



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625
Fax: (914) 273-3554
www.northcastleny.com

RPRC RETURN LETTER

Application Number: 2021-1180

Street Location: 14 CAREY DR

Zoning District: R-2A Property Acreage: 2.69 Tax ID: 102.02-1-7

RPRC DECISION: OPEN

Date: December 21, 2021

The above referenced application was reviewed by the Residential Project Review Committee (RPRC) on December 21, 2021.

The Committee determined that given the submitted plans, additional information is required to be reviewed prior to a decision of the RPRC.

The following issues should be addressed at this time:

- Portions of the proposed pool patio and spa do not meet the minimum required side yard setback. It is not clear why the pool complex can't be constructed at the rear, in the proposed lawn area and meet the minimum requirements of the Town Code. In addition, this lot may be a part of a Conservation Subdivision. If so, the required side yard setback may be 25 feet, not 30 feet. The Applicant should provide additional information regarding the minimum required setbacks for this lot.
- The site plan should be revised to depict any proposed Town-regulated tree removal. The site plan should note if any tree removal is proposed in the "lower terrace" level. If tree removal is proposed, the Applicant should return to the RPRC for further evaluation.
- The steep slope analysis should be revised to indicate the total amount of proposed steep slope disturbance (in sq. ft.).
- The Applicant should submit a gross land coverage backup exhibit for review.
- A wetland is located at the rear of the property. The Town Engineer should confirm the depicted wetland boundary and buffer line. Regardless, it appears that the proposed improvements are located outside of the wetland buffer.
- The wall, however, only looks to be three (3) feet high within certain locations.
- The applicant may require a side yard variance from the Zoning Board of Appeals.
- Provide fence and gate details, including height, material, post installation, etc. The plan shall delineate the limits of each fence type and locate all gates.

- The plan shall demonstrate that all required separation distances are not between the stormwater infiltration and the existing drilled well.
- Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume; whichever is greater. Provide details of the stormwater mitigation system.
- Provide rims, inverts, size and material for all drainage facilities. Provide details.
- The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.

Please submit revised plans addressing the above issues to the RPRC. If revised plans will not be submitted, please contact my office so that the RPRC can reconvene and conclude the review process.

If you would like to further discuss this matter, please do not hesitate to contact my office at 914-273-3000 x43.

Adam R. Kaufman, AICP
Director of Planning



January 17, 2022

To: Members of Town of North Castle Residential Project Review Committee

From: Louis C. Fusco, RLA

RE: Persky Residence – 14 Carey Drive – TaxID: 102.02-1-7

Residential Project Review Committee Response Letter:

In response to the RPRC Town review letter dated December 21, 2021 please see below our response/answers to your questions and comments itemized. As part of the revised submission, we have included updated plans that reflect the comments and responses below.

1. Portions of the proposed pool patio and spa do not meet the minimum required side yard setback. It is not clear why the pool complex can't be constructed at the rear, in the proposed lawn area and meet the minimum requirements of the Town Code. In addition, this lot may be a part of a Conservation Subdivision. If so, the required side yard setback may be 25 feet, not 30 feet. The Applicant should provide additional information regarding the minimum required setbacks for this lot.

Response: The site plan has been adjusted to keep the proposed pool within the required side yard setback, per the conservation subdivision setback of 25 feet.

2. The site plan should be revised to depict any proposed Town-regulated tree removal. The site plan should note if any tree removal is proposed in the "lower terrace" level. If tree removal is proposed, the Applicant should return to the RPRC for further evaluation.

Response: We have noted on the site plan all proposed tree removals showing their location, size and tree type.

3. The steep slope analysis should be revised to indicate the total amount of proposed steep slope disturbance (in sq. ft.).

Response: The slope analysis has been adjusted and shows the total disturbance within the steep slope areas. See plan D-1.

4. The Applicant should submit a gross land coverage backup exhibit for review.

Response: A gross land coverage backup exhibit was provided on sheet RPRC-1. We have updated it per the new site design, as well as provided a separate document.

5. A wetland is located at the rear of the property. The Town Engineer should confirm the depicted wetland boundary and buffer line. Regardless, it appears that the proposed improvements are located outside of the wetland buffer.

Response: All proposed work is outside of the wetland buffer.

6. The wall, however, only looks to be three (3) feet high within certain locations.

Response: The proposed boulder wall ranges from 2 feet to 3 feet high.

7. The applicant may require a side yard variance from the Zoning Board of Appeals.

Response: The proposed new site design has all proposed elements outside of the required setbacks.

8. Provide fence and gate details, including height, material, post installation, etc. The plan shall delineate the limits of each fence type and locate all gates.

Response: The proposed pool fence has been shown on the plan and details have been provided on sheet D-1.

9. The plan shall demonstrate that all required separation distances are not between the stormwater infiltration and the existing drilled well.

Response: A well setback has been shown on the plans and the proposed drainage area is outside of the setback.

10. Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume; whichever is greater. Provide details of the stormwater mitigation system.

Response: Upon approval from the RPRC, our site engineer will provide all stormwater mitigation calculations and system design for the proposed work, and pool drawdown per town and Westchester county requirements.

11. Provide rims, inverts, size and material for all drainage facilities. Provide details.

Response: The proposed stormwater mitigation system design will include all elevations and sizes of drainage facilities.

12. The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.

Response: The drainage system design will show all required connections.

Thank you for your consideration.

Respectfully submitted,
Louis C. Fusco, PL



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RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

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Fax: (914) 273-3554
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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 14 Carey Drive

Section III- DESCRIPTION OF WORK:

Proposed installation of a new pool and associated patios, walls and walkways.

Section III- CONTACT INFORMATION:

APPLICANT: Louis Fusco Landscape Architects

ADDRESS: 26 Woodland Rd Pound Ridge NY 10576

PHONE: 914-764-9123

MOBILE: _____

EMAIL: pfusco@louisfusco.com

PROPERTY OWNER:

Mark Persky

ADDRESS: 14 Carey Drive

PHONE: _____

MOBILE: _____

EMAIL: _____

PROFESSIONAL.: Louis Fusco

ADDRESS: 26 Woodland Rd Pound Ridge NY 10576

PHONE: 914-764-9123

MOBILE: _____

EMAIL: pfusco@louisfusco.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A

Tax ID (lot designation) 102.02-1-6



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Persky Residence

Initial Submittal Revised Preliminary

Street Location: 14 Carey Drive

Zoning District: R-2A Property Acreage: 2.69 Tax Map Parcel ID: 102.02-1-6

Date: 01-13-2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

01-13-2022
_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Persky Residence Date: 01-13-2022

Tax Map Designation or Proposed Lot No.: 102.02-1-6

Gross Lot Coverage

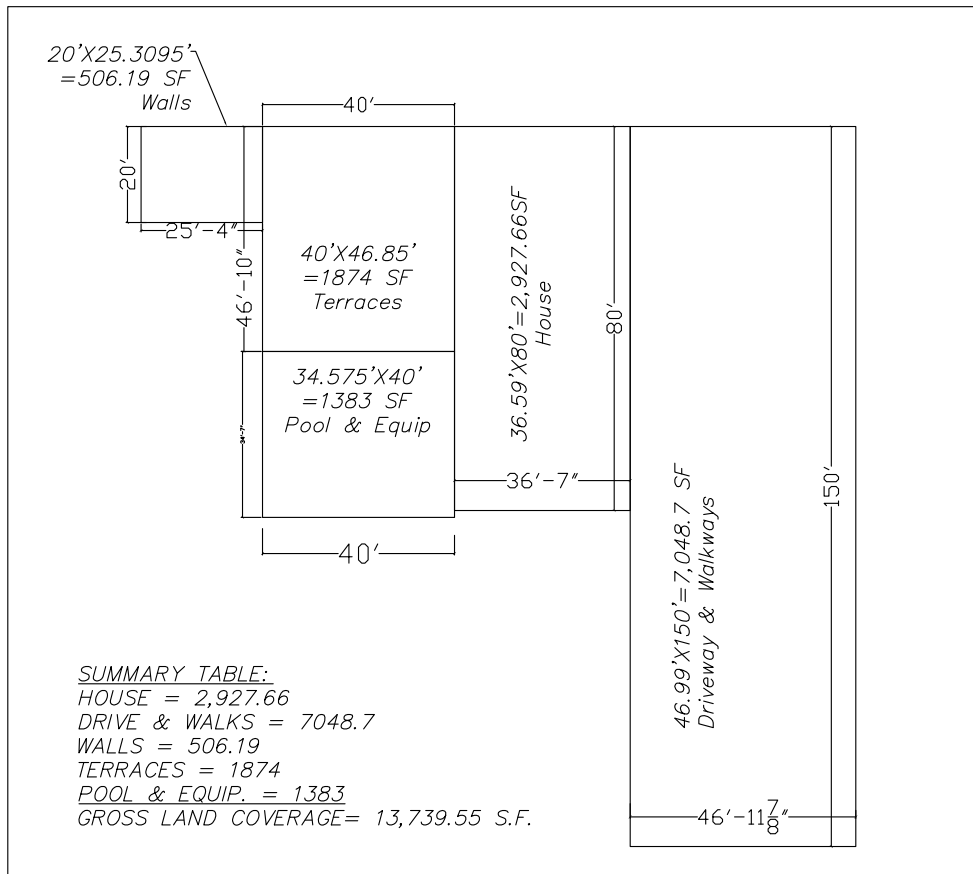
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 117,258.38 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 15,530.38 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
 ¹⁰³ x 10 = 1,030 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 16,560.38 s.f.
5. Amount of lot area covered by **principal building**:
2927.66 existing + 0 proposed = 2,927.66 s.f.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0 s.f.
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0 s.f.
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0 s.f.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
6868.23 existing + 180.47 proposed = 7,048.7 s.f.
10. Amount of lot area covered by **terraces**:
1092.00 existing + 1247.13 proposed = 1844 s.f.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
61 existing + 964 proposed = 1383 s.f.
12. Amount of lot area covered by **all other structures**:
196.99 existing + 289.20 proposed = 506.19 s.f.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 13,739.55 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

01-17-2022

Date



GROSS LAND COVERAGE SCHEMATIC

SCALE: 1" = 40'-0"



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Persky Residence Date: 01-13-2022

Tax Map Designation or Proposed Lot No.: 102.02-1-6

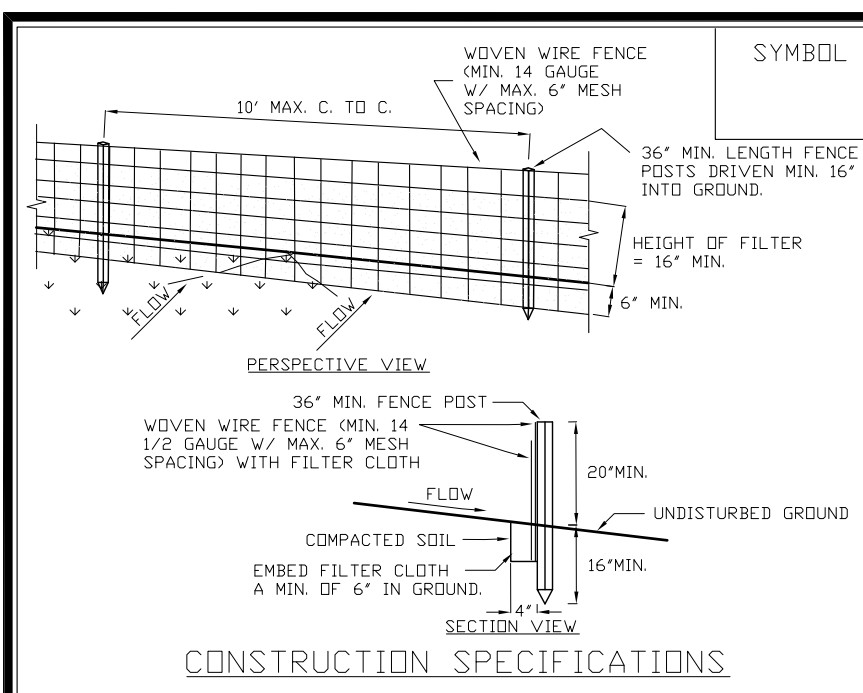
Floor Area **Not Applicable. No proposed work to existing residence.**

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
 - _____ existing + _____ proposed = _____
4. Amount of floor area contained within second floor:
 - _____ existing + _____ proposed = _____
5. Amount of floor area contained within garage:
 - _____ existing + _____ proposed = _____
6. Amount of floor area contained within porches capable of being enclosed:
 - _____ existing + _____ proposed = _____
7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = _____
8. Amount of floor area contained within attic (if applicable – see definition):
 - _____ existing + _____ proposed = _____
9. Amount of floor area contained within all accessory buildings:
 - _____ existing + _____ proposed = _____
10. Proposed **floor area**: Total of Lines 3 – 9 = _____

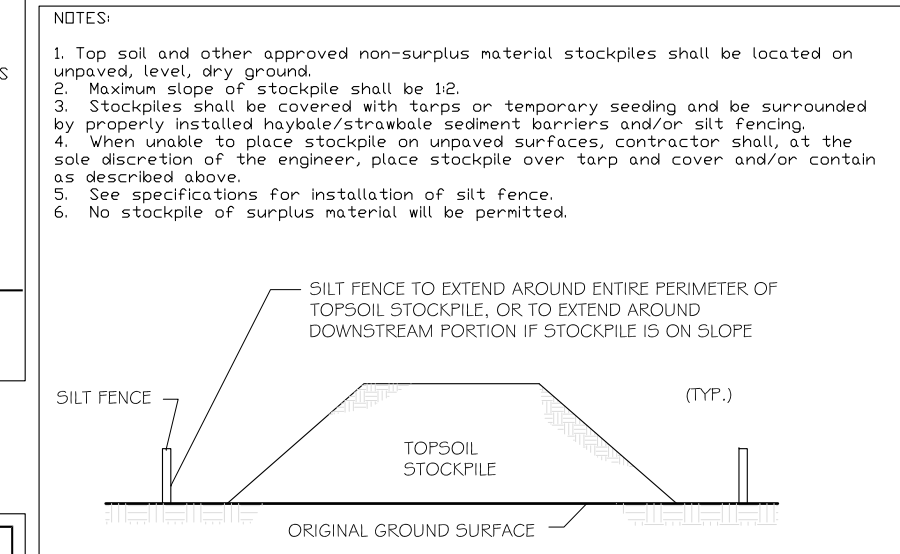
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

01-17-2022
 Date



	EXISTING	TOTAL PROPOSED	TOTAL
HOUSE	2927.66	0.00	2927.66
DRIVEWAY	6209.07	0.00	6209.07
PATIO	1092.00	782.00	1874.00
UTILITY CONCRETE PAD	61	40.00	101.00
WALKS	659.16	180.47	839.63
POOL	0	1282.00	1282.00
WALLS	196.99	309.20	506.19
TOTAL	11145.88	2593.67	13739.55



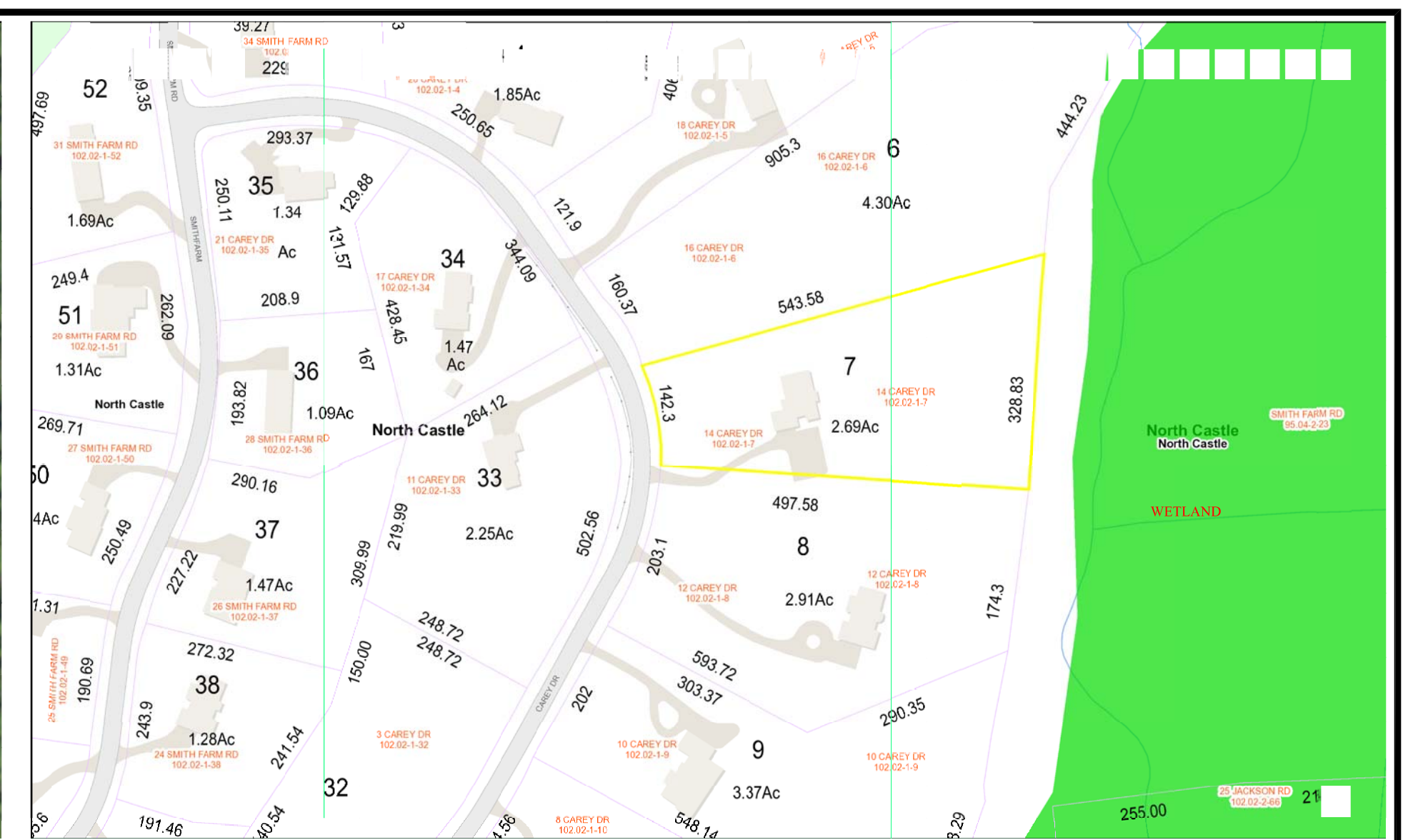
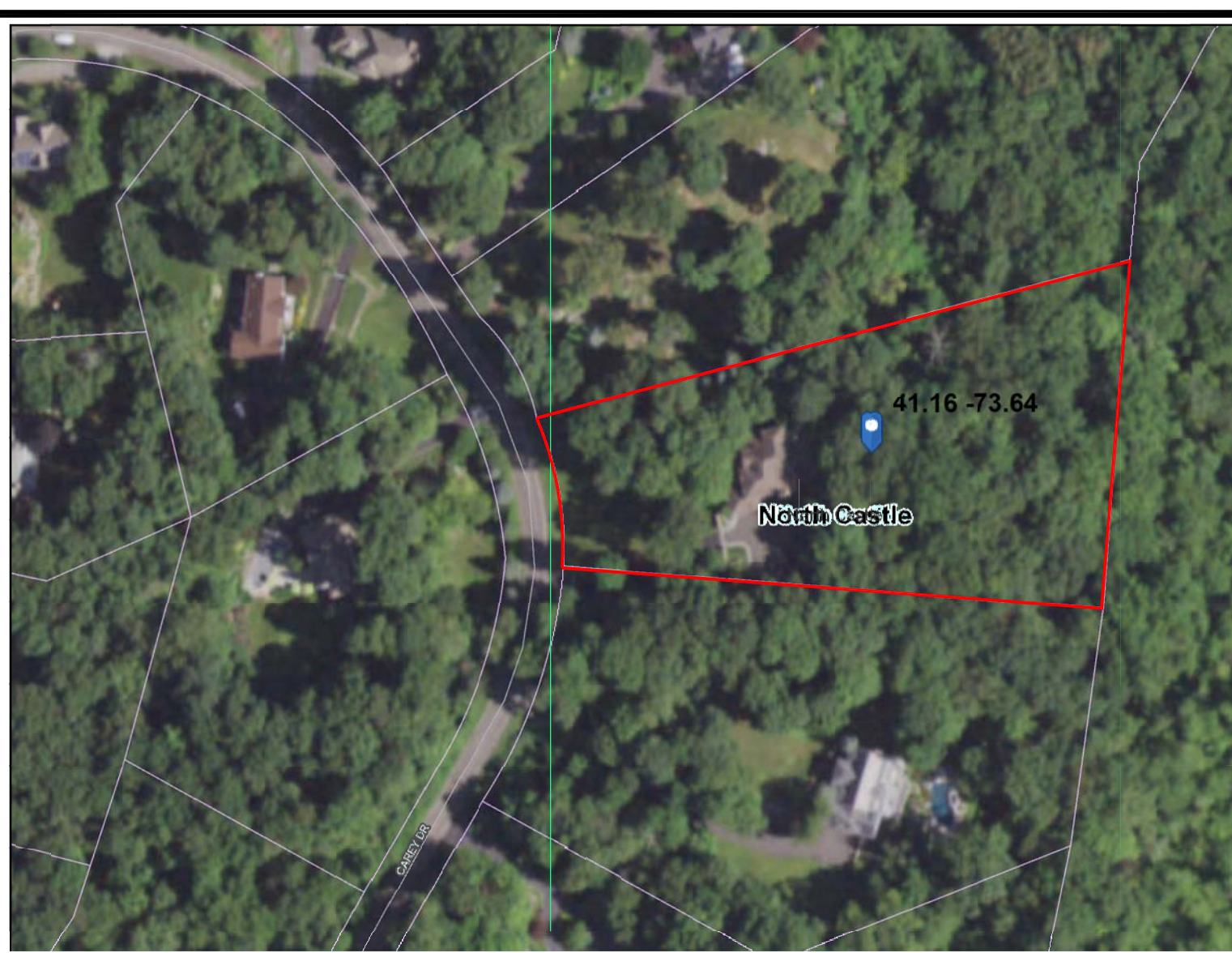
BUILDING COVERAGE			
	MAX. Permitted	Existing	Proposed
Principal BLDG. Coverage	8%	--	--
Accessory BLDG. Coverage	--	--	--
Total BLDG. Coverage	8%	--	--
BLDG. Height	30'	N/A	N/A

ZONE: R-2A Acre Lot Size: 2.69 Section: 102.02 Block: 1 Lot: 6

ZONING DATA BREAKDOWN			
	MIN. REQ.	Existing	Proposed
Lot Area, Gross	2 acres	117258.38 S.F.	--
Width	150'	153.0'	--
Front Yard	50'	153.0'	--
Side Yard	30'	21.5'	--
Rear Yard	50'	219.7'	--

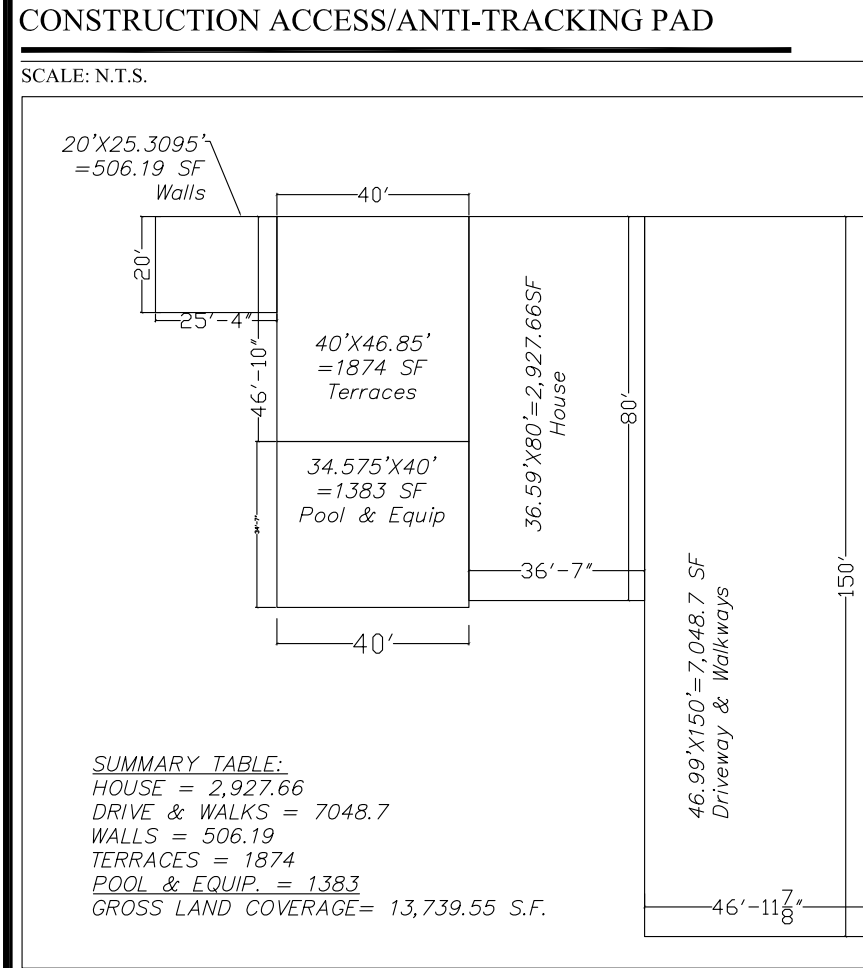
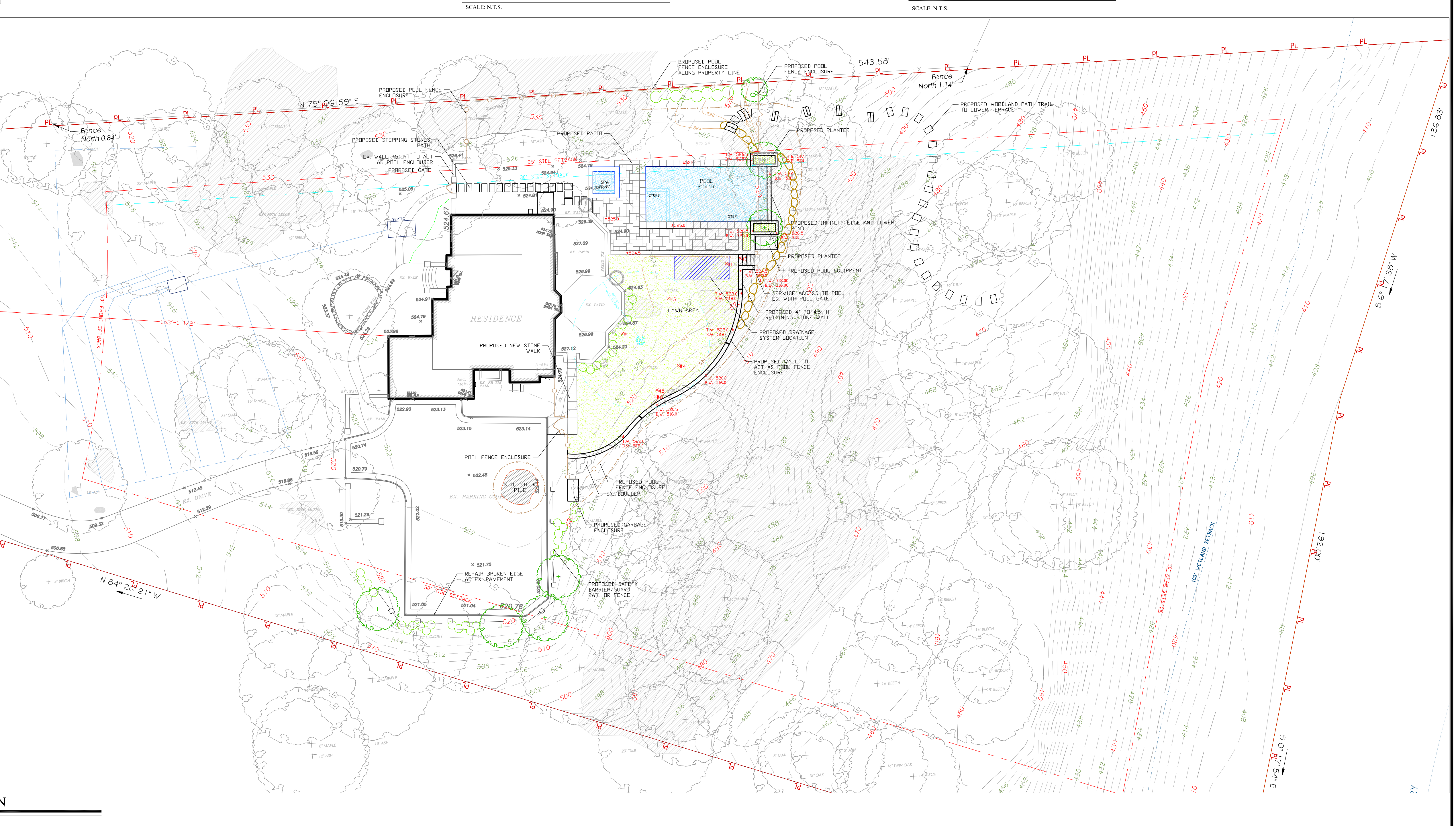
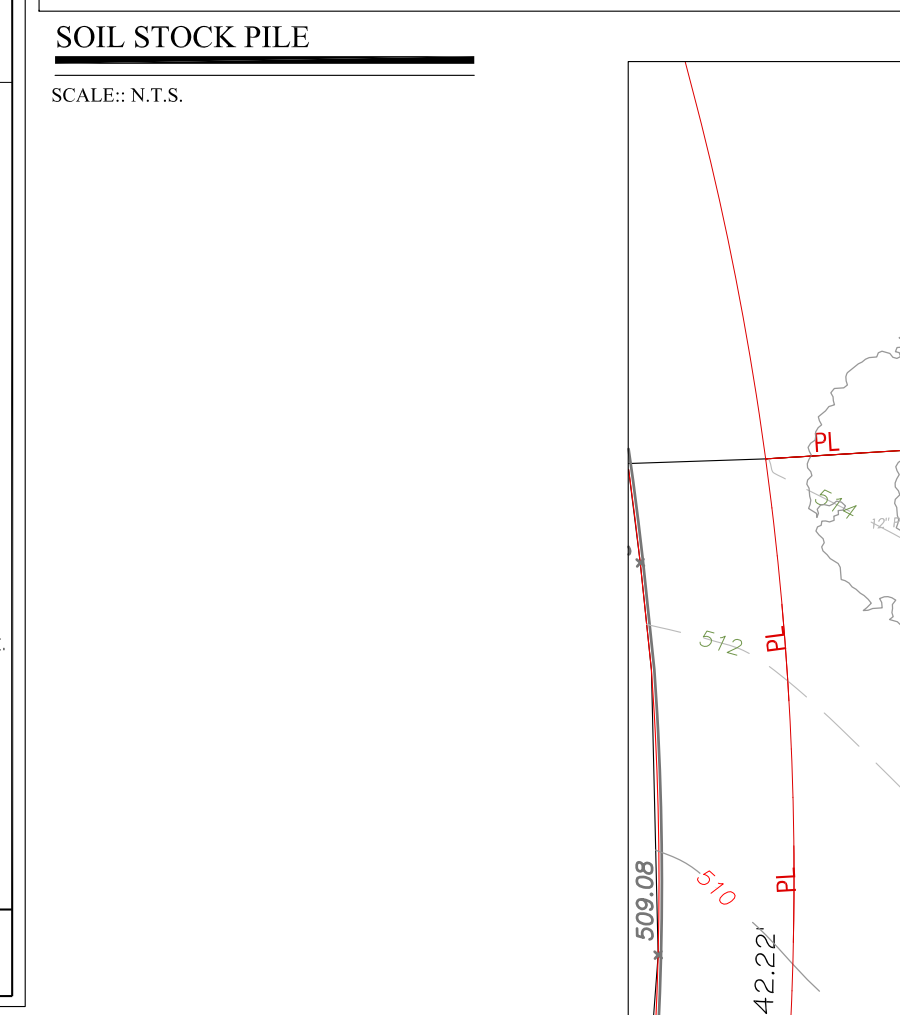
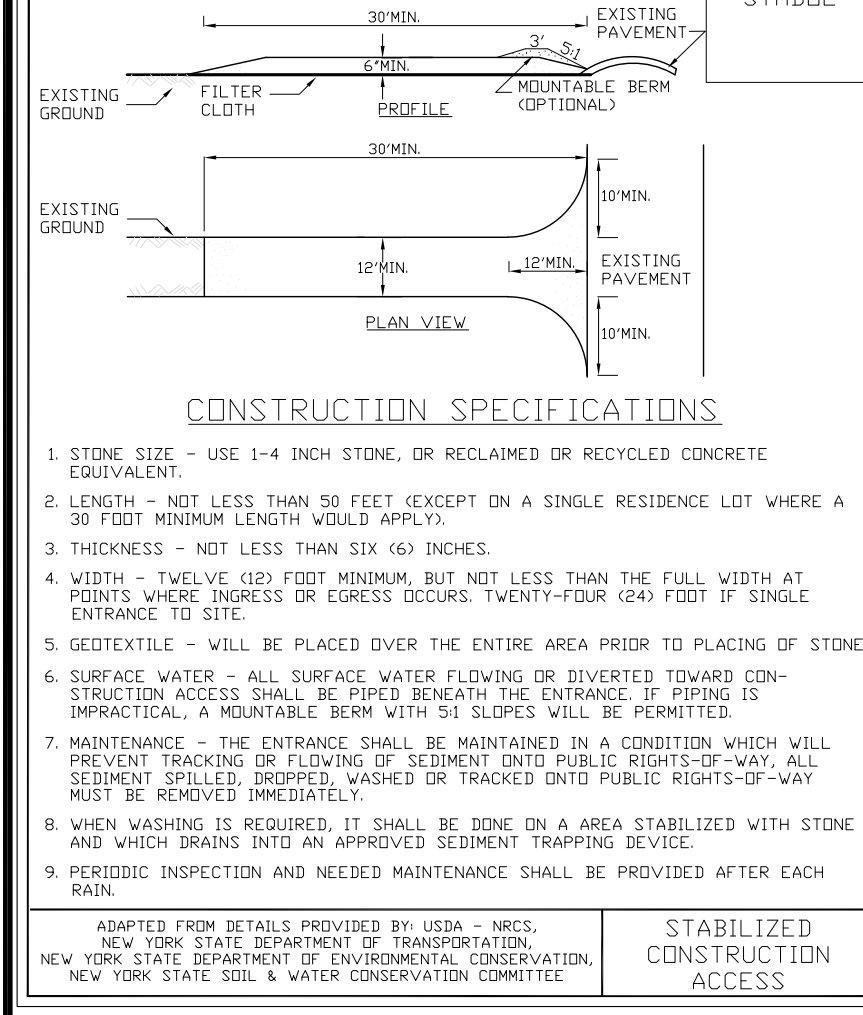
STEEP SLOPE DEDUCTION			
Existing 25% Steep Slope Area	54,520 S.F.		
50% Deduction	27,260 S.F.		
Total Deducted Lot Area, Net	89,998.4 s.f.	2.066 acres	

LOT COVERAGE CALCULATIONS			
	MAX. Permitted	Existing	Proposed/Total
Gross Land Coverage	16,560.38 sf	11,145.88sf	13,739.55 s.f.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 3/8" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER & HIRAFI 100X, STABILONKA T140, OR APPROVED EQUIVALENT.
 - PRE-FABRICATED UNITS SHALL BE GEOTEX, ENVIRFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PROVIDED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

- NOTES**
- Top soil and other approved non-surficial material stockpiles shall be located on undisturbed level, dry ground.
 - Maximum slope of stockpile shall be 1:2.
 - Stockpile shall be covered with tarp or temporary seeding and be surrounded by properly installed haybale/strawbale sediment barriers and/or silt fencing.
 - When unable to place stockpile on undisturbed surfaces, contractor shall at the sole discretion of the engineer, place stockpile over tarp and cover and/or contain as described above.
 - See specifications for installation of silt fence.
 - No stockpile of surplus material will be permitted.



- CONSTRUCTION ACCESS/ANTI-TRACKING PAD**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE FILTERED AT THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTAIN BEAM WITH 5/16" SLOTTES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

GROSS LAND COVERAGE SCHEMATIC
 SCALE: 1" = 40'-0"

STORMWATER POLLUTION PREVENTION PLAN NOTES:

- TOTAL ESTIMATED AMOUNT OF CUT TO BE 20 CUBIC YARDS. ALL 20 CUBIC YARDS TO BE USED ONSITE FOR BACKFILL AND GRADING. NO ADDITIONAL FILL SHALL BE IMPORTED OR REMOVED FROM THE SITE.
- WEEKLY INSPECTIONS TO BE MADE BY A TRAINED CONTRACTOR, AS DEFINED BY NYSDEC SPDES GP-0-20-001 APPENDIX "A", OF SILT FENCE & SOIL STOCK PILE AREA. ANY DAMAGED AREAS TO BE FIXED OR REPLACED.
- DRAINAGE SYSTEMS TO BE INSPECTED & MAINTAINED ON A YEARLY BASIS. INSPECTION TO CONSIST OF DRAIN INLETS TO BE CLEAR OF DEBRIS & LEVEL SPREADER CONSTRUCTION.
- CONTRACTOR TO HAVE ONSITE AS NEEDED DURING CONSTRUCTION A 8 YARD DUMPSTER FOR LITTER & DEBRIS. CONTRACTOR TO REMOVE ANY CONSTRUCTION DEBRIS ON A WEEKLY BASIS AND REMOVE ANY WASTE ON A DAILY BASIS.
- ONLY MATERIAL TO BE STORED ONSITE ARE GRAVEL, SAND, CEMENT & ORGANIC MATERIAL (IE. STONES & PLANTS).
- CONTRACTORS SHALL SIGN AND DATE THE FOLLOWING CERTIFICATION STATEMENT BEFORE UNDERTAKING ANY LAND DEVELOPMENT ACTIVITY:

NOTE:

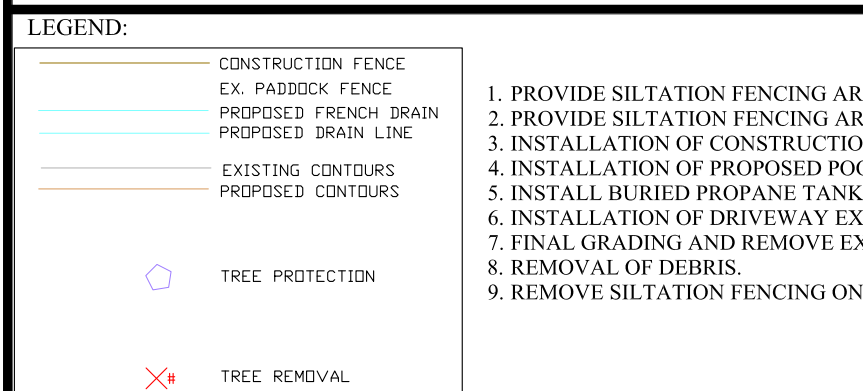
- PROPERTY SURVEY PREPARED BY TC MERRIS LAND SURVEYORS, MAP PREPARED ON JULY 14, 2021.
- EDGE OF WETLANDS TAKEN FROM WESTCHESTER COUNTY GIS, MAPPING WESTCHESTER COUNTY.
- ALL EXISTING UTILITIES TO BE MARKED OUT BY PUBLIC OR PRIVATE SERVICE PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION OF WALLS OVER 4' HT. SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.
- FINAL DRAINAGE SYSTEM LOCATION & SIZE TO BE DESIGNED BY ENGINEER. SOIL TESTING TO BE COORDINATED WITH TOWN CONSULTING ENGINEER.

STEEP SLOPE CALCULATION:

- TOTAL 25% STEEP = 54,520.0 SF
- TOTAL STEEP SLOPE DISTURBANCE AREA 950.40 SF

TREE REMOVAL LIST:

1. 18" MAPLE
1. 6" MAPLE
3. 16" OAK
4. 26" OAK
5. 12" MAPLE
6. 8" MAPLE
7. 12" BEECH



- CONSTRUCTION SEQUENCE**
- PROVIDE SILTATION FENCING AROUND ALL PROPOSED DISTURBANCE AREAS AS INDICATED ON PLANS.
 - PROVIDE SILTATION FENCING AROUND STOCKPILE LOCATION.
 - INSTALLATION OF CONSTRUCTION ACCESS ROAD.
 - INSTALLATION OF PROPOSED POOL, RETAINING WALLS, STEPS, PATIO AND WALKWAYS.
 - INSTALL BURIED PROPANE TANK, ELECTRICAL AND GAS LINES FOR POOL REQUIREMENT.
 - INSTALLATION OF DRIVEWAY EXTENSION AND REMOVAL OF OLD DRIVEWAY.
 - FINAL GRADING AND REMOVE EXCESS FILL FROM SITE IF NEEDED.
 - REMOVAL OF DEBRIS.
 - REMOVE SILTATION FENCING ONCE ALL DISTURBED AREAS HAVE BEEN STABILIZED.

LEGEND:

- CONSTRUCTION FENCE
- EXIST. PARADE FENCE
- PROPOSED FRENCH DRAIN
- PROPOSED DRAIN LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE PROTECTION
- TREE REMOVAL

LOUIS FUSCO
 landscape architects
 focus • form • function

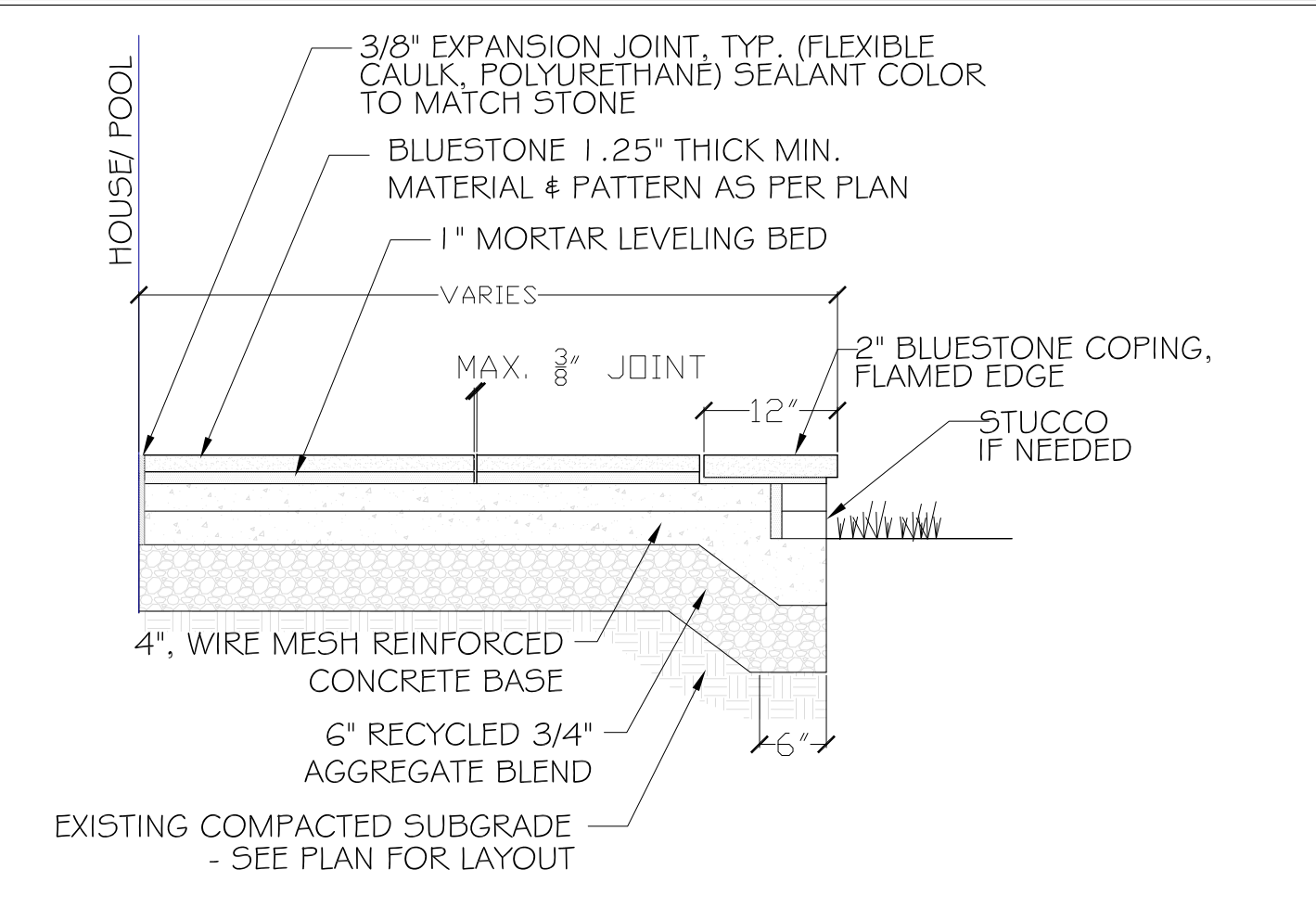
26 Woodland Road
 Pound Ridge, NY 10576
 914 764 9123
 louisfusco.com

PERSKY RESIDENCE
 14 CAREY DRIVE
 NORTH CASTLE, NY

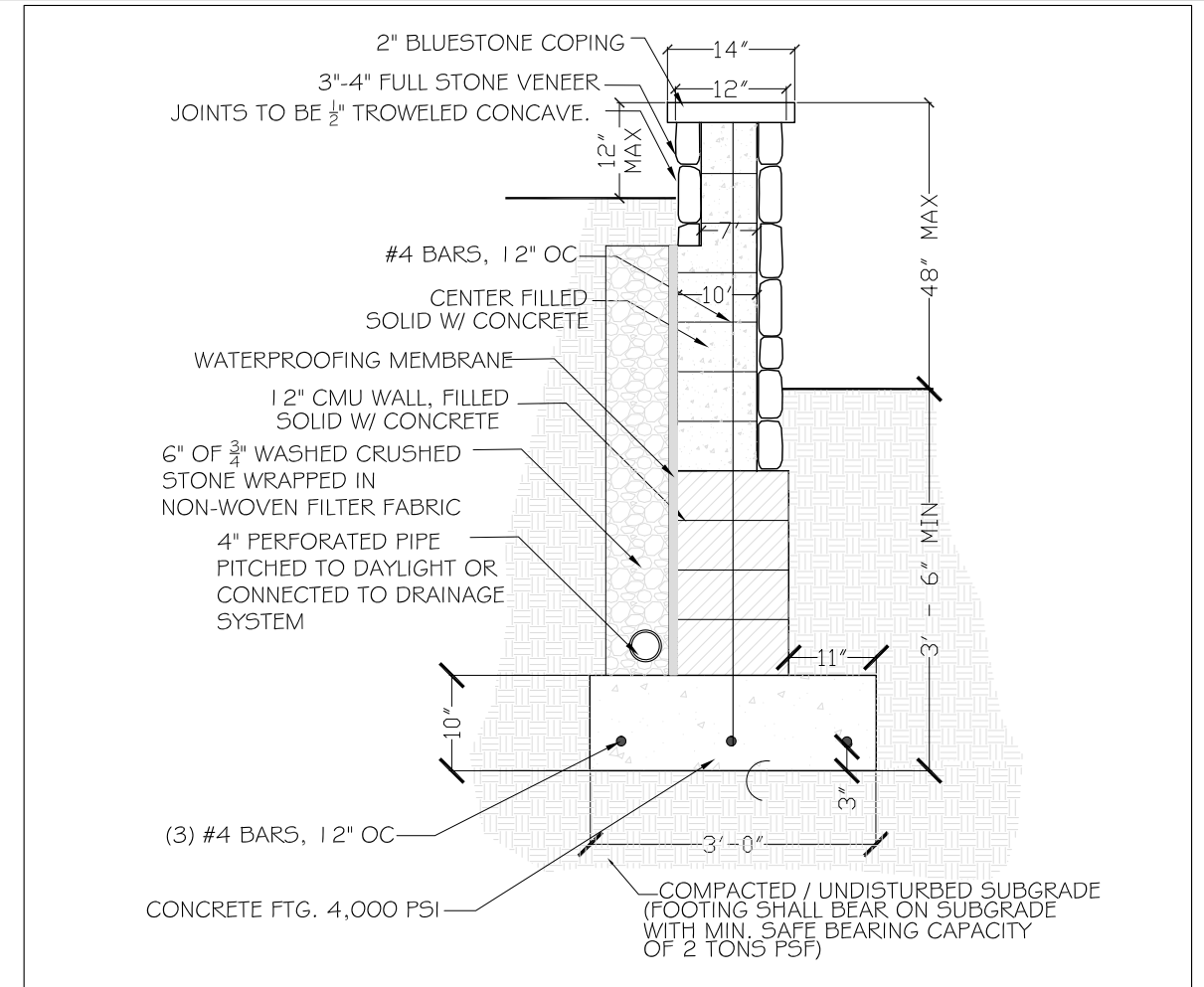
DATE: 11-11-2021 SCALE: 1" = 20'-0"

SITE PLAN
 RPRC PERMIT PLAN

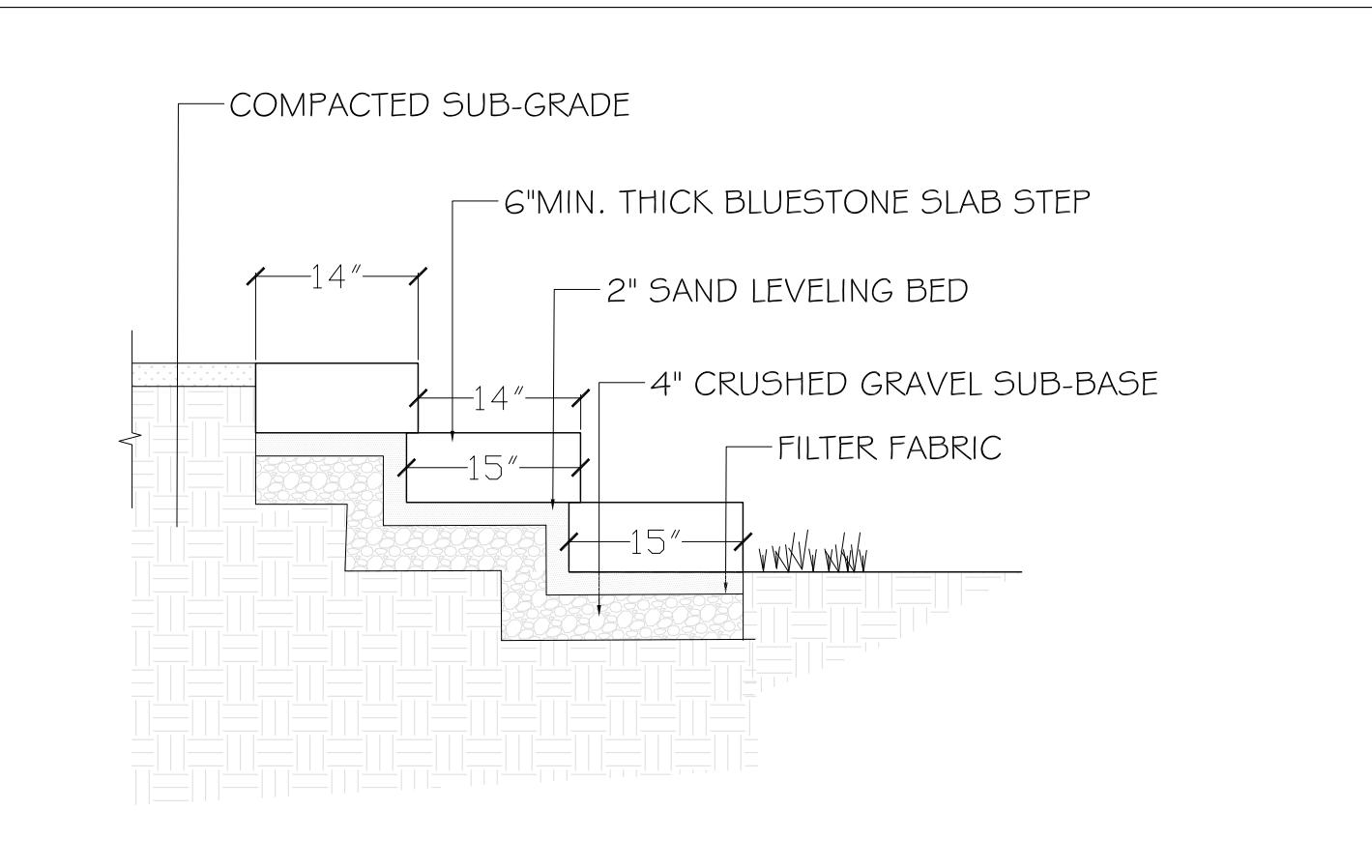
REVISED: 1-13-2022



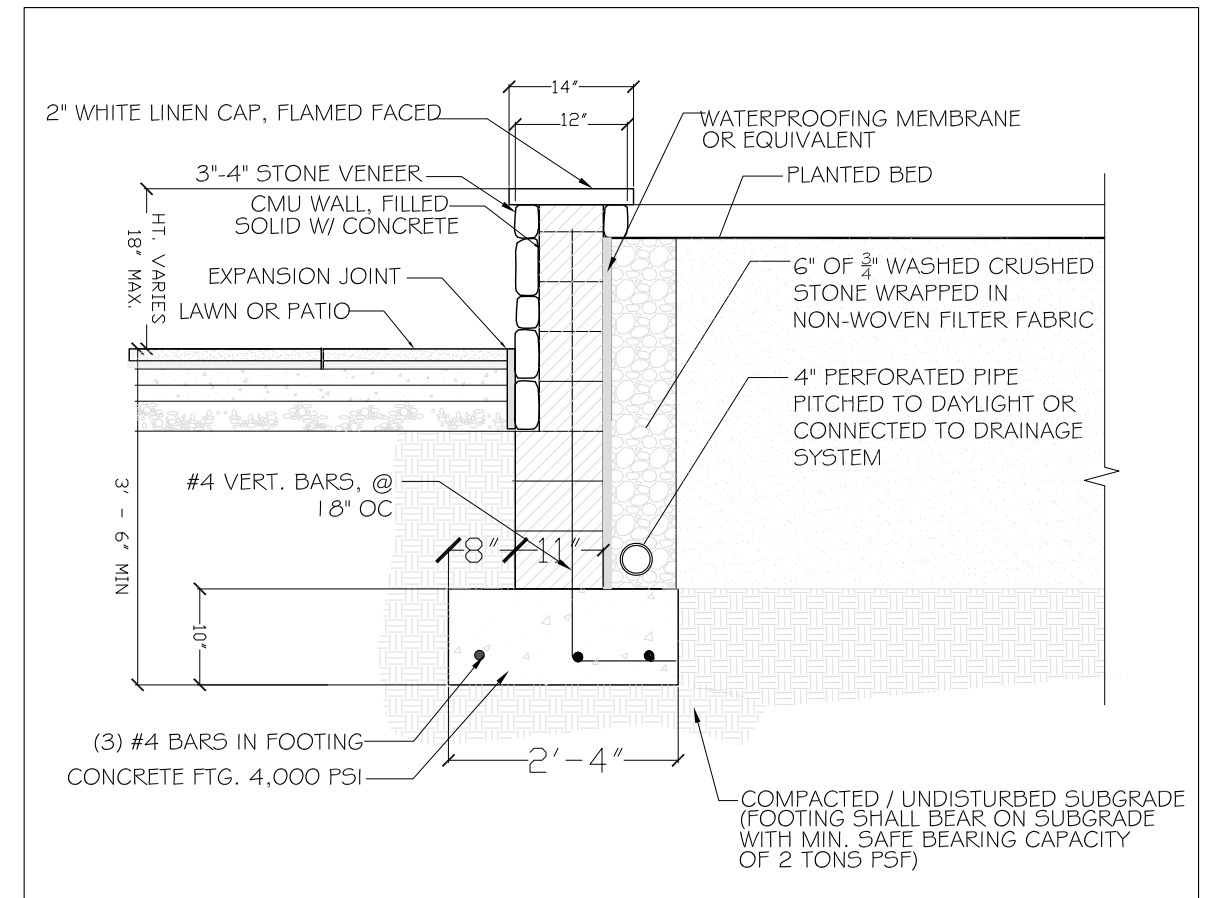
PATIO
SCALE: 3/4" = 1'-0"
1 D-1



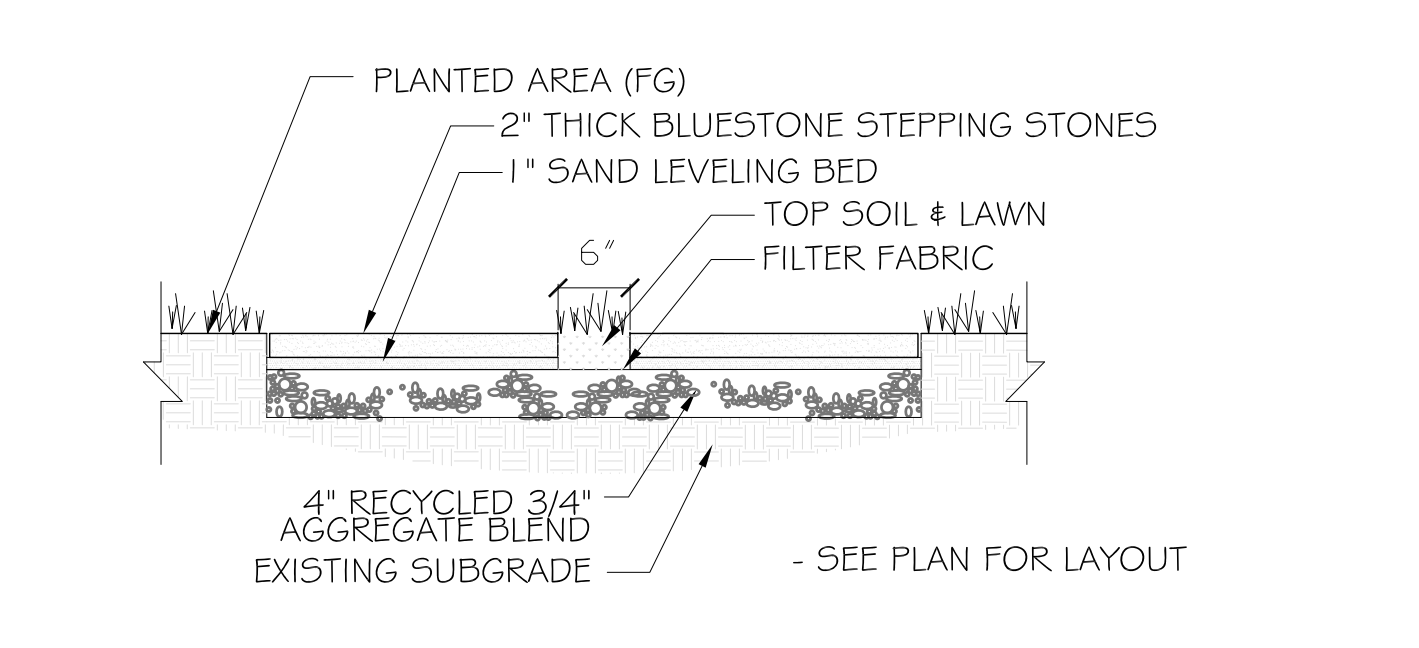
RETAINING WALL
SCALE: 1/2" = 1'-0"
5 D-1



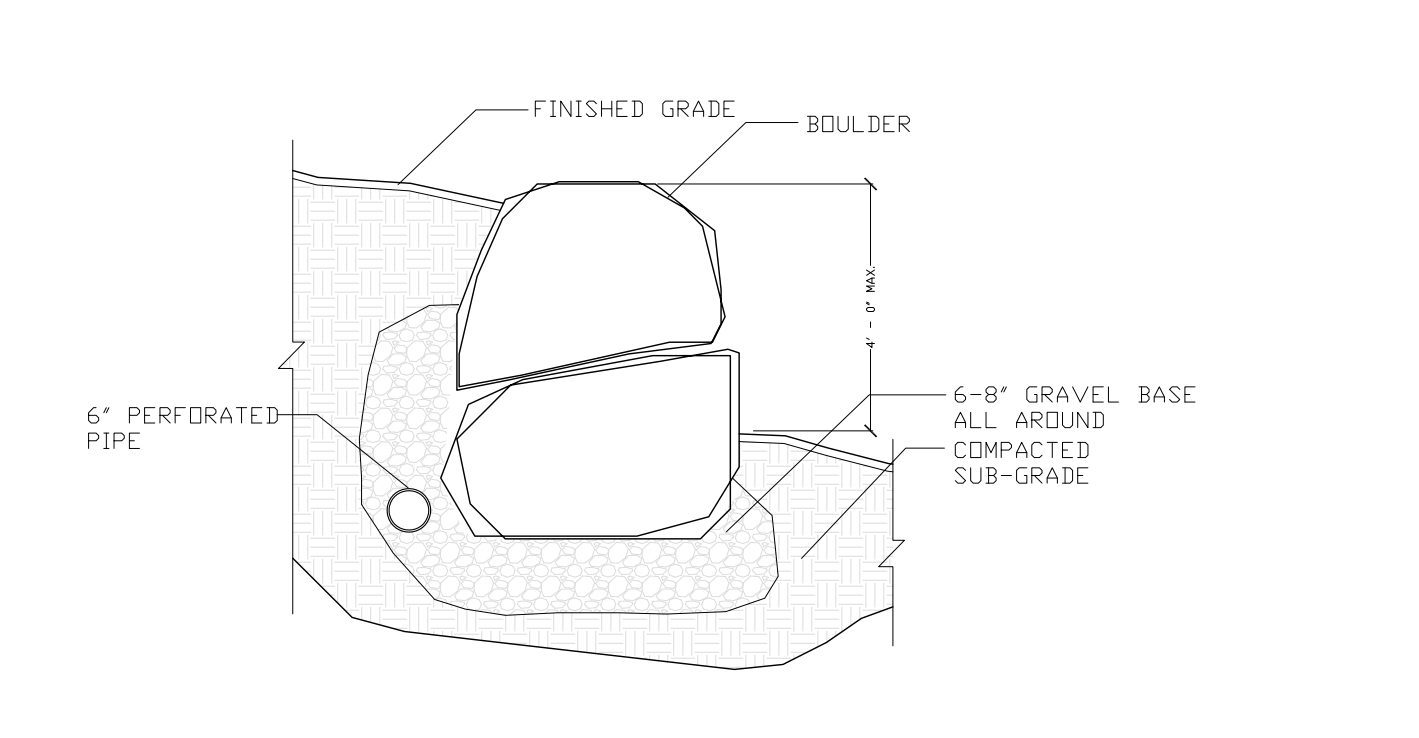
STONE STEPS
SCALE: 3/4" = 1'-0"
2 D-1



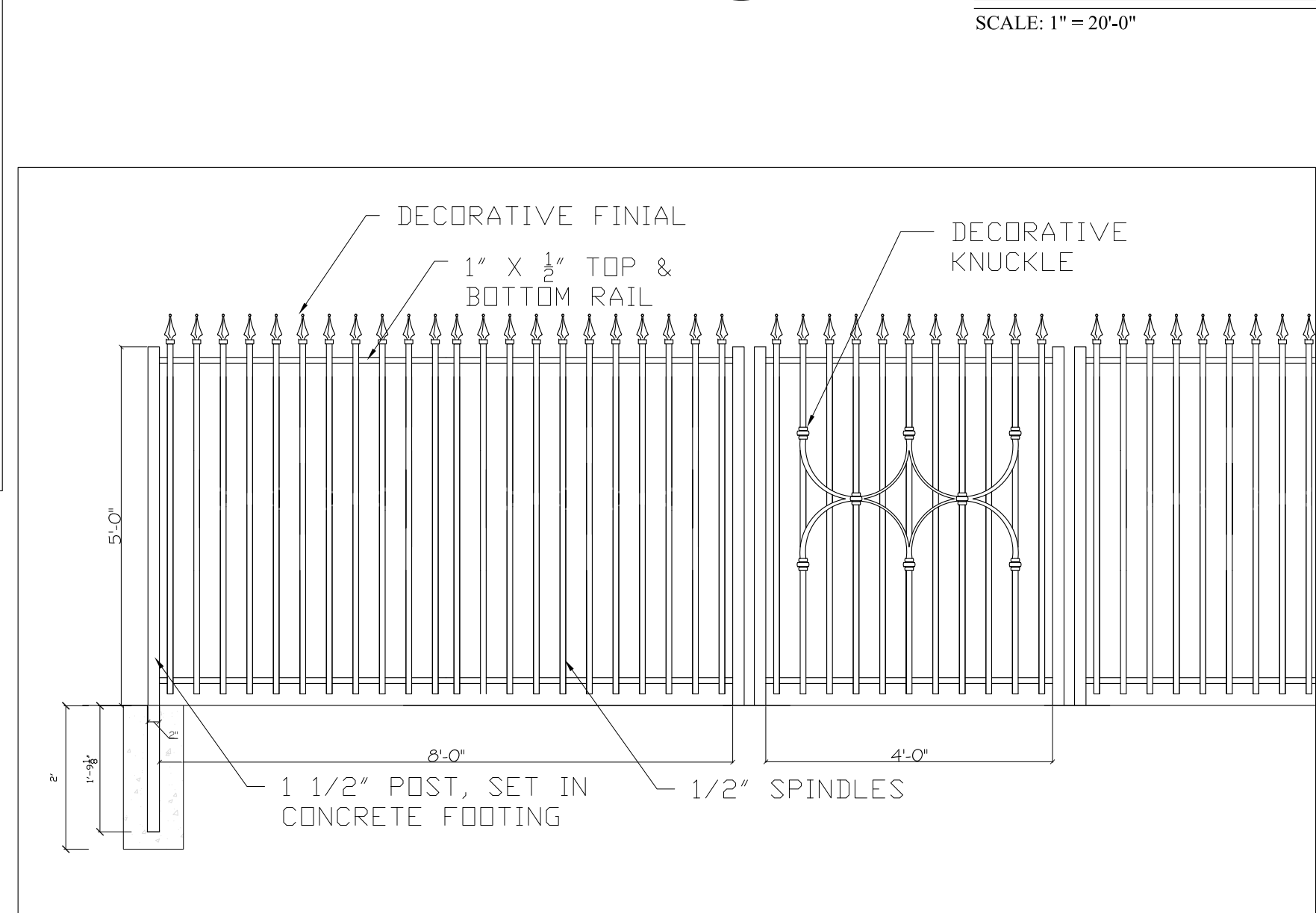
PLANTER WALL
SCALE: 1/2" = 1'-0"
6 D-1



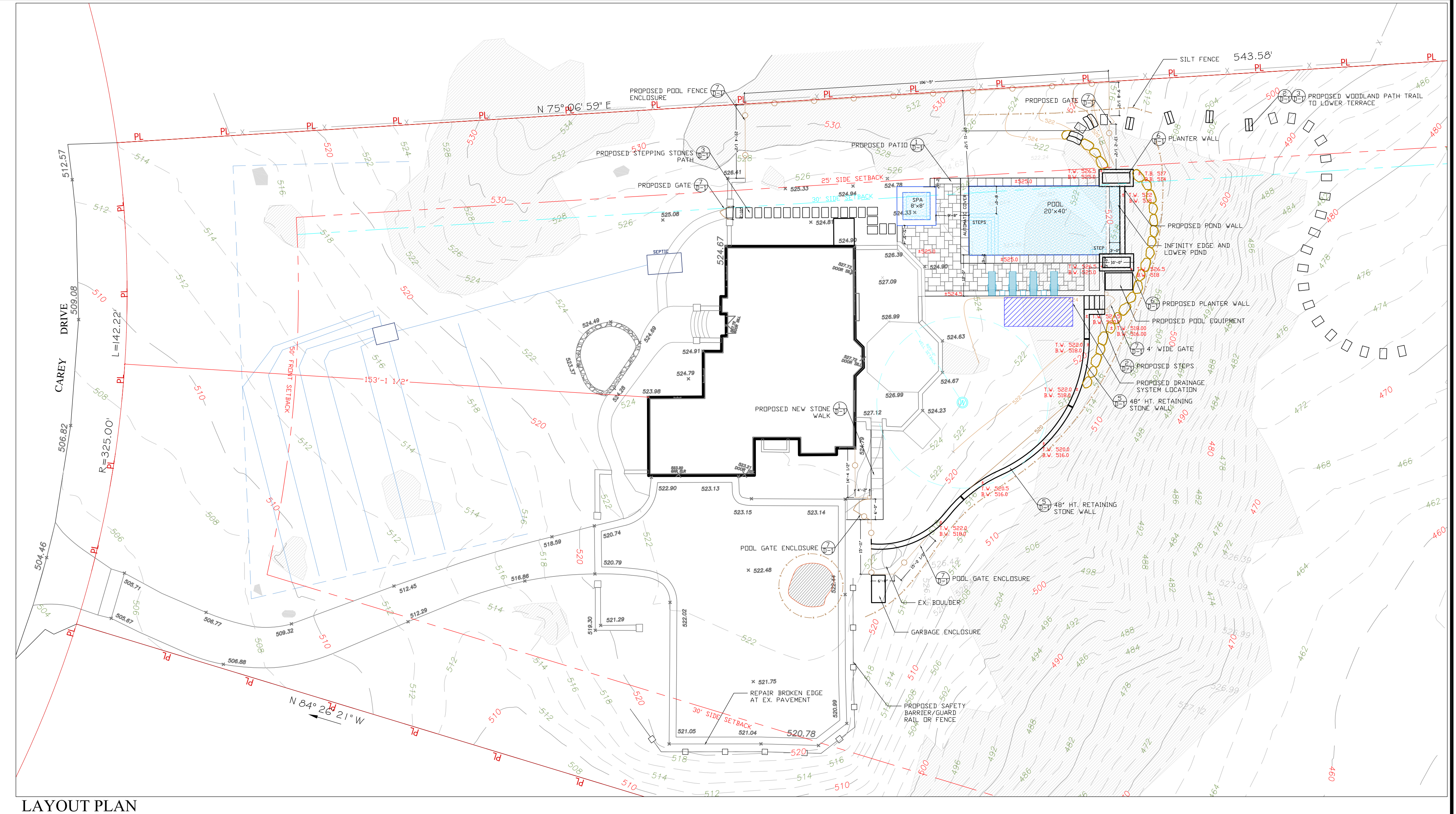
STEPPING STONES
SCALE: 3/4" = 1'-0"
3 D-1



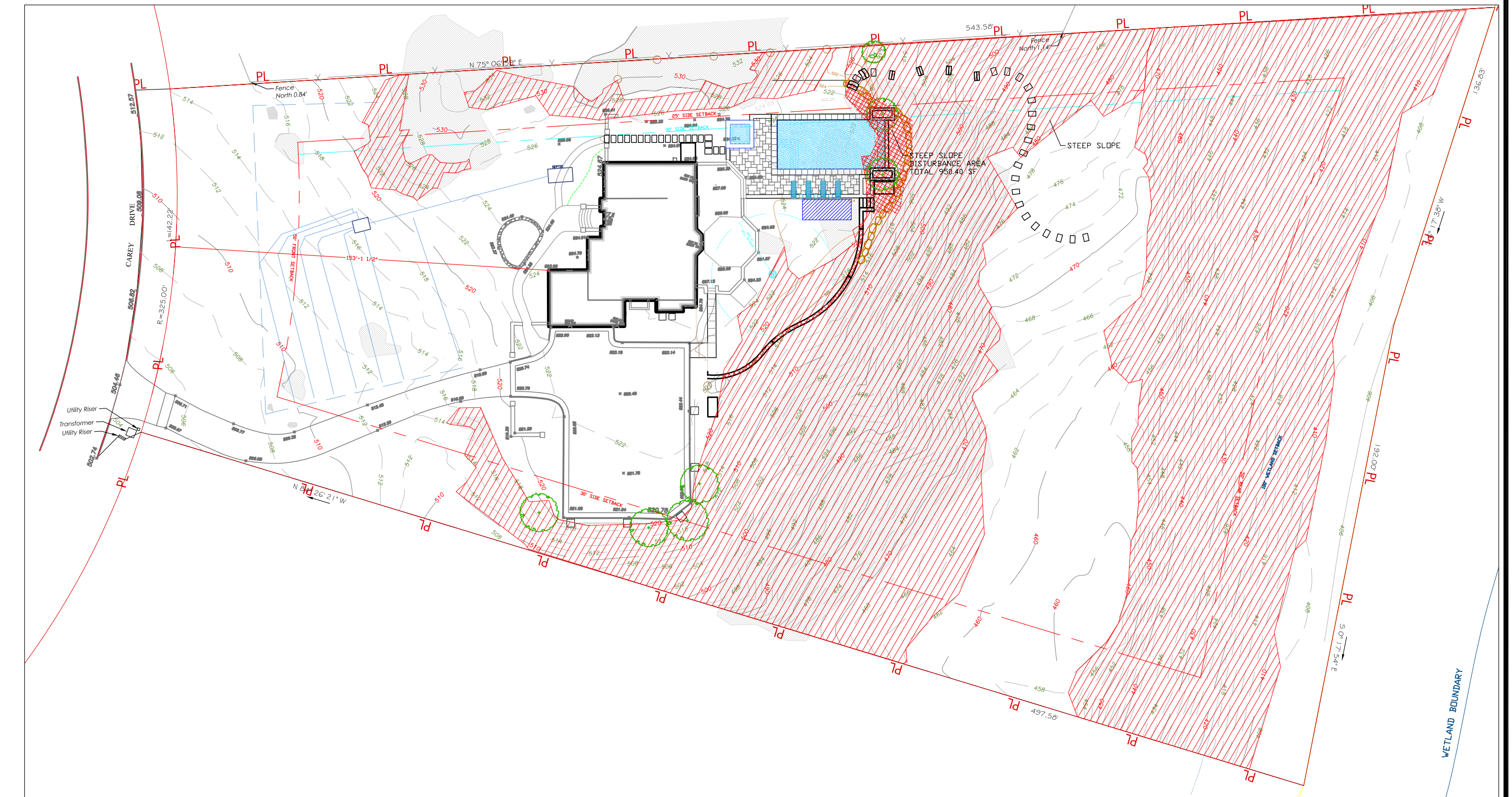
BOULDER WALL DETAIL
SCALE: 1/2" = 1'-0"
4 D-1



POOL FENCE & ENCLOSURE DETAIL
SCALE: 3/4" = 1'-0"
7 D-1



LAYOUT PLAN
SCALE: 1" = 20'-0"



SITE PLAN STEEP SLOPE
SCALE: 1" = 40'-0"

LEGEND:

- EX: PROPOSED FENCE
- PROPOSED FRENCH DRAIN
- PROPOSED BRAIN LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE PROTECTION
- TREE REMOVAL

LOUIS FUSCO
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PERSKY RESIDENCE
14 CAREY DRIVE
NORTH CASTLE, NY

DATE: 11-11-2021
SCALE: AS NOTED

CONSTRUCTION DETAILS
LAYOUT PLAN

REVISION: 01-13-2022
STAMP: LOUIS FUSCO LANDSCAPE ARCHITECTS
STATE OF NEW YORK