

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 22 as shown on a certain map entitled, "Subdivision of Property Belonging to Brundage and Hunter, Situate in the Town of North Castle, Westchester County, N.Y." Said map filed in the Westchester County Clerk's Office, Division of Land Records August 28, 1929, as map number 3493.

Surveyed in accordance with Deed Control Number 470220637.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 108.01, Block 4, Lot 28.

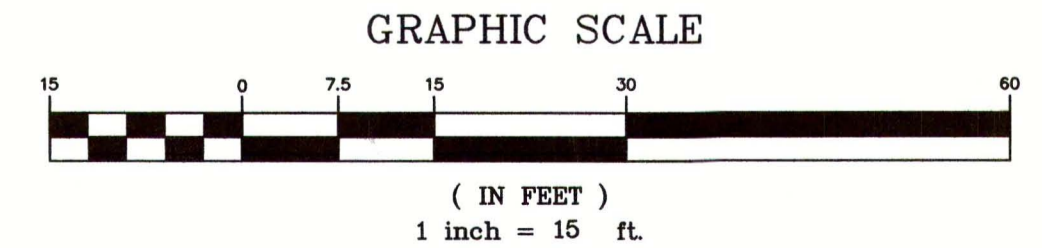
Property Address: 9 Niles Avenue, Armonk, NY, 10504

THIS MAP IS FOR BUILDING DEPARTMENT PURPOSES ONLY. MAP IS NOT TO BE USED FOR TITLE TRANSFER PURPOSES. MAP MAY NOT BE CERTIFIED TO TITLE COMPANIES AND/OR BANKS.

EXISTING COVERAGE - R-5 ZONE	
BUILDINGS	1,304.31 S.F.
DRIVEWAYS	724.35 S.F.
PORCHES AND DECKS	439.48 S.F.
WALKWAYS & PATIOS	268.66 S.F.
WALLS	54.53 S.F.
UTILITIES AND OTHER STRUCTURES	4.00 S.F.
TOTAL COVERAGE	2,795.33 S.F.
TOTAL LOT AREA	9,226.21 S.F.
% COVERAGE	30.30%
MAXIMUM COVERAGE ALLOWED	3,767.86 S.F.
% BUILDING COVERAGE	14.14%
MAXIMUM % BUILDING COVERAGE	30.00%

**SURVEY OF PROPERTY
PREPARED FOR
MICHELE KENTON**
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

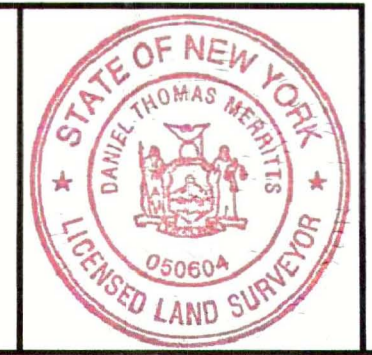
SCALE: 1" = 15'



COPYRIGHT © 2021
TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.



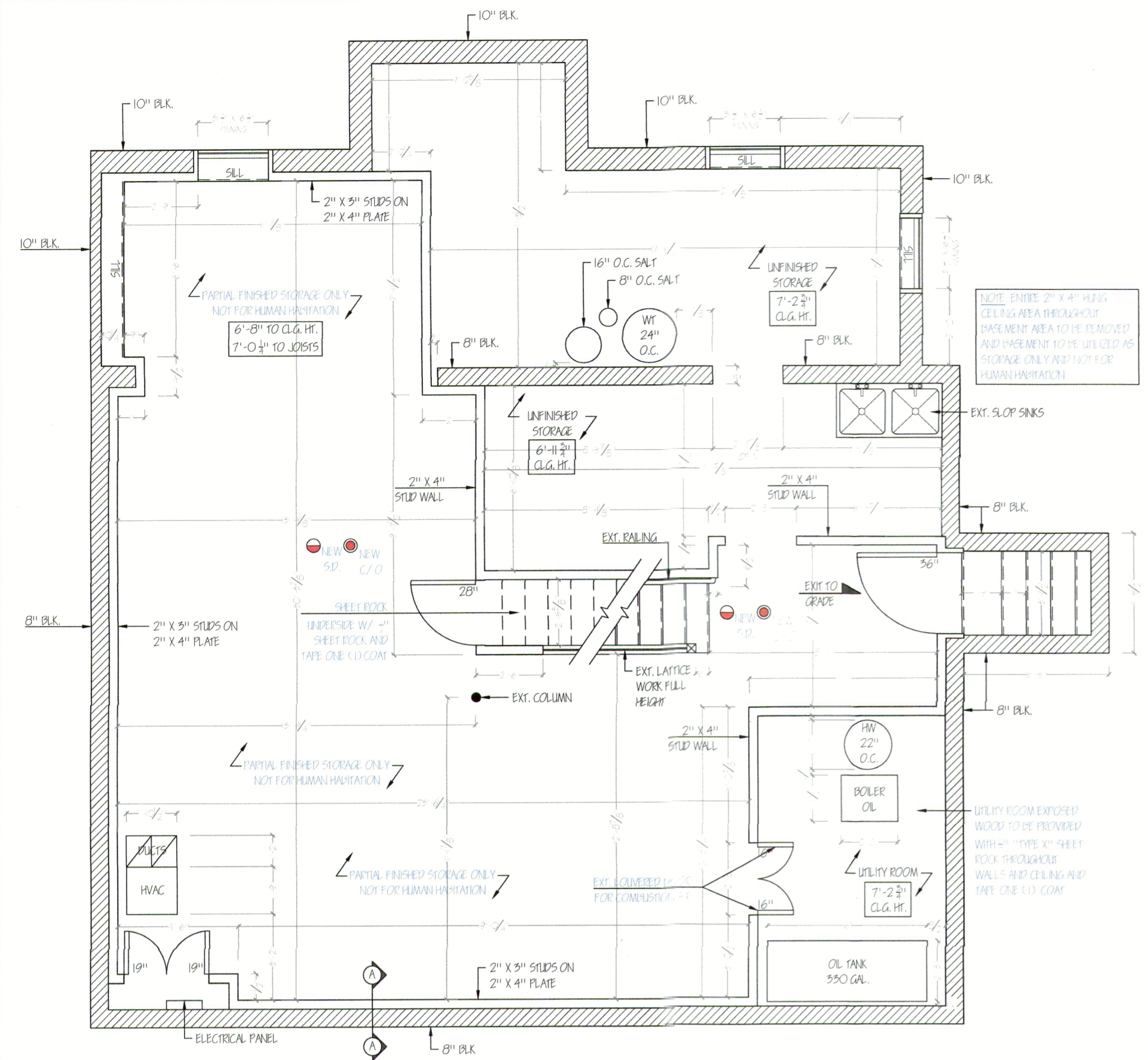
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



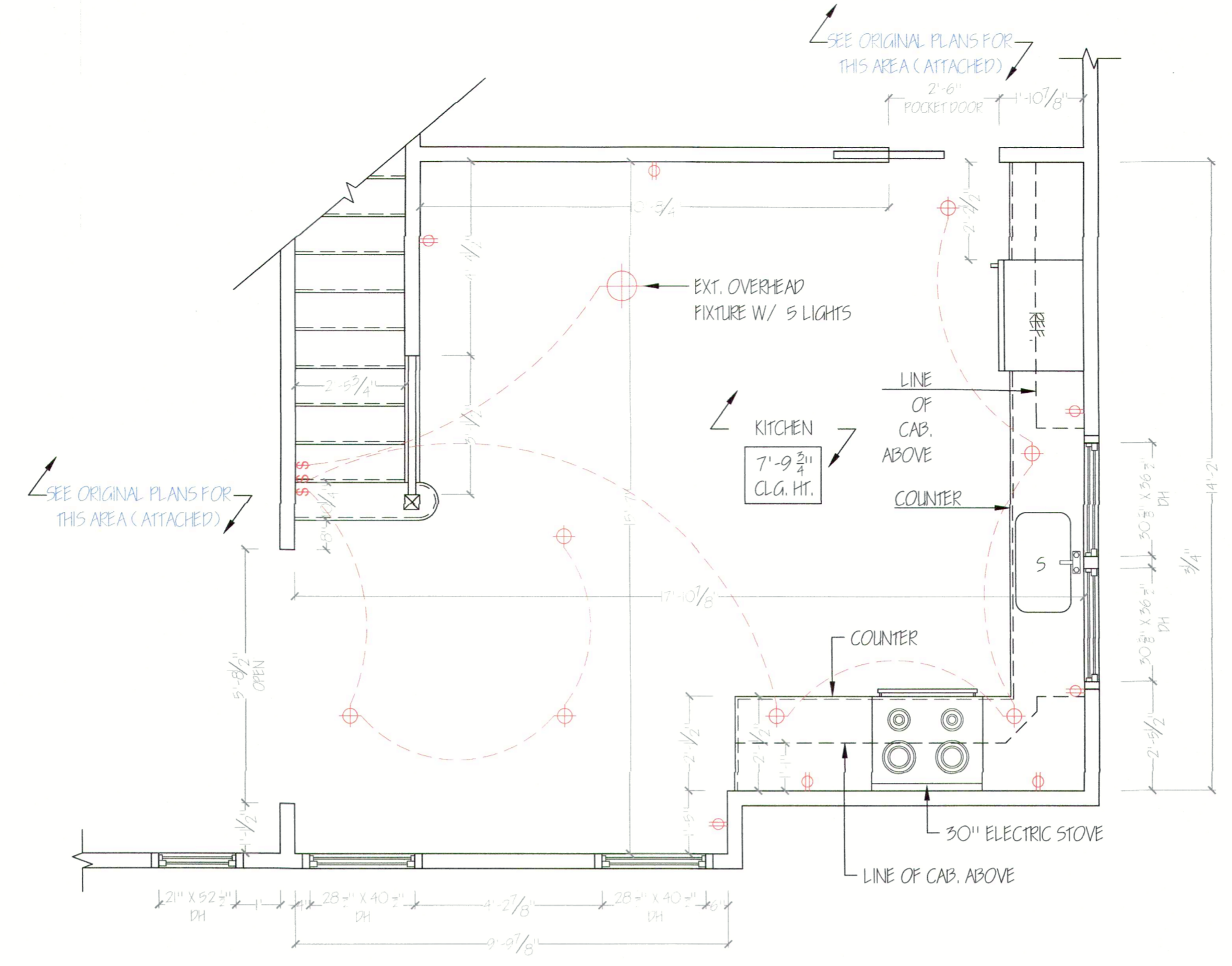
Surveyed: November 2, 2021
Map Prepared: November 4, 2021

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No. 050604

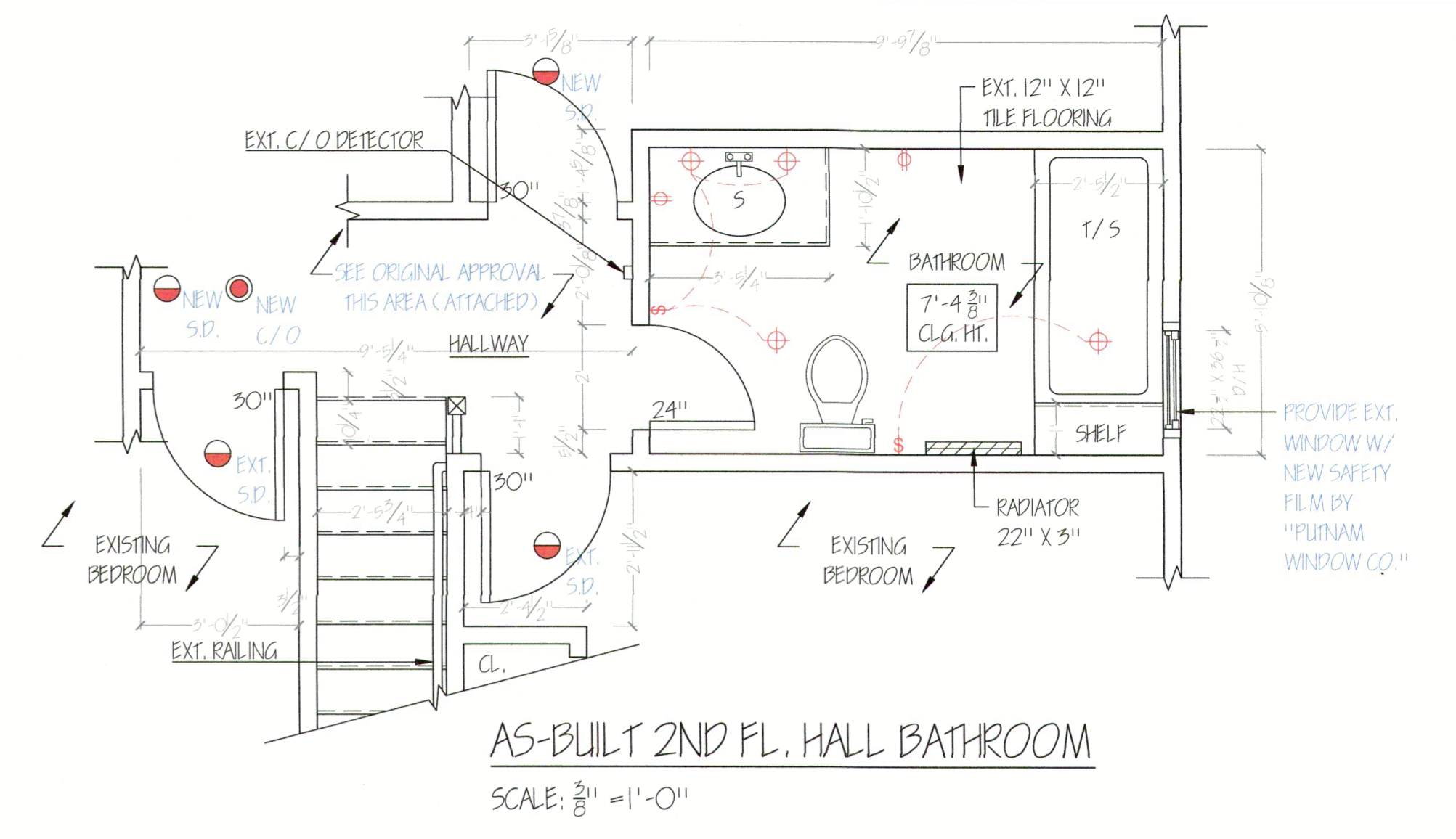
Project: 21-487	Reference: 14-270
Field Survey By: CR/JE	Drawn By: BJC
Project Manager: BFC	Checked By: DM/BFC



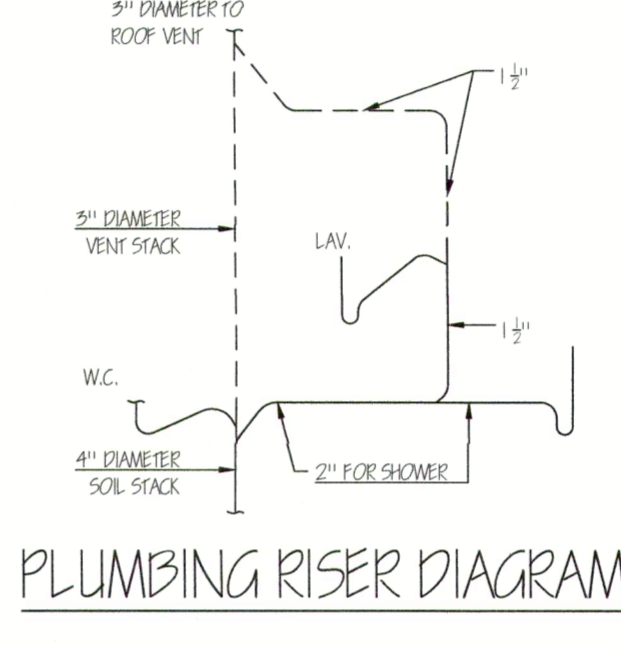
EXISTING BASEMENT PLAN VIEW
SCALE: 1/4" = 1'-0"



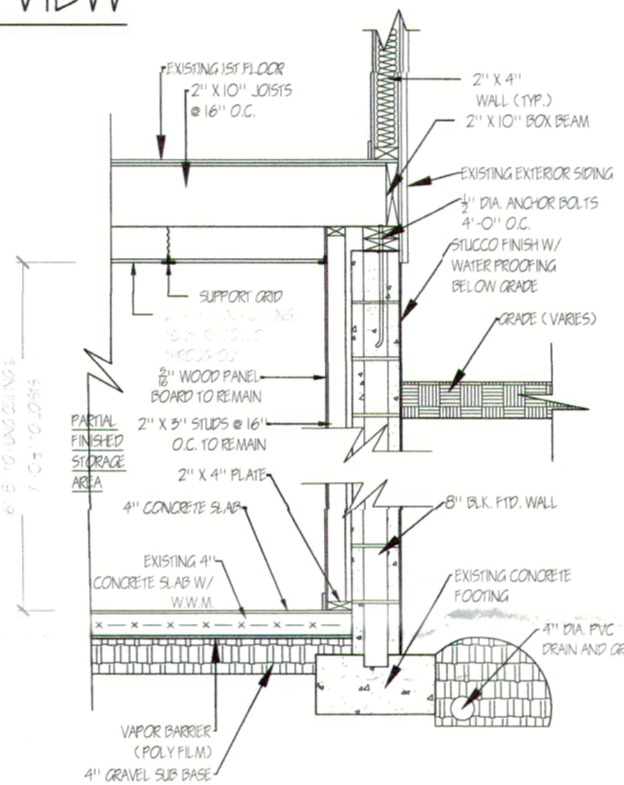
AS-BUILT KITCHEN PLAN VIEW
SCALE: 3/8" = 1'-0"



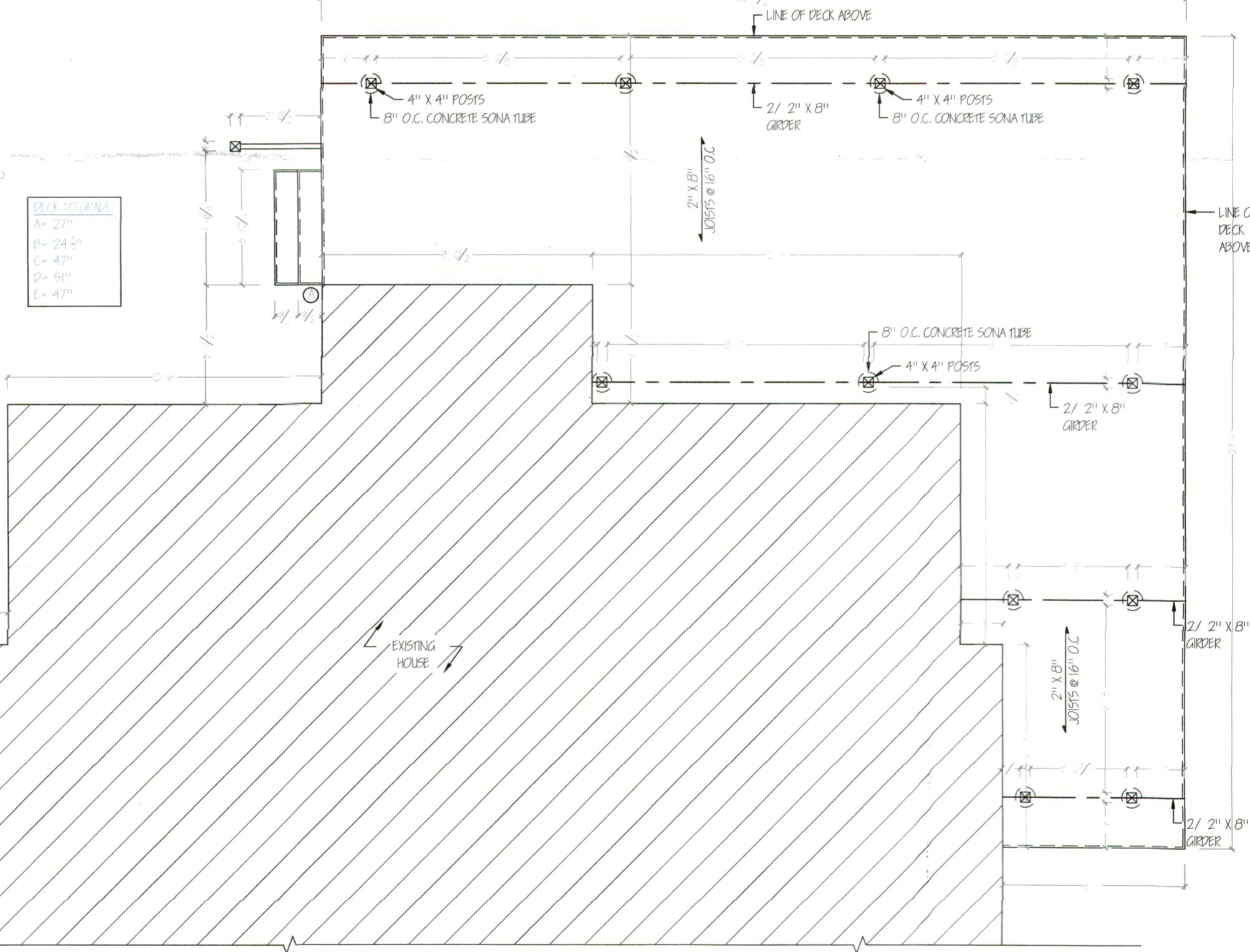
AS-BUILT 2ND FL. HALL BATHROOM
SCALE: 3/8" = 1'-0"



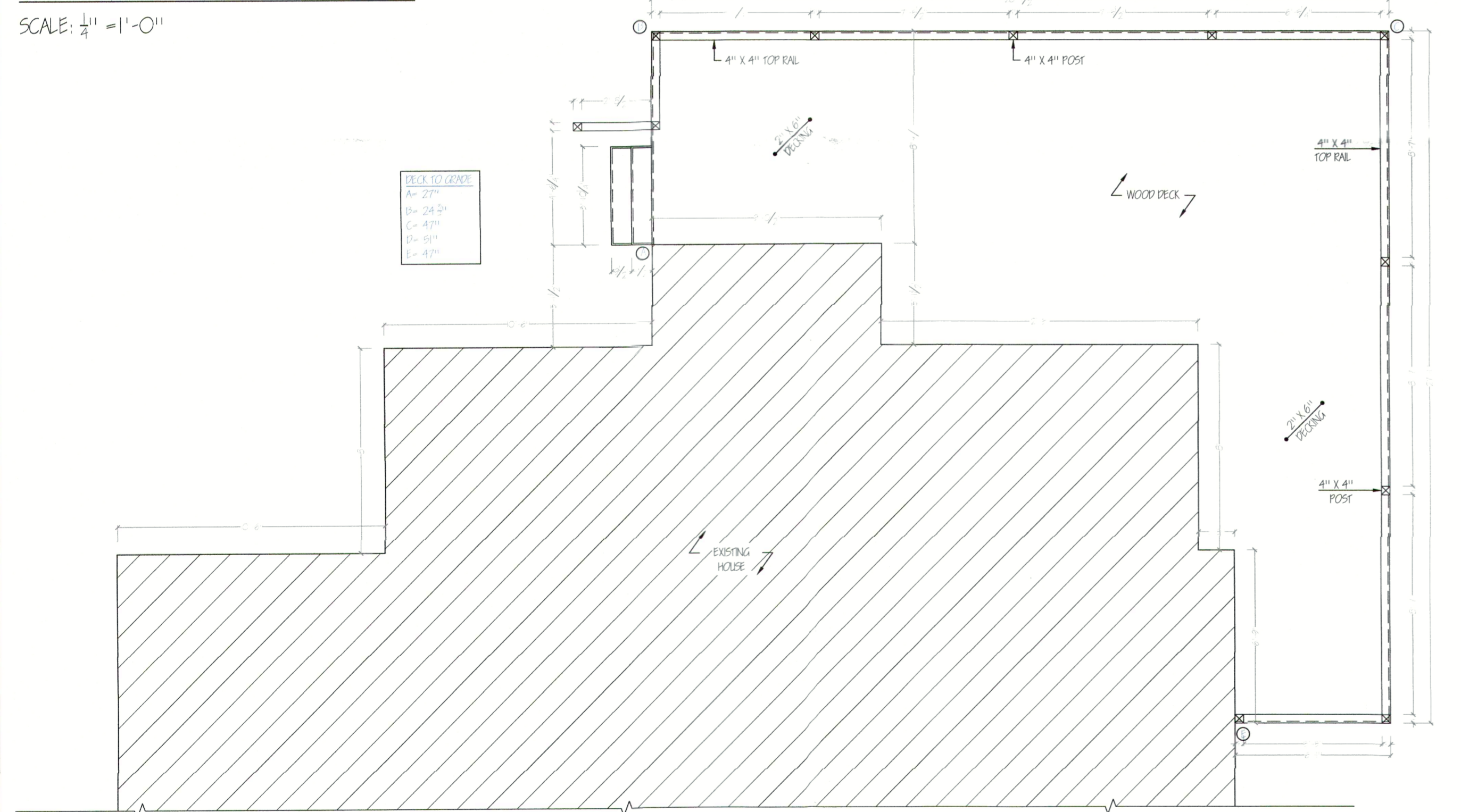
SD/CO
Note: Residence to be provided w/ new smoke and CO detectors per NY State Code
● Smoke/ Carbon Monoxide Detector
● Smoke Detector



SECTION A-A
SCALE: 3/8" = 1'-0"

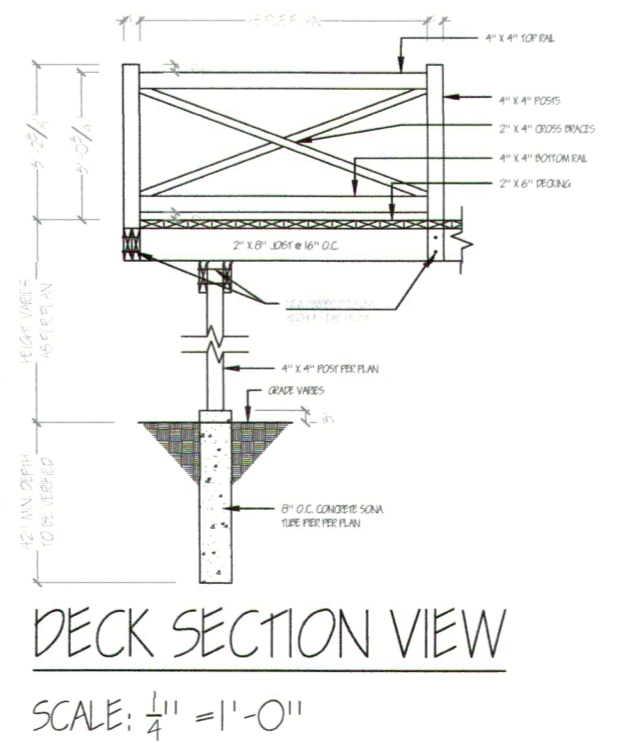
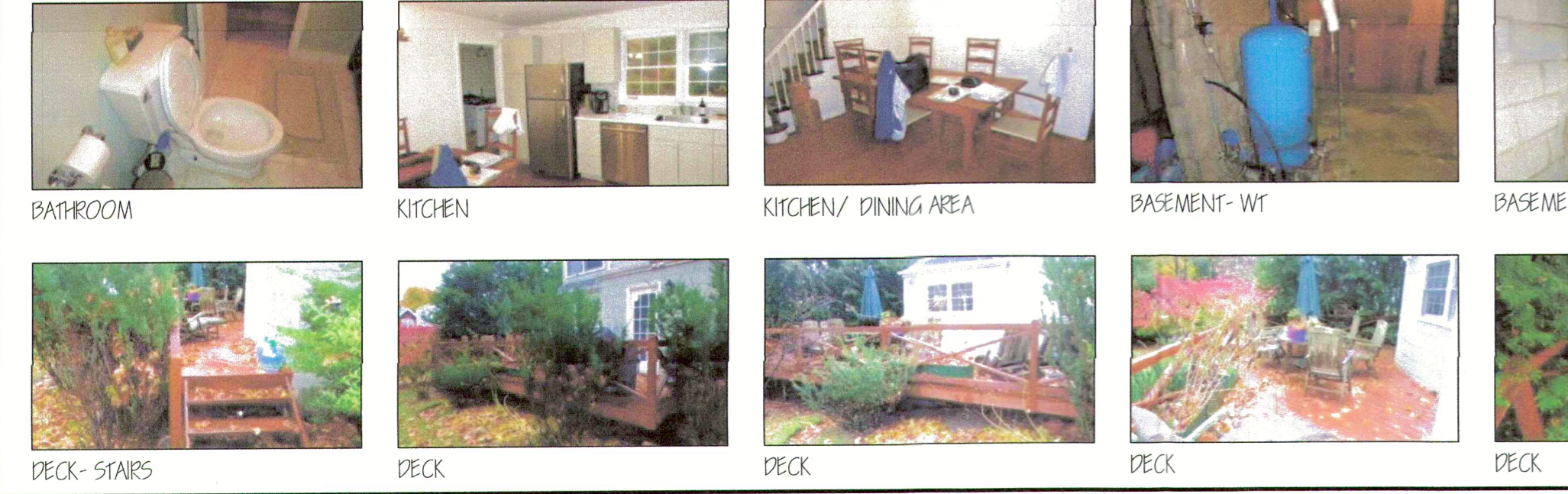


GIRDER/PIER PLAN VIEW
SCALE: 1/4" = 1'-0"



WOOD DECK PLAN VIEW
SCALE: 1/4" = 1'-0"

PHOTO VIEWS



DECK SECTION VIEW
SCALE: 1/4" = 1'-0"

- General notes (Where applicable)**
- All work shall conform to local and state building codes and regulations of all other agencies having jurisdiction.
 - Contractor shall obtain and pay for all required permits.
 - All materials shall be new and of best quality.
 - Contractor is to be fully covered by Workmen's Compensation Liability Insurance as may be required by local jurisdiction.
 - Contractors to remove all debris from premises as required.
 - Tap and splice as required.
 - Patch and repair interior and exterior walls, floors and ceilings as required.
 - All new gypsum board to align with existing.
 - Firestopping to be installed as required by code. Concealed spaces within the walls, partitions, floors, stairs and around chimneys, pipes and duct openings in such construction, shall be firestopped to prevent the passage of flame, smoke, fumes and hot gases.
 - Firestopping to be installed where new work joins existing.
 - Smoke detector's requirements of the category of them, smoke detectors shall be provided where required by R-515 of IRC Residential Code.
 - Smoke detectors shall have an audible alarm. Breathe history and electrically operated hardwired devices are acceptable.
 - Carbon monoxide detector to be installed as per New York state codes. (As needed)
 - All framing to be done in accordance with the latest addition of the "National design specification for stress graded lumber and it's fastenings" as published by the national lumber manufacturers association.
 - All Lumber and Wood shall be kiln dried, free from rot, large loose knots and other imperfections.
 - Framing Lumber shall be Douglas fir / Larch No. 2 or better with min. FB=1200 p.s.i. and E=1,700,000 p.s.i.
 - All Framing Lumber shall bear visible grade stamp.
 - Provide all needed ledgers, blocking, rafters, coils, grounds and framing hardware for a complete job.
 - Set joists and rafters with crown up.
 - All Lumber in contact with masonry to be pressure-treated.
 - Playwood for subfloor shall be APA rated stud-1 Floor exp. 1, T&G edges.
 - Playwood room and wall sheathing shall be APA rated for sheathing. Grade stamp visible on all sheets. Support all edges.
 - Provide X bracing or solid blocking at mid span of joists and rafters or at 8 ft. on center intervals.
 - Pressure treated (PT) wood shall be treated Southern yellow Pine. Sawdust and wood scraps shall be contained and disposed off recommended by NFPA. Pressure treated wood shall not be burned.
 - All nails and screws, bolts and other metal coming in contact with pressure treated wood shall be hot dipped galvanized.
 - Contractors to provide all temporary shoring and partitions as needed.
 - Electrical work, wiring and equipment shall conform to the National Electrical Code (NECA) latest addition and all resulting agencies.
 - Contractor to remove existing debris as needed.

Notes:
1. Deck built prior to 2005 & proposed to be legalized under 1984 version of the NYS Residential Code applicable to one-and-two family dwellings.

Basement storage improvements done circa 1977 and predates NYS Energy Code.

DATE: 11/13/2021	APPROVED BY: Michael A. Testa, Jr.
REVISION:	
AS-BUILT PLAN VIEWS FOR WOODEN DECK, KITCHEN, 2ND FL. BATH AND BASEMENT STORAGE AREA FOR RESIDENCE OF MS. MICHELLE KENTON LOCATED AT 9 NILES AVENUE ARMONK, NEW YORK 10504	
SCALE: AS NOTED	PAGE # 1 OF 1
FOR BUILDING DEPARTMENT FILE/ RPRC APPROVAL/ LEGALIZATION	





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 9 Miles Avenue Armonk N.Y. 10504

Section III- DESCRIPTION OF WORK:

Legalization of Existing Wooden Deck
Done circa 2005 per plan & Survey

Section III- CONTACT INFORMATION:

APPLICANT: Michael Testa Jr

ADDRESS: 1114 State Route 22 Pawling N.Y. 12564

PHONE: 845-855-5128 MOBILE: 914-760-4319 EMAIL: matestajr@gmail.com

PROPERTY OWNER: Michela Kenton

ADDRESS: 9 Miles Ave. Armonk N.Y. 10504

PHONE: 917-548-1016 MOBILE: 917-548-1016 EMAIL: MichelaKenton@hotmail.com

PROFESSIONAL: Anthony Pisani P.E.

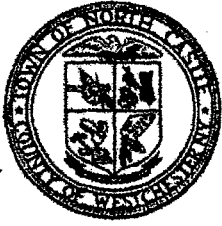
ADDRESS: 3 Rosalino Dr. Cortlandt Manor N.Y. 10567

PHONE: 914-739-6580 MOBILE: 914-329-1605

EMAIL: APISARRI@AOL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-5 Tax ID (lot designation) 108.01-4-28



**Town of North Castle
Residential Project Review Committee**
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Michaela Keaton

Initial Submittal Revised Preliminary

Street Location: 9 Miles Avenue Armonk N.Y. 10504

Zoning District: R-5 Property Acreage: 0.21 Tax Map Parcel ID: 108.01-4-24

Date: 11/24/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

Michael A. Testa, Jr.
1114 State Route 22
Pawling, N. Y. 12564
914-760-4319 Cell
e-mail matestajr@gmail.com

Memorandum

TO: Building Inspector Robert Melillo
Town of North Castle
Building Department
17 Bedford Road
Armonk N.Y. 10504

FROM: ~~Michael A. Testa, Jr.~~

SUBJECT: Ms. Michele Kenton
9 Niles Avenue
Armonk New York 10504

**Re-Proposed legalization submission for the RPRC Board for
wooden deck improvements**

DATE: November 29, 2021

Regarding the property of Ms. Michele Kenton located at 9 Niles Avenue Armonk, New York involving the legalization of a wooden improvement; please find enclosed the following documents per your submission criteria for the RPRC Board and your office:

- **RPRC application and associated review fee**
- **Tax parcel map by GIS (zoning) showing subject property and abutting parcels**
- **Gross Land Coverage calculations and work sheet with certification**
- **As-built updated property survey by "TC Merritts L.S." dated 11/4/21**
- **As-built wooden deck plan with professional certification**

If you should have any further questions in this matter, please do not hesitate to contact me

Tax Parcel Maps

Address: 9 NILES AVE

Print Key: 108.01-4-28

SBL: 10800100040280000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Michelle Kanton Date: 11/24/21

Tax Map Designation or Proposed Lot No.: 108.01-4-28

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 9,226.21
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 3,767.86
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = 0
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 3,767.86
5. Amount of lot area covered by principal building:
1,304.31 existing + 0 proposed = 1,304.31
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
439.48 existing + 0 proposed = 439.48
8. Amount of lot area covered by porches:
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
993.01 existing + 0 proposed = 993.01
10. Amount of lot area covered by terraces:
0 existing + 0 proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:
4.0 existing + 0 proposed = 4.0
12. Amount of lot area covered by all other structures:
54.53 existing + 0 proposed = 54.53
13. Proposed gross land coverage: Total of Lines 5 – 12 = 2,795.33 S.F.

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Planning Worksheet

11/24/21
 Date

COVERAGES CALCULATIONS FOR 9 NILES AVENUE - DONE 11-4-21

BUILDINGS



1,304.31 SQ. FT.

DRIVEWAYS



724.35 SQ. FT.

PORCHES & DECKS



439.48 SQ. FT.





WALKWAYS





268.66 SQ. FT.



WALLS







UTILITIES



4.00 SQ. FT.