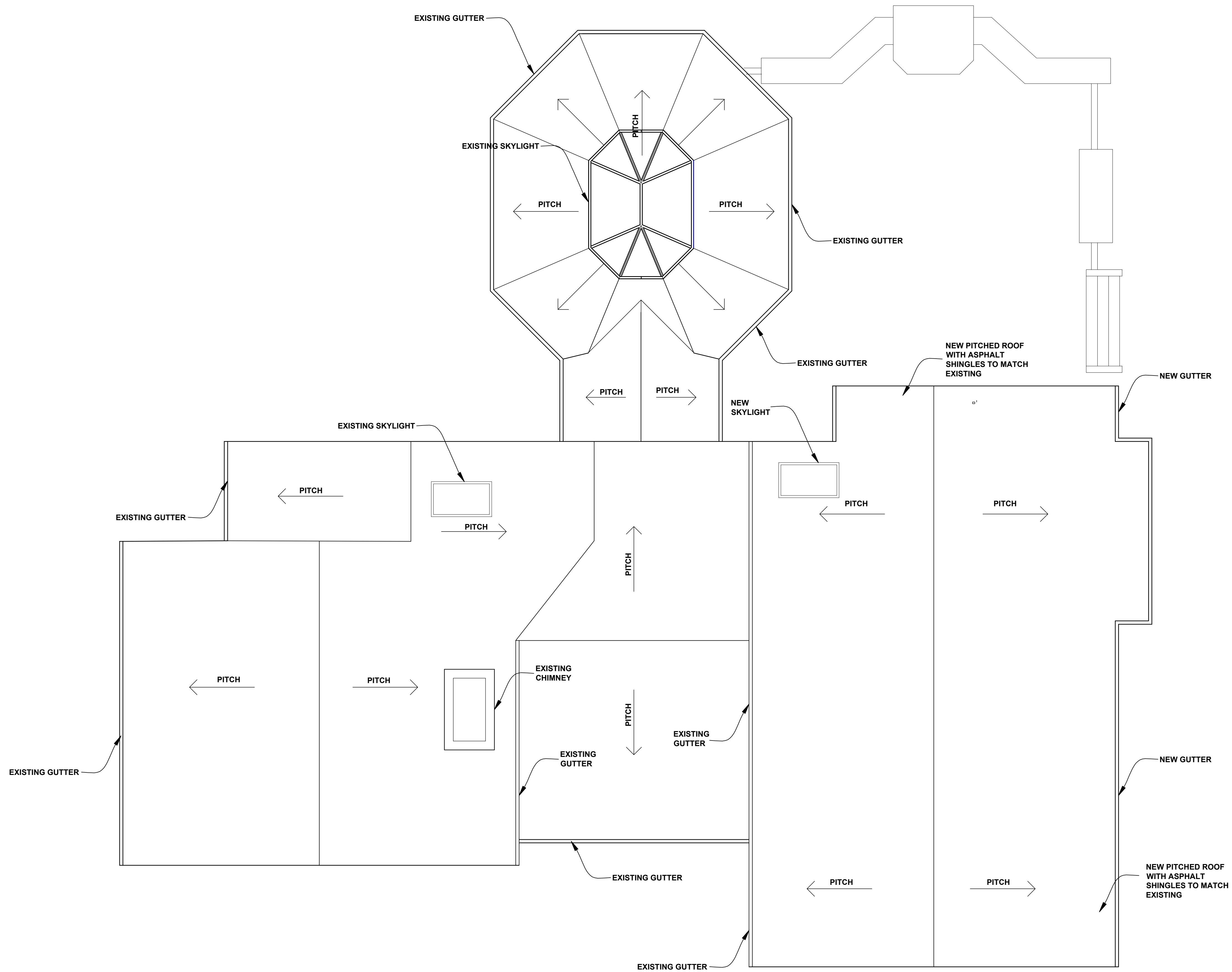
SECOND FLOOR PLAN

SEAL & SIGNATURE

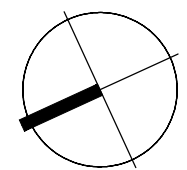


DATE: 12/21/20
PROJECT No: 20218
DRAWING BY: DAVID CHARLTON
CHK BY: M. ATTICK
DWG No:

A-104



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



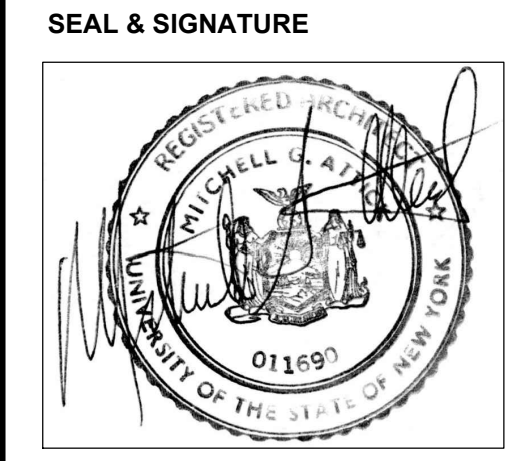
ARCHITECT	11/5/21	11/4/21	11/1/21
			10/30/21
			10/27/21
			10/26/21
			10/23/21
			08/3/21
			06/13/21
			09/19/16

MITCHELL G. ATTICK
501 EAST 79TH STREET
NEW YORK, NY 10075

P: 212-752-8210
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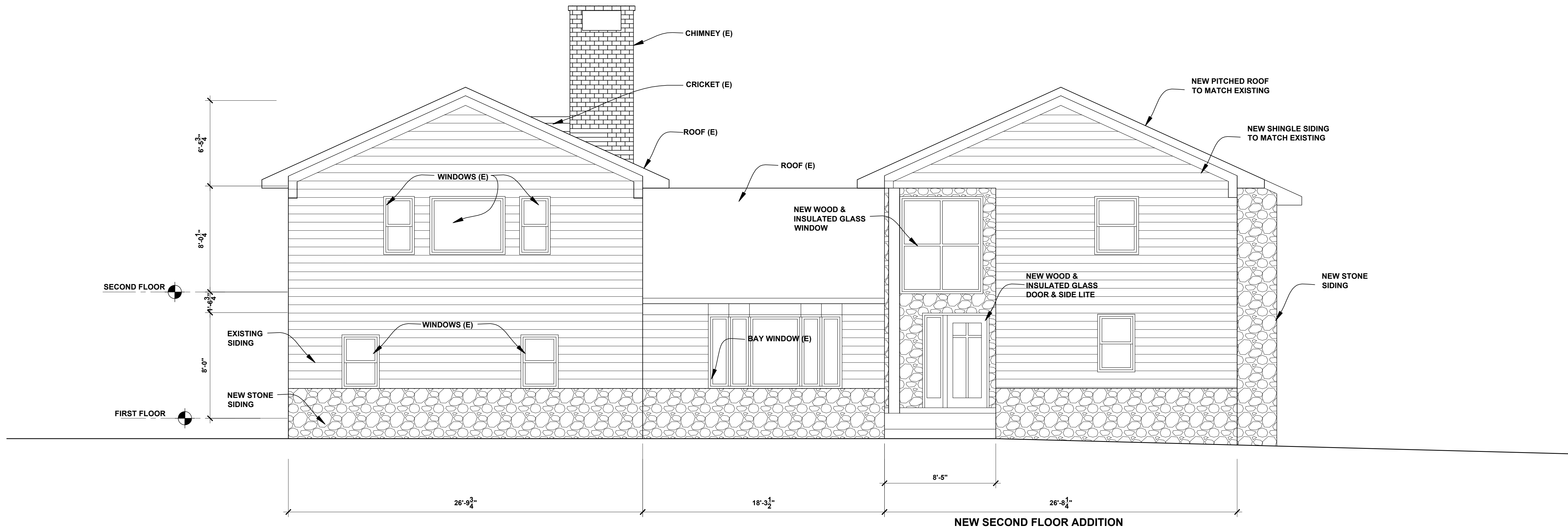
PROJECT **SECOND FLOOR ADDITION**
182 Byram Lake Rd
Armonk, NY 10504

ROOF PLAN

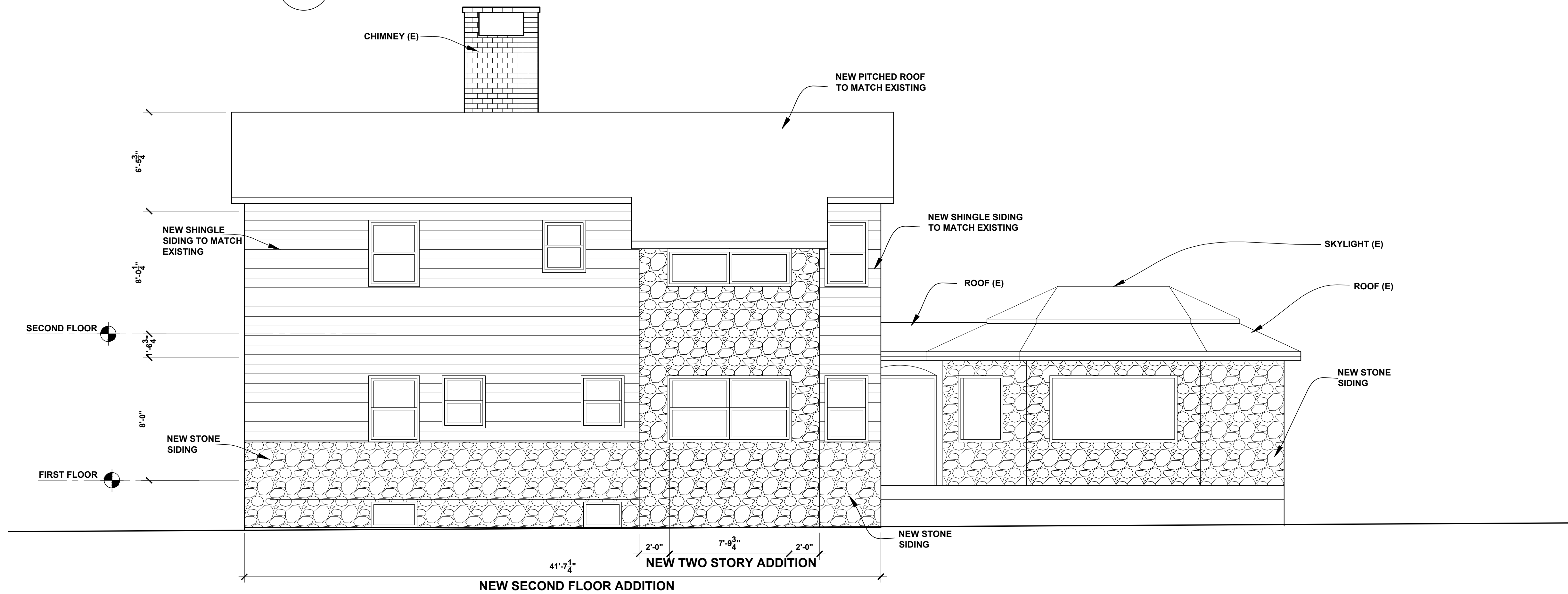


DATE: 12/21/20
PROJECT No: 20218
DRAWING BY: DAVID CHARLTON
CHK BY: M. ATTICK
DWG No:

A-105



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

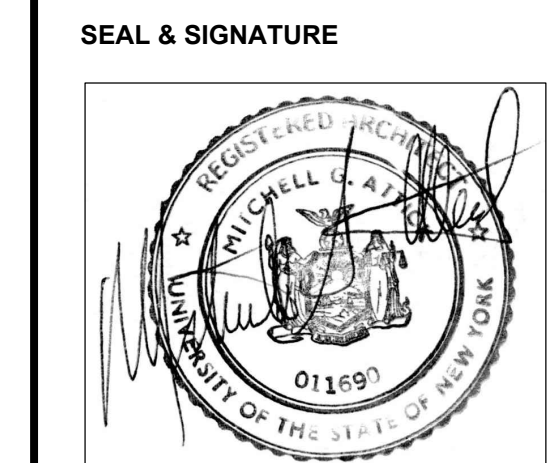


2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECT	11/5/21	11/4/21	11/1/21	
			10/30/21	
			10/27/21	
			10/26/21	
			10/23/21	
			08/3/21	
			06/13/21	
			09/19/16	
	MITCHELL G. ATTICK			
	501 EAST 79TH STREET NEW YORK, NY 10075		P: 212-752-8210 F: 212-752-8207	

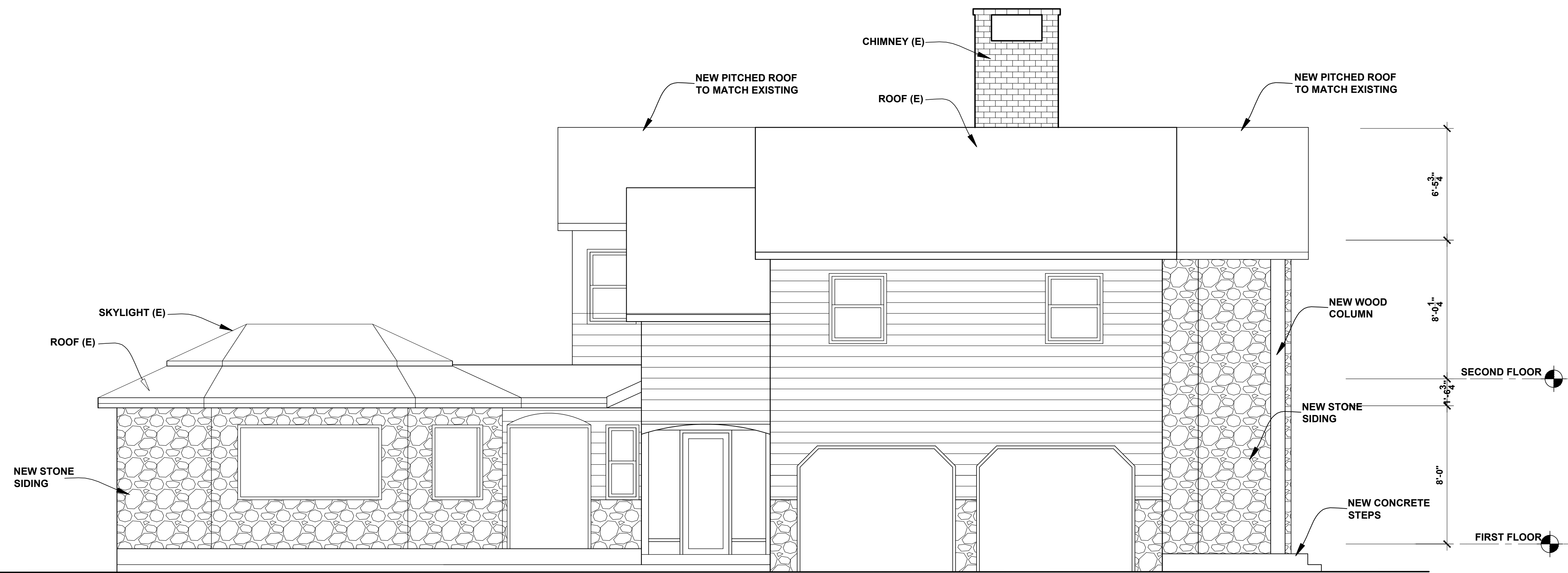
PROJECT **SECOND FLOOR ADDITION**
182 Byram Lake Rd
Armonk, NY 10504

WEST & SOUTH ELEVATIONS

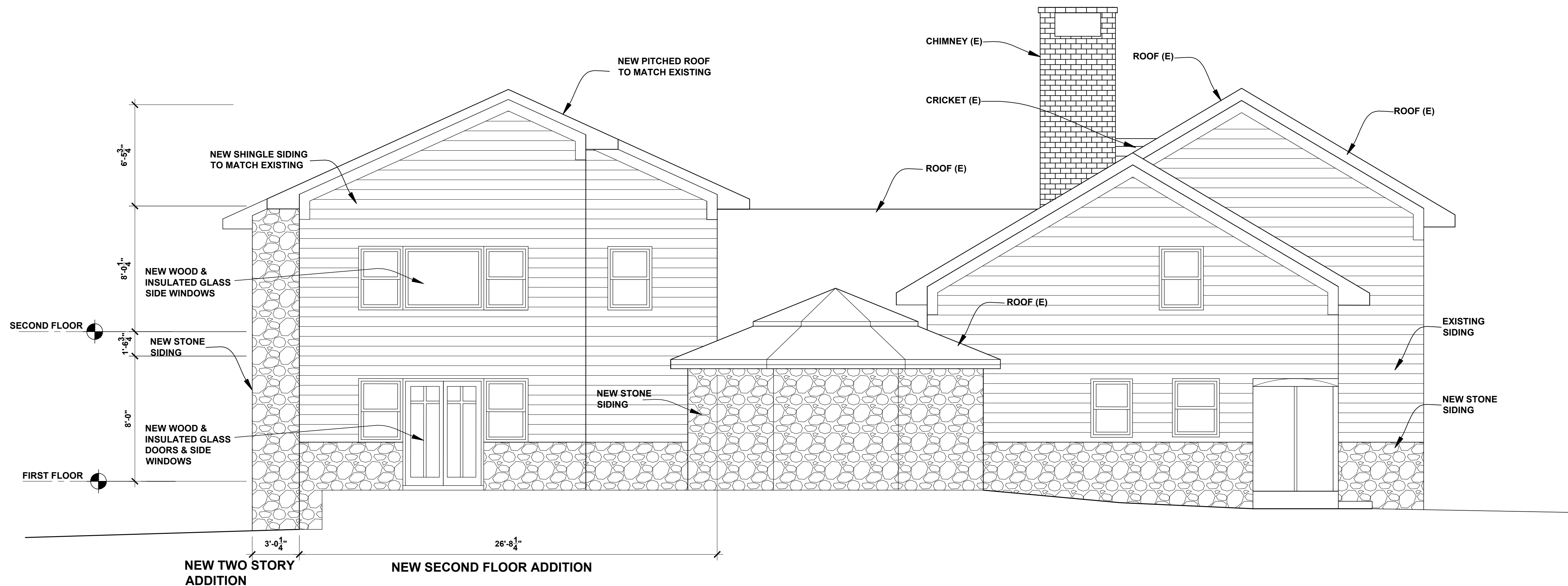


DATE: 12/21/20
PROJECT No: 20218
DRAWING BY: DAVID CHARLTON
CHK BY: M. ATTICK
DWG No:

A-106



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



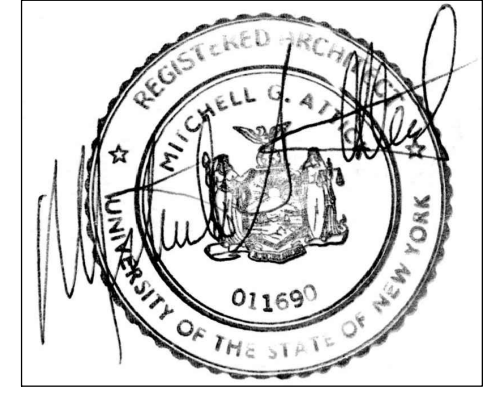
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECT	11/5/21	11/4/21	11/1/21	
			10/30/21	
			10/27/21	
			10/26/21	
			10/23/21	
			08/3/21	
			06/13/21	
			09/19/16	
	MITCHELL G. ATTICK			
	501 EAST 79TH STREET NEW YORK, NY 10075		P: 212-752-8210 F: 212-752-8207	

PROJECT **SECOND FLOOR ADDITION**
182 Byram Lake Rd
Armonk, NY 10504

EAST WEST ELEVATIONS

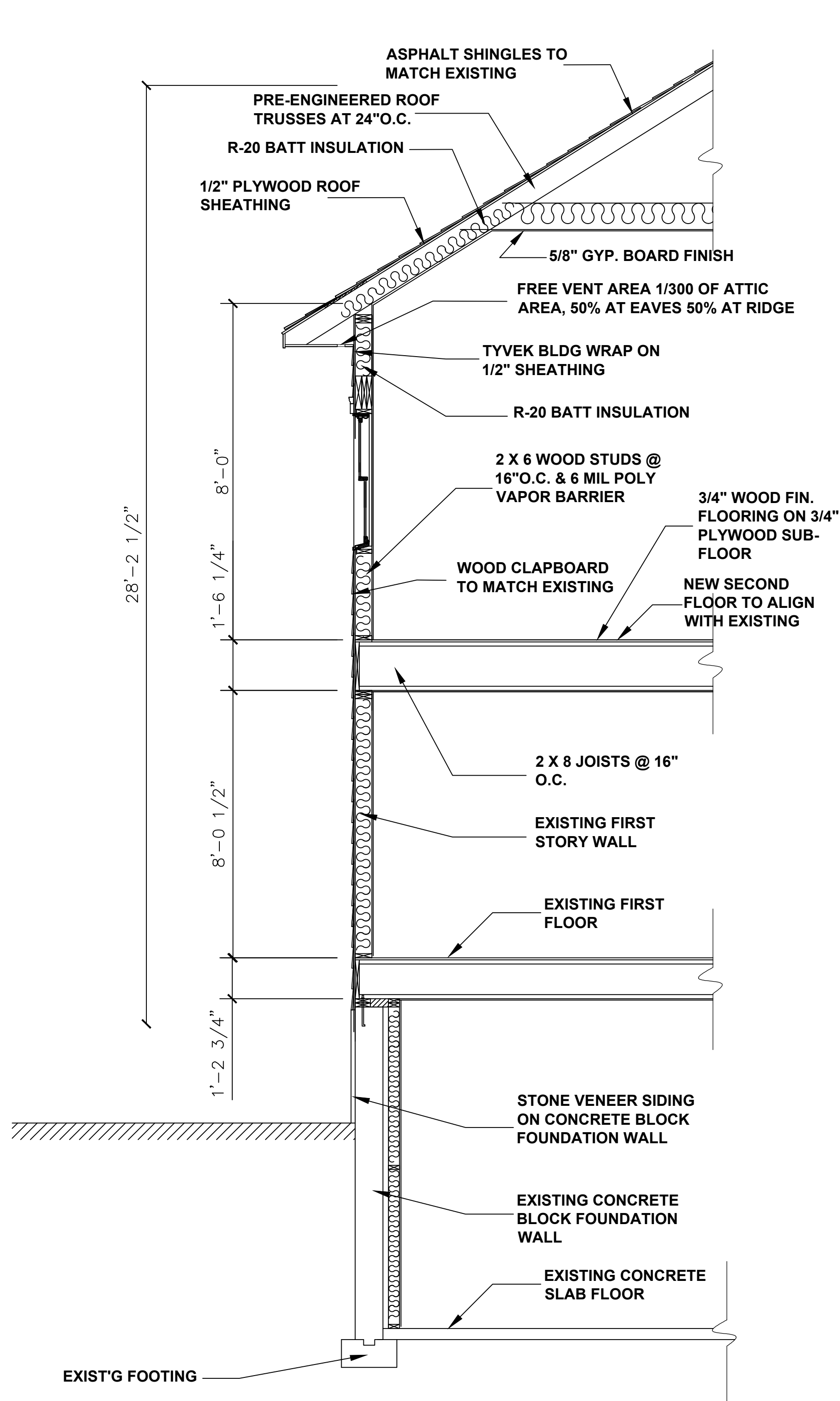
SEAL & SIGNATURE



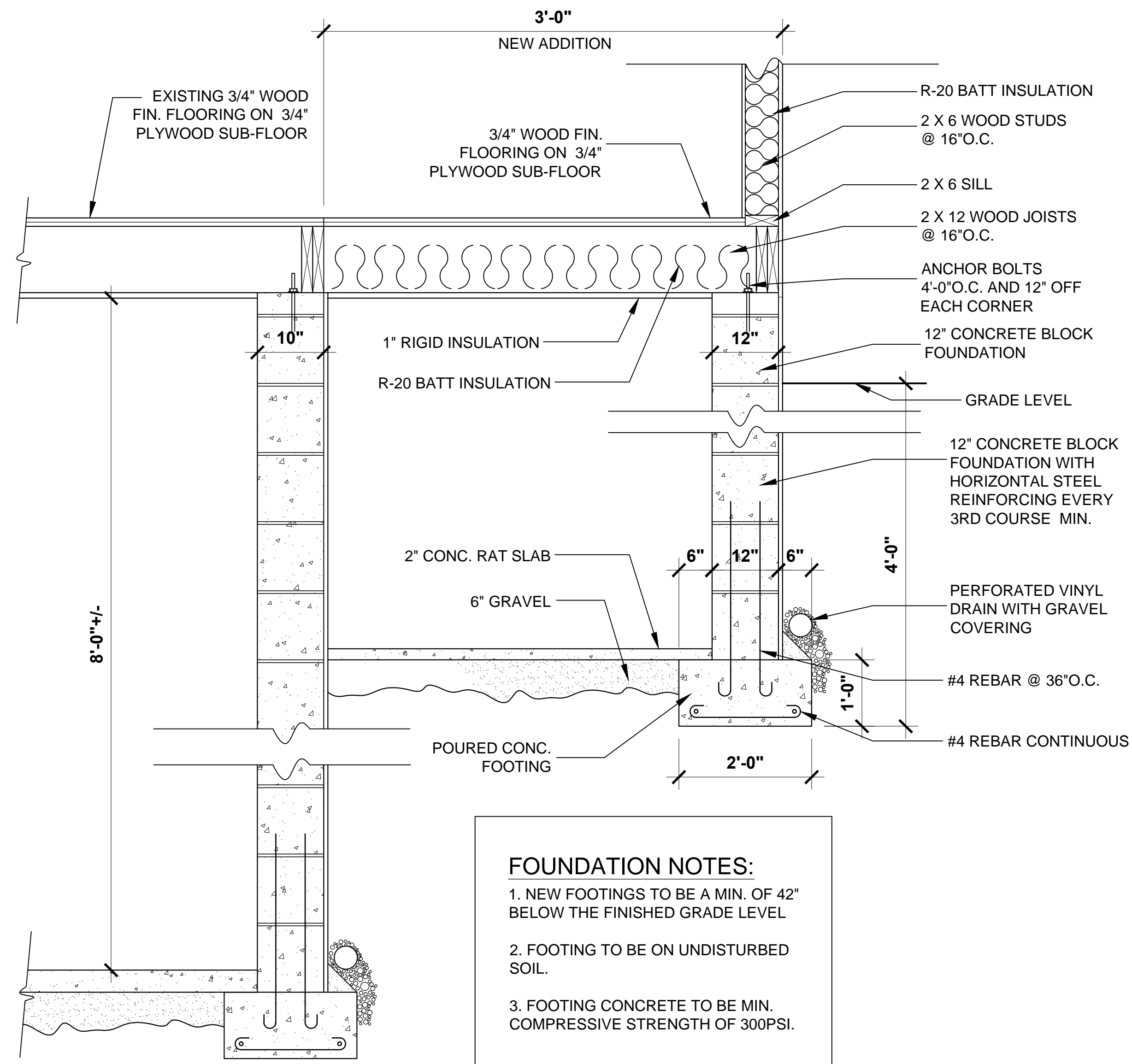
DATE: 12/21/20
PROJECT No: 20218
DRAWING BY: DAVID CHARLTON
CHK BY: M. ATTICK
DWG No:

A-107

CADD FILE No: (20218) 7 OF 8



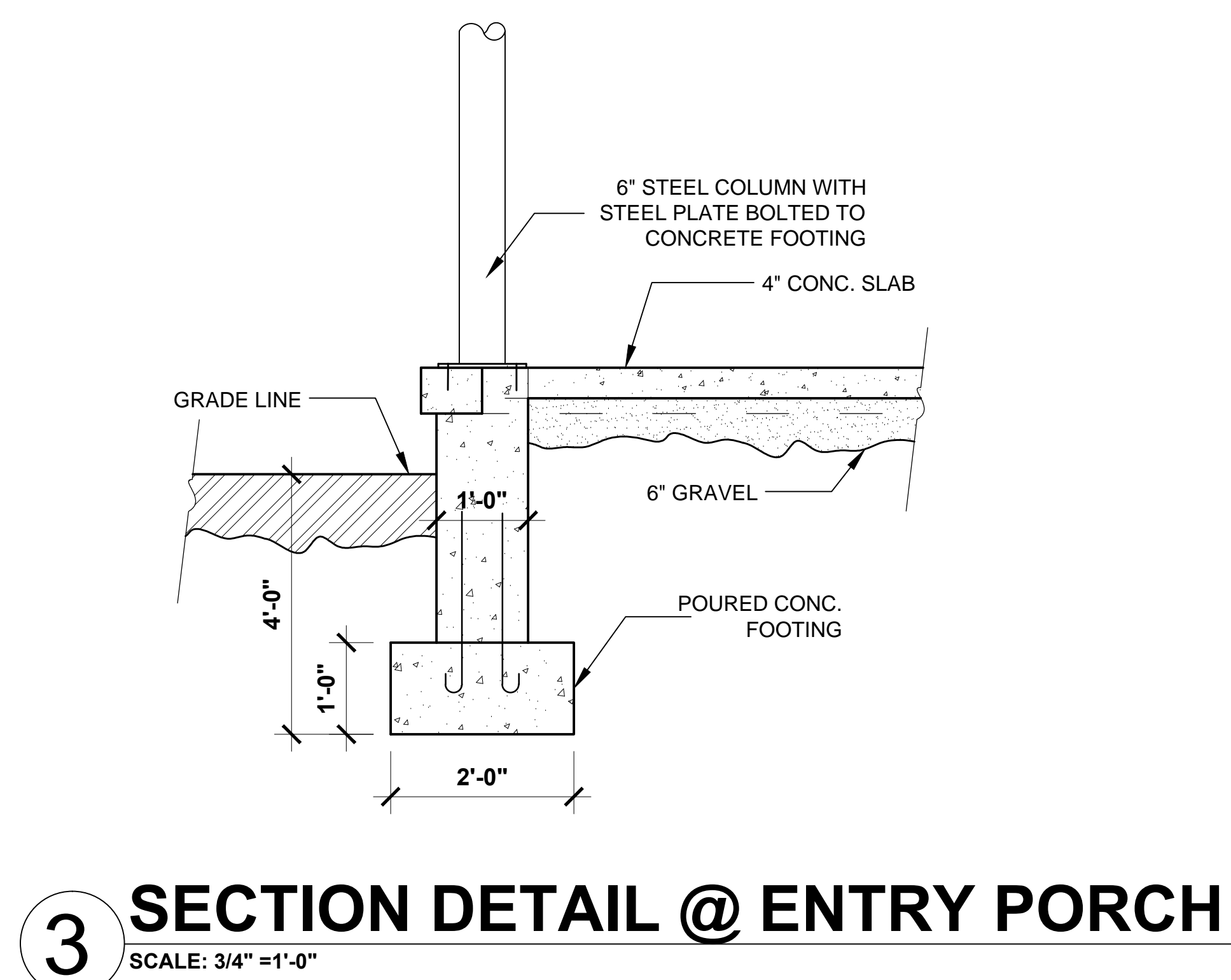
1 SECTION THROUGH NEW SECOND STORY
SCALE: 3/8" = 1'-0"



2 FOUNDATION DETAIL @ EAST ELEVATION
SCALE: 3/4" = 1'-0"

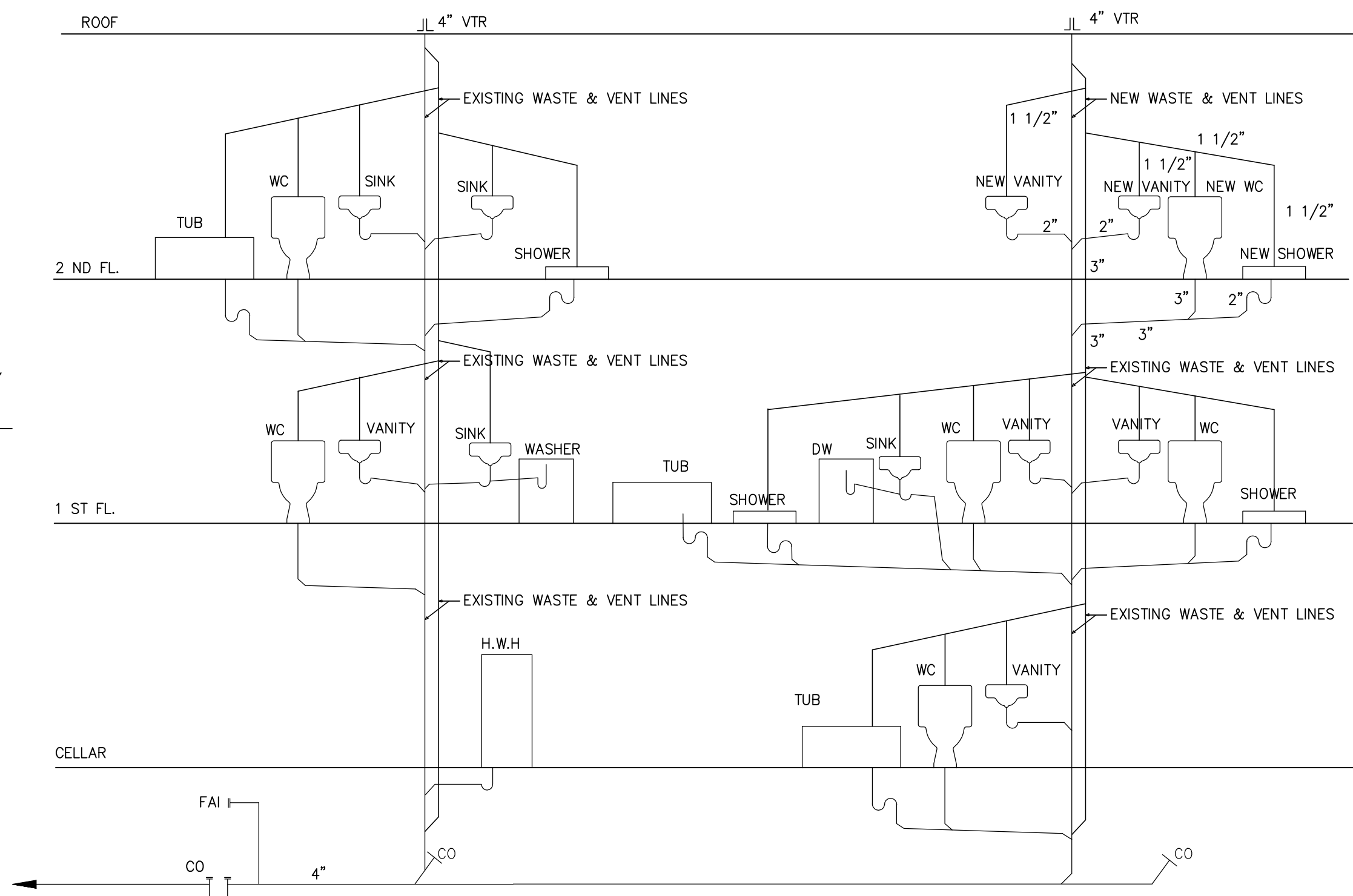
FOUNDATION NOTES:

1. NEW FOOTINGS TO BE MIN. OF 42" BELOW THE FINISHED GRADE LEVEL
2. FOOTING TO BE ON UNDISTURBED SOIL.
3. FOOTING CONCRETE TO BE MIN. COMPRESSIVE STRENGTH OF 3000PSI.



3 SECTION DETAIL @ ENTRY PORCH
SCALE: 3/4" = 1'-0"

FLOOR AREA RATIO WORKSHEET			
APPLICATION NAME:	YUN ADDITION & KITCHEN		
TAX MAP DESIGNATION:	2-8-7C1		
1	TOTAL LOT AREA		115,176.00
2	MAXIMUM PERMITTED FLOOR AREA (213-22.2B)		11,244.24
		EXISTING	PROPOSED
3	FIRST FLOOR AREA	1997	169.3
4	SECOND FLOOR AREA	757	794.55
5	GARAGE AREA	603	0
6	ENCLOSED PORCH AREA	0	0
7	BASEMENT AREA	0	0
8	ATTIC AREA	0	0
9	ACCESSORY BUILDINGS	799	0
10	PROPOSED FLOOR AREA		1551.55
			5119.85



4 PLUMBING RISER DIAGRAM
NOT TO SCALE

ARCHITECT	11/5/21	11/4/21	11/1/21
	MITCHELL G. ATTICK		
501 EAST 79TH STREET NEW YORK, NY 10075	P: 212-752-8210 F: 212-752-8207		10/30/21 10/27/21 10/26/21 10/23/21 08/3/21 06/13/21 09/19/16

PROJECT SECOND FLOOR ADDITION
182 Byram Lake Rd
Armonk, NY 10504

**WALL SECTION & FOUNDATION DETAIL
PLUMBING RISER DIAGRAM,**

SEAL & SIGNATURE	DATE: 12/21/20
	PROJECT No: 20218
	DRAWING BY: DAVID CHARLTON
	CHK BY: M. ATTICK
	DWG No:
A-108	
CADD FILE No: (20218) 8 OF 8	