



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 EVERGREEN ROW, ARMONK NY

Section III- DESCRIPTION OF WORK:

PROPOSED IN-GROUND SWIMMING POOL, STONE PATIO,
FENCING, + PLANTING

Section III- CONTACT INFORMATION:

APPLICANT: DANIEL SHERMAN

ADDRESS: 4 BROADWAY SUITE #9, VALHALLA NY 10595

PHONE: 914-824-0999 MOBILE: _____

EMAIL: DAN.DANSHERMAN@LANDSCAPE
@EMAIL.COM

PROPERTY OWNER:

JACK BHATTI

ADDRESS: 3 EVERGREEN ROW, ARMONK NY

PHONE: 914-510-5012 MOBILE: _____

EMAIL: SKBHATTI528@GMAIL.COM

PROFESSIONAL: DANIEL SHERMAN

ADDRESS: "

PHONE: "

MOBILE: "

EMAIL: "

Section IV- PROPERTY INFORMATION:

Zone: R-1A

Tax ID (lot designation) 102.2-3-54



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

RHATTI RESIDENCE

Initial Submittal Revised Preliminary

Street Location:

3 EVERGREEN ROW

Zoning District: R-1A Property Acreage: 1.002 Tax Map Parcel ID: 102.2-3-54

Date: 12/3/21

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
-------	---



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlennyc.com**

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: BHATTI RESIDENCE Date: 12/6/21
Tax Map Designation or Proposed Lot No.: 102.2-3-54

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 43,668
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 7890
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
75 x 10 = 750 750
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 8640
5. Amount of lot area covered by **principal building**:
2491 existing + 0 proposed = 2491
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 353 proposed = 353
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
3162.8 existing + 727 proposed = 3889.8
10. Amount of lot area covered by **terraces**:
0 existing + 855 proposed = 855
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 977 proposed = 977
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 8565.8

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

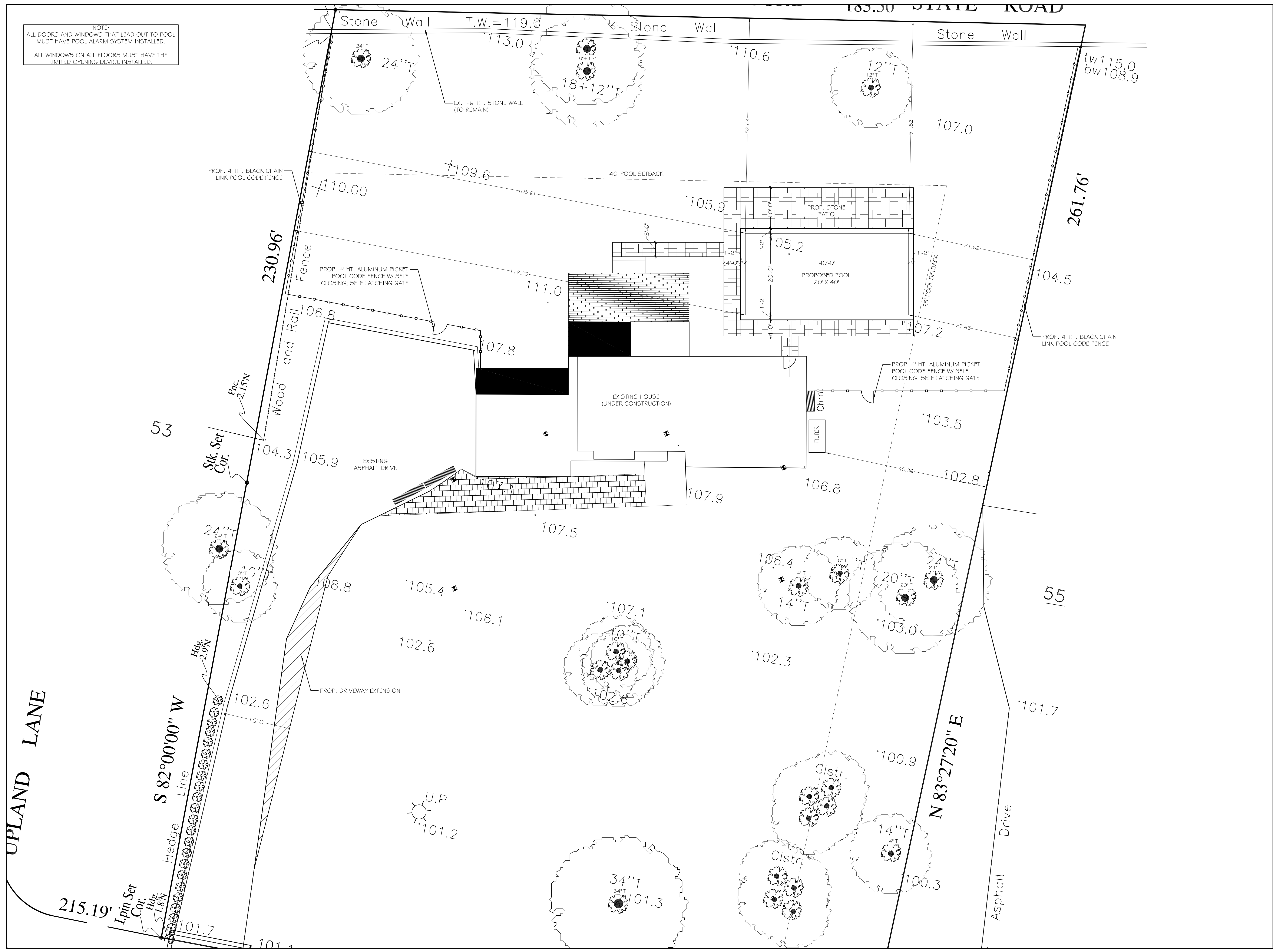
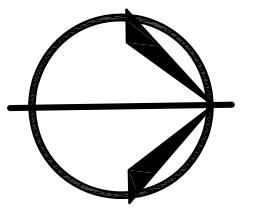

Signature and Seal of Professional Preparing Worksheet



12/7/21
Date

NOTE:
 ALL DOORS AND WINDOWS THAT LEAD OUT TO POOL MUST HAVE POOL ALARM SYSTEM INSTALLED.
 ALL WINDOWS ON ALL FLOORS MUST HAVE THE LIMITED OPENING DEVICE INSTALLED.

ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
 ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.



REVISION DATE

REVISION	DATE

BHATTI RESIDENCE

3 EVERGREEN ROW
 ARMONK, NY 10504

SITE PLAN (POOL)

DANIEL SHERMAN
 LANDSCAPE ARCHITECT
 4 BROADWAY - SUITE 9
 VALHALLA, NY 10595
 PHONE: (914) 824 - 0999
 FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
 www.danshermanlandscape.com



DATE: DEC. 03, 2021
 SCALE: 1" = 10' - 0"

DRAWN BY: AL
 DRAWING #: L - 1

PLANTING SPECIFICATIONS:

GENERAL: All plants, trees, and shrubs shall meet the specifications for "plant material" as per the American Standard for Nursery Stock. The landscape architect reserves the right to inspect all plants prior to shipping and installation. There are to be no substitutions of the plants without the consent of the landscape architect.

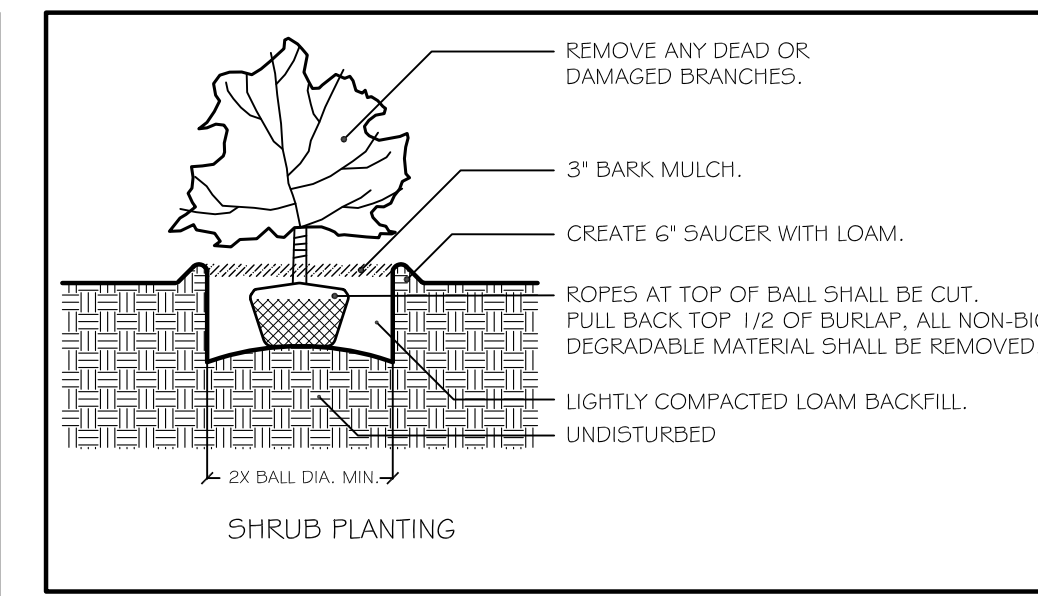
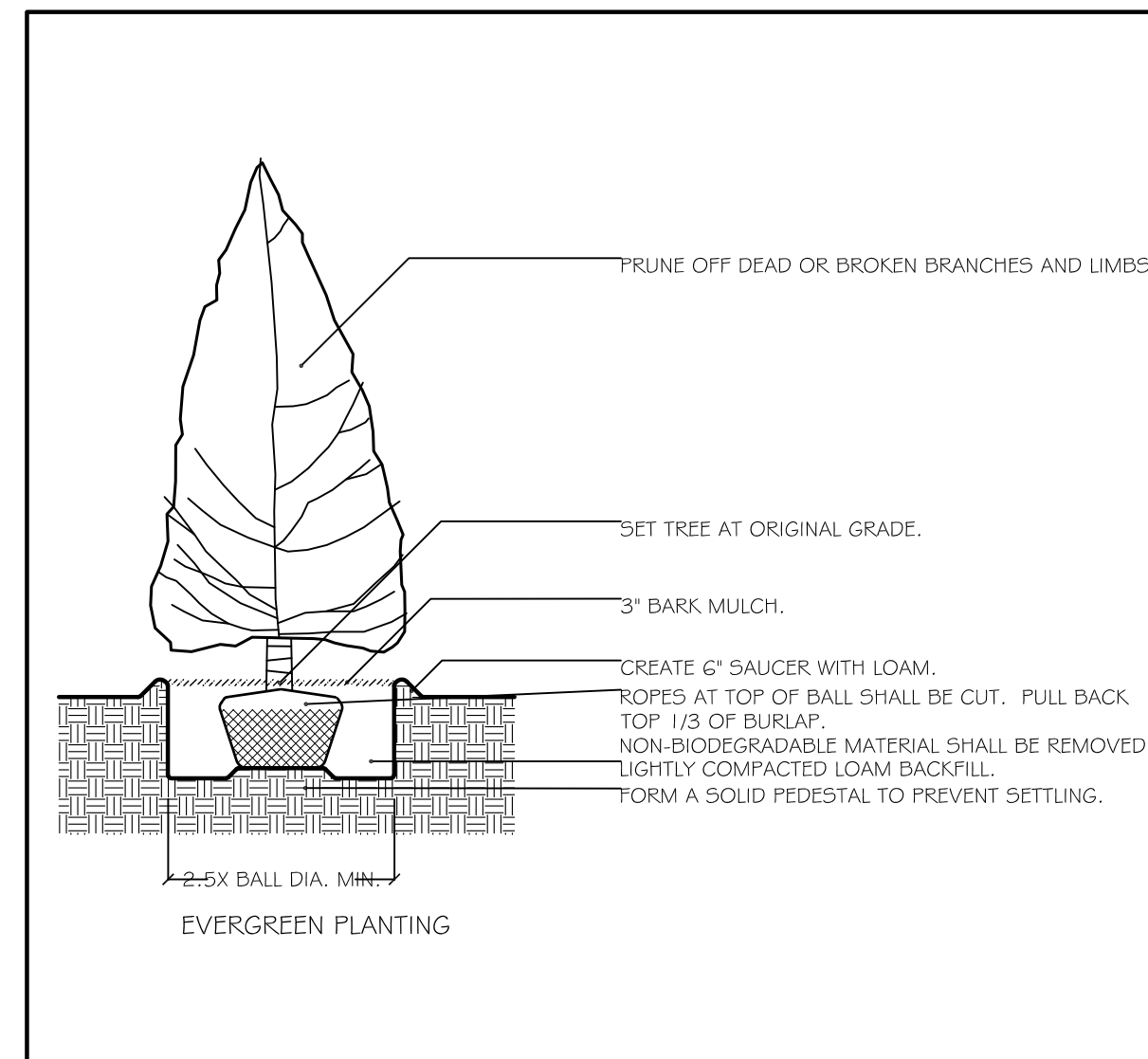
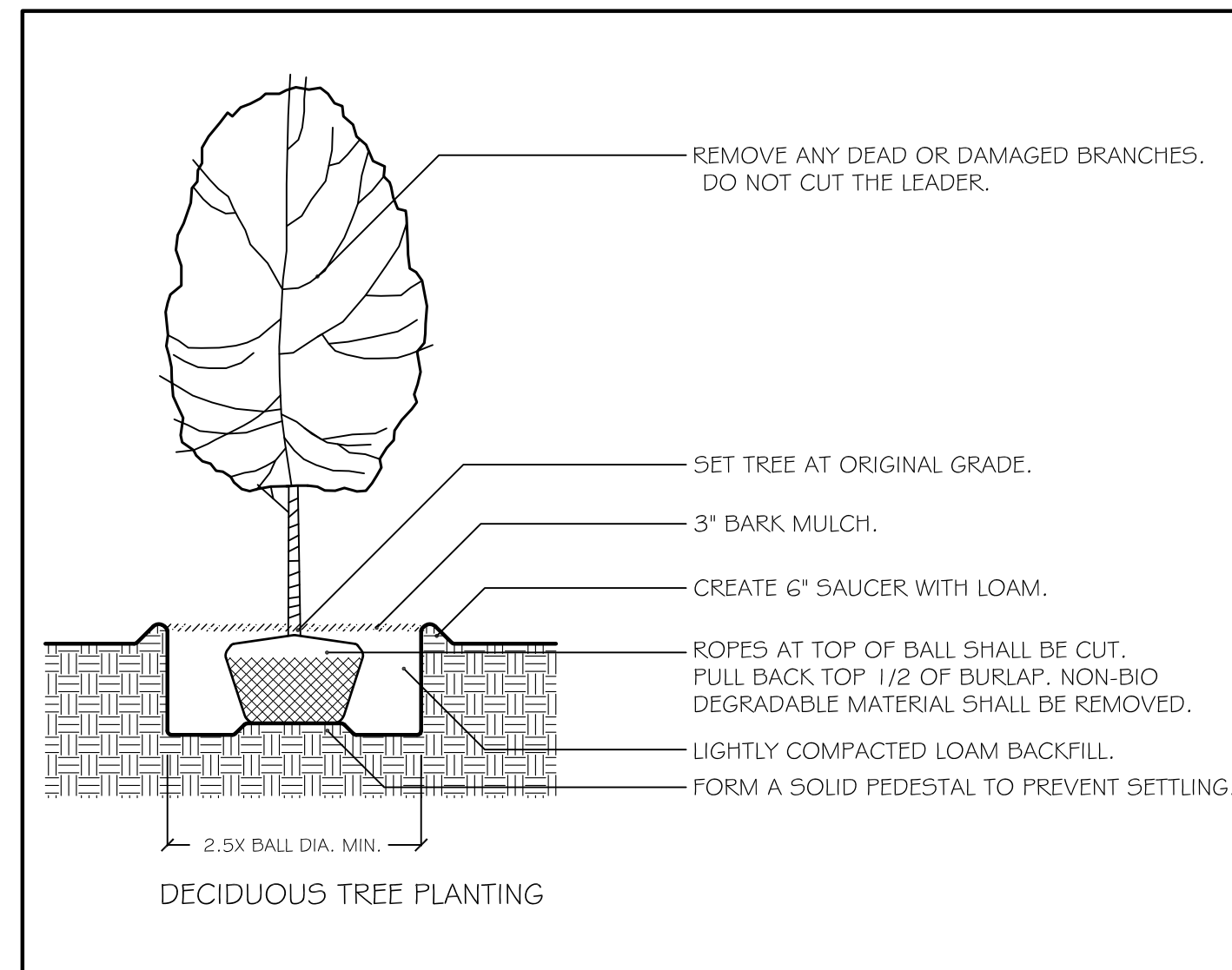
PLANTING: All plants shall be planted in pits two times the diameter of the root ball or container. Plant height should be placed at or slightly above previous grade. Pull back burlap from top of ball and cut wire on tree basket. Ensure that the burlap is not exposed above grade because of water loss. Staking and guying shall be used only when necessary. When the method is used, care should be taken to protect the tree bark and wires should be removed as soon as possible.

MULCHING: All planting beds (EXCEPT GROUND COVER) shall be mulched with three inches of shredded bark to conserve water and keep roots covered during initial growth stage. Do not place mulch heavily around crown of plants.

WINTER CARE: All trees and shrubs shall be sprayed with an anti-desiccant the first November after planting.

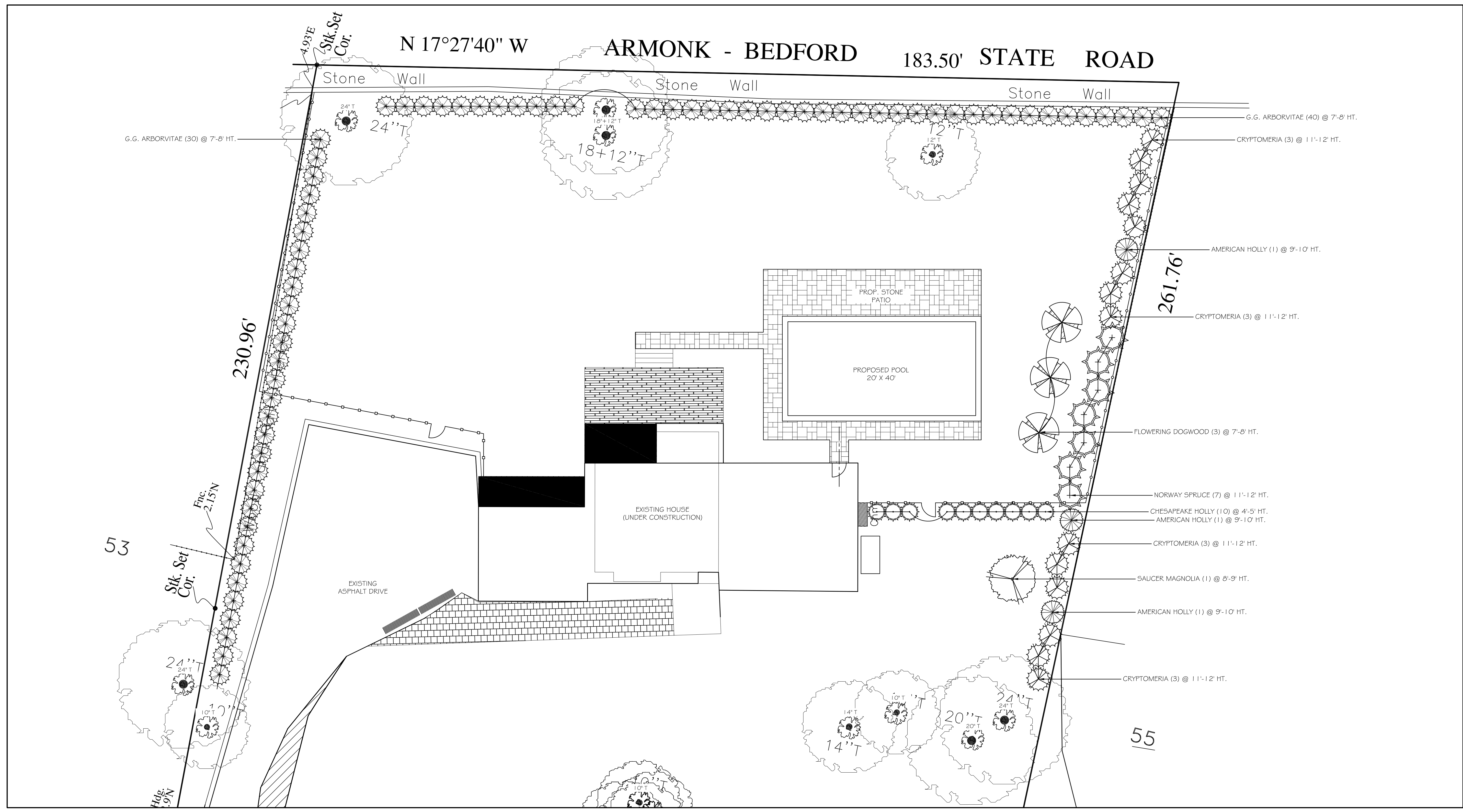
WATERING: All plants shall be watered by the contractor during the initial growth stage. Trees shall be heavily watered several times during the first month after planting and then regularly for the next two summers.

PLANT GUARANTEE: Contractor shall guarantee all newly installed plants for one-year provided that they are given proper watering/care and contractor is notified of unhealthy stressed plants immediately.



Perimeter Planting			
Scientific Name	Common Name	Size	Quantity
Trees			
<i>Comus florida</i>	White Flowering Dogwood	7'-8' ht.	3
<i>Cryptomeria japonica</i>	Japanese Cryptomeria	11'-12' ht.	12
<i>Ilex opaca</i>	American Holly	9'-10' ht.	3
<i>Magnolia soulangiana</i>	Saucer Magnolia	8'-9' ht.	1
<i>Picea abies</i>	Norway Spruce	11'-12' ht.	7
<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	7'-8' ht.	70
Shrubs			
<i>Ilex crenata 'Chesapeake'</i>	Chesapeake Holly	4'-5' ht.	10

ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.



REVISION DATE

REVISION	DATE

BHATTI RESIDENCE

3 EVERGREEN ROW
ARMONK, NY 10504

LANDSCAPE PLAN

DANIEL SHERMAN
LANDSCAPE ARCHITECT

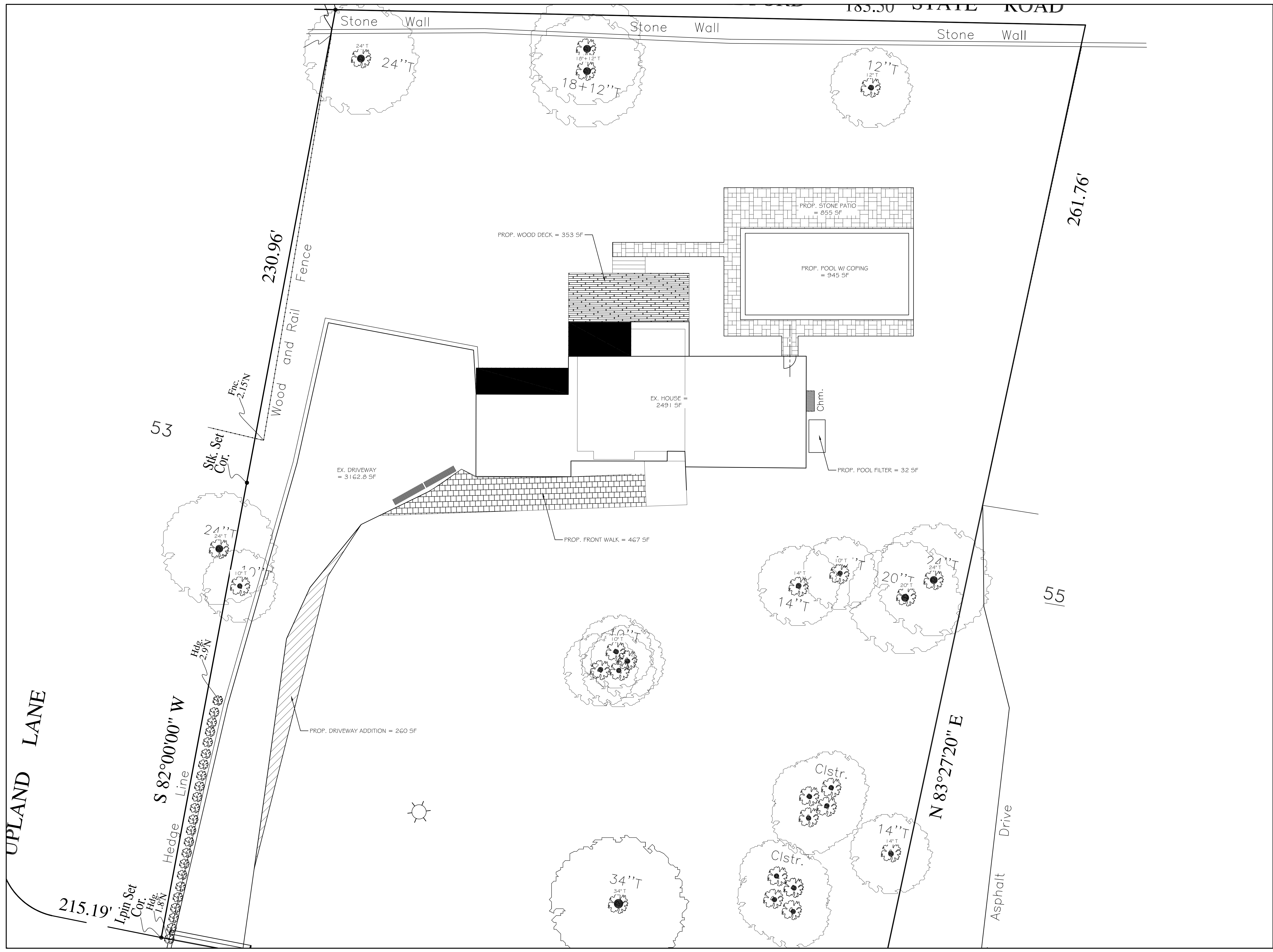
4 BROADWAY - SUITE 9
VALHALLA, NY 10595
PHONE: (914) 824 - 0999
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



DATE: DEC. 03, 2021
SCALE: 1" = 10' - 0"

DRAWN BY: AL
DRAWING # L - 2



ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.

REVISION DATE

REVISION	DATE

BHATTI RESIDENCE
 3 EVERGREEN ROW
 ARMONK, NY 10504

GROSS LAND AREA DIAGRAM

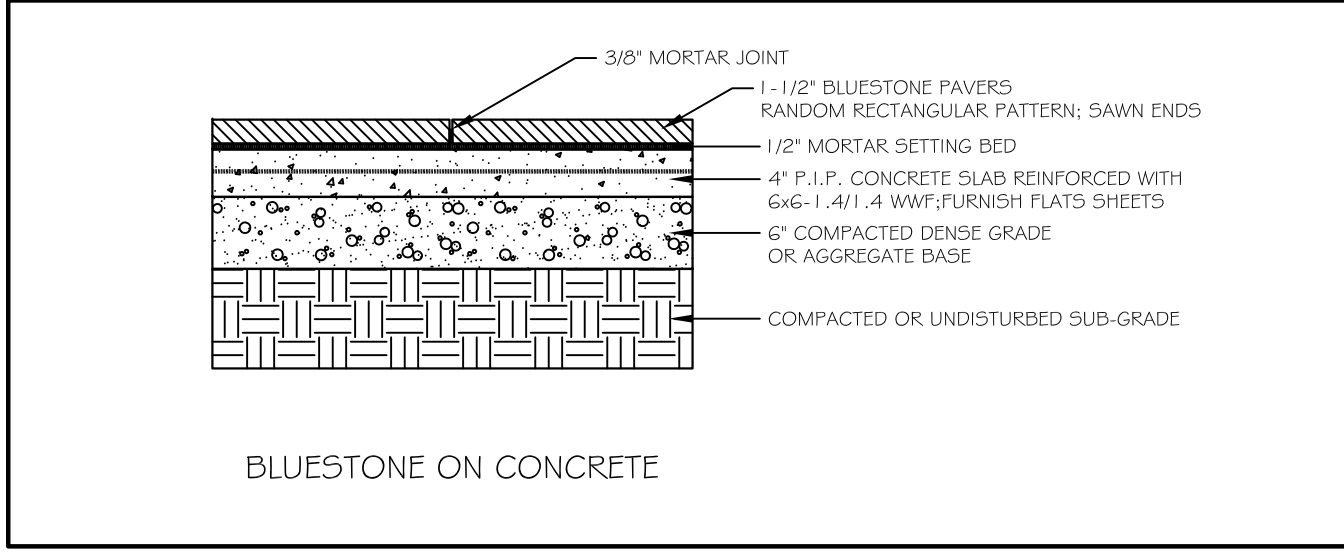
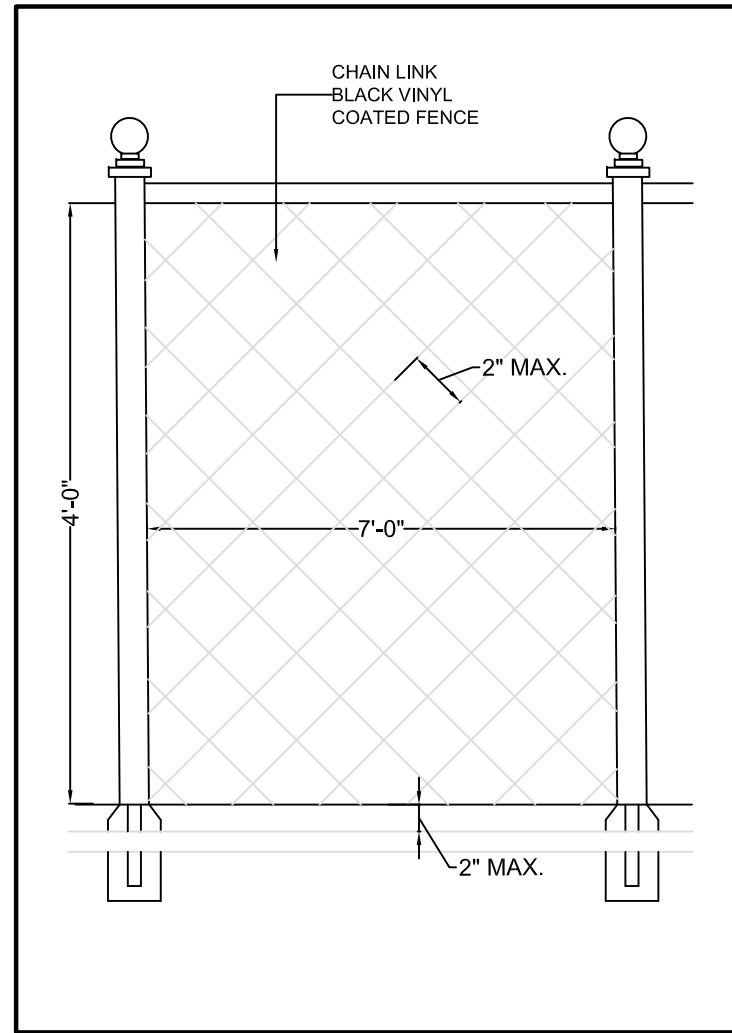
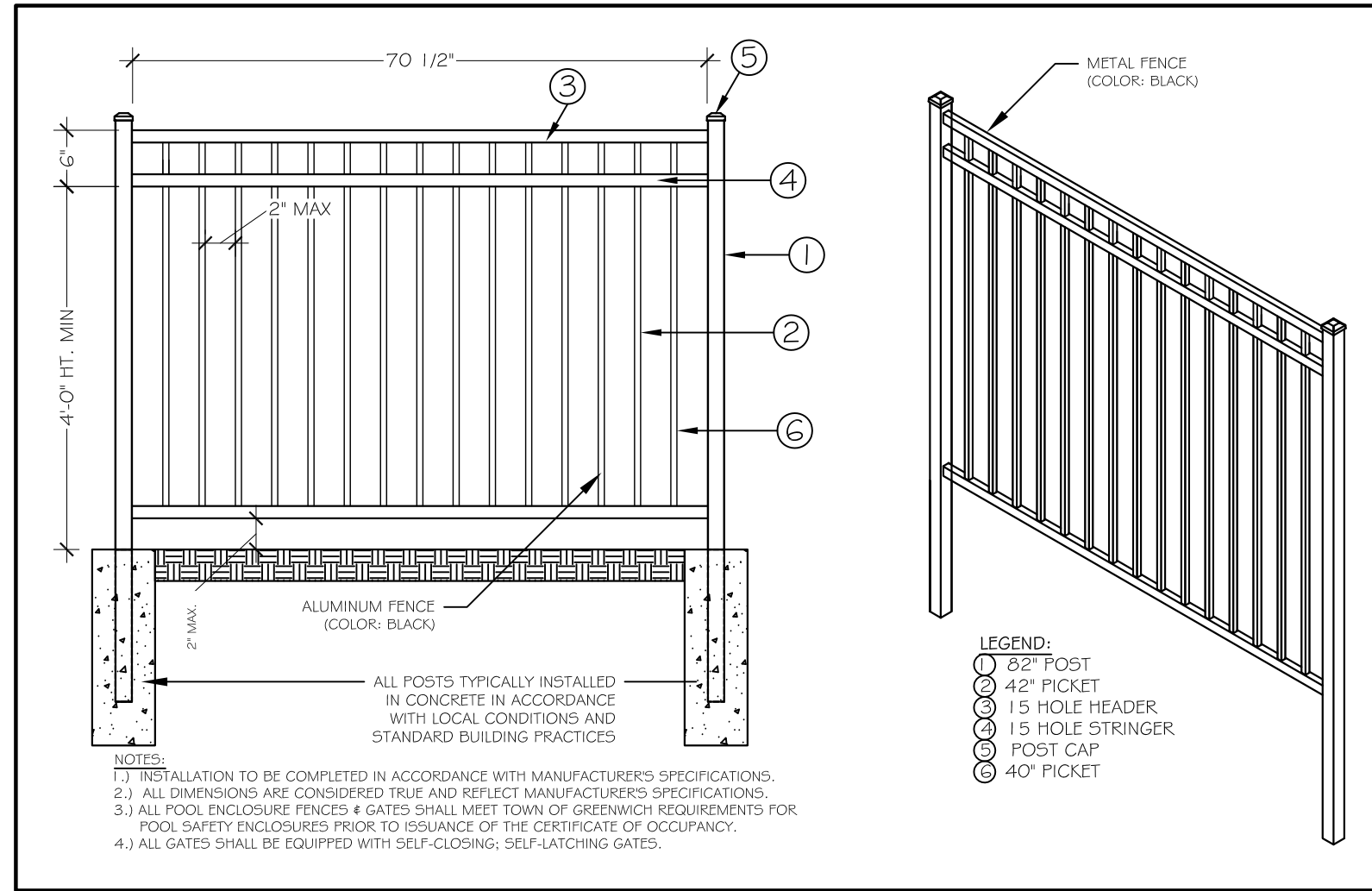
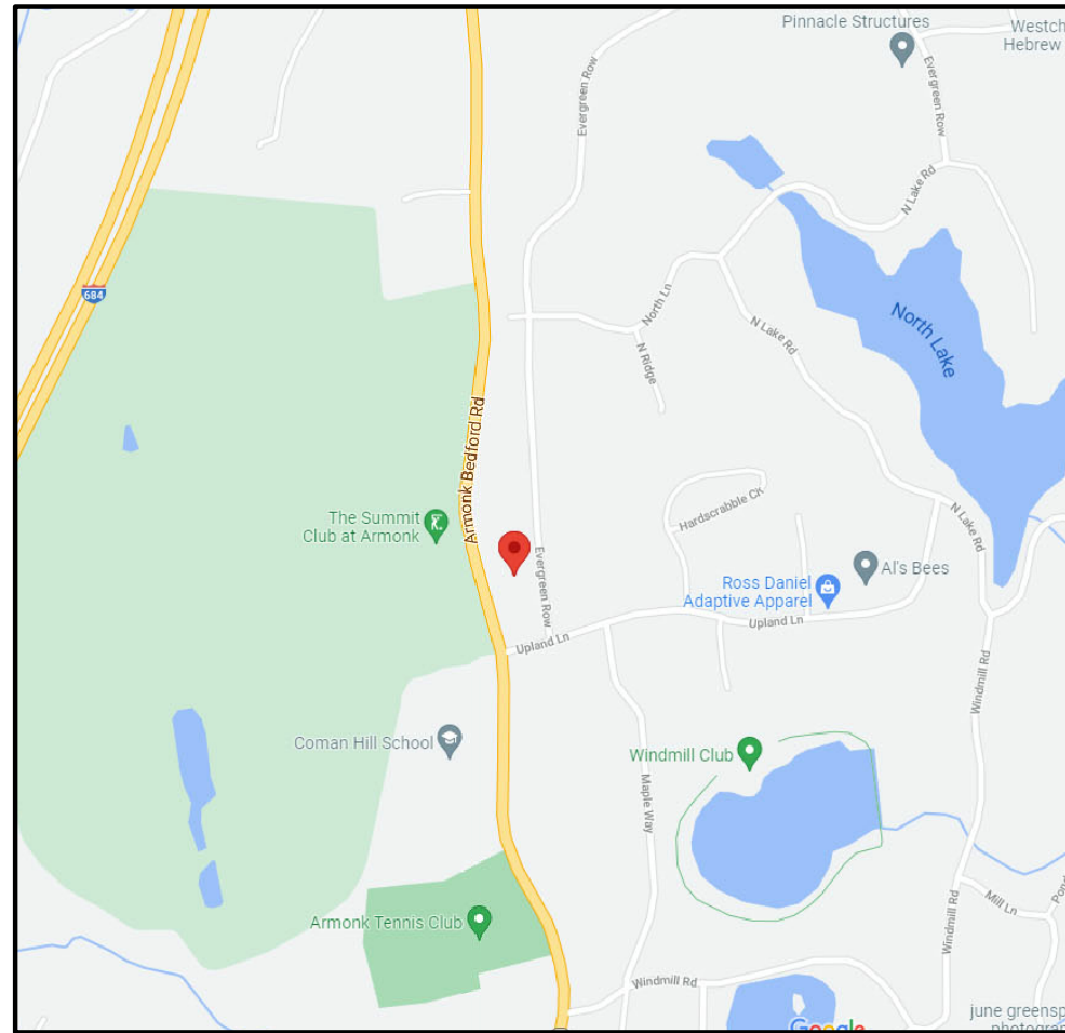
DANIEL SHERMAN
 LANDSCAPE ARCHITECT
 4 BROADWAY - SUITE 9
 VALHALLA, NY 10595
 PHONE: (914) 824 - 0999
 FAX: (914) 824-0251
 dan.danshermanlandscape@gmail.com
 www.danshermanlandscape.com



DATE: DEC. 03, 2021 SCALE: 1" = 10' - 0"

DRAWN BY: AL DRAWING # L - 3

- GENERAL NOTES**
1. CONTRACTOR IS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS (INCLUDING UNDERGROUND UTILITIES, PIPES, ETC) AND LIMITATIONS AFFECTING THE PROPOSED WORK
 2. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND APPLICABLE BUILDING CODE REGULATIONS.
 3. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE IS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY REPRESENTATIVES HARMLESS FROM AND AND ALL LIABILITY, REAL AND/OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF THIS PROJECT.
 4. CONTRACTOR SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES THAT MAY AFFECT THE WORK. SHOULD EXISTING CONDITIONS DIFFER FROM THESE PLANS, STANDARD SPECIFICATIONS, AND SPECIAL PROVISIONS DO NOT ADEQUATELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WITH ANY RELATED WORK. NO ALLOWANCE WILL BE MADE IN HIS BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLIGENCE IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 5. A SET OF SIGNED BLUEPRINTS AND A SET OF SPECIFICATIONS SHALL BE KEPT ON SITE AT ALL TIMES
 6. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES (48) HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
 7. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE MUNICIPAL BUILDING DEPARTMENT.
 8. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.



ZONING DATA:

ZONE: R1-A SHEET: 102.2, BDDN: 3, LOT: 54

TAX MAP:

TAX DISTRICT: ARMONK

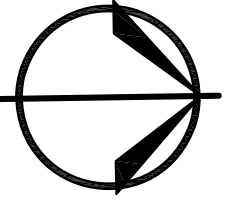
SCHOOL DISTRICT: BYRAM HILLS

GROSS LOT AREA = 43,668 SF

	PERMITTED	EXISTING
MAX. F.A.R.	-	-
MIN. LOT AREA	1 AC.	43,668 SF
DEPTH	150 FT.	244'
WIDTH	25 FT.	175'
MAX. SIDE SETBACK	FRONT	50 FT.
	REAR	40 FT.
MIN. SIDE SETBACK	FRONT	25 FT.
	REAR	30'
BUILDING COVERAGE	12 %	5.57 %
SPOTS LAND COVERAGE	8,640 SF	5403.8
		8545.8

ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION, THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.



REVISION DATE

REVISION	DATE

BHATTI RESIDENCE

3 EVERGREEN ROW
ARMONK, NY 10504

DETAILS

DANIEL SHERMAN
LANDSCAPE ARCHITECT
4 BROADWAY - SUITE 9
VALHALLA, NY 10595
PHONE: (914) 824 - 0999
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



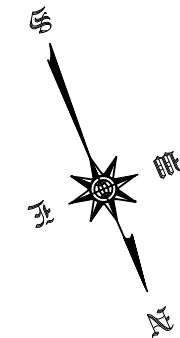
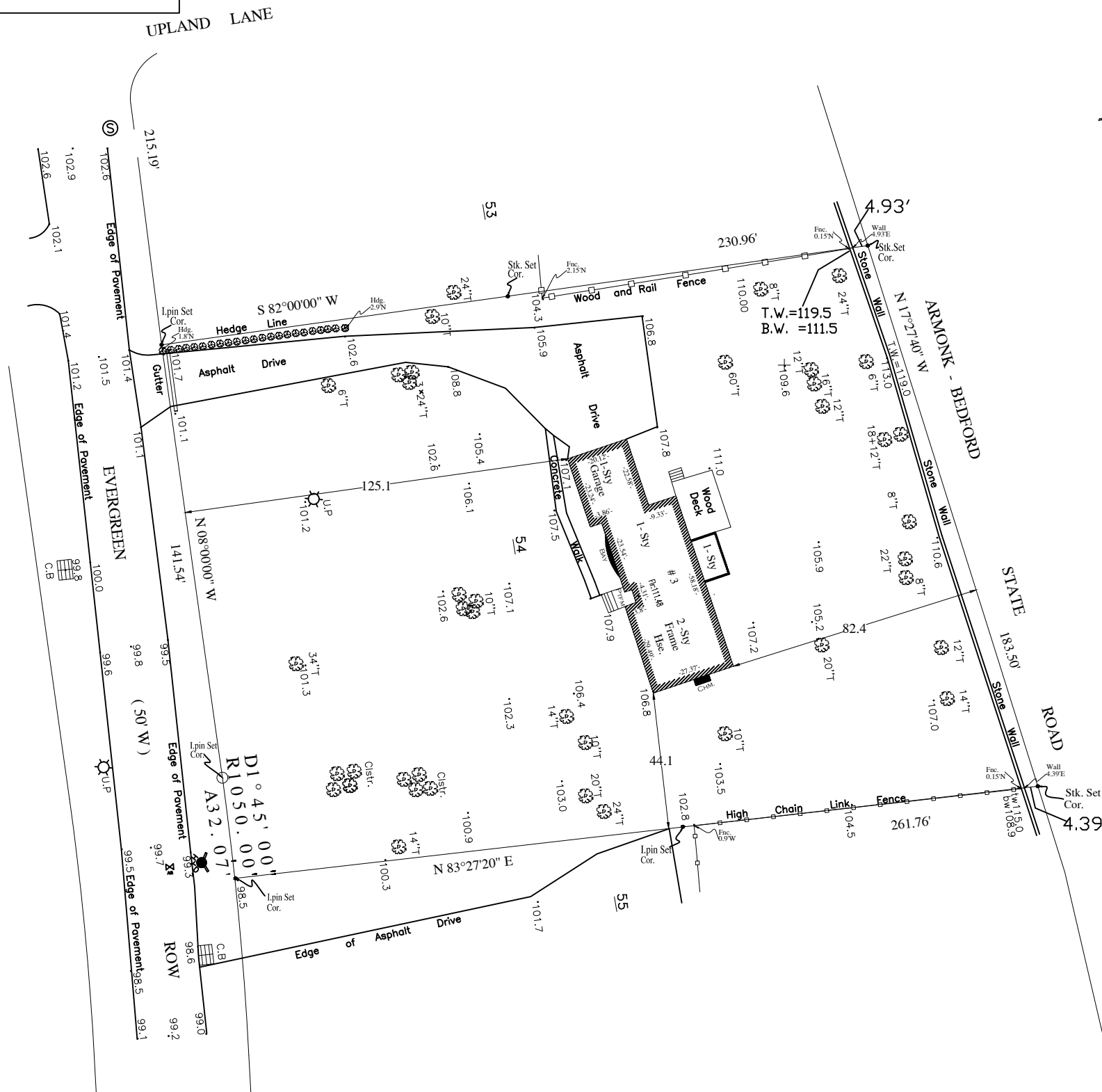
DATE: DEC. 03, 2021	SCALE: AS NOTED
DRAWN BY: AL	DRAWING # L - 4



RAMSAY LAND SURVEYING, P.C.
PROFESSIONAL LAND SURVEYORS-PLANNERS

LEGEND

- T.C.25.0....Top of Curb Elevation
- B.C25.0...Bottom of Curb Elevation
- B.B.....Bot. of Bank
- T.B.....Top of Bank
- G.V.....Gas Valve
- W.V.....Water Valve
- L.P.....Lamp Pole
- C.L.....Center Line
- 10''T10'' Tree
- 54Lot 54
-Fire Hydrant
-Sewer
- C.BCatch Basin



RAMSAY LAND SURVEYING, P.C.
3024 RADCLIFF AVENUE
BRONX, NEW YORK 10469
PH. : (718) 8840238
EMAIL: NVRECLANDSURY@YAHOO.COM
MOBILE : 917-5448174

TOPOGRAPHY SURVEY
OF
3 EVERGREEN ROW
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
SEC. : 102.02, BLK: 3, LOT: 54
STATE OF NEW YORK.

Scale: 1"=30'
SURVEYED: 12/08/19
DRAFTED: 12/10/19

CERTIFICATIONS:
WEST CHESTER
COUNTY
BUILDING DEPARTMENT.

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS OR NATURAL WATER COURSES ACROSS THE PROPERTY AS SHOWN ON THIS SURVEY.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NEVILLE V. RAMSAY LIC. No. 050294-1