

JP Greenwich Holdings, LLC  
55 Byram Road  
Greenwich, CT 06830  
914-275-2111

---

December 8, 2021

Town of North Castle  
Westchester County  
17 Bedford Road  
Armonk, New York 10504-1898  
Attn: Building Department & RPRC Board

Re: Conyers Farm – New House Construction  
41 Mead Rd.  
Zoning District: R-2A, 3.91 Acres Tax Id: 109.01-1-12  
RPRC application to amend approval

Dear RPRC Chairman Kaufman and Members of the Board:

I am the owner of the above referenced property. We received our building permit, and we are currently in the process of constructing the approved home; we have included a copy of the building, wetland, tree (no longer needed), electrical and chipping permit (no longer needed) for your reference.

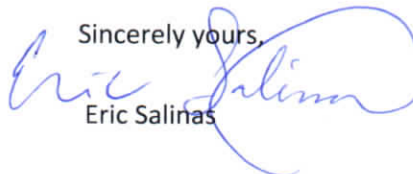
The reason for our new submission/application is to amend our original approval to now include the addition of another story that will be added in between the lower and upper level of the approved home; nothing has changed other than adding the additional floor. The submission also includes an updated zoning table.

Please Note\* The original stormwater runoff/raingardens, roof design, wetland mitigation, landscaping, impervious surface(s), and retaining walls will all remain as originally designed and approved and will be constructed without any proposed changes. We are essentially lifting the top floor of the home "off" and adding an additional floor between the lower and upper floors. We have also included elevations depicting the changes.

The only noticeable change (based on the well-drillers recommendation) is the location of the drilled well which is now slightly northwest of the original location and given the constraints of the site, there is also slight increase in the disturbance area – the disturbance area is depicted on the updated drawing. All other protections in and around the site are in place i.e., hay bales have been added at the silt fence along the wetland line; the septic area is also corded off and the rain garden areas are also protected.

We ask for your consideration of approval and thank you for your assistance.

Sincerely yours,



Eric Salinas



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 41 Mead Rd.

### Section III- DESCRIPTION OF WORK:

Add (1) additional floor to an approved home.

### Section III- CONTACT INFORMATION:

APPLICANT: Eric Salinas

ADDRESS: 55 Byram Road, Greenwich, Ct. 06830

PHONE: 914-924-9985 MOBILE: Same EMAIL: eric.salinasxp@gmail.com

PROPERTY OWNER: Eric Salinas

ADDRESS: 55 Byram Road, Greenwich, Ct. 06830

PHONE: 914 924 9985 MOBILE: Same EMAIL: eric.salinasxp@gmail.com

PROFESSIONAL: Eric Seegmuller

ADDRESS: Wahgan, NY

PHONE: (914) 391-8010 MOBILE: Same

EMAIL: bseegmuller@hotmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 109.01-1-12



Town of North Castle
Residential Project Review Committee

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

41 Mead Rd, New Single family home, Congress Farm

Initial Submittal Revised Preliminary

Street Location:

41 Mead Rd

Zoning District: R-2A Property Acreage: 4+1/2 Ae. Tax Map Parcel ID: 109.01-1-12

Date: 12/8/21

DEPARTMENTAL USE ONLY

Date Filed: Staff Name:

Preliminary Plan Completeness Review Checklist

Items marked with a [ ] are complete, items left blank [ ] are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

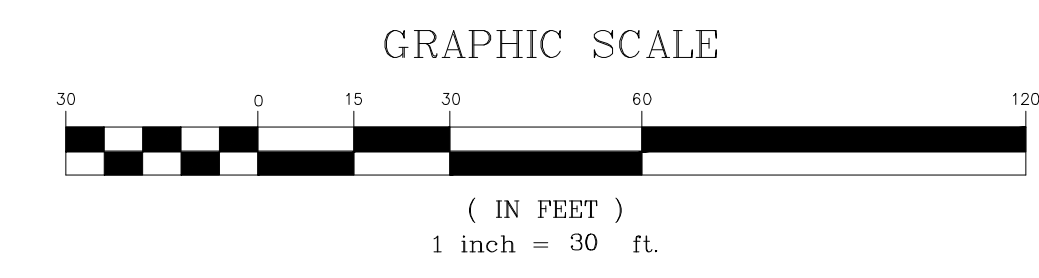
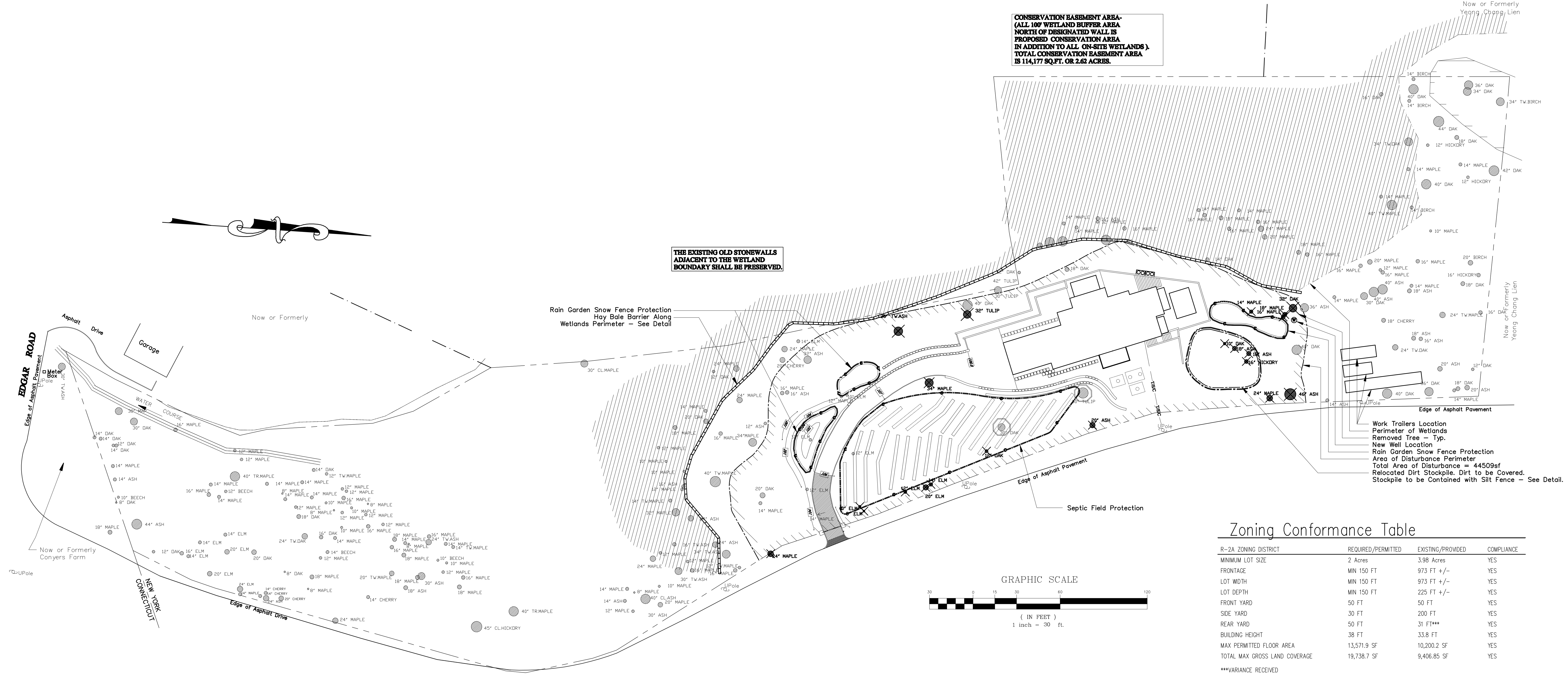
\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

**CONSERVATION EASEMENT AREA-**  
 (ALL 100' WETLAND BUFFER AREA  
 NORTH OF DESIGNATED WALL IS  
 PROPOSED CONSERVATION AREA  
 IN ADDITION TO ALL ON-SITE WETLANDS).  
**TOTAL CONSERVATION EASEMENT AREA  
 IS 114,177 SQ.FT. OR 2.62 ACRES.**

**THE EXISTING OLD STONEWALLS  
 ADJACENT TO THE WETLAND  
 BOUNDARY SHALL BE PRESERVED.**

Rain Garden Snow Fence Protection  
 Hay Bale Barrier Along  
 Wetlands Perimeter - See Detail

Work Trailers Location  
 Perimeter of Wetlands  
 Removed Tree - Typ.  
 New Well Location  
 Rain Garden Snow Fence Protection  
 Area of Disturbance Perimeter  
 Total Area of Disturbance = 44509sf  
 Relocated Dirt Stockpile. Dirt to be Covered.  
 Stockpile to be Contained with Silt Fence - See Detail.



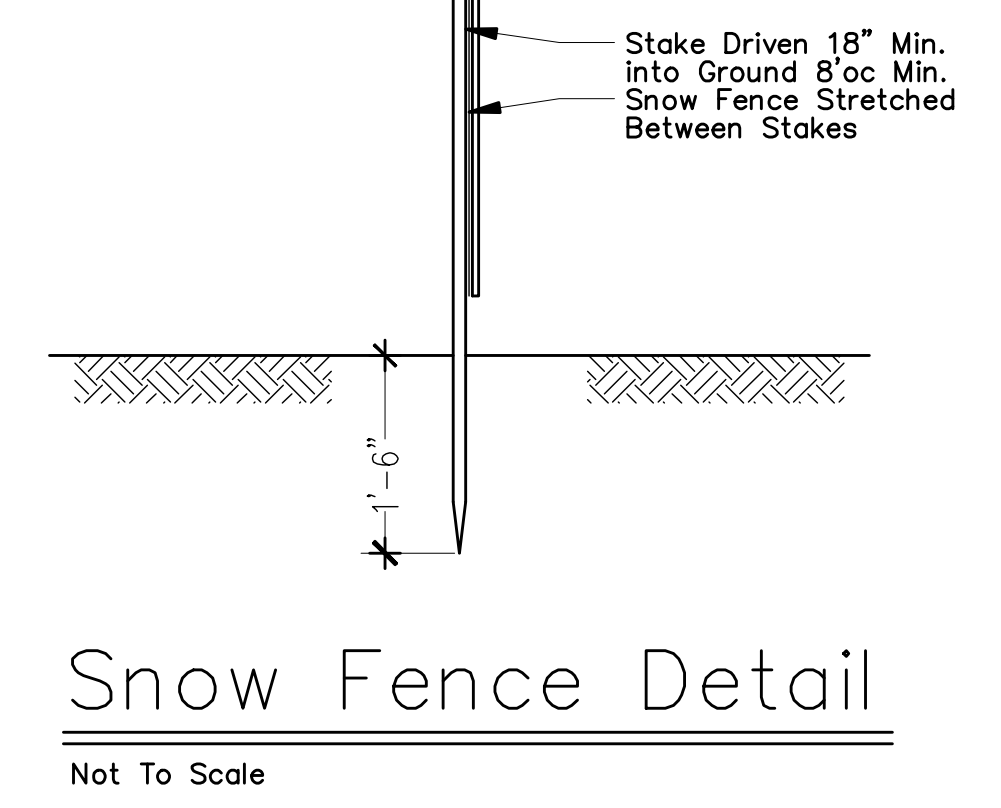
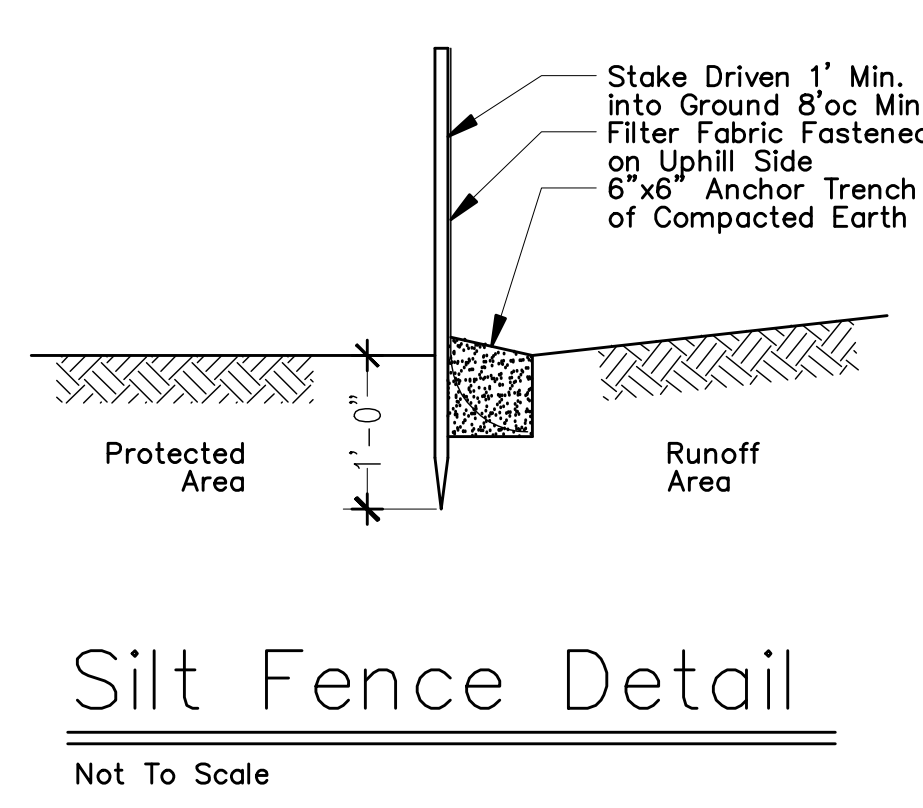
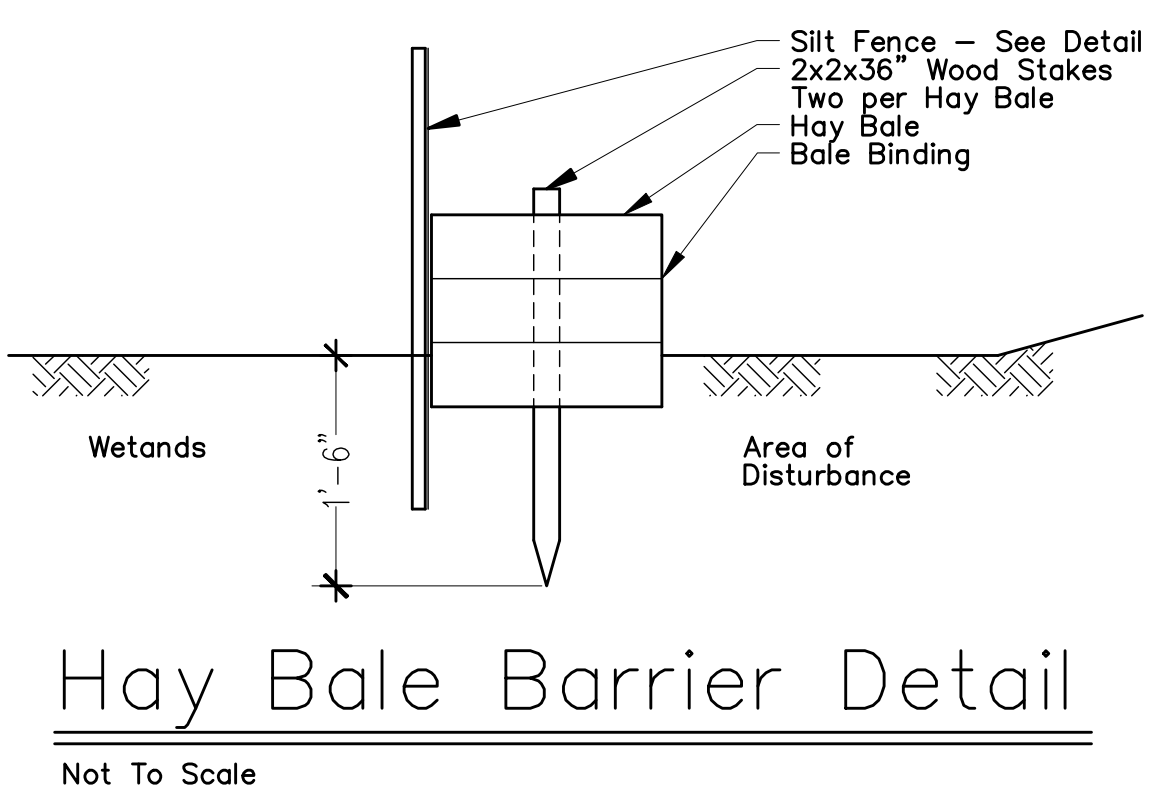
**Zoning Conformance Table**

R-2A ZONING DISTRICT	REQUIRED/PERMITTED	EXISTING/PROVIDED	COMPLIANCE
MINIMUM LOT SIZE	2 Acres	3.98 Acres	YES
FRONTAGE	MIN 150 FT	973 FT +/-	YES
LOT WIDTH	MIN 150 FT	973 FT +/-	YES
LOT DEPTH	MIN 150 FT	225 FT +/-	YES
FRONT YARD	50 FT	50 FT	YES
SIDE YARD	30 FT	200 FT	YES
REAR YARD	50 FT	31 FT***	YES
BUILDING HEIGHT	38 FT	33.8 FT	YES
MAX PERMITTED FLOOR AREA	13,571.9 SF	10,200.2 SF	YES
TOTAL MAX GROSS LAND COVERAGE	19,738.7 SF	9,406.85 SF	YES

\*\*\*VARIANCE RECEIVED

**Drawing Index**

- A-01 SITE PLAN
- A-02 GROSS LAND COVERAGE
- A-03 ELEVATIONS 1
- A-04 ELEVATIONS 2
- A-05 ELEVATIONS 3
- A-06 BASEMENT FLOOR PLAN
- A-07 FIRST FLOOR PLAN
- A-08 SECOND FLOOR PLAN
- A-09 ROOF PLAN



**Address:** 41 Mead Road  
 Armonk, NY 10504

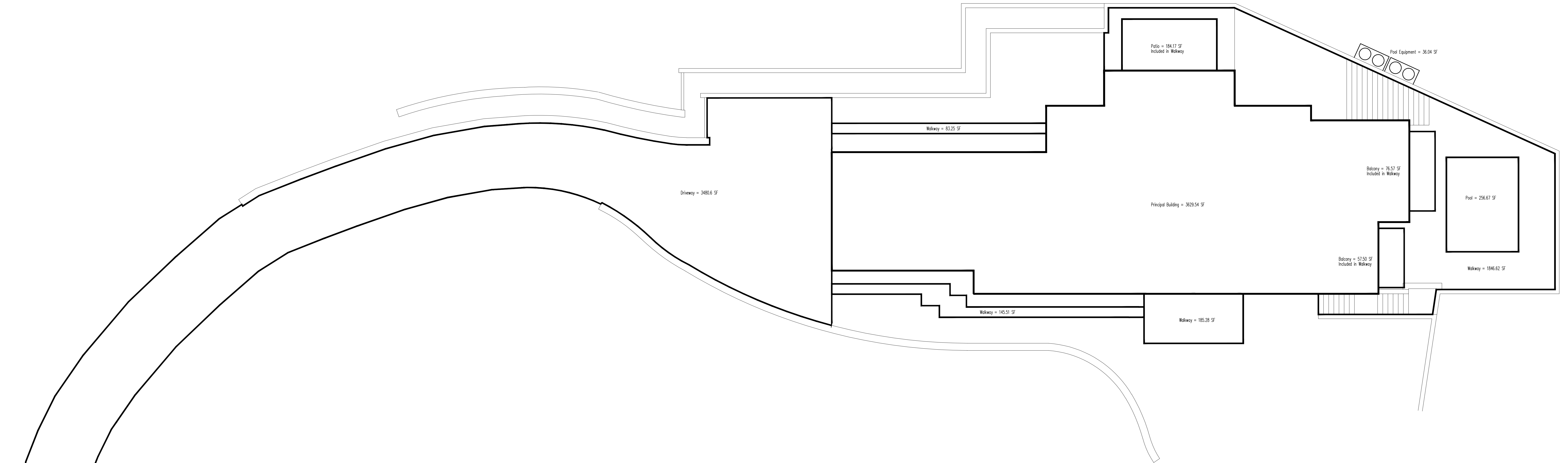
**Owner:** Eric Salinas  
**Project:** Single Family Residence

Tax ID: 109.01-1-12  
 Prepared by:  
 William Seegmuller  
 914.654.5425

Date: 11/1/21  
 Scale: 1"=30'  
*W Seegmuller*

**Site Plan**

**A-01**  
 1 of 9



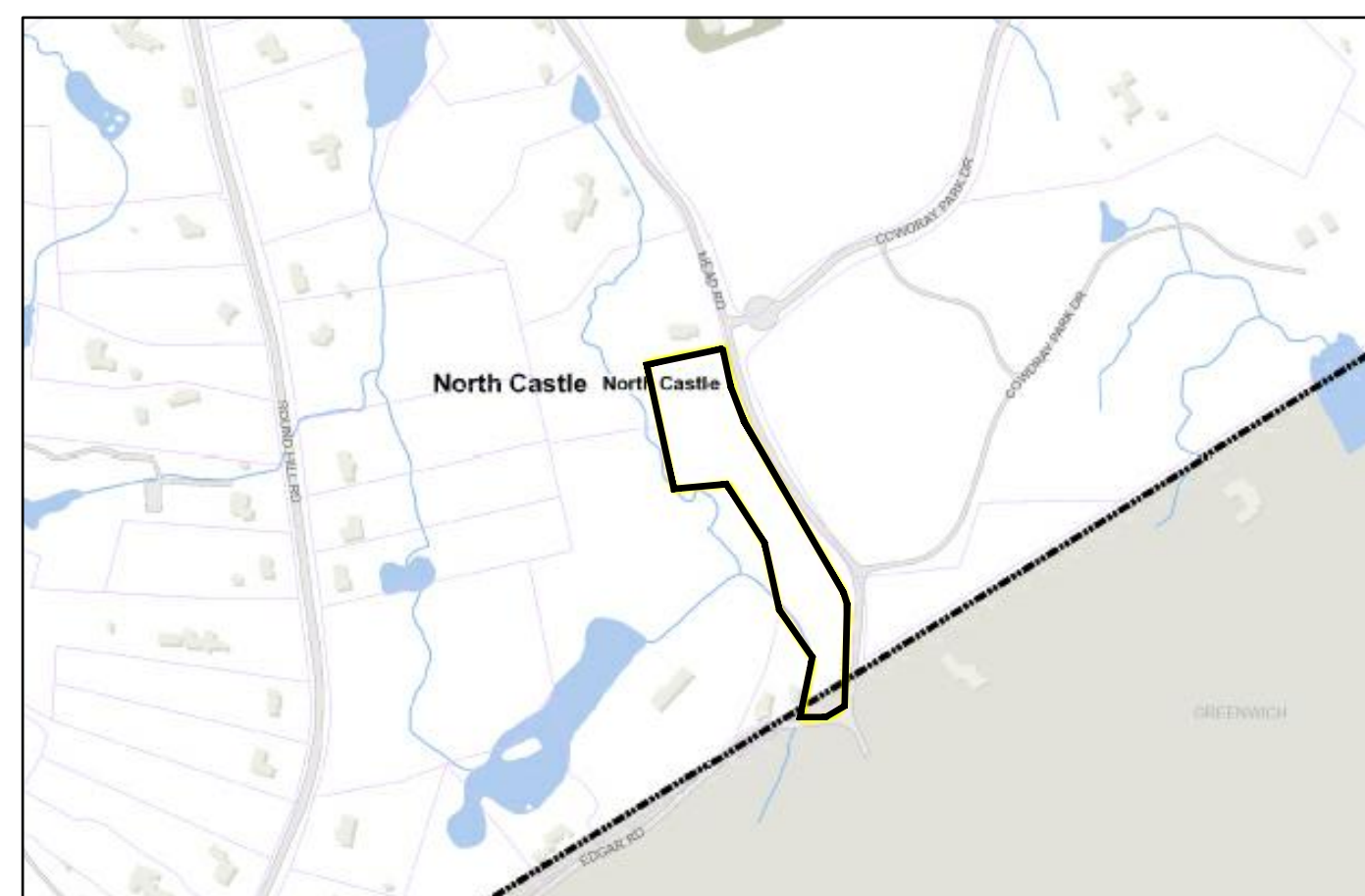
### Aerial Photo

Not to Scale



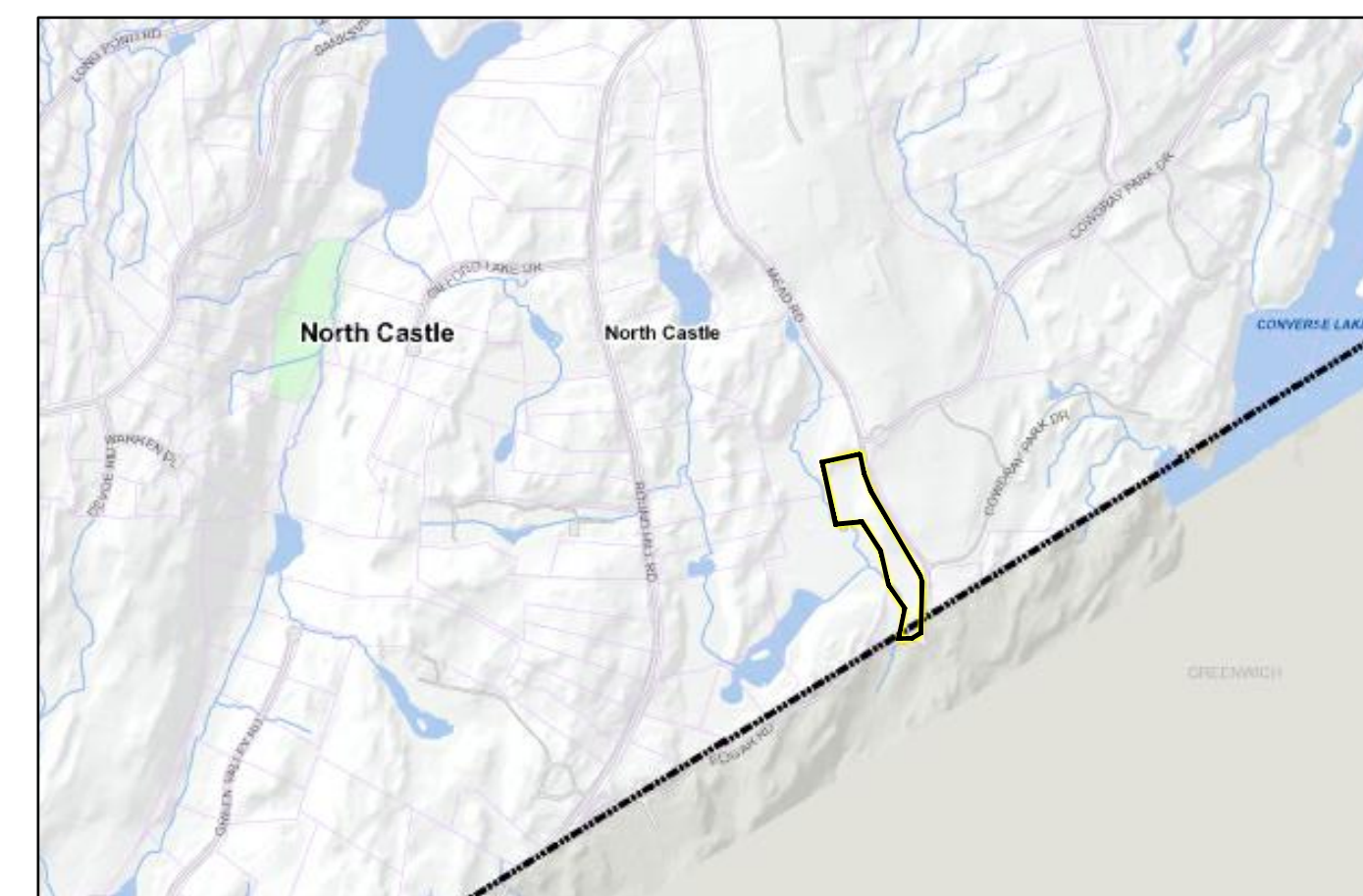
### Property Map

Not to Scale



### Locator Map

Not to Scale



### Gross Land Coverage Data

Principal Building =	3629.54 SF
Accessory Buildings =	0 SF
Decks/Balconies =	Above Walkway
Patio =	Included in Walkway
Driveways and Walkways =	5484.6 SF
Terrace =	Above Porch
Pool and Mechanical Equipment =	292.71 SF
<b>Total Gross Land Coverage =</b>	<b>9406.85 SF</b>

**Address:**  
**41 Mead Road**  
**Armonk, NY 10504**

**Owner:**  
**Eric Salinas**

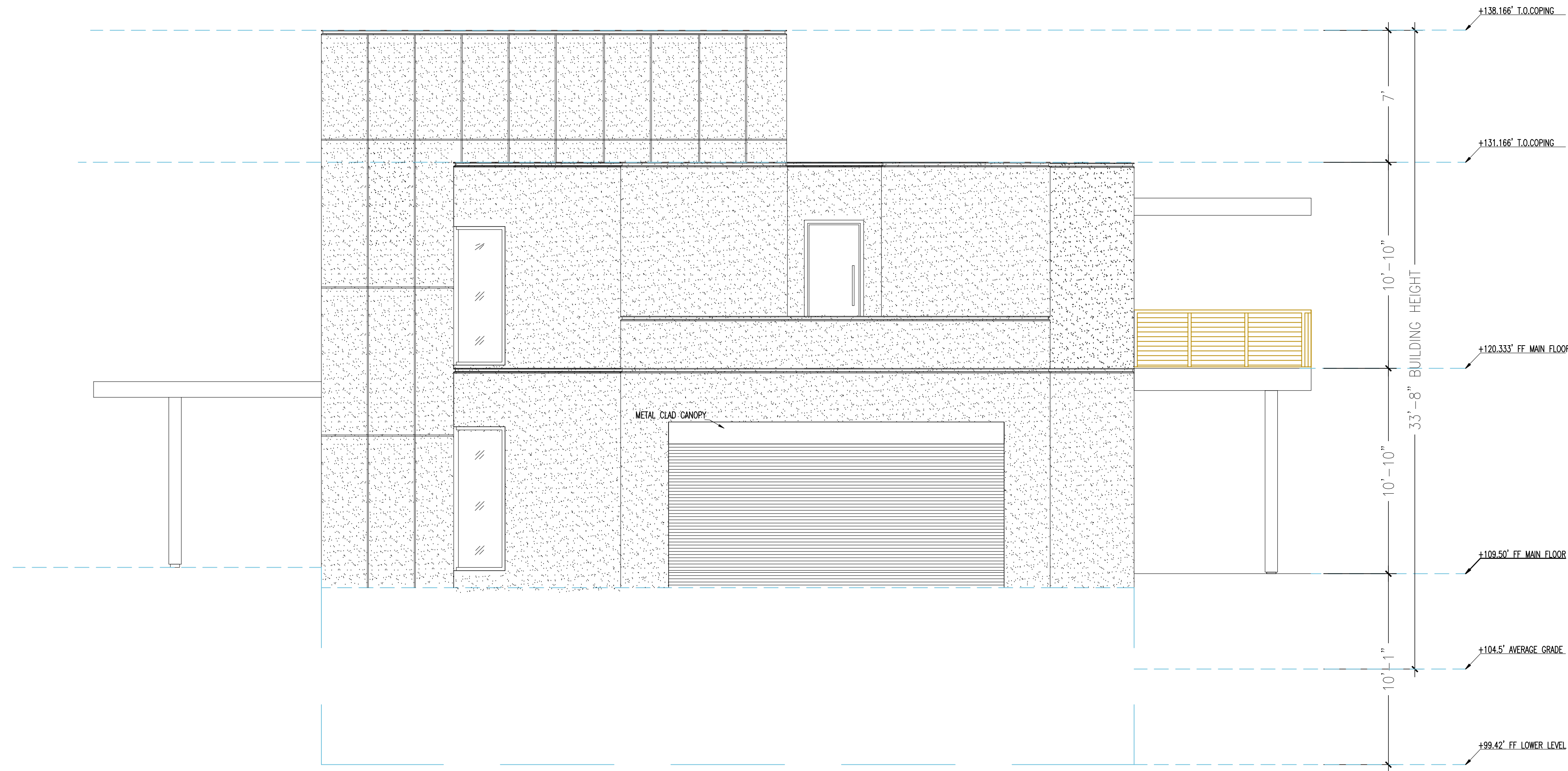
**Project:**  
**Single Family Residence**

Tax ID: 109.01-1-12  
 Prepared by:  
 William Seegmuller  
 914.654.5425

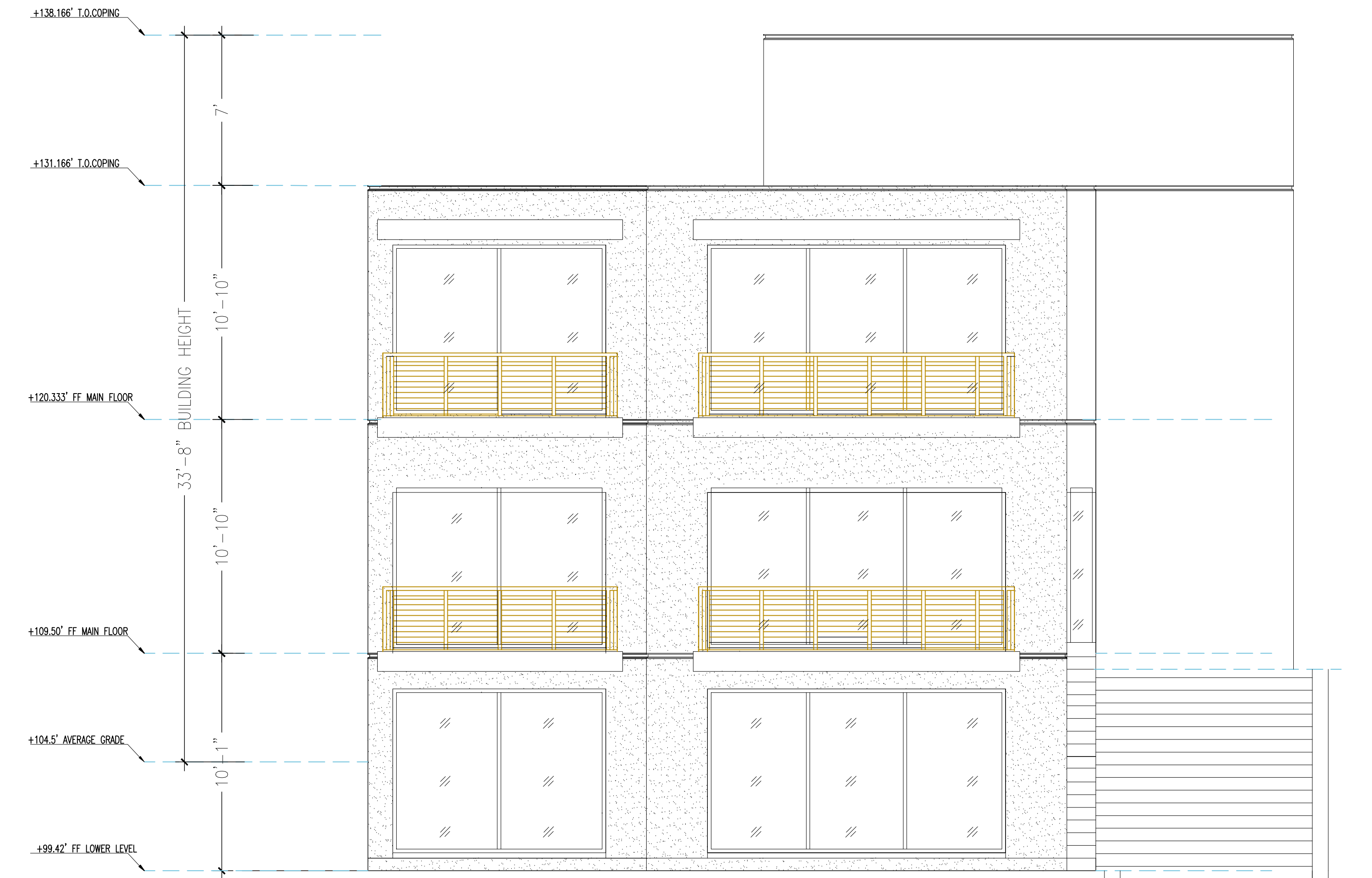
Date: 11/1/21  
 Scale: 1/8" = 1'-0"  
*W Seegmuller*

## Gross Land Coverage

**A-02**  
 2 of 9



SOUTH ELEVATION  
LEFT SIDE VIEW



NORTH ELEVATION  
RIGHT SIDE VIEW

Address: **41 Mead Road**  
**Armonk, NY 10504**

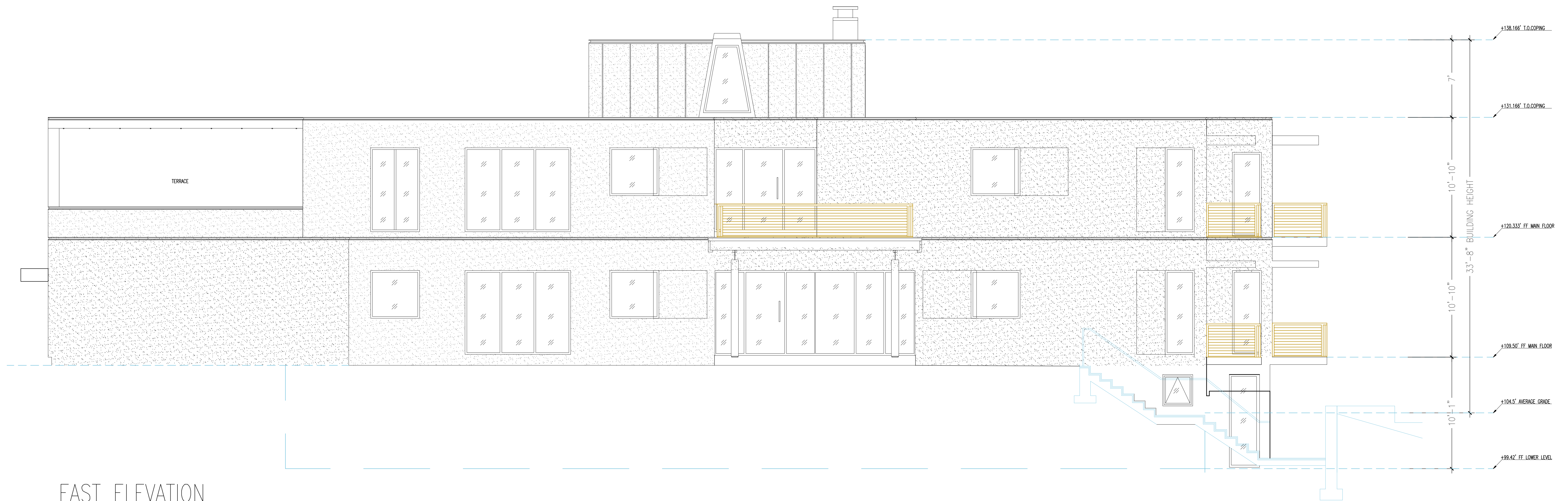
Owner: **Eric Salinas**  
Project: **Single Family Residence**

Tax ID: 109.01-1-12  
Prepared by:  
William Seegmuller  
914.654.5425

Date: 11/1/21  
Scale: 1/4"=1'-0"  
*W Seegmuller*

**Elevations 1**

**A-03**  
3 of 9



EAST ELEVATION  
FRONT SIDE VIEW

Address: **41 Mead Road**  
**Armonk, NY 10504**

Owner: **Eric Salinas**  
Project: **Single Family Residence**

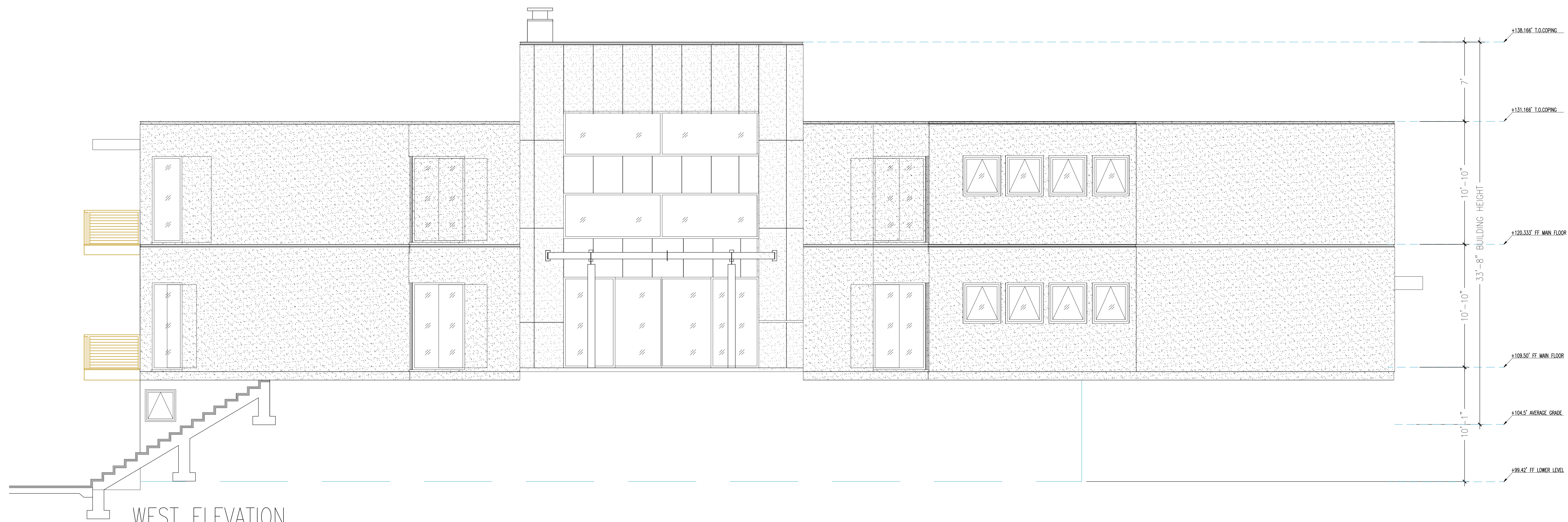
Tax ID: 109.01-1-12  
Prepared by:  
William Seegmuller  
914.654.5425

Date: 11/1/21  
Scale: 1/4"=1'-0"  
*W Seegmuller*

**Elevations 2**

**A-04**  
4 of 9





WEST ELEVATION  
BACK SIDE VIEW

Address: **41 Mead Road**  
**Armonk, NY 10504**

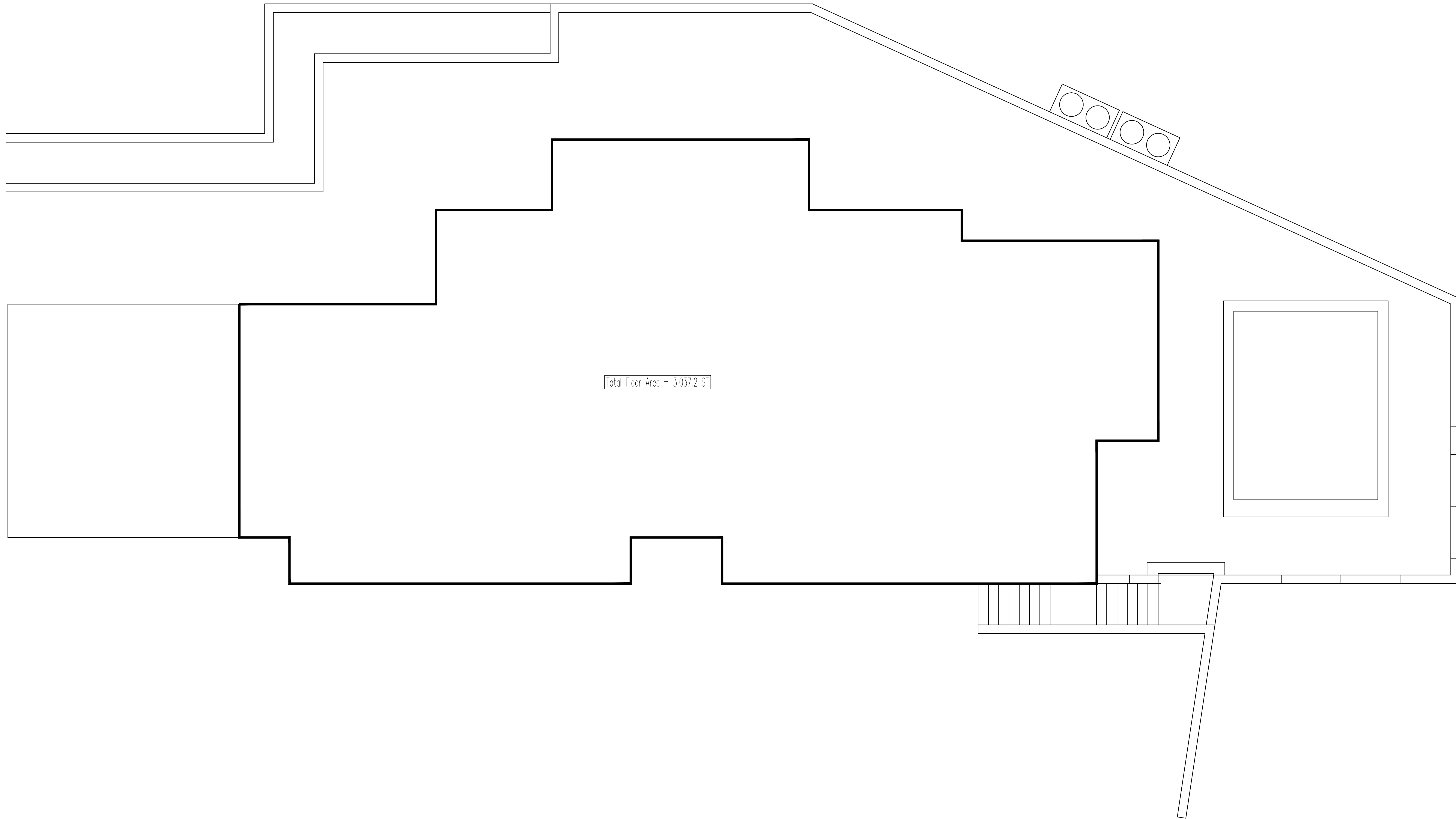
Owner: **Eric Salinas**  
Project: **Single Family Residence**

Tax ID: 109.01-1-12  
Prepared by:  
William Seegmuller  
914.654.5425

Date: 11/1/21  
Scale: 1/4"=1'-0"  
*W Seegmuller*

**Elevations 3**

**A-05**  
5 of 9



Address: **41 Mead Road**  
**Armonk, NY 10504**

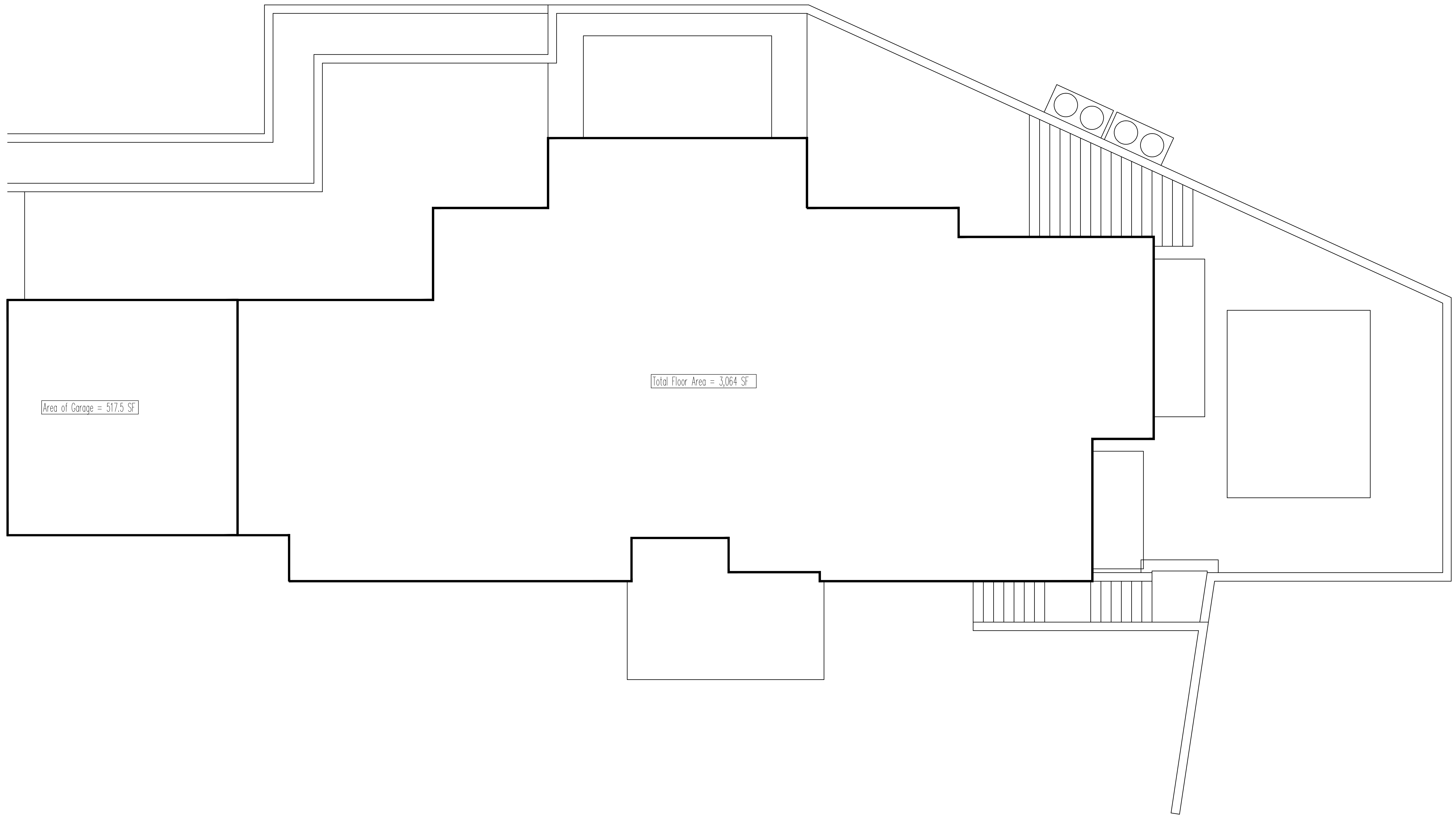
Owner: **Eric Salinas**  
 Project: **Single Family Residence**

Tax ID: 109.01-1-12  
 Prepared by:  
 William Seegmuller  
 914.654.5425

Date: 11/1/21  
 Scale: 1/4"=1'-0"  
*W Seegmuller*

**Basement Floor Plan**

**A-06**  
 6 of 9



Address: **41 Mead Road**  
**Armonk, NY 10504**

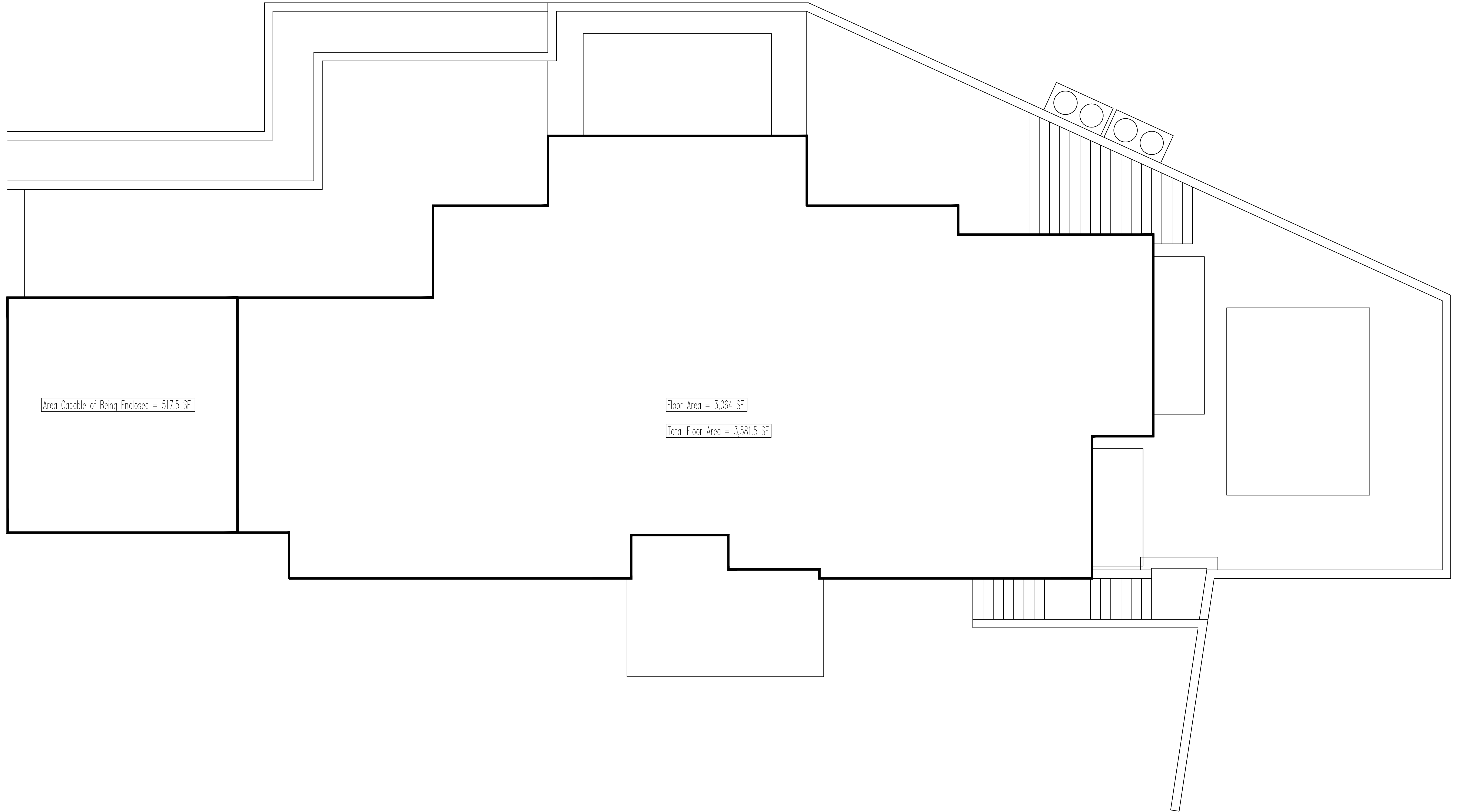
Owner: **Eric Salinas**  
 Project: **Single Family Residence**

Tax ID: 109.01-1-12  
 Prepared by:  
 William Seegmuller  
 914.654.5425

Date: 11/1/21  
 Scale: 1/4"=1'-0"  
*W Seegmuller*

**First Floor Plan**

**A-07**  
 7 of 9



Address: **41 Mead Road**  
**Armonk, NY 10504**

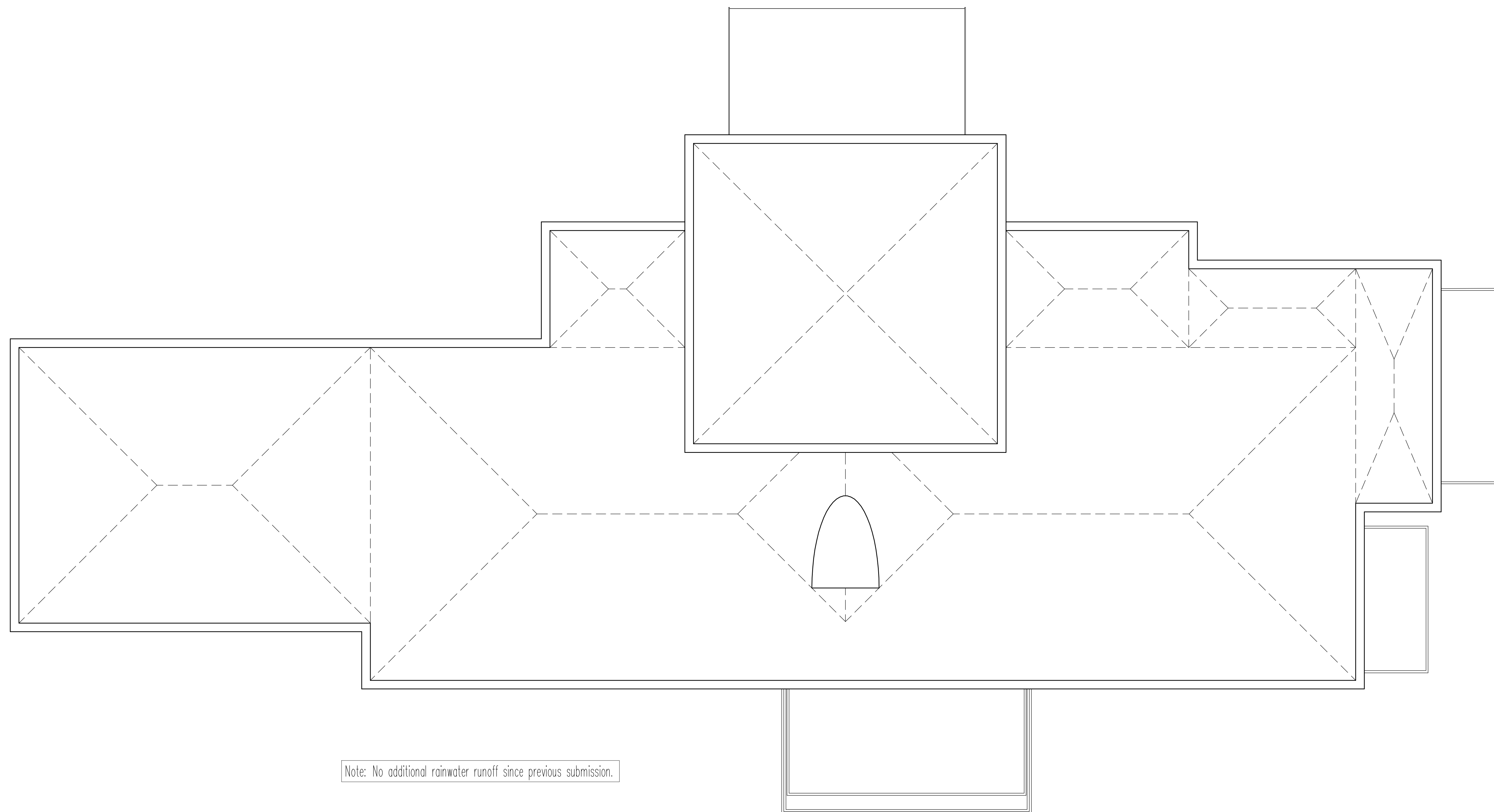
Owner: **Eric Salinas**  
 Project: **Single Family Residence**

Tax ID: 109.01-1-12  
 Prepared by:  
 William Seegmuller  
 914.654.5425

Date: 11/1/21  
 Scale: 1/4"=1'-0"  
*W Seegmuller*

**Second Floor Plan**

**A-08**  
 8 of 9



Note: No additional rainwater runoff since previous submission.

**Address:** 41 Mead Road  
Armonk, NY 10504

**Owner:** Eric Salinas  
**Project:** Single Family Residence

Tax ID: 109.01-1-12  
Prepared by:  
William Seegmuller  
914.654.5425

Date: 11/1/21  
Scale: 1/4"=1'-0"  
*W Seegmuller*

**Roof Plan**

**A-09**  
9 of 9



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Salinas Residence Date: 11/27/21

Tax Map Designation or Proposed Lot No.: 109.01-1-12

#### Floor Area

- |     |   |                    |
|-----|---|--------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>3.98 Acres</u>  |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):  | <u>13,571.9 sf</u> |
| 3.  | Amount of floor area contained within first floor:<br><u>0</u> existing + <u>3064 sf</u> proposed =                                 | <u>3064 sf</u>     |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>3581.5 sf</u> proposed =                              | <u>3581.5 sf</u>   |
| 5.  | Amount of floor area contained within garage:<br><u>0</u> existing + <u>517.5 sf</u> proposed =                                     | <u>517.5 sf</u>    |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>0</u> existing + <u>0</u> proposed =                 | <u>0</u>           |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0</u> existing + <u>3037.2 sf</u> proposed = | <u>3037.2 sf</u>   |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed =            | <u>0</u>           |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                           | <u>0</u>           |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =   | <u>10200,2 sf</u>  |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

\_\_\_\_\_  
Date



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Salinas Residence Date: 11/27/21

Tax Map Designation or Proposed Lot No.: 109.01-1-12

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 3.98 Acres
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 19738.7 sf
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
Distance principal home is beyond minimum front yard setback  
0 x 10 = 0
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 19738.7 sf
5. Amount of lot area covered by **principal building**:  
0 existing + 3629.54 sf proposed = 3629.54 sf
6. Amount of lot area covered by **accessory buildings**:  
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:  
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:  
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
0 existing + 5484.6 sf proposed = 5484.6 sf
10. Amount of lot area covered by **terraces**:  
0 existing + 0 proposed = (Included in walkways)
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
0 existing + 292.71 sf proposed = 292.71 sf
12. Amount of lot area covered by **all other structures**:  
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 9406.85 sf

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

\_\_\_\_\_  
Date



# TOWN OF NORTH CASTLE

17 Bedford Road

Armonk, N.Y. 10504

914-273-3000 ext. 44 Fax 914-273-3554

Building@northcastleny.com

## BUILDING PERMIT

**Permit No.:** 2020-3191  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 09/28/2020  
**Expiration Date:** 09/28/2022  
**Cost of Construction:** \$800,000.00  
**Total Fees:** \$11,225.00

**Owner:**  
GREENWICH HOLDINGS LLC JP  
15 EAST PUTNAM AVE STE. 143  
GREENWICH, CT 06830

**Contractor:**  
JP Holdings LLC  
15 East Putnam Ave Ste 143  
GreenwichCT06830

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

### Project Description:

ONE FAMILY RESIDENCE INCLUDING RETAINING WALLS, PAVING, DRIVEWAY

### Required Inspections:

### Conditions:

1. The Building permit shall be visibly displayed at the work site and shall remain visible until the authorized work has been inspected.
2. All work shall be performed in accordance with the Town of North Castle code, the NYS Uniform code and the construction documents which have been submitted with and accepted as part of the application for the building permit.
3. The permit holder shall immediately notify the Building Inspector of any change occurring during the course of the work. If the Building Inspector determines that such change warrants a new or amended building permit, such change shall not be made until and unless a new or amended building permit reflecting such change is issued.
3. Building permits shall become invalid unless the authorized work is commenced within 12 months following the date of issuance. Building permits shall expire 24 months after the date of issuance.
4. It is the responsibility of the owner or agent to call for all of the required inspections listed on this permit at least one day in advance.
5. Occupancy of these premises is prohibited until after a final inspection has been conducted, all fees have been paid and a Certificate of Occupancy or Compliance has been issued.

Rob Melillo  
Building/ Fire Inspector





**Town of North Castle**  
**17 Bedford Road**  
**Armonk, N.Y. 10504**  
914-273-3000 ext. 44 Fax 914-273-3554  
Building@northcastleny.com

## **ADMINISTRATIVE WETLAND PERMIT**

**Permit No.:** 2020-3192

**SBL:** 109.01-1-12

**Zoned:** R-2A

**Location:** 41 MEAD RD

**Date:** 09/28/2020

**Expiration Date:** 09/28/2022

**Total Fees:** \$

**Owner:**

GREENWICH HOLDINGS LLC JP  
15 EAST PUTNAM AVE STE. 143  
GREENWICH, CT 06830

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

**Project Description:**

ONE FAMILY RESIDENCE INCLUDING RETAINING WALLS, PAVING, DRIVEWAY

**Additional Conditions:**

**Conditions:**

1. No activity shall be permitted within wetlands or within the regulated wetland buffer area, except as approved herein.
2. Five days, advance notice must be given to the Town Wetland Consultant (914-273-2323) and Building Inspector (914-273-3000 ext. 44) prior to commencement of work.
3. Prior to any land disturbance activities, all sediment and erosion controls shall be installed in the work area to the satisfaction of the Town Building Inspector.
4. All work shall be performed in accordance with the "Erosion Control Standards", as set forth in Chapter 340 "Wetlands and Watercourse Protection" and Chapter 267 "Stormwater Management" of the Town Code. The Westchester County Best Management Practices Manual on Construction Related Activities shall be used to provide guidelines for design and implementation of all erosion and sediment control devices.
5. Periodic site inspections will be conducted by the Town Wetland Consultant to confirm continued compliance with the conditions of this Wetland Permit Approval.

Rob Melillo  
Building/ Fire Inspector



**Town of North Castle**  
**17 Bedford Road**  
**Armonk, N.Y. 10504**  
914-273-3000 ext. 44 Fax 914-273-3554  
Building@northcastleny.com

## **TREE PERMIT**

**Permit No.:** 2020-3193  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 03/30/2020  
**Expiration Date:** 06/28/2020  
**Total Fees:** \$  
**Total Trees:**

**Owner:**  
JP GREENWICH HOLDINGS LLC  
15 EAST PUTNAM AVE STE. 143  
GREENWICH, CT 06830

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

### **Project Description:**

Tree Removal for One Family House

### **Required Inspections:**

### **Conditions:**

1. All work shall be performed in accordance with the Town of North Castle code, the NYS Uniform code and the construction documents which have been submitted with and accepted as part of the application for the building permit.
2. The permit holder shall immediately notify the Building Inspector of any change occurring during the course of the work. If the Building Inspector determines that such change warrants a new or amended building permit, such change shall not be made until and unless a new or amended building permit reflecting such change is issued.
3. Building permits shall become invalid unless the authorized work is commenced within 12 months following the date of issuance. Building permits shall expire 24 months after the date of issuance.
4. It is the responsibility of the owner or agent to call for all of the required inspections listed on this permit at least one day in advance.

Rob Melillo  
Building/ Fire Inspector



**Town of North Castle**  
**17 Bedford Road**  
**Armonk, N.Y. 10504**  
914-273-3000 ext. 44 Fax 914-273-3554  
Building@northcastleny.com

## **ELECTRICAL PERMIT**

**Permit No.:** 2021-0476  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 04/20/2021  
**Expiration Date:** 04/20/2023  
**Total Fees:** \$75.00

**Owner:**  
GREENWICH HOLDINGS LLC JP  
15 EAST PUTNAM AVE STE. 143  
GREENWHICH, CT 06830

**Electrician:**  
  
Antonio Ferraro Elec  
313 High Ridge  
Peekskill NY 10566

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

### **Project Description:**

Temp Service. BP 2020-3191

### **Required Inspections:**

Electrical Certificate/ Final

### **Conditions:**

1. The Building permit shall be visibly displayed at the work site and shall remain visible until the authorized work has been inspected.
2. All work shall be performed in accordance with the Town of North Castle code, the NYS Uniform code and the construction documents which have been submitted with and accepted as part of the application for the building permit.
3. The permit holder shall immediately notify the Building Inspector of any change occurring during the course of the work. If the Building Inspector determines that such change warrants a new or amended building permit, such change shall not be made until and unless a new or amended building permit reflecting such change is issued.
3. Building permits shall become invalid unless the authorized work is commenced within 12 months following the date of issuance. Building permits shall expire 24 months after the date of issuance.
4. It is the responsibility of the owner or agent to call for all of the required inspections listed on this permit at least one day in advance.
5. Occupancy of these premises is prohibited until after a final inspection has been conducted, all fees have been paid and a Certificate of Occupancy or Compliance has been issued.

Rob Melillo  
Building/ Fire Inspector



**Town of North Castle**  
17 Bedford Road  
Armonk, N.Y. 10504  
914-273-3000 ext. 44

## **BLASTING/ CHIPPING PERMIT**

**Permit No.:** 2021-0730  
**SBL:** 109.01-1-12  
**Zoned:** R-2A  
**Location:** 41 MEAD RD

**Date:** 06/08/2021  
**Expiration Date:** 09/06/2021  
**Total Fees:** \$250.00

**Owner:**  
GREENWICH HOLDINGS LLC JP  
15 EAST PUTNAM AVE STE. 143  
GREENWICH, CT 06830

**Contractor:**  
USA Developers LLC  
15 E Putnam Ave Suite 123  
Greenwich CT 06830

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure or work described herein.

**Project Description:**

chipping for the foundation

**Required Inspections:**

FINAL

**Conditions:**

1. Chipping shall be limited to the hours of 8:30 am to 4:00 pm, Monday through Friday. Rock chipping is prohibited on Saturdays, Sundays and legal holidays.
2. Notice of chipping shall be sent by first-class mail to all property owners within a distance of 500 feet of all property lines of the property on which the chipping is to take place. Notice of chipping shall be mailed by the applicant at least 10 days before chipping shall begin. Proof of mailing to all required property owners shall be demonstrated by providing the Town with a certificate of mailing (PS Form 3817 or 3877). Delivery of the notice of intent to blast, as required by this section, shall be the sole responsibility of the applicant for the chipping permit.

---

Rob Melillo  
Building/ Fire Inspector

RESOLUTION OF APPROVAL FOR AREA VARIANCE

ZONING BOARD OF APPEALS  
TOWN OF NORTH CASTLE

-----X

In the matter of the Application of

**J P GREENWICH HOLDINGS, LLC.**

-----X

WHEREAS, the applicant, **J P GREENWICH HOLDINGS, LLC., 41 Mead Road, Armonk, NY 10504** and known on the Tax Assessment Map of the Town of North Castle as Section 109.01, Block 1, Lot 12, and located an R2A Zone, has applied for the following variance from the provisions of the zoning code of the Town of North Castle.

**THE APPLICANT IS REQUESTING A VARIANCE FROM SECTION 355-21 OF THE TOWN CODE TO ALLOW THE CONSTRUCTION OF A ONE FAMILY DWELLING HAVING A 31 FT. REAR YARD SETBACK IN A R2A ZONE WHICH REQUIRES A 50 FT. REAR YARD SETBACK, A DEFICIENCY OF 19 FT., FOR WHICH A VARIANCE WAS PREVIOUSLY GRANTED AND HAS EXPIRED.**

WHEREAS, prior to the hearing, members of the Board of Appeals conducted an inspection of the premises and surrounding neighborhood; and whereas on December 5, 2019, the Board conducted a duly noticed public hearing on the application, at which time all interested parties had the opportunity to be heard;

WHEREAS, the applicant has submitted proof of proper notice to nearby property owners required to receive notice thereof:

NOW, THEREFORE, the Board of Appeals makes the following findings:

1. The requested activity is a Type 2 action under the State Environmental Quality Review Act.
2. The variance is substantial, however, other factors ameliorate this in favor of the granting of the variance.
3. That the effect of any increased population density which may thus be produced upon available services facilities is not significant.
4. There will be no substantial change to the character of the neighborhood nor a substantial detriment to adjoining properties. It fits well into this neighborhood and on this difficult lot.
5. That the difficulty cannot be alleviated by some other method feasible for the applicant to pursue.
6. That in view of the manner in which the difficulty arose and considering all of the above factors, the interests of justice will be served by allowing the variance.
7. That the variance would not cause adverse aesthetic, environmental or ecological impacts on the property or on the surrounding area.

NOW, THEREFORE, BE IT RESOLVED, that the application for relief by the grant of the variances from the requirements of the Zoning Code of the Town of North Castle is hereby granted.

**Motion by: LESTER BERKELHAMER**

**Seconded by: JOHN STIPO**

<b>JOHN L. STIPO</b>	<b>voting</b>	<b>YES</b>
<b>LESTER BERKELHAMER</b>	<b>voting</b>	<b>YES</b>
<b>JOSEPH MONTICELLI</b>	<b>voting</b>	<b>YES</b>
<b>ROBERT GREER</b>	<b>voting</b>	<b>YES</b>

**THERE BEING FOUR (4) VOTES IN FAVOR, THE RESOLUTION IS GRANTED BY ORDER OF THE BOARD OF APPEALS.**

DATED:

1/9/2020

  
Joseph Monticelli, Chairman

  
Gerald Reilly, Esq.

I HEREBY CERTIFY this to be a true copy of a resolution approved by the vote of the Zoning Board of Appeals of the Town of North Castle at a meeting held on December 5, 2019 at the Town Hall, 15 Bedford Road, Armonk, New York

  
Lori J. Zawacki, Secretary