

January 4, 2022

[Via Email]

Adam R. Kaufman, AICP, Chairman
Residential Project Review Committee (RPRC)
17 Bedford Road
Armonk, NY 10504

***Re: 3 Long Pond Road, Armonk, New York
Rodriguez – Addition – Application for Amended RPRC Approval***

Dear Chairman Kaufman and Members of the RPRC:

This firm represents Ray Rodriguez and Nicole Celentano (“Applicants”), owners of the property located at 3 Long Pond Road (“Subject Property”). The purpose of this letter is to transmit this application for amended RPRC approval.

As you will recall, in 2016 the Applicants applied to the RPRC for an addition to their home. On September 20, 2016, the RPRC determined that Planning Board and Architectural Review Board approval were not required. A copy of the September 20, 2016 RPRC Determination Letter is attached as **Exhibit A**. There were four conditions of approval, including that “[t]he Applicant shall demonstrate that adequate preservation of screening between the two properties in the area of proposed disturbance shall be maintained to the satisfaction of the Town Engineer. If not, the Applicant shall supplement the screening in this area to the satisfaction of the Town Engineer.”

At the time that the approval was granted, there was limited screening between 3 Long Pond and 5 Long Pond. Accordingly, the Applicants planted eight (8) Green Giant Arborvitae along the common property line between these two parcels. A copy of the Applicant’s

planting plan showing the eight (8) Arborvitae is attached as **Exhibit B**. Subsequent to the Applicant's planting the Arborvitae, their neighbor at 5 Long Pond planted thirty (30) Arborvitae (each 12-14 feet tall) along the common property line with 3 Long Pond. An aerial image showing the additional thirty trees planted along the common property line is attached as **Exhibit C**.

Regrettably, the neighbor's Arborvitaes were not spaced properly when planted and were placed too close to the Applicant's trees. According to Gedney Tree Care, the standard planting distance between Arborvitae is 5 feet off center stem. *See* Gedney Tree Care letter dated December 17, 2021, attached as **Exhibit D**. The neighbor's trees were spaced 4 feet off center stem. The Applicants noticed that due to the insufficient spacing between trees, the eight (8) Arborvitae on 3 Long Pond were starting to thin in the lower canopy.

Instead of letting their trees die, the Applicants relocated the original eight (8) Arborvitae. The need for this relocation was confirmed by Marc Mollicone (ISA Certified Arborist NY-0678A). *See* Exhibit D. As shown on the marked plan attached as **Exhibit E**, the eight trees were moved from the area circled in green, to the areas circled in red. This relocation provides additional screening between 3 Long Pond and 5 Long Pond in an area that was otherwise unscreened.

Unfortunately, on December 9, 2021, the Applicants received a Notice of Violation/Order to Remedy from the Building Department for the relocation of screening trees and were directed to either (i) re-plant the trees as per the RPRC determination letter or (ii) file a new application with the RPRC. In light of the fact that there are currently thirty (30) Arborvitae, which provide more than ample screening between these two properties, in the same area where the Applicants originally planted their eight trees, the Applicants have chosen to file a new application with the RPRC to obtain approval for the trees that have been relocated in a more appropriate area on the Subject Property. In reviewing this application, it is respectfully requested that the RPRC take into consideration the number of trees that currently exist along the common property line between 3 Long Pond and 5 Long Pond. Had these trees been in their present location in September of 2016, it is highly unlikely that additional plantings would be required in this area.

In connection with this application, please find the RPRC Application attached as **Exhibit F**. Additionally, in support of this application, enclosed herewith please find the following plans:

- Site Plan-General Specs (Sheet AO), prepared by PCK Design Studio, dated February 1, 2016;
- Site Plan-General Specs (Sheet A1), prepared by PCK Design Studio, dated February 1, 2016; and
- Stormwater Mitigation Erosion Control Plan, prepared by Alfonzetti Engineering, P.C. dated August 31, 2016, last revised December 8, 2020.

Please place this matter on your January 18, 2022, agenda for our presentation and discussion. If you have any questions or concerns, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Kory Salomone", with a long horizontal flourish extending to the right.

Kory Salomone

EXHIBIT A



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625
Fax: (914) 273-3554
www.northcastleny.com

RPRC DETERMINATION LETTER

Project Name: RODRIGUEZ - Addition
Street Location: 3 LONG POND RD
Zoning District: R-1.5A Property Acreage: 1.50 Tax ID: 101.04-3-43
RPRC DECISION: Requires Planning Board Review Requires Architectural Review Board
 Requires Conservation Board Requires Zoning Board of Appeals
 Submit to Building Department Requires Admin Wetlands Permit
Date: September 20, 2016

The above referenced application was reviewed by the Residential Project Review Committee (RPRC) on September 20, 2016.

The Committee determined that Planning Board and Architectural Review Board approval of the proposed project is NOT REQUIRED.

However, the following issues will need to be addressed prior to the issuance of a building permit:

- Disturbances are proposed within the locally-regulated 100 foot wetland buffer. A local Wetland Permit will be required. The applicant shall illustrate the local wetland boundary and regulated 100 foot buffer on the plan for verification by the Town Wetland Consultant. Notify the Town Engineer once the wetland boundary has been established in the field.
- The applicant will need to submit a wetland mitigation plan to the Town Wetland Consultant that demonstrates the required 2:1 mitigation ratio.
- The Applicant will need to obtain a wetland permit recommendation of approval from the Conservation Board prior to the issuance of an administrative wetlands permit.
- The Applicant shall demonstrate that adequate preservation of screening between the two properties in the area of proposed disturbance shall be maintained to the satisfaction of the Town Engineer. If not, the Applicant shall supplement the screening in this area to the satisfaction of the Town Engineer.

At this time you may coordinate directly with the North Castle Building Department. DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.

If you would like to further discuss this matter, please do not hesitate to contact the Building Department.

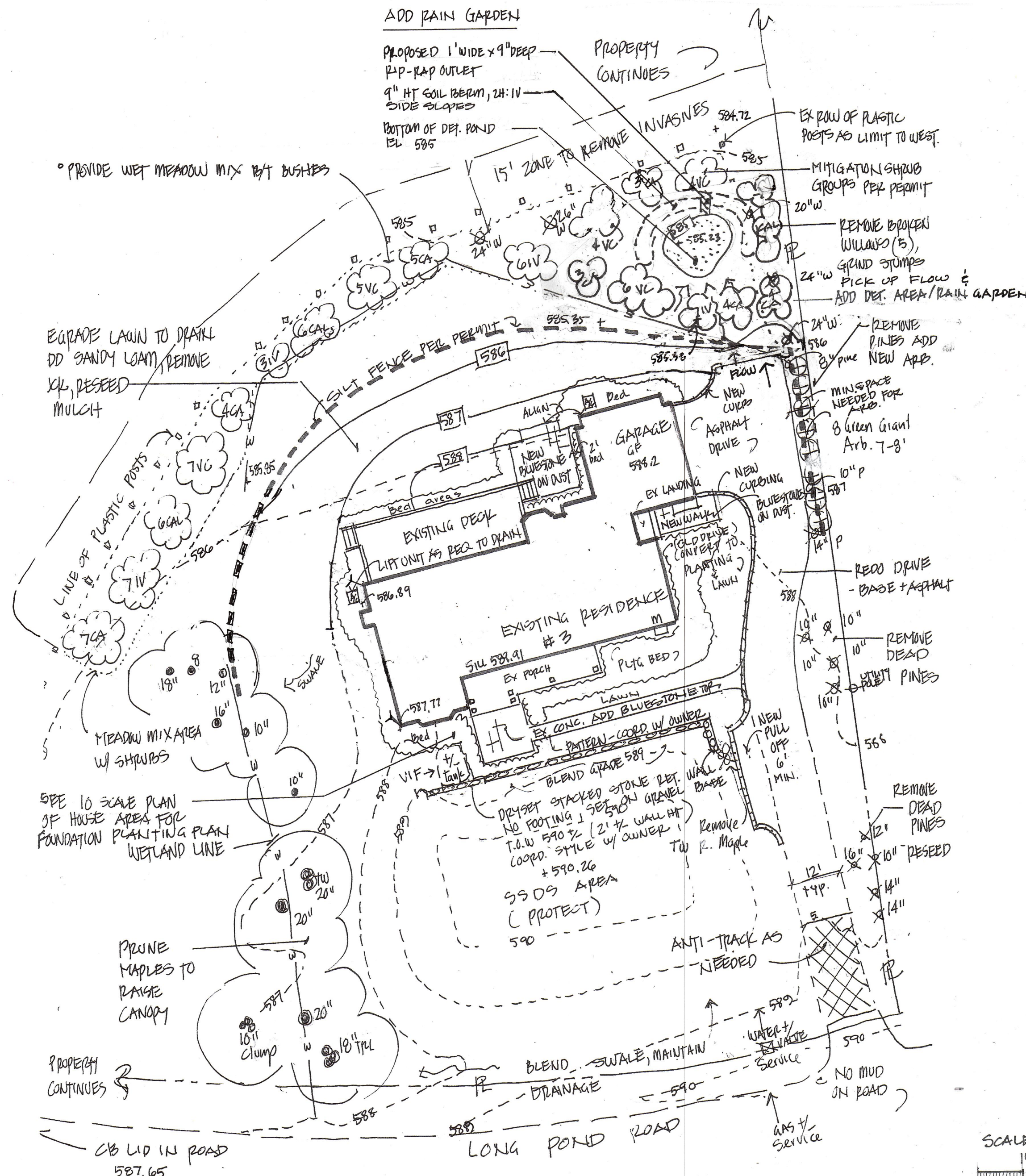
EXHIBIT B

NOTES:

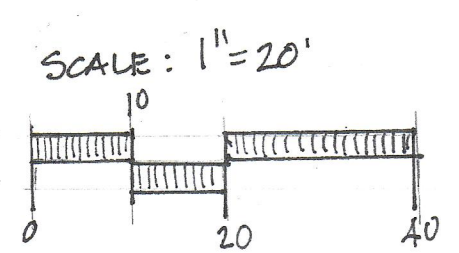
1. BASE INFORMATION AND EROSION AND SEDIMENT CONTROL, GRADING AND DRAINAGE FROM PLAN BY ALFONSETTI ENGINEERING, PC. 8.31.2016. SEE THIS PLAN FOR EROSION CONTROL NOTES AND ADDITIONAL NOTES /REQUIREMENTS
2. RAIN GARDEN AREA PER ABOVE PLAN TO BE SIZED PER ABOVE REFERENCED ENG. PLAN AND RELOCATED AS PER THIS PLAN.
3. MITIGATION PLANTING PER PLAN BY PC ARCHITECTURE ON T. MERRITS SURVEY DATED 6.30.2016 LIST AND LOCATIONS HAVE BEEN REPEATED ON THIS PLAN
4. UNDERGROUND UTILITIES ARE ONLY APPROXIMATE. IT IS CONTRACTORS RESPONSIBILITY TO CALL UPPO PRIOR TO ANY EXCAVATION. SEPTIC TANKS AND FIELD TO BE PROTECTED FROM COMPACTION AND DISTURBANCE DURING CONSTRUCTION.

MITIGATION PLANT LIST

SYM.	QUAN.	NAME	SIZE	REMARK
CAL	21	Clethra alnifolia 'Sixteen Candles' / Summersweet	#3	
IV	29	Ilex verticillata 'Red Sprite' / Winterberry	#3	
CA	23	Cornus amomum / Silky Dogwood	#3	
VC	26	Vaccinium corymbosum / Highbush Blueberry	#3	
		SEED MIX - native wet meadow		Between shrub groups



280
175
25x



DATE	REVISION
9.30.20	RELO RAIN GARDEN + COMBINE TO ONE
10.19.20	RESHAPE RAIN GARDEN

SCOPE OF PROPOSED IMPROVEMENTS WITH MITIGATION MEASURES AS PER PERMIT

3 LONG POND ROAD
North Castle, New York

Date: 8.27.2018

Sheet No. L.1

JAY FAIN & ASSOCIATES
Environmental Consulting Services, LLC
134 Round Hill Road, Fairfield, CT 06424
203-254-3156
e-mail: jfasciades@optonline.net

EXHIBIT C



3

Long Pond Rd

Long Pond Rd

Long Pond Rd

Long Pond Rd

6

3



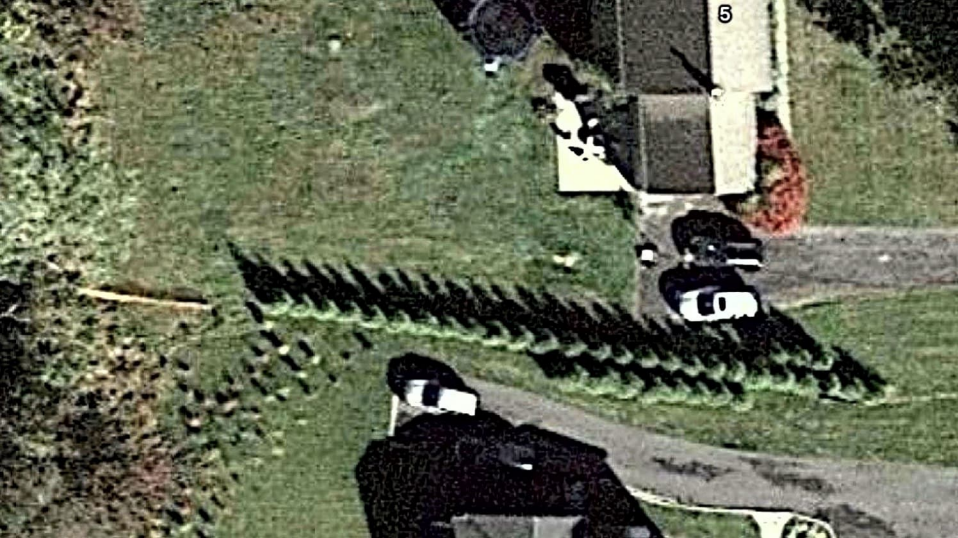


EXHIBIT D

12/17/2021

To whom this may concern,

After site inspection at 3 Long Pond Road, Armonk NY

I observed the following:

1. Green Giant Arborvitae right side of driveway needed to be moved due to trees being planted too close together. Trees were starting to thin in the lower canopy. Standard planting distance is 5 feet off center stem. Trees were spaced 4 feet of center stem. Existing trees are growing tip to tip and still providing an adequate buffer in my opinion.

** Plants are living organisms. We use the most up to date equipment to assess the condition and or trends of the structural weakness of your trees, and or advise accordingly to the best of our knowledge.

However, we cannot be held liable if our findings in terms of stability, structure, or general health do not match actual conditions. Nor can we be held responsible for any future calamities/damages after the implementation of our recommendation. **

Marc Mollicone, President



ISA Certified Arborist NY-0678A

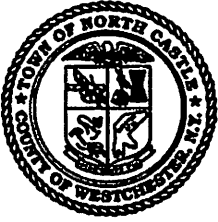


P.O. Box 305
Rye, NY 10580

PHONE (914) 967-2488
FAX
EMAIL gedneytreecare@gmail.com
WEBSITE gedneytreecare.com

EXHIBIT E

EXHIBIT F



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

RPRC
Adam R. Kaufman, Chairman

**RESIDENTIAL PROJECT REVIEW COMMITTEE
RPRC 2021**

MEETING DATES - 9:30 .a.m.

January 5
January 19
February 2
February 16

March 2
March 16
April 6
April 20

May 4
May 18
June 1
June 15

July 6
July 20
August 3
August 17

September 7
September 21
October 5
October 19

November 2
November 16
December 7
December 21

**1 PDF ELECTRONIC SUBMISSION
DEADLINE By 12:00 p.m.**

December 15, 2020
January 5, 2021
January 19
February 2

February 16
March 2
March 16
April 6

April 20
May 4
May 18
June 1

June 15
July 6
July 20
August 3

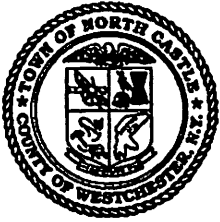
August 17
September 7
September 21
October 5

October 19
November 2
November 16
December 7

Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

Please do not submit hard copy of submission

ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 Long Pond Rd, Armonk, NY

Section III- DESCRIPTION OF WORK:

See attached letter.

Section III- CONTACT INFORMATION:

APPLICANT: Roy Rodriguez + Nicole Celenzano

ADDRESS: 3 Long Pond Rd, Armonk, NY 10504

PHONE: _____ MOBILE: 914-364-6294 EMAIL: drcelezano@hotmail.com

PROPERTY OWNER: Same

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: Kory Salomone (Zarin + Steinmetz)

ADDRESS: 81 Main St, Suite 415, White Plains, NY 10601

PHONE: 914-220-9804 MOBILE: 914-391-8478

EMAIL: Ksalomone@zarin-steinmetz.com

Section IV- PROPERTY INFORMATION:

Zone: R-1.5A Tax ID (lot designation) 101.04-3-43



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Rodriguez/Celentano

Initial Submittal Revised Preliminary

Street Location: 3 Long Pond Road

Zoning District: R-1.5A Property Acreage: 1.5 Tax Map Parcel ID: 101.04-3-4

Date: 1/4/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com**

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): _____
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)): _____
Distance principal home is beyond minimum front yard setback
_____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3
5. Amount of lot area covered by **principal building**:
_____ existing + _____ proposed = _____
6. Amount of lot area covered by **accessory buildings**:
_____ existing + _____ proposed = _____
7. Amount of lot area covered by **decks**:
_____ existing + _____ proposed = _____
8. Amount of lot area covered by **porches**:
_____ existing + _____ proposed = _____
9. Amount of lot area covered by **driveway, parking areas and walkways**:
_____ existing + _____ proposed = _____
10. Amount of lot area covered by **terraces**:
_____ existing + _____ proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
_____ existing + _____ proposed = _____
12. Amount of lot area covered by **all other structures**:
_____ existing + _____ proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = _____

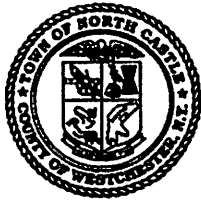
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If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

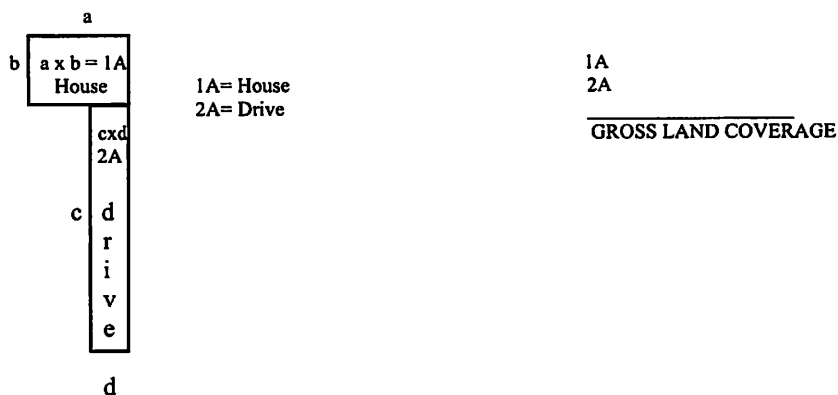
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below

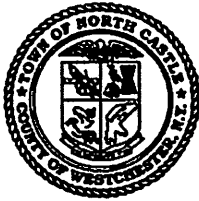


LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. Maximum permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
 - _____ existing + _____ proposed = _____
4. Amount of floor area contained within second floor:
 - _____ existing + _____ proposed = _____
5. Amount of floor area contained within garage:
 - _____ existing + _____ proposed = _____
6. Amount of floor area contained within porches capable of being enclosed:
 - _____ existing + _____ proposed = _____
7. Amount of floor area contained within basement (if applicable – see definition):
 - _____ existing + _____ proposed = _____
8. Amount of floor area contained within attic (if applicable – see definition):
 - _____ existing + _____ proposed = _____
9. Amount of floor area contained within all accessory buildings:
 - _____ existing + _____ proposed = _____
10. Proposed floor area: Total of Lines 3 – 9 = _____

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If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

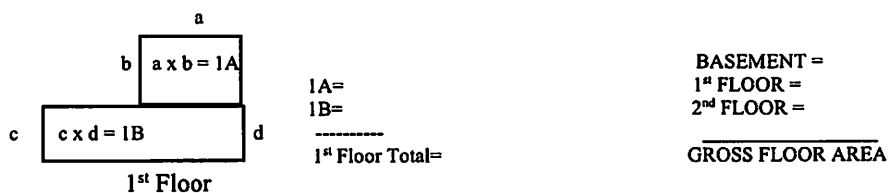
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



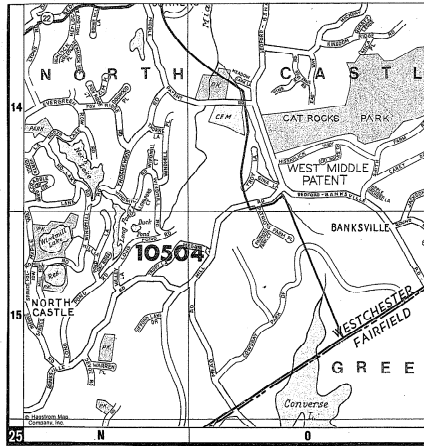
LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

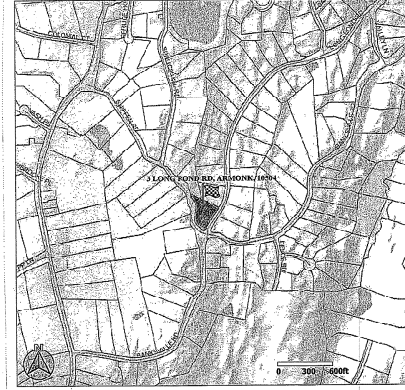


3 LOCATOR MAP N.T.S.



2 AERIAL PHOTO (GOOGLE EARTH)

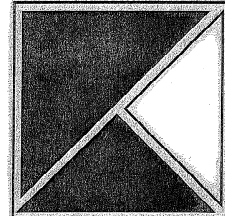
Mapping Westchester County



4 VICINITY MAP

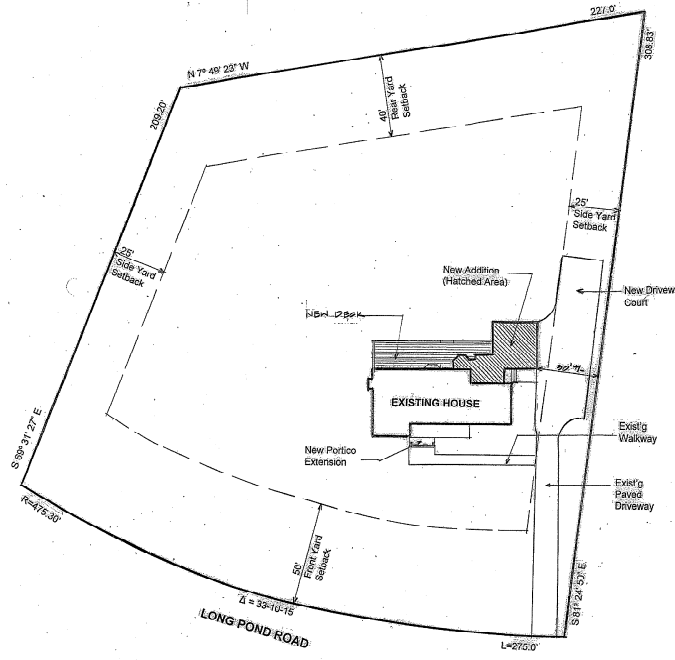
SYMBOLS & ABBREVIATIONS:

(W)	Window Designation	In	Inch
(ED)	Exterior Door Designation	Insul	Insulation
Align	Align Finishes	Max.	Maximum
(SD)	Smoke Detector	M.E.S.	Minimum Elevation
(C)	Carbon Monoxide Detector	Standard	Standard
(H)	Heat Detector	M.O.	Masonry Opening
A.F.F.	Above Finish Floor	Min.	Minimum
Alum	Aluminum	Misc.	Miscellaneous
B.E.S.	Base Elevation	No.	Number
Standard	Standard	N.I.C.	Not in Contract
Cg	Ceiling	O.H.	Overhead
CJ	Ceiling Joist	O.C.	On Center
C.L.	Center Line	R.O.	Rough Opening
C.T.	Ceramic Tile		
Clo.	Closet	H	Radius
Conc.	Concrete	RV	Roof Rafter
Dia.	Diameter	Stl.	Steel
Dn	Down	T/PL	Top of Plate
Dwg	Drawing	T.O.S.	Top of Slab
EL	Elevation	Typ.	Typical
exist'g	Existing	U.O.N	Unless otherwise noted
Fin.	Finish	V.V.F.	Verify in Field
FJ	Floor Joist	w/	With
Flr / Fl	Floor / Flooring	W.I.C.I.	Walk-in Closet
FT	Foot		
Ga	Gauge		
HVAC	Heating, Ventilation & Air Conditioning		
Hr	Hour		



PCK Design Studio
 45 Kensico Drive, 2nd Floor
 Mount Kisco, NY 10549
 914-666-0580
 Fax: 666-0664

RODRIGUEZ
 RESIDENCE
 3 Long Pond Rd.
 ARMONK, NY



1 SITE PLAN
 Note: This site plan was taken from a survey prepared by Ralph McDonald Surveyor
 Scale: 1" = 30'

TITLE
**SITE PLAN
 GENERAL SPECS**
 The Undersigned APPROVES the Design Development Phase & AUTHORIZES PCK Design Studio, Inc. to PROCEED with the FILING PHASE
 Signature _____ Date _____

© 2016 PCK Design Studio

PREPARED BY: • Peter C. Kurth	REVISIONS 1. Peter C. Kurth 2/2/2016
DATE: 02/01/16	SHEET NO.:
SCALE: As Noted	A0
JOB NO. 15-30	

GENERAL CONSTRUCTION SPECIFICATIONS

DIVISION GENERAL CONDITIONS

1. **State of Work:**
2. The item Contractor shall refer to each Contractor / Sub Contractor performing work on this project.
3. Provide all labor, materials and equipment required to complete all work shown on drawings and specifications. All materials shall be of the highest quality. Materials and workmanship shall be new and of the best quality. The space below and above finished work shall be kept clean and free of debris. All work shall be done in accordance with the minimum standards for the type of work in the form and arrangement of work as indicated on drawings.
4. No work which involves additional cost to or interference with existing work shall be performed without the Owner's and Architect's written approval having been received.
5. The Contractor shall maintain safe and accessible for a period of one year from the accepted completion of the project, against deterioration of the work.
6. Contractor is to apply appropriate insurance, including but not limited to liability of the sums provided by applicable building regulations over the project.
7. If the location of the work is in an occupied area that must remain in operation during the progress of the work, the Contractor is to provide a minimum of disturbance with the operation.
8. The Contractor shall take all necessary precautions to protect the existing work and the Architect shall be notified immediately in writing of any damage to existing work and the Architect shall be notified immediately in writing of any damage to existing work.
9. The Contractor shall take all necessary precautions to protect the existing work and the Architect shall be notified immediately in writing of any damage to existing work.

DIVISION 5 - CONCRETE

1. **General:** Work includes concrete footings, foundation walls, grade beams and slabs, sidewalks, curbs, and all concrete work indicated on drawings or as hereinafter specified.
2. **Concrete:**
 - a) **Ready-Mix Concrete:** Ready-mix concrete to be placed in 100% of all concrete work. Ready-mix concrete shall be delivered to the job site in a concrete truck. Ready-mix concrete shall be placed in 100% of all concrete work. Ready-mix concrete shall be placed in 100% of all concrete work.
 - b) **Formwork:** Formwork shall be designed to support the weight of the concrete and any other loads. Formwork shall be designed to support the weight of the concrete and any other loads.
 - c) **Reinforcement:** Reinforcement shall be placed in accordance with the drawings and specifications. Reinforcement shall be placed in accordance with the drawings and specifications.
 - d) **Finishing:** Concrete shall be finished in accordance with the drawings and specifications. Concrete shall be finished in accordance with the drawings and specifications.

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1. All beams and joists and rafters to be set with normal crown up.
2. Provide double cutters and headers around all roof skylights unless otherwise noted.
3. Roof and floor framing shall be in place as shown on drawings. All joists to have 1/2" minimum flat and smooth top surfaces. Downward sagging, all joists to be supported at all corners and properly braced against all openings. Connect all joists to be framed with 2x4 blocking. Wood joists shall be placed in all bearing partitions and floor joists over 12" high set in floor joists.
4. 16x48 blocking and all conditioning equipment shall be sized and installed in accordance with the City of New York Uniform Fire Prevention and Building Code and Energy Conservation Code.
5. 16x48 blocking and all conditioning equipment, accessories and equipment shall be 1/2" Lined and installed in accordance with same. Additionally recognized listing laboratories other than U.L. or nationally recognized trade associations will be accepted in lieu of U.L.
6. 16x48 blocking shall be 1/2" Lined and installed in accordance with same. Additionally recognized listing laboratories other than U.L. or nationally recognized trade associations will be accepted in lieu of U.L.
7. All framing shall have a rated span rating of 200'. Framing joists shall be 2x4 through 2x8 framing.
8. All framing shall be 1/2" Lined and installed in accordance with same. Additionally recognized listing laboratories other than U.L. or nationally recognized trade associations will be accepted in lieu of U.L.
9. Framing joists shall be perpendicular to joists and ending with staggered joints. Provide 2x4 blocking.
10. Wall studs: Shall be 2x6 1/2" O.C. for exterior walls and 2x4 16 O.C. for interior walls, or as noted otherwise.
11. Rafters and floor joists shall be spaced, spans and locations as indicated on drawings.
12. All 16x48-L blocking indicated on framing plans shall be manufactured by "The Joist Manufacturer's" only, spans and locations shall be as indicated on framing plans. Installation, cutting and the use of framing connectors shall be in accordance with the manufacturer's recommendations.
13. All bolts not indicated with "1/2" diameter comply with walnuts and nuts.
14. Frame with double headers and trimmers around openings larger than opening of joists or studs.
15. Provide 4x4 or 6x6 post (3) 3x1 or 2x4 2x6 2x8 2x10 2x12 2x14 2x16 2x18 2x20 2x22 2x24 2x26 2x28 2x30 2x32 2x34 2x36 2x38 2x40 2x42 2x44 2x46 2x48 2x50 2x52 2x54 2x56 2x58 2x60 2x62 2x64 2x66 2x68 2x70 2x72 2x74 2x76 2x78 2x80 2x82 2x84 2x86 2x88 2x90 2x92 2x94 2x96 2x98 2x100 2x102 2x104 2x106 2x108 2x110 2x112 2x114 2x116 2x118 2x120 2x122 2x124 2x126 2x128 2x130 2x132 2x134 2x136 2x138 2x140 2x142 2x144 2x146 2x148 2x150 2x152 2x154 2x156 2x158 2x160 2x162 2x164 2x166 2x168 2x170 2x172 2x174 2x176 2x178 2x180 2x182 2x184 2x186 2x188 2x190 2x192 2x194 2x196 2x198 2x200 2x202 2x204 2x206 2x208 2x210 2x212 2x214 2x216 2x218 2x220 2x222 2x224 2x226 2x228 2x230 2x232 2x234 2x236 2x238 2x240 2x242 2x244 2x246 2x248 2x250 2x252 2x254 2x256 2x258 2x260 2x262 2x264 2x266 2x268 2x270 2x272 2x274 2x276 2x278 2x280 2x282 2x284 2x286 2x288 2x290 2x292 2x294 2x296 2x298 2x300 2x302 2x304 2x306 2x308 2x310 2x312 2x314 2x316 2x318 2x320 2x322 2x324 2x326 2x328 2x330 2x332 2x334 2x336 2x338 2x340 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2x1006 2x1008 2x1010 2x1012 2x1014 2x1016 2x1018 2x1020 2x1022 2x1024 2x1026 2x1028 2x1030 2x1032 2x1034 2x1036 2x1038 2x1040 2x1042 2x1044 2x1046 2x1048 2x1050 2x1052 2x1054 2x1056 2x1058 2x1060 2x1062 2x1064 2x1066 2x1068 2x1070 2x1072 2x1074 2x1076 2x1078 2x1080 2x1082 2x1084 2x1086 2x1088 2x1090 2x1092 2x1094 2x1096 2x1098 2x1100 2x1102 2x1104 2x1106 2x1108 2x1110 2x1112 2x1114 2x1116 2x1118 2x1120 2x1122 2x1124 2x1126 2x1128 2x1130 2x1132 2x1134 2x1136 2x1138 2x1140 2x1142 2x1144 2x1146 2x1148 2x1150 2x1152 2x1154 2x1156 2x1158 2x1160 2x1162 2x1164 2x1166 2x1168 2x1170 2x1172 2x1174 2x1176 2x1178 2x1180 2x1182 2x1184 2x1186 2x1188 2x1190 2x1192 2x1194 2x1196 2x1198 2x1200 2x1202 2x1204 2x1206 2x1208 2x1210 2x1212 2x1214 2x1216 2x1218 2x1220 2x1222 2x1224 2x1226 2x1228 2x1230 2x1232 2x1234 2x1236 2x1238 2x1240 2x1242 2x1244 2x1246 2x1248 2x1250 2x1252 2x1254 2x1256 2x1258 2x1260 2x1262 2x1264 2x1266 2x1268 2x1270 2x1272 2x1274 2x1276 2x1278 2x1280 2x1282 2x1284 2x1286 2x1288 2x1290 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2x1578 2x1580 2x1582 2x1584 2x1586 2x1588 2x1590 2x1592 2x1594 2x1596 2x1598 2x1600 2x1602 2x1604 2x1606 2x1608 2x1610 2x1612 2x1614 2x1616 2x1618 2x1620 2x1622 2x1624 2x1626 2x1628 2x1630 2x1632 2x1634 2x1636 2x1638 2x1640 2x1642 2x1644 2x1646 2x1648 2x1650 2x1652 2x1654 2x1656 2x1658 2x1660 2x1662 2x1664 2x1666 2x1668 2x1670 2x1672 2x1674 2x1676 2x1678 2x1680 2x1682 2x1684 2x1686 2x1688 2x1690 2x1692 2x1694 2x1696 2x1698 2x1700 2x1702 2x1704 2x1706 2x1708 2x1710 2x1712 2x1714 2x1716 2x1718 2x1720 2x1722 2x1724 2x1726 2x1728 2x1730 2x1732 2x1734 2x1736 2x1738 2x1740 2x1742 2x1744 2x1746 2x1748 2x1750 2x1752 2x1754 2x1756 2x1758 2x1760 2x1762 2x1764 2x1766 2x1768 2x1770 2x1772 2x1774 2x1776 2x1778 2x1780 2x1782 2x1784 2x1786 2x1788 2x1790 2x1792 2x1794 2x1796 2x1798 2x1800 2x1802 2x1804 2x1806 2x1808 2x1810 2x1812 2x1814 2x1816 2x1818 2x1820 2x1822 2x1824 2x1826 2x1828 2x1830 2x1832 2x1834 2x1836 2x1838 2x1840 2x1842 2x1844 2x1846 2x1848 2x1850 2x1852 2x1854 2x1856 2x1858 2x1860 2x1862 2x1864 2x1866 2x1868 2x1870 2x1872 2x1874 2x1876 2x1878 2x1880 2x1882 2x1884 2x1886 2x1888 2x1890 2x1892 2x1894 2x1896 2x1898 2x1900 2x1902 2x1904 2x1906 2x1908 2x1910 2x1912 2x1914 2x1916 2x1918 2x1920 2x1922 2x1924 2x1926 2x1928 2x1930 2x1932 2x1934 2x1936 2x1938 2x1940 2x1942 2x1944 2x1946 2x1948 2x1950 2x1952 2x1954 2x1956 2x1958 2x1960 2x1962 2x1964 2x1966 2x1968 2x1970 2x1972 2x1974 2x1976 2

