



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

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www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 Seymour Place West; Armonk, NY; 10504

Section III- DESCRIPTION OF WORK:

- No change to existing gross land coverage, floor area, or site plan
- No new accessory structures or driveways
- (1) New Egress Window at Bedroom 4 (visible from street)
- (2) New French doors and)1) Bi-fold door in Family Room (not visible from street)
- (3) New French doors in Living Room (not visible from street)
- (1) New French door in Bedroom 3 (not visible from street)
- Kitchen and Bath remodel
- New flooring throughout
- Convert portion of Primary Bedroom Closet into Bedroom 4
- Reconfigure closets at Entry

Section III- CONTACT INFORMATION:

APPLICANT: Mo Beler

ADDRESS: 2 Munson Pond, Pleasantville, NY 10570

PHONE: 516-808-7934 MOBILE: 516-808-7934 EMAIL: mbeler@beleradvisory.com

PROPERTY OWNER: Mo Beler

ADDRESS: 2 Munson Pond, Pleasantville, NY 10570

PHONE: 516-808-7934 MOBILE: 516-808-7934 EMAIL: mbeler@beleradvisory.com

PROFESSIONAL.: Mark W Fritz Architects

ADDRESS: 133 Fernwood Road

PHONE: 203-880-9800 MOBILE: 914-946-7766

EMAIL: mwfarchitects@gmail.com

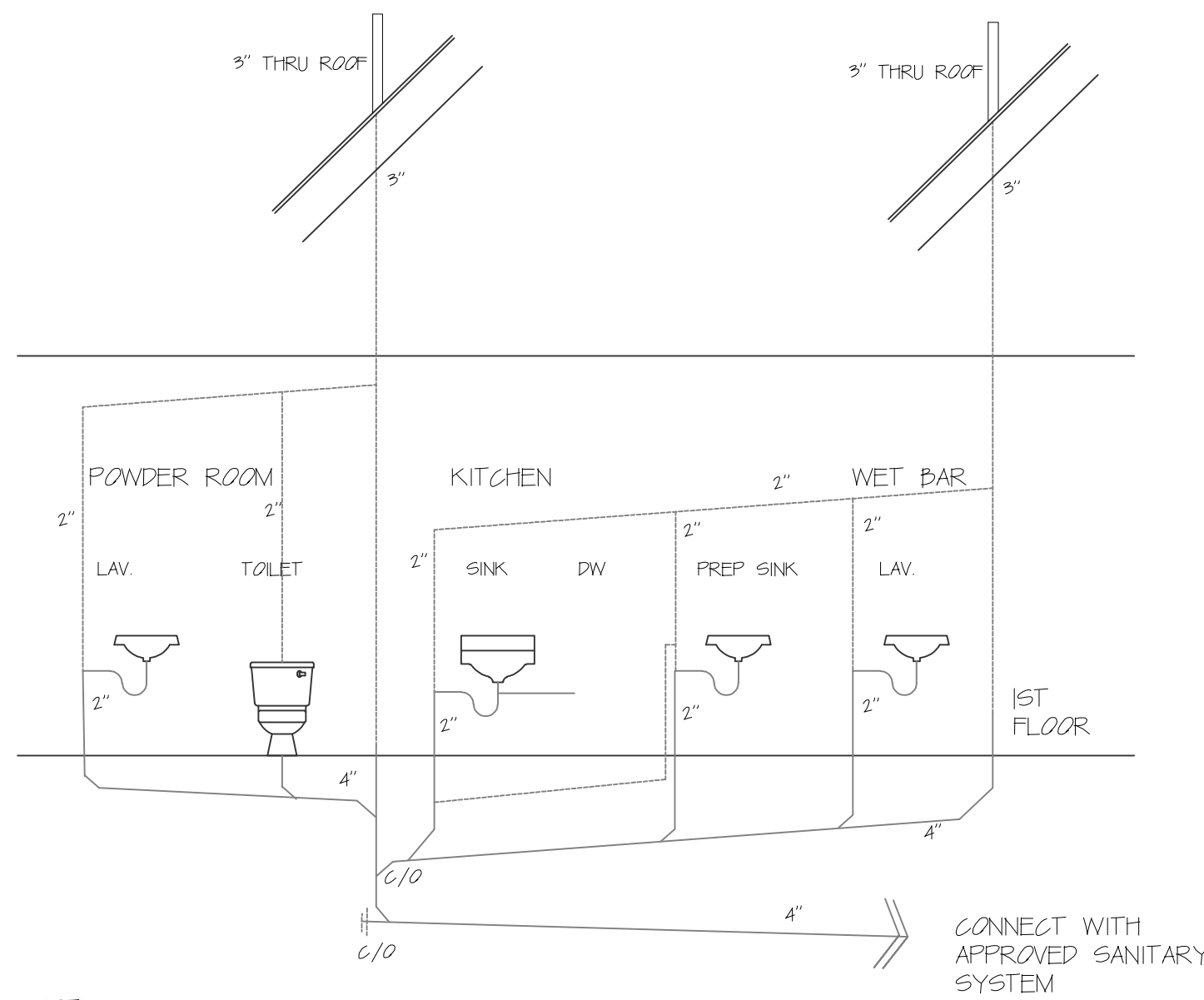
Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.02-1-60

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
 [REFER TO TABLE R301.2(1) OF THE RESIDENTIAL CODE OF NEW YORK STATE]

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQ	FLOOD HAZARD
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	130	C	SEVERE	42"	MODERATE/HEAVY	MODERATE/HEAVY	7°F	YES	FIRM SEPT.28, 2007

1 SANITARY DIAGRAM

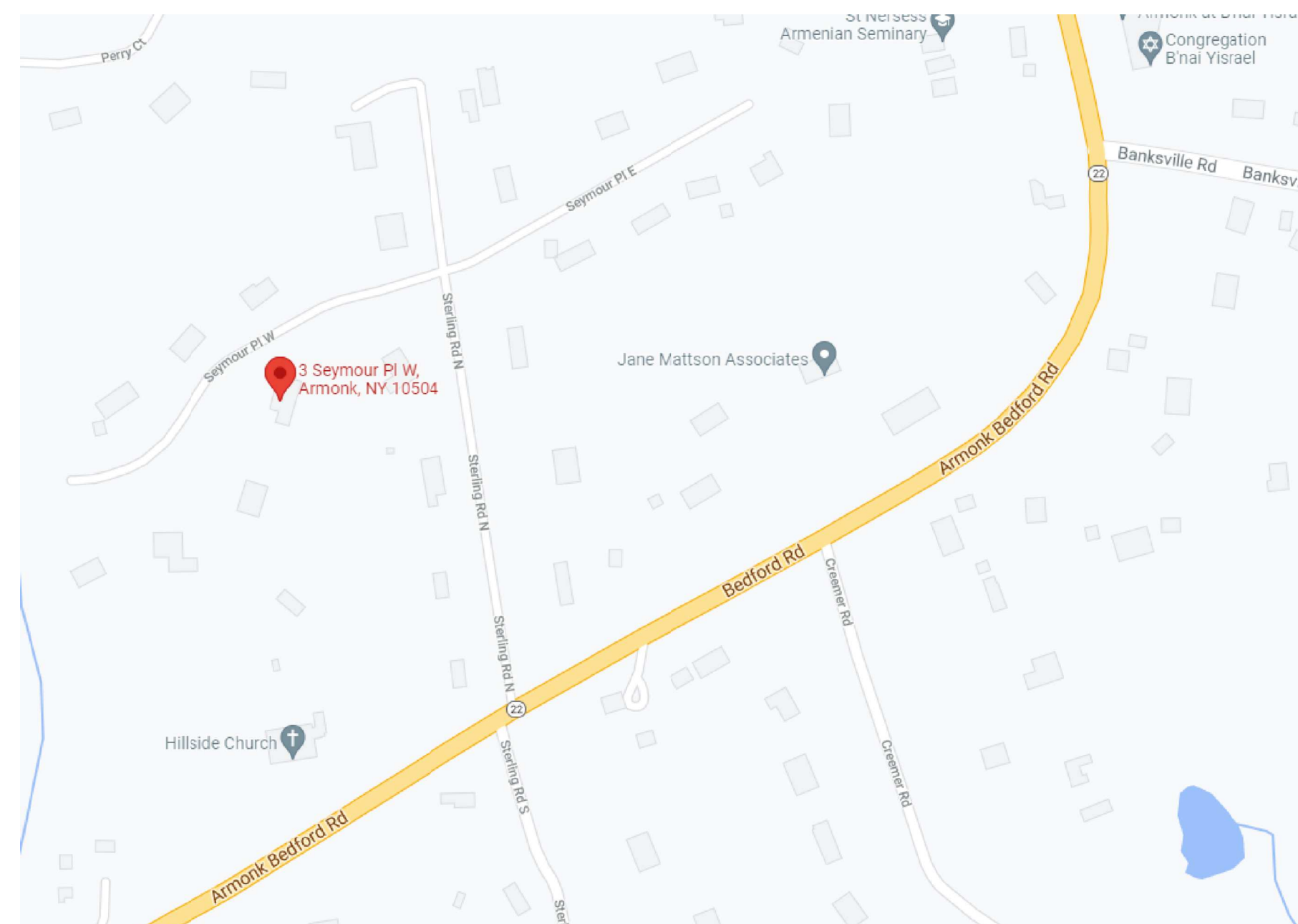


NOTES

FIXTURES SHOWN ABOVE IN SCHEMATIC ORDER PLUMBING SUB TO SEE FLOOR PLANS AND APPROVED SEPTIC ENGINEERING PLANS FOR ALL WASTE LINE LAYOUTS

IF THE PLUMBING SUB HAS A CONDITION THAT REQUIRES A NON CODE STRUCTURAL MODIFICATION HE SHALL REPORT THE CONDITION TO THE GC PRIOR TO MAKING ANY CUTS AND THE ISSUE WILL SOLVED WITH THE ARCHITECT. ANY NON CODE MODIFICATIONS THAT CAUSE BUILDING DEPARTMENT VIOLATIONS SHALL BE REPLACED AT THE PLUMBING SUBS COST AND EXPENSE.

VICINITY MAP



ELECTRICAL NOTES

- All Electrical work to be per governing code, National electrical Code, and Utility requirements submit Fire Underwriter Certificate and Utility Company approval.
- Unless noted to the contrary on The Drawings, It is assumed that the existing electrical service will be adequate for additional loads imposed by indicated work electrician to coordinate with utility Company and report any required revisions before starting work
- All indicated locations are diogramatic, find locations in the field by Architect No scaling of Drawings for installation locations.
- Framing such as headers, trimmers, et for lighting fixtures to be done by General Contractor as part of basic work No relocation of fixtures due to Interference of framing without approval of Architect at site.
- Label all circuits clearly and completely on all panels affected by the indicated work, new and old.
- Remove any and all violations uncovered during the course of the Indicated work Submit bills to Architect for approval, after having been given verbal approval by the Architect to proceed on the correction.
- All new wiring to be minimum #12 wiring for all receptacle circuits, #14 for all lighting circuits. No aluminum feeders. recent manufacture copper wiring material only. Use BX or Romex indoors, conduit outdoors and under slabs, direct burial where noted for exterior lighting, and heat resistant wiring at boiler location.
- Hang, set bulb, and test all fixtures. See Symbol Legend for fixture types.
- Remove all switches, outlets, receptacles, mechanical controls, fixtures, etc. noted not to be reused or relocated. Disconnect all wiring to these locations back to service panel. No exposed junction boxes if removed outlets are part of live circuit.
- Coordinate all work with other Trades, such as Telephone Company, tv Installers, Alarm Contractor, etc.. Furnish temporary power as required.
- Verify voltag at site and coordinate with all HVAC Contractors and other equipment Contractors.
- Test all circuits for shorts and correct accordingly.
- Where indicated to be furnished by Contractor each recessed incandescent luminaries shall be supplied with a thermal resetting device or as otherwise necessary to meet the requirements of NEC Paragraph 410-65 (c).
- Contractor shall verify that all fixtures with integral or remote 12V transformers have been furnished with "magnetic transformers" to insure compatibility with low voltage dimmers specified.
- Electrician shall coordinate with Architect as to ganging and one piece face plate for dimmers and switches.
- All groups of gang switches and dimmers shall be one face plate
- All wiring devices shall be aligned one with another both horizontally and vertically.
- Do not cut or derate dimmers. Use full dimmer and fins.
- Provide and install outlets for proper size, phase, and voltage for the following:
 - HVAC system, controls, etc.
 - Heater/exhaust/light units



6" DIAMETER
**PRE ENGINEERED
 WOOD PLACKARD**
 (in accordance with Title 19 NYCRR PART 1265)
 TO BE ATTACHED TO ELECTRIC METER
 BOX LOCATED AT THE EXTERIOR OF
 THE RESIDENCE

Energy Conservation Code

N1104.1 (R404) A MINIMUM OF 95% OF LAMPS INSTALLED IN PERMANENT FIXTURES (RECESSED LIGHTING) SHALL BE HIGH EFFICIENCY LAMPS

SMOKE & CARBON MONOXIDE ALARMS SHALL COMPLY WITH 2020 NYSRBC R3 14/R315.

ENERGY EFFICIENCY CRITERIA

CLIMATE ZONE: 4A WESTCHESTER COUNTY		
DOOR U-FACTOR:	UNINSULATED METAL: 1.20	
	INSULATED METAL: 0.60	
	WOOD: 0.50	
	INSULATED NON METAL 45% MAX GLAZE	
	DOUBLE PANE: 0.35	
THERMAL ENVELOPE:		
GLAZED FENESTRATION U-FACTOR:	U-0.35	
SKYLIGHTS:	U-0.55	
CEILING R-VALUE:	R-49	
WOOD FRAME WALL R-VALUE:	R-20 CAVITY	
	R-13 CAVITY + R-3 CONTINUOUS	
	R-13/17	
MASS WALL R-VALUE:	R-19	
FLOOR R-VALUE:	R-13 CAVITY	
BASEMENT WALL R-VALUE:	R 10, 2 FT	
SLAB R-VALUE:	R-10 CONTINUOUS	
CRAWL SPACE WALL R VALUE:		

1 THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER; ALL BREAKS IN THE AIR BARRIER SHALL BE SEALED.

GENERAL NOTES

- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, STANDARD FORM OF THE AIA, 2019 EDITION, ARTICLES 1 THROUGH 14 INCLUSIVE, PLUS SUBSEQUENT AMENDMENTS, ARE MADE A PART OF THIS SPECIFICATION TO THE SAME EXTENT AS IF HEREIN WRITTEN OUT IN FULL. UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS STRICTLY PROHIBITED. THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
- CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECTS, NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENT OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, NBFU AND UTILITY CODES, FHA FRAMING STANDARDS, OSHA CODES, AND BEST TRADE PRACTICES
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWNGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATED AND OBTAIN AND PAY FOR ALL PERMITS, SCHEDULE ALL REQUIRED INSURANCES WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND NBFU CERTIFICATE, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK TO START PRIOR TO OBTAINING PERMITS
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL PURPOSED, BUT ARE NOT TO BE SCALED FOR CONSTRUCTION LOCATIONS, DIMENSION, OR ANY OTHER PURPOSES. CONSULT WITH ARCHITECT FOR FINAL SIZES, DIMENSIONS, AND LOCATIONS
- CONTRACTOR SHALL LAY OUT HIS WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSION TO ALL PARTIES.
- BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED BACK-UP MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
- ALL PATCHING SHALL BE DONE IN NEW MATCHING, OR APPROVED SALVAGED MATERIALS, FINISH TO MATCH NEAREST BREAK IN PLANE OR DIRECTION. STORE UNUSED SALVAGED MATERIAL WHERE REQUESTED BY OWNER/CLIENT. ALL SALVAGED MATERIALS ARE THE PROPERTY OF THE OWNER/CLIENT.
- CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED. NO SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIALS PROMPTLY.
- CONTRACTOR SHALL HAVE LICENSED PROFESSIONAL ENGINEER DESIGN AND SHALL INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. GENERAL CONTRACTOR TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INFERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT COST TO THE OWNER.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATIONS, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS. CHANGES OF MAGNITUDE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT
- UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - COMPLETE SWEEPING OF ALL AREA, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED
 - REMOVAL OF ALL TEMPORARY ENCLOSURES AND BARRICADES, ALL TEMPORARY OFFICES, TELEPHONE,
 - REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC, AND SPRAY CLEANING OF ALL
 - REMOVAL OF STAINS, AN PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.
 - FINAL CLEANING OF ALL CHROME AND ALUMINUM METAL WORK.
 - RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS.
 - REPLACEMENT OF FURNITURE AND FURNISHINGS TO ORIGINAL LOCATIONS.
- CONTRACTOR SHALL ERECT BARRIERS AND CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT SPACES OR ADJOINING PROPERTY.

ZONING CODE DATA

Zone R-2A	Lot: 02	Block: -	
TAX MAP 108.02-1-60			
Zoning District: Single Family Residence R-2A			
Code	Requirements	Existing	Proposed
Lot Area	87,120 sq. ft.	88,205 sq. ft.	NO CHANGE
Minimum Lot Width	150 ft.	220 FT.	NO CHANGE
Minimum Yards:			
Front	50 ft.	71.75 FT	NO CHANGE
Side	30 ft.	35.5/66.71ft.	NO CHANGE
Rear	50 ft.	211FT+.	NO CHANGE

BUILDING CODE DATA

Floor Construction Other Elements	No Rating	No Rating
	No Rating	No Rating
Design Loads	Live/ Snow	Dead
First Floor	40 psf.	10 psf.
Second Floor	30 psf.	10 psf.
Attic	20 psf.	10 psf.
Roof	20 psf.	10 psf.

2020 RESIDENTIAL CODE OF NEW YORK STATE

ICD - WORKSHOP

REVISION NO.	DATE	REMARK

ISSUED FOR:
 PERMIT

COVER SHEET

PROJECT:

**ARMONK HOUSE
 RENOVATION**

3 SEYMOUR PLACE W
 ARMONK, NY 11954

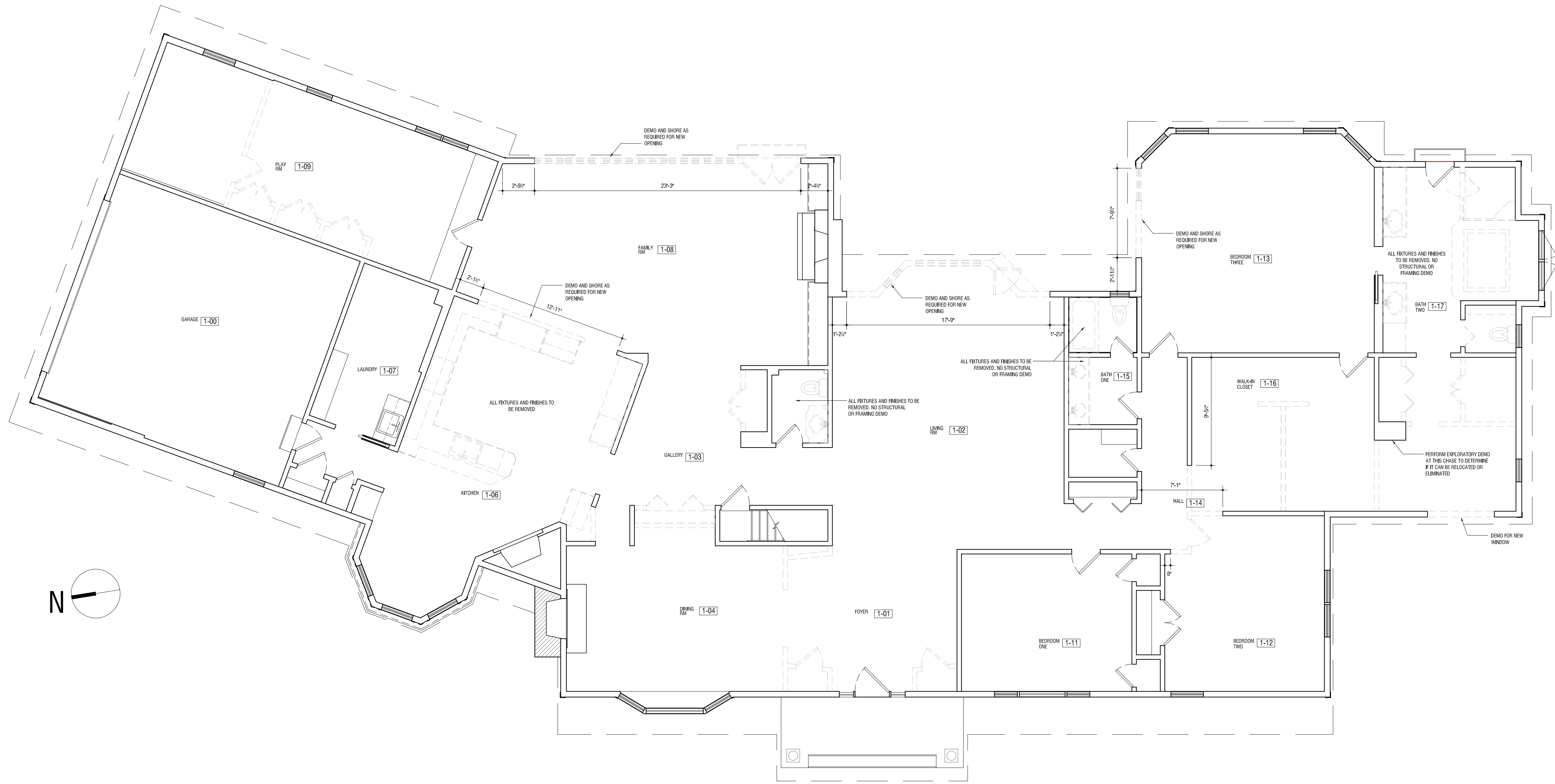
Date: 11.30.2021
 Scale: AS NOTED
 Dwg By: WL
 Proj No: 0029

SEAL + SIGNATURE:

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1 DEMOLITION PLAN
3/16" = 1'-0"

LEGEND

	EXG WALL TO REMAIN
	DEMO

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REVISION NO.	DATE	REMARK

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DEMOLITION PLAN

PROJECT:
ARMONK HOUSE RENOVATION

3 SEYMOUR PLACE W
ARMONK, NY 11954

Date: 11.30.2021
Scale: AS NOTED
Dwg By: WL
Proj No: 0029

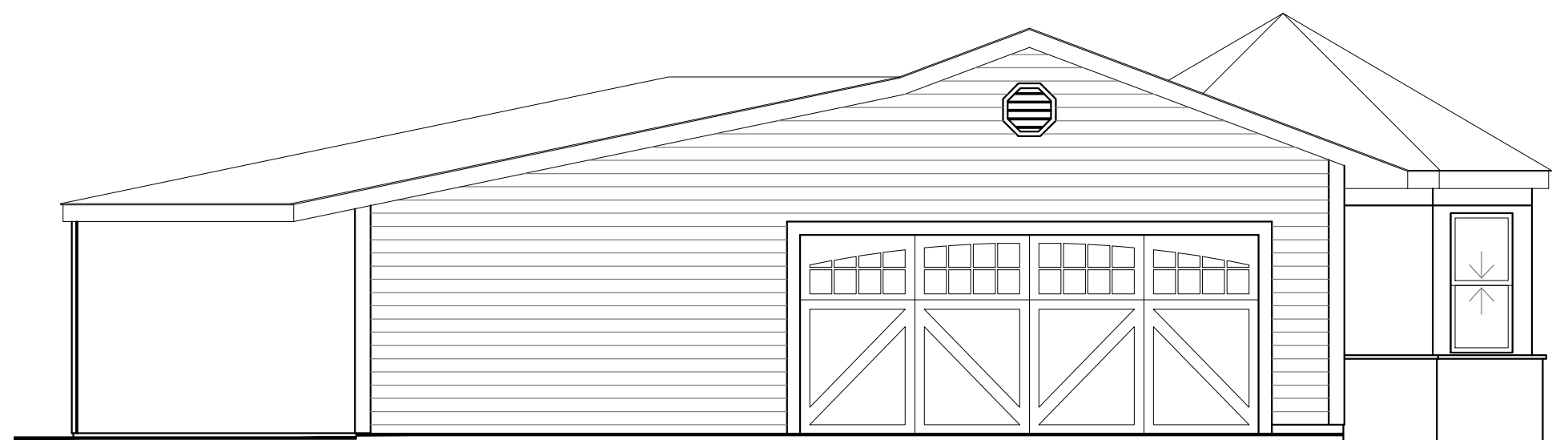
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4 SOUTH ELEVATION
3/16" = 1'-0"



3 NORTH ELEVATION
3/16" = 1'-0"



2 PROPOSED WEST ELEVATION
3/16" = 1'-0"



1 EXISTING WEST ELEVATION
3/16" = 1'-0"

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REVISION NO. DATE REMARK

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EXTERIOR ELEVATIONS

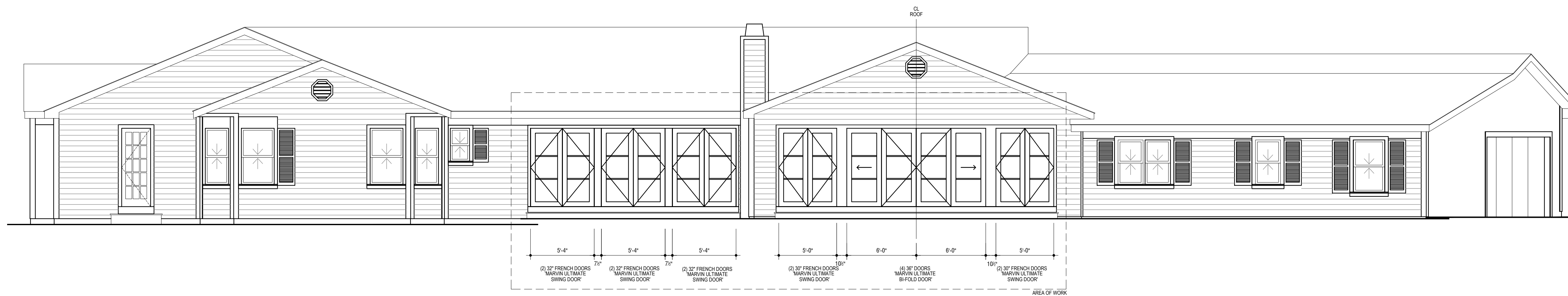
PROJECT:
ARMONK HOUSE RENOVATION

3 SEYMOUR PLACE W
ARMONK, NY 11954

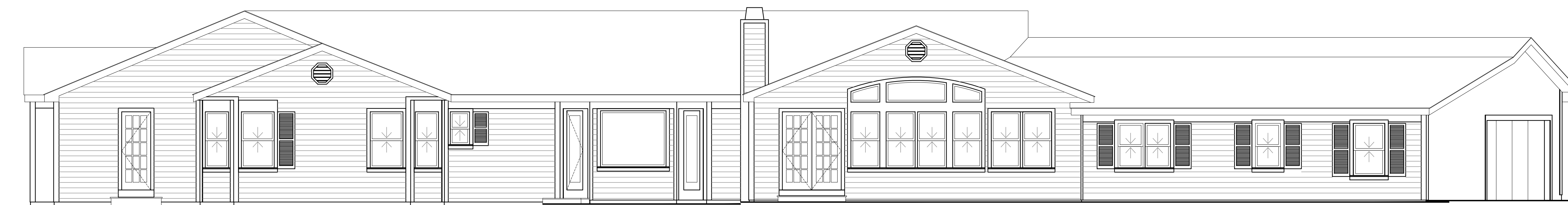
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Proj No: 0029

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2 PROPOSED EAST ELEVATION
3/16" = 1'-0"



1 EXISTING EAST ELEVATION
3/16" = 1'-0"

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PROJECT:
ARMONK HOUSE
RENOVATION

3 SEYMOUR PLACE W
ARMONK, NY 11954

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EXTERIOR ELEVATIONS

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