## ZARIN & STEINMETZ

Kory Salomone • ksalomone@zarin-steinmetz.com

• Also admitted in CT

January 4, 2022

[Via Email]

Adam R. Kaufman, AICP, Chairman Residential Project Review Committee (RPRC) 17 Bedford Road Armonk, NY 10504

#### Re: 3 Long Pond Road, Armonk, New York Rodriguez – Addition – Application for Amended RPRC Approval

Dear Chairman Kaufman and Members of the RPRC:

This firm represents Ray Rodriguez and Nicole Celentano ("Applicants"), owners of the property located at 3 Long Pond Road ("Subject Property"). The purpose of this letter is to transmit this application for amended RPRC approval.

As you will recall, in 2016 the Applicants applied to the RPRC for an addition to their home. On September 20, 2016, the RPRC determined that Planning Board and Architectural Review Board approval were not required. A copy of the September 20, 2016 RPRC Determination Letter is attached as **Exhibit A**. There were four conditions of approval, including that '[t]he Applicant shall demonstrate that adequate preservation of screening between the two properties in the area of proposed disturbance shall be maintained to the satisfaction of the Town Engineer. If not, the Applicant shall supplement the screening in this area to the satisfaction of the Town Engineer."

At the time that the approval was granted, there was limited screening between 3 Long Pond and 5 Long Pond. Accordingly, the Applicants planted eight (8) Green Giant Arborvitae along the common property line between these two parcels. A copy of the Applicant's planting plan showing the eight (8) Arborvitae is attached as **Exhibit B**. Subsequent to the Applicant's planting the Arborvitae, their neighbor at 5 Long Pond planted thirty (30) Arborvitae (each 12-14 feet tall) along the common property line with 3 Long Pond. An aerial image showing the additional thirty trees planted along the common property line is attached as **Exhibit C**.

Regrettably, the neighbor's Arborvitaes were not spaced properly when planted and were placed too close to the Applicant's trees. According to Gedney Tree Care, the standard planting distance between Arborvitae is 5 feet off center stem. See Gedney Tree Care letter dated December 17, 2021, attached as **Exhibit D**. The neighbor's trees were spaced 4 feet off center stem. The Applicants noticed that due to the insufficient spacing between trees, the eight (8) Arborvitae on 3 Long Pond were starting to thin in the lower canopy.

Instead of letting their trees die, the Applicants relocated the original eight (8) Arborvitae. The need for this relocation was confirmed by Marc Mollicone (ISA Certified Arborist NY-0678A). See Exhibit D. As shown on the marked plan attached as **Exhibit E**, the eight trees were moved from the area circled in green, to the areas circled in red. This relocation provides additional screening between 3 Long Pond and 5 Long Pond in an area that was otherwise unscreened.

Unfortunately, on December 9, 2021, the Applicants received a Notice of Violation/Order to Remedy from the Building Department for the relocation of screening trees and were directed to either (i) re-plant the trees as per the RPRC determination letter or (ii) file a new application with the RPRC. In light of the fact that there are currently thirty (30) Arborvitae, which provide more than ample screening between these two properties, in the same area where the Applicants originally planted their eight trees, the Applicants have chosen to file a new application with the RPRC to obtain approval for the trees that have been relocated in a more appropriate area on the Subject Property. In reviewing this application, it is respectfully requested that the RPRC take into consideration the number of trees that currently exist along the common property line between 3 Long Pond and 5 Long Pond. Had these trees been in their present location in September of 2016, it is highly unlikely that additional plantings would be required in this area.

In connection with this application, please find the RPRC Application attached as **Exhibit F**. Additionally, in support of this application, enclosed herewith please find the following plans:

- Site Plan-General Specs (Sheet AO), prepared by PCK Design Studio, dated February 1, 2016;
- Site Plan-General Specs (Sheet A1), prepared by PCK Design Studio, dated February 1, 2016; and
- Stormwater Mitigation Erosion Control Plan, prepared by Alfonzetti Engineering, P.C. dated August 31, 2016, last revised December 8, 2020.

Please place this matter on your January 18, 2022, agenda for our presentation and discussion. If you have any questions or concerns, please do not hesitate to contact me.

Very truly yours,

Kory Salomone

# **EXHIBIT A**



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-8625 Fax: (914) 273-3554 www.northcastleny.com

### **RPRC DETERMINATION LETTER**

Project Name:	RODRIGUEZ - Addition						
Street Location:	3 LONG POND RD	3 LONG POND RD					
Zoning District:	R-1.5A Property Acreage: 1.50 Tax ID: 101.04-3-43						
RPRC DECISION:	□ Requires Planning	Board Review	□ Requires Architectural Review Board				
	<ul><li>Requires Conservation Board</li><li>Submit to Building Department</li></ul>		□ Requires Zonin	g Board of Appeals			
			Requires Admin	n Wetlands Permit			
Date:	September 20, 2016						

The above referenced application was reviewed by the Residential Project Review Committee (RPRC) on September 20, 2016.

The Committee determined that Planning Board and Architectural Review Board approval of the proposed project is NOT REQUIRED.

However, the following issues will need to be addressed prior to the issuance of a building permit:

- Disturbances are proposed within the locally-regulated 100 foot wetland buffer. A local Wetland Permit will be required. The applicant shall illustrate the local wetland boundary and regulated 100 foot buffer on the plan for verification by the Town Wetland Consultant. Notify the Town Engineer once the wetland boundary has been established in the field.
- The applicant will need to submit a wetland mitigation plan to the Town Wetland Consultant that demonstrates the required 2:1 mitigation ratio.
- The Applicant will need to obtain a wetland permit recommendation of approval from the Conservation Board prior to the issuance of an administrative wetlands permit.
- The Applicant shall demonstrate that adequate preservation of screening between the two properties in the area of proposed disturbance shall be maintained to the satisfaction of the Town Engineer. If not, the Applicant shall supplement the screening in this area to the satisfaction of the Town Engineer.

At this time you may coordinate directly with the North Castle Building Department. DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.

If you would like to further discuss this matter, please do not hesitate to contact the Building Department.

# **EXHIBIT B**

ADD RAIN GARDEN No PROPERTY PLOPOSED I'WIDE × 9"DEEP -PIP-RAP OUTLET CONTINUES NVASINES . 584.72 BOTTOM OF DET. POND TEL 595 15' 20NE · PROVIDE WET MEADOW M/X 18/4 BUSHES w"w .6N IT FEILE PER PERWY EURADE LAWN TO DRATH DD SANDY LOAM, REMOVE 586 585.38 pine MINSPACE KK, PESEED ped TA MULCH iver. AGPHALT GARAGE R DRIVE 7 NEW 59812 NUESTONE NEW 10" F CURBING EX LAND EXISTING PEOK ZIPTUNIT AS PEQ TO PRAIN PLANTING LAWH EXISTING RESIDENCES 586.89 588 10 中ろ PLYG BED ? 10" X 19" 0) 10"1 NEW ۲ MIXANEA PULL BLEND GYLVE 589\_ W/ SHEWBS 6 VIF->1+ STACKED STONE RET. ING J SEEGON URAVEL MIN. 104 BASE A SPE LO SCALE PLAN OF HOUSE APER FOR FOUNDATION PLANTING PLAN WETLAND UNE (2: 1/- WALL HAT) NO FOOTING 1 W/ OWNER 1 Remove. T.O.W 590 12 Maple LOOPD. STYLE TW 16 + 590.26 Stw 20" 9909 APEN L PROTECT. ANTI-TRACK AS PRUNE -MAPLES TO RAIGE CANOPY 590 1. -20 1011 Clump W 218'TPL 590 Service PROPERTY CONTINUES SUTAL BLEND - DRAINAGE 2 588 2020 Gervice LONG POND CB LID IN POASD 587,65

## NOTES:

- 1. BASE INFORMATION AND ERSOSION AND SEDIMENT CONTROL, GRADING AND DRAINAGE FROM PLAN BY ALFONSETTI ENGINEERING, PC. 8.31.2016. SEE THIS PLAN FOR EROSION CONTROL NOTES AND ADDITIONAL NOTES /REQUIREMENTS
- 2. RAIN GARDEN AREA PER ABOVE PLAN TO BE SIZED PER ABOVE REFERENCED ENG. PLAN AND RELOCATED AS PER THIS PLAN.
- 3. MITIGATION PLANTING PER PLAN BY PC ARCHITECTURE ON T. MERRITS SURVEY DATED 6.30.2016 LIST AND LOCATIONS HAVE BEEN REPEATED ON THIS PLAN
- 4. UNDERGROUND UTILITIES ARE ONLY APPROXIMATE. IT IS CONTRACTORS RESPONSIBILITY TO CALL UFPO PRIOR TO ANY EXCAVATION.SEPTIC TANKS AND FIELD TO BE PROTECTED FROM COMPACTION AND DISTURBANCE DURING CONSTRUCTION.

### **MITIGATION PLANT LIST**

SYM.	QUAN.	NAME	SIZE	REMARK
CAL	21	Clethra alnifolia ' Sixteen Candles'/	#3	
		Summersweet		
IV	29	Ilex verticillata ' Red Sprite'/ Winterberry	#3	~
CA	23	Cornus amomum /Silky Dogwood	#3	
VC	26	Vacinium corymbosum / Highbush	#3	
		Blueberry		
		SEED MIX- native wet meadow		Between shrub
				groups

240

175

95×

EX POW OF PLASTIC POSTS AS LIMIT TO WEST.

MITIGATION SHOUB GROUPS PER PERMIT

> REMOVE BROKEN WILLOWS (5) GIZIND STUMPS ADD DET. AREA/RAIN GARDEN

- ZEMOVE P.INES ADD NEW ARB. APB.

NEEDED FOR Baren Grant

Arb. 7-3'

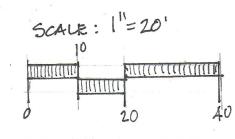
REDO DRIVE - BASE + ASPHALT

- REMOVE 10 DEAP better PINES

566 REMOVE DEAD

PINES -DESEED 101

NO MUD ON POAD





PATE	REVISION
9.30.20	RELO RAIN GARIEN +
·	COMDINE TO ONE
10.13.20	RESHAPE PAIN GARDEN

SCOPE OF PROPOSED IMPROVEME WITH MITIGATION MEASURES AS PER	
3 LONG POND ROAD North Castle, New York	Pate : 8.27.2018
JAY FAIN & ASSOCIATE Environmental Consulting Services 134 Round Hill Road, Fairfield, CT 06824 203-254-3156 e-mail: Jissociate@optonline.net	Sheet No. L.1

# **EXHIBIT C**





# **EXHIBIT D**

12/17/2021

To whom this may concern,

After site inspection at 3 Long Pond Road, Armonk NY

I observed the following:

 Green Giant Arborvitae right side of driveway needed to be moved due to trees being planted too close together. Trees were starting to thin in the lower canopy. Standard planting distance is 5 feet off center stem. Trees were spaced 4 feet of center stem. Existing trees are growing tip to tip and still providing an adequate buffer in my opinion.

\*\* Plants are living organisms. We use the most up to date equipment to assess the condition and or trends of the structural weakness of your trees, and or advise accordingly to the best of our knowledge.

However, we cannot be held liable if our findings in terms of stability, structure, or general health do not match actual conditions. Nor can we be held responsible for any future calamities/damages after the implementation of our recommendation. \*\*

Marc Mollicone, President

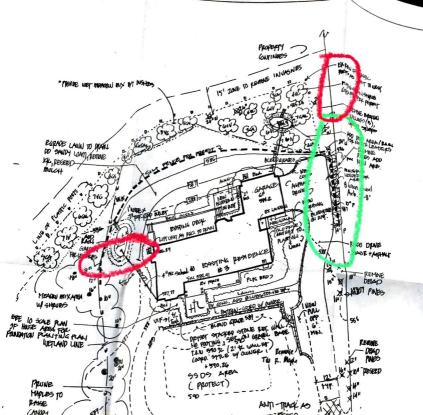
ISA Certified Arborist NY-0678A



P.O. Box 305 Rye, NY 10580

PHONE (914) 967-2488 FAX EMAIL gedneytreecare@gmail.com WEBSITE gedneytreecare.com

# **EXHIBIT E**



# **EXHIBIT F**



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x43 Fax: (914) 273-3554 www.northcastleny.com

### **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES**

The RPRC was created to streamline the residental review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential perm its (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

- 1. Complete all items on the RPRC checklist
- 2. RPRC Application fee. Check made payable to: Town of North Castle.
- 3. Floor Area and Gross Land Coverage work sheets (with backup information)
- 4. Plans for your project according the RPRC Checklist
- 5. Submit one single PDF file containg all information listed above to the Planning Department: planning@northcastleny.com.

Once your application h as been submitted, you may follow your application o n the RPRC webpage located at http://www.northcastleny.comlresidential-project-review-committee-rprc

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1:00 p.m.)

### Town of North Castle Master Fee Schedule - Revised 11/18/2020

#### **RPRC** Fees

RPRC Fees				1		Planning		
Town Code	Chapter	Code	Fee		Engineering	-	Total	
Chapter Title	Number	Section	Туре	Fee Description	Fee Amount	Amount	Amount	Additional Notes
RESIDENTIAL								
PROJECT								
REVIEW	12,	1		One-Family Residence - New				
COMMITTEE	Art. IV	12-24	RPRC	Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL								
PROJECT					}			
REVIEW	12,			One Family Residence -				
COMMITTEE	Art. IV	12-24	RPRC	Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL								
PROJECT				Addition to Primary				
REVIEW	12,			Residence (less than 1,000		1		
COMMITTEE	Art. IV	12-24	RPRC	s.f.)	\$500	\$250	\$750	
RESIDENTIAL								
PROJECT				Addition to Primary				
REVIEW	12,	•		Residence (greater than or				
COMMITTEE	Art. IV	12-24	RPRC	equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL								
PROJECT				Detached Accessory				
REVIEW	12,			Building/Structure (less than	4	ļ		
COMMITTEE	Art. IV	12-24	RPRC	150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL								
PROJECT				Detached Accessory				
REVIEW	12,			Building/Structure (greater				
COMMITTEE	Art. IV	12-24	RPRC	than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL				Pool/Hot Tub and associated				
PROJECT				Mechanical Equipment				
REVIEW	12,			(includes associated deck,				
COMMITTEE	Art. IV	12-24	RPRC	patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North	Town of North Castle Master Fee Schedule - Revised 11/18/2020							
RPRC Fees								
Town Code Chapter Title	Chapter Number	Code Section	Fee Туре	Fee Description	Engineering Fee Amount		Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

RPRC Fees								
			-			Planning		
	-		Fee		Engineering	Fee	Total	
Chapter Title	Number	Section	Туре	Fee Description	Fee Amount	Amount	Amount	Additional Notes
RESIDENTIAL								
PROJECT								
REVIEW	12,							
COMMITTEE	Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL								
PROJECT				Installation or Modification	1			
REVIEW	12,			of Stormwater	1			
COMMITTEE	Art. IV	12-24	RPRC	Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL								
PROJECT								
REVIEW	12,			For proposed actions not			1	per 1,000 s.f. of disturbance or fraction
COMMITTEE	Art. IV	12-24	RPRC	listed above	\$150	\$75	\$225	thereof

Town of North Castle Master Fee Schedule - Revised 11/18/2020

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by

the applicant shall be applied towards the escrow review account to be established by the Planning Board.

2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit

application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC

Adam R. Kaufman, Chairman

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

> Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

### RESIDENTIAL PROJECT REVIEW COMMITTEE RPRC 2021

#### MEETING DATES - 9:30 .a.m.

#### 1 PDF ELECTRONIC SUBMISSION DEADLINE By 12:00 p.m.

January 5	December 15, 2020
January 19	January 5, 2021
February 2	January 19
February 16	February 2
March 2	February 16
March 16	March 2
April 6	March 16
April 20	April 6
May 4	April 20
May 18	May 4
June 1	May 18
June 15	June 1
July 6	June 15
July 20	July 6
August 3	July 20
August 17	August 3
September 7	August 17
September 21	September 7
October 5	September 21
October 19	October 5
November 2	October 19
November 16	November 2
December 7	November 16
December 21	December 7

#### Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

#### Please do not submit hard copy of submission

#### ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

### **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION**

Section I- PROJECT

ADDRESS: 3 Long Pond Rd, Armonk, MY

Section III-DESCRIPTION OF WORK: See attached letter.

Section III- CONTACT INFORMATION:

APPLICANT: Ros	Rodriguez + Pont RI, Ar	Nicole Cel	enTano	
ADDRESS: 3Long	Poni RJ, A	monte, My	10504	
PHONE:	MOBILE: 9/9-36	4-6294 EMAIL:	rcelentano Qu	oTmail. Com
PROPERTY OWNER:	Same			
ADDRESS:				
PHONE:	MOBILE:	EMAIL:		
PROFESSIONAL .: K	ain ST. Shite	(Zarin + STe	cinmetz)	
ADDRESS: 81 M	ain ST. SLiTe	415, White	Plains Ny	10601
PHONE: 919-228	<b>р.<u>9807</u></b> мов	BILE: 914-391-84	178	
	me @ Zerin STe			
	ERTY INFORMATION:			
-	Tax ID (lot des	ignation) <u>101.04</u>	-3-43	



Town of North Castle Residential Project Review Committee 17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

## **RPRC COMPLETENESS REVIEW FORM**

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Rodriguez/Celentano
Initial Submittal Revised Preliminary
Street Location: 3 Long Pond Road
Zoning District: R-1.5A Property Acreage: 1.5 Tax Map Parcel ID: 101.04-3-4;
Date: 1/4/22
DEPARTMENTAL USE ONLY
Date Filed: Staff Name:
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.
1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
β. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
. The proposed location, use and design of all buildings and structures
Existing topography and proposed grade elevations
7. Location of drives
B. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

### RPRC COMPLETENESS REVIEW FORM

Page	2

<b></b> ₽.	Description of method of water supply and sewage disposal and location of such facilities
<b>1</b> 0.	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<b>1</b> 1.	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<b></b> 2.	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
3.	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <u>http://www.northcastleny.com/townhall.html</u>

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### **GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Applie	cation Name or Identifying Title:	Date:	-
Tax M	ap Designation or Proposed Lot No.:		
<u>Gross</u>	Lot Coverage		
1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):		<u> </u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):		N
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):		0
	Distance principal home is beyond minimum front yard setback x 10 =		
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<del></del>	+ c
5.	Amount of lot area covered by <b>principal building:</b> existing + proposed =		-h
6.	Amount of lot area covered by <b>accessory buildings:</b> existing + proposed =		a
7.	Amount of lot area covered by decks: existing + proposed =		<u> </u>
8.	Amount of lot area covered by <b>porches:</b> existing + proposed =		9
9.	Amount of lot area covered by <b>driveway, parking areas and walkways:</b> existing + proposed =		e
10.	Amount of lot area covered by terraces: existing + proposed =		
11.	Amount of lot area covered by tennis court, pool and mechanical equip: existing + proposed =		
12.	Amount of lot area covered by all other structures: existing + proposed =		
13. Pr	oposed gross land coverage: Total of Lines 5 – 12 =		

If Line 13 is less than or eq ual to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



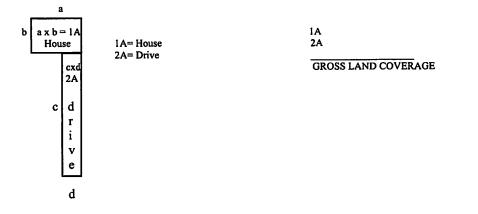
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

- 1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
- 4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area m inus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in C hapter 209 Wetlands and Drai nage, of the Tow n Code, a nd the area of any steep slopes, as defined Chapter 213, except that in the case of one-fam ily lots, the deduct ion for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted g ross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 1 0 SQUA RE FEET O F G ROSS LA ND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

F:\PLAN6.0\Application Forms\GROSS LAND COVERAGE CALCULATIONS WORKSHEET 8-13-19.doc



WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title:		Date:
Tax Maj	Designation or Proposed Lot No.:	
<u>Floor A</u>	rea	
1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	N
2.	Maximum permitted floor area (per Section 355-26.B(4)):	
3.	Amount of floor area contained within first floor: existing + proposed =	
-		
4. _	Amount of floor area contained within second floor: existing +proposed =	
5. -	Amount of floor area contained within garage: existing +proposed =	
6. -	Amount of floor area contained within porches capable of being enclosed: existing + proposed =	
7. -	Amount of floor area contained within basement (if applicable – see definition): existing +proposed =	9
8. -	Amount of floor area contained within attic (if applicable – see definition): existing + proposed =	
9. -	Amount of floor area contained within all accessory buildings: existing +proposed =	
10. Pro	posed floor area: Total of Lines $3 - 9 = -$	<del></del>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



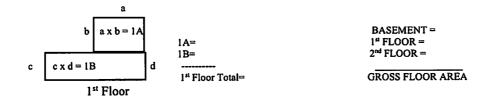
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### **GROSS FLOOR AREA WORKSHEET**

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show com pliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

- 1. Scaled worksheets are to be pre pared base d upon floor plans w hich repres ent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
- 2. The floor area of each floor is to be divided int o s imple polygons (squares, rectangles, etc.) each being drawn on theplan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
- 3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
- 4. A similar summary table is to be provided listing the total floor a re of each floor within the resulting floor area of each building.
- 5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
- 6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horiz ontal areas of the several stories of the building or buildings, excluding any floor area used for onf-street parking or loading purposes (except for on e- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion o f basement/mechanical areas in nonresidential buildings from "floor area, gross." For one-and two-family residences, any attic space with a floor to ce iling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

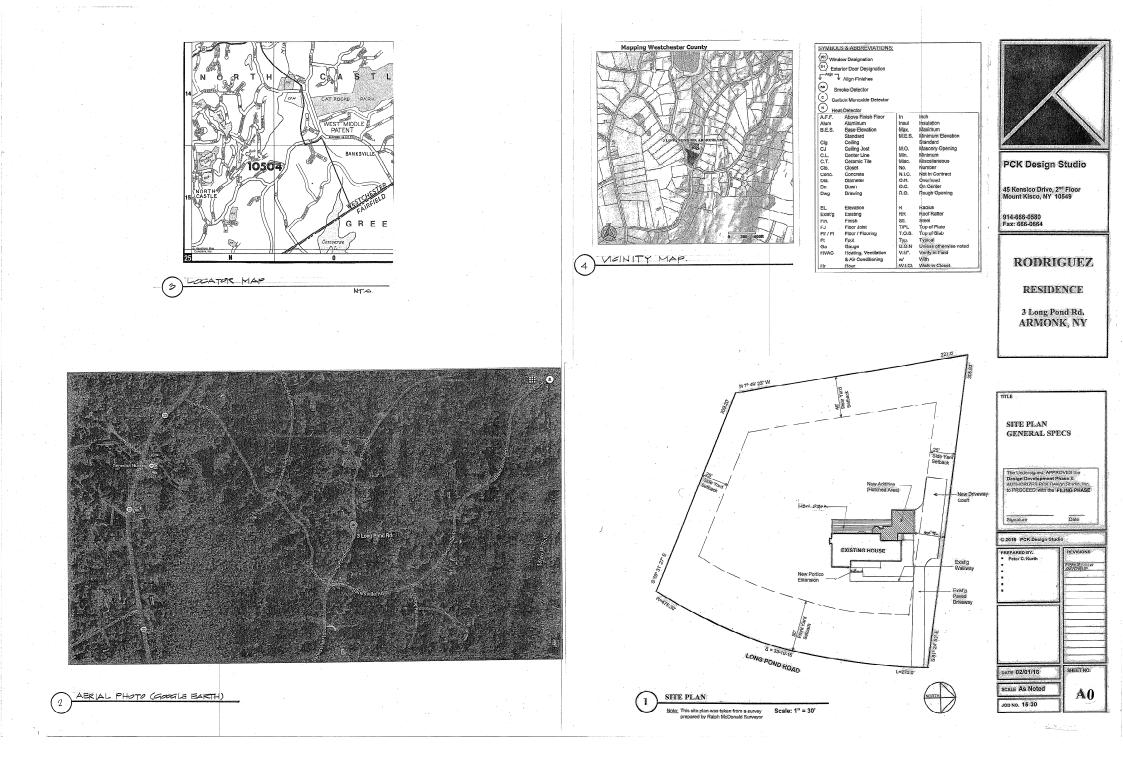
- A. Where the finished s urface of the floor ab ove the basement is more than six feet above average grade.
- B. Where the finished s urface of the floor ab ove the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basem ent is more than 12 feet above the finished ground level at any point along the building perimeter.

(	
Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

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F:\PLAN6.0\Application Forms\FLOOR AREA CALCULATIONS WORKSHEET 8-13-19.doc



GENERAL CONSTRUCTION SPECIFICATIONS

#### DIVISION I GENERAL CONDITIONS

#### 1.1 Seeps of work:

ine term Contractor shall refer to each Contractor / Sub Contractor performing week on the project.

b) Provide all lators, materials and equipment required to complete all work shown on drawings and work required for a fully entryier job. All materials and worknamethy abils be new raid of the bast quality. The spose below and plane isolated are set up as general limits and militarus standards for the scope of work in that the form and structural requirements.

c) No work which involves additional cost is to commence without having submitted a written estimate to the Ownee and the Architect and having sectived a written approval to proceed.

d) The Contractor shall guarantee all work and materials for a pariod of one year from the accepted completion of the project, against defective materials

Contractor is to carry appropriate insurance, workmon's compensation and liability in the sums prescribed by surhorities having jurisdiction over the

f) If the location of the work is in an occupied area that must remain in operation during the progress of the work the Centrator is to provide a minimum of interference with the operation.

g) The Contractor shall take special precautions, sufficiently to the building owner and the Architect to protect the workmen and the building occupants from hazardous conditions or accidents in connection with the work in

The Connector shall visit the project hite and become thoroughly sequentized with the nextest of the straining work. This areliable drawings and presented by outline burves, has shall be the constrained reperturbibility or present the straining or priority of observations. It shall be anderstood upon straining or priority observations and hits the shall be intern of the applicable drawings, odds and specifications.

i) Subcontractor, by submitting his bid, represents that he has visited the project location and agrees with the plans and datases are operacting the full extent of construction. If the Sub-Contractor has found that the plans and datalis are at variance with what is physically in the field, he shall notify the Architert and Onners before automating his bid.

A competent person shall be in direct charge and supervision of the work and workmen required to fulfill the work called for on the nepflexible drawings and specifications, from the beginning to completion and final acceptance of the project.

k) A copy of the latest set of construction and engineering drawings shall be kept at the job site for review by the Architest. Three drawings shall be motored and updated will may changes made during construction by the constrained notimelie to the Architect at the competitions of the project.

The contractor shall not scale the drawings and shall advise the Architect, in writing, of any discrepancies or changes required to conform to sile standiture.

m) All items specified are intended to establish quality of work. Preducts of other manufacturers opunt in design, color and quality may be substituted, if approved by the owner and the Architect in writing prior to prechase, as mosting excludingle design and function original.

The Contractor shall include all cutting, deilling, and patching required to permit the instantation of his week.

o) All work shall be performed in a workmanlike manner by skilled workmen in accordance with the best necepted trade, practice, standards, and in accordance with manufactures' recommandations.

The Contractor shall control eleming and install temporary protection to prevent dirt or days from leaving the job site and infiltrating mean not investment in the replace.

q) Any damages to existing partitions, floors, ceiling, finished work, furnitare and furnichings, or any part of the building or equipment caused by the work of the contrastor or his workmen shall be made good at no additional sequence us the owner.

r) The Contractor shall remove all rubbish and waste material from the job size and avvera it bream alean on a daily basis. Upon completion of the project the contractor shall remove all sarplus materials, tools, etc., from the permises and the entitie area set in a next and chem condition throughout.

1.2 Code compliance; all work and materials shall conform and comply with all

New York City Fire Protection and Building Censtruction Code New York City Energy Construation Code National Plumbing Code National Blencis Code National Fire Underwriter codo

Nationa Nationa OSHA BOCA

1.3 Work: in Cold Wather: No work with materials containing water shall be carried on during unreasonably cold weather. Such work may be started when temperature is 34 degrees 1 and many, and shall be stapped when temperature is 34-degrees 1 and many and the started started water weather conditions the following precursitions tail be taken.

#### Water shall be heated and kept warm

Sand shall be heated and kopt warm. An anti-ferete such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonstborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the menufactures. Material shall be placed as soon as possible and shall not be permitted to get

No material containing ice or frozon ports shall be used.

Furthermore, all work shall be proteeted against ends weather or front by matter of hay, straw, carras, "summatches" or other approved methods, Work damaged by cold weather or fosts will not be excepted. It stall be the Contractor's responsibility to correct all work damaged by cojd weather or fost.

1.4 <u>Permits</u>: The contractor is reponsible for obtaining any and all permits, pep all flows, prepare and file all necessary forms, for all required approvals and inspection by all againesis having invitations, including the secaral permit from the local building department, . Construction track shall be responsible for obtaining permit relavant tab two sequendits broad (i.e. U. U. - clocation permits and inspection; planticipation and inspections of applicable). The construct relation plant broader with all continues of Ucerparay sequences of the planticipation of the planticipation and the planticipation of the planticipation permits and inspection; planticipation of the planticipation of t

DIVISION 2 . SITEWORK: EXCAVATION: AND BACKFILL

2.1 <u>General:</u> The work under this socialon stati include all nocessary labor, material, equipment and fees required for the protect recention of the site work as them on the drawings rad/or described herein. The work includes building (foundation) seconding, retaining wells, backfill and rough grading.

2.2 <u>Ordinances</u>: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workmanilke manner.

2.3 At no time shall buildozers, trucks or other heavy equipment be pennitted approach foundation walks, grade beams and piers choier than 8 loct, unie walls and piers are braced and/or first floor beams and joists are installed.

2.4 Ecoting Translag: Econvate for all footings and proper sub-grades. Dottor of all footings shall be level and kept free of standing water at all times.

6 Where neck is encountered, the contractor shall notify the Architect immediately. The Contractor shall expose all areas cleanly for inspection. The Architect and his structural consultant will advise the Contractor of the

7.7 Backfill is to be computed of clean cash, free from any wood or debris. 2.6 Backfill and sup @tides below slobs shall be pleted in 6\* lifts and to be composited at even lift. Arrest and a contrast slob to be backfilled aball be fully compared to 95% of protein entry with power samper. All other bookfills to be placed in 12\* sits and composed as every litt.

2.9 Do not backfill against foundation wells until the concrete has achieved design strength and/or until first floor framing is secured. 0 Termine and post control: Upon the discovery of termites, betters, redent and other pests, the contractor shall notify the Architect and Owner rememberships.

DIVISION 3 - CONCRETE

3.1 <u>General:</u> Work includes concrete fostings, foundation wells, grade beams and piere, shite on grade and all econcrete work indicated on drawings or as harminifier specified.

3.3 Canceller 7 Stath-Min Trochart, proportioned III produce 3.000 pri allimate strongth at 9 Rotar-Min Trochart, proportion-with read familying pradu beam for horor table, stathered it a certarily item to utmosphered (sports the faster for a family, stathered ite accessing) item to utmosphered (sports the faster for a family, stathered item constraints). The state and mining cented at the fifther of the state state and the 3.000 pri. 7 Concerts work, shall unsettine a Accessing item state state state state of the state state state and the state state state.

All doulings shall rest on updatorbed soil or rock having a minin capacity of (2) tons per pause foot.

Footings shall not be placed on rock whose surface slupes more stars 10 percent.

c) Bottom of exterior footings to be carried a minimum of 3.6" below grade. Steel concreto minforeing bars: billet steel defensed bars, A3TM A-015 sizes noted on deswings. Welded wire mesh (WWM): Grade 60, ASTM 1-185 sizes on deswings.

g) Provide bearing plates leveled up with no shrink grout for all bears bearing on concrete mesowy. All soci leveling plates to be N° slittle stor to match have name.

3.3 State on Grade: All floor state on grade shall be four incluse (4\*) thick with w666-W 2.0 x W 2.0 WWF reinforcing, 6 mil vapor barrier. 4\* or 6\* Gravel formed to the state of the s

DIVISION 4 - MASONRY 4.1 Brick and constants man <u>INDER's and CONTREMENTED BOOKSTONE AND ADDRESS AND ADDRESS AND CONTREMENTED BOOKSTONE ADDRESS ADDR</u>

Concrete block shall be of the following types: ASTM C-00, Grade N-1 ASTM C-145, Grade N-1

4.2 Do not backfill against foundation walls until concrete has attained maximum strength. Where backfill is placed against foundation walls

<sup>13</sup> <u>Material:</u> All mortar shall be ASTM C-270 type 5. Brick shall have : minimum strength of 6000 psi. Provide solid blocking at perimeter walls ( converse). DIVISION 5 - METALS

<u>Original</u>, Steel construction shall conferm to AUSC matual of steel construction, latest edition. Contractor to verify all dimensions and heights of steel in field.

5.2 <u>Material</u>: All structural steel shall be new, clean, straight and shall conform to A37M A-36. Columns unless otherwise noted shall be y<sup>-1</sup> LU, tabe columns with sizes and locations indicated. Furnish Mill Certificates.

5.3 Threaded northor bolts shall be 36" x 12" long at 32" o.e. maximum of A36 or A300 steel, placed in all foundation wells, set up high enough to attach the sillplates so indicated on sections and details. See sections for locations of bolts for proper silpument with weed place.

5.4 All structural steel shall be shop painted with gray ains obcomatic primer 2.0 mills thick.

5.5 Shop connections shall be welded or bolted unless otherwise noted on the drawings, field connections may be auade with machine belts, minimum belt size 10<sup>24</sup> or ne noted on the drawings.

5.6 Provide lokes, coping, etc., required in structural steel members for other tanks. They shall be shown on the structural steel show drawings and they shall be made in the shop. Field huming of holes or cuts in structural steel chall not be promitted except with the specific approval of the Arabitom.

7 Notes all steel base planes ness indicated on the derawings to be 10°x10° x 58°. All holes defiled through steel planes shall be 53° diameter, unless otherwise netsel. All steel column cap planes to bo 12° thick "u" shape Simpton "nota" column cap or approved regal. All steel coase for wood famming to b 38° wold.

b) All workmanship including milling, blocking, teldging, etc. shall conform a the City of New York Building Codes.

All hundrer motorials used in the building shall be good, sound, dry material free from rot, large and loose knoss, shakes and other imperfections whereby the strength may be impaired, and the sizes indicated on the drawings.

b) All framing shall be done in accordance with the latest edition of "National Design Specification for the Sacas Oracled Lamber and its Fastenings" as published by the National Lamber Manufacturers Association.

c) All lumber materials used in the building shall be good, sound, dry material free from rot, large and loose lonots, shakes and other imperfections whereby the strongth may be impaired and of steps indicated on drawings.

All workmanship including milling, blocking, bridging, etc. shall conform to the New York City Building Code.

c) Provido lodger, blocking, natiens, and rough framing hardware as required

All new lumber shall be hem-fir or Douglas fir, No. 2 or better, with minimum allowable bending stress for repetitive members of Fis-1,250 PS1

6.2 Materials

#2 Douglas Fir A1 Douglas Fir

minimum allowable b and E 1.400.000 PSI

#### DIVISION 6 - WOOD 6.1 General:

a) All framing shall be done in accordance with the latest edition of "national design specifications for stress graded lumber and its fisterings" as published by particul lumber manufacturers association.

c) Provide Indgers, blocking, sollers and rough framing hardware as required.

 Framing Lumber: All first fleer plates shall be construction grade, "S.Y.P." reessure treated Fb=1550 psi, Framing lumber shall equal or exceed the following grades: 2x2 through 2x8 framing 2x10 through 2x12 Floor & Roaf

2.5 Where footings are stopped, bottoms to be stenned not more than two feet vertical to four feet horizontal.

g) All lumber shall bear visible grade stamping

k) Roof sheathing shall be 5/8" CDX; wall sheathing 1/2 CDX. Where sheathing is not physicol, disponal bracing shall be let in at exterior constrs. All sheathing shall have a pasel span rating of 32/16. Panel grades shall be APA rated sheathing for walls and roof and APA rated "Stand-Hou" for sub-floors.

 m) Fase grain of plywood to be perpendicular to joists and studiing, with staggered joints. Provide clips where necessary. m) Wall study: Shall be 2n6 16<sup>o</sup> O.C. for exterior walls and 2x4 16 O.C. for interior partitions, or as noted otherwise.

o) Rafters and floor joists shall be sizes, spans and locations as indicated on

b) All beams and joints and rafters to be set with natural crown up.

Provide double rafters and headers around all reaf skylights unless otherwise noted

-j) Reof and floor finning shall be in size as shown on plane. All partitions to taxe single trace and southe cap plane. Donbte wanding mound all openings, at all concess and property insisted actors all openings. Concers for all erons to be firmed solid for the statistic finite, Wood caps shall be placed between studie in all barring partitions and those over \$\$ high resided in floor joints.

Kitchen and bath risers - 3/4" I.D. All other risers 1/2" I.D.

DIVISION 16 - ELECTRICAL

codes. All equipment and fi the drawings for light fixture

DRAWING LIST

FOUNDATION PLAN

EIDET ELCOD DI A

A6 SECOND FLOOR PLAN

ELEVATIONS

A8 ELEVATIONS

A1 SITE PLAN / GENERAL SPECS

EXIST'G 1ST FLOOR PLAN / DEMOLITION

EXIGT'G 2ND FLOOR PLAN / DEMOLITION

15.4 The Cont complete

r orneliar

estrostor shall supply and install all equipment necessary to pro

15.5 Heating, domestic hot water and air conditioning equipment shall be sizzed and installed in accordance with the Gity of New York Uniform Fire Prevention and Building Code and Energy Conservation Code.

15.6.All heating and air conditioning equipment, accessories and appartestance shall be U.L. Listed and installed in accordance with same. Nationall recognized texting laboratories other than U.L. or naturally resegnized trad associations will be accepted in List of U.L.

15.7 Metal fines shall be U.I. Listed, triple well, insulated metal type, installed in accordance with U.I. and/or N.F.P.A. Specifications.

15.8 Bathrooms and kitchors shall be exhausted in accordance with the City of New York Uniform Fire Prevention and Iduations Code

incures shall be selected by the Owner, es being supplied by the Owner. The O

16.11t is the intention of this specification to require the supply and intention of a complete electrical system as per the New York City Units Prevention and Building Code, National Electric Code, and local or The seven and each of its components shall ensemb the file and the seven and each of its components shall ensemb the file and the seven and each of its components shall ensemb the file and the seven and each of its components shall ensemb the file and the seven and each of its components shall ensemb the file and the seven and the

WINDOW SCHEDUL

R.O. (WXH)

5'-3 13/16" x 5'-0 7/8"

2'-8 1/8" x 4'-0 7/8

2'-8 1/8" x 4'-0 7/8

2'-8 1/8" x 4'-0 7/8

2'-2 1/8" x 3'-4 7/8

I'-10 1/8" x 5'-0 7/8

3'-0 1/8" x 5'-0 7/8" 1'-10 1/8" x 5'-0 7/8

7'-2 1/2" x 3'-6 5/16'

2'-6 1/8" x 5'-0 7/8"

2'-6 1/8" x 4'-4 7/8

3'-0 1/8" x 4'-4 7/8"

3'-0 1/8" x 4'-4 7/8 3'-0 1/8" x 4'-4 7/8" 3'-0 1/8" x 4'-4 7/8" 3'-0 1/8" x 3'-8 7/8"

3'-0 1/8" x 3'-8 7/8'

2'-0 1/2" x 2'-0 1/2" 3'-0 1/8" x 4'-8 7/8"

3'-0 1/8" x 4'-8 7/8"

3'-0 1/8" x 4'-4 7/8" 2'-0 5/8" x 2'-0 5/8"

2'-0 5/8" x 2'-0 5/8"

3'-0 1/8" x 4'-4 7/8"

3'-5 5/8" x 2'-0 5/8"

R.O. as per Manuf. 3'-1" x 6'-8"

5'-0" x 6'-8" 1'-7 1/2" x 6'-8

ide Yard

SITE PLAN

Note: This site plan was taken from a survey

prepared by Ralph McDonald Survey

1

1'-7 1/2" x 6'-8"

N 7º 49' 23" W

3'-2 1/8" x 4'-8 7/8" Egress Window 3'-2 1/8" x 4'-8 7/8" Egress Window

3'-0 1/8" x 4'-4 7/8" V.I.F. Match Existing

Match Existing -

Match Existing

Fixed Cupola

Fixed Cupol:

Fixed Cupola

Window Fixed Cupola

Mud room Erens

Door Alt. Height 6'-11

Alt. Height 6'-11 Alt. Height 6'-11 Alt. Height 6'-11

Window

Window

V.I.F.

V.I.F.

Windov

Remarks

Mark Manufacturer Model No. W1 Andersen TW 30410-2 W2 Andersen TW 30410-2

Andersen TW 26310 Andersen TW 26310

W4 Andersen TW 26310 W5 Andersen TW 26310 W6 Andersen TW 26310 W6 Andersen TW 2032

W8 Andersen TW 10410 W9 Andersen TW 18410

W10 Andersen 45P4035-20

W11 Anderson TW 24410

W12 Andersen TW 2442

 W13
 Andersen
 TW 21042

 W14
 Andersen
 TW 21042

 W15
 Andersen
 TW 21042

 W16
 Andersen
 TW 21036

W17 Andersen TW 21036

W18 Andersen Octagon W19 Andersen TW 21046 W20 Anderson TW 3046

W21 Andersen TW 3046

W22 Andersen TW 21046

W23 Andersen TW 21042

W24 Andersen TW 21042

W27 Anderson TW 21042

CN12-2

W28 Andersen CN12-2

W30 Andersen CN12-2

W31 Andersen CN12-2

Simpson 36"x80" Andersen FWH 3168

 D1
 Simpson
 36"x80"

 D2
 Andersen
 FWH 3168

 D3
 Andersen
 FWH 5068

 D4
 Andersen
 FWSL 1768

 D5
 Andersen
 FWSL 1768

W29 Andersen

W24 Andersen A12 W25 Andersen A12 W26 Andersen A12

SYMBOLS & ABBREVIATIONS:

Exterior Door Designation

Align Finishes

Smoke Detector

Heat Detector

Carbon Monoxide Detector

Aluminum

Standard

Ceiling Jost

Ceramic Tile

Center Line

Ceiling

Closet

Concrete

Diameter

Jown

Drawing

Elevatio

Existing

Floor Joist

Foot

Gauge

Hour

Floor / Flooring

Heating, Ventilation

& Air Conditioning

New Addition

~~ r

ΥTT

L=275.0

.

EXISTING HOUSE

(Hatched Area)

Base Elevation

Above Finish Floor

Inch

Maximum

Standard

Minimum

Number

On Center

Radius

Roof Rafter

Top of Plate

Top of Slab

V.I.F. Verify in Field

W.I.Cl. Walk-in Close

Typical Unless otherwise noted

227.0

30

Side Yan Setback

New Drivewa

Court

Exist'g Walkway

Exist'g

Paved Driv

Miscellaneous

Not in Contract

Rough Opening

Minimum Elevation

Masonry Opening

PCK Design Studio

45 Kensico Drive, 2<sup>nd</sup> Floor

RODRIGUEZ

RESIDENCE

3 Long Pond Rd.

ARMONK, NY

Mount Kisco, NY 10549

914-666-0580

TITLE

SITE PLAN

Signature

PREPARED BY:

DATE 02/01/16

SCALE AS Noted

JOB NO. 15-30

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GENERAL SPECS

The Undersigned APPROVES the

Design Development Phase & AUTHORIZES PCK Design Studio, Inc.

to PROCEED with the FILING PHASE

Date

REVISIONS

RPSC PIUNA a2/0210 WINAW GOH. 3/10/10 BIOTYACO STEA D/14/10

SHEET NO

A1

Fax: 666-0664

Insul Insulation

M.E.S.

Max.

MO

Min.

Misc

No. N.I.C.

0.H. 0.C. Overhead

RO

RR

Stl. Steel

T/PI

Tvp.

T.O.S.

U.O.N

(50)

A.F.F.

Alum

BES

Clg CJ

CL

C.T.

Clo.

Dia.

Dn

ΕL

Exist'g

Elr / Fi

HVAC

Ga

Hr

KIEW DECK

New Portico

Extension

Scale: 1" = 30'

= 33-10--

LONG POND ROAD

Dwg

Conc

Window Designation

p) All Micro-Lam beams indicated on framing plans shall be manufactured by "Trea Joint Mathélijan"; sone, spoor and locations shall be as indicated on framing plans. Installation, spiing and the use of framing connectors shall be in accommendations. q) All bolts not indicated shall be 1/2" diameter complete with washers and

Frame with double headers and trianness around openlags larger than spacing of joints or studs.

Provide 4x4 or 6x6 post or (3) 2x4 or 2x6 spiked at baaring points of all double framing members unless otherwise noted (typical).

. () Provide (3) 2x3 or 2x6 spiked at bearing points of all triple framing members unless otherwise noted u) Provide double joists under all pertitions parallel to joists.

 v) Provide 544\*x3\* wood cross-bridging 7\*0\* O.C. Maximum for all joists. Bettom ends of bridging shall not be mailed wrill after subflores are laid. w) Sidine shall he as shown on drawings.

TRUNU NORTH

x) Til joists and LVL beams shall be menufosuered by True Joist Corporation as there is no approved equal. Substitutions may be requested in the form of shop deamings but must be approved by the engineer

All installation procedures must be supplied by the manufacturer or distributor and shall be followed explicitly. 2) TJI joists and LVL beams shall not be allowed to get wet at any time

 All handling procedures and installation schedules must be understood prior to sudering joints and beams. DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 Fiberglass Batt Insulation: Shall be Kraft faced fiberglass and in the

Fibriphise Balt Insultation: JMIII 60 Years sector more pro-following indicates:
 Extrain walls (2x6): Fibriphise Balt R-21
 Extrain walls (2x6): Fibriphise Balt R-15
 Roof: Fibriphise B-38
 Bathronom partitions and flower: fibriphise 2° sound attention balts
 Phone year unbaladed appaces: R-30

7.2 Rigid Insulation: Shall be extruded polystyrens board

73 Roofing shall be as shown on drawings

7. The share a straight of the straight of

7.5 Scalants: Provide scalant around all doors, windows and other openings for a unterright condition. Scalant shall be gun grade gum consistency. Color a water-right condition. to be approved.

7.6 Ridge vents shall be "core vent" corrugated plastic installed in strict accordance with manufacturers directions ready to receive cap shingles to match selected non<sup>6</sup>

7.7 Provide ice and weather shield at all roof caves DIVISION 8 - DOORS AND WINDOWS:

8.1 Interior Doors: To be selected by owner. 8.2 Hardware shall be approved by the Owner. Installation shall be part of this

8.3 Exterior Doors: Shall be in size as indicated on plans

9.2 Painting and Staining: To be selected by Owner

9.3 Ceramic Tile: To be selected by owner.

DIVISION 15 - MECHANICAL

Uniterr

15.3 Valve all fixtures.

DIVISION 9 - FINISHES

8.4 Window: Sizes and types as shown on the drawings. All glazing shall be instalmed. Units shall be equipped with sourcers and hardware for bocking and operating. Units: chall be in cirker, models and manufacturers as indicated on plans. Firstik shall be selected and approved by Owner. All windows within 18° of the and aboves or sendows shall have tompsend and above within 18° of the and aboves or sendows shall have tompsend windows within 18° of the and aboves or sendows shall have tompsend and the sendows shall have to sendows that factors shall have tompsend and the sendows shall have the sendows shall have to approve the sendows within 18° of the and above to reached the sendows shall have to many shall be sendows that the sendows shall have the sendows that the sendows the sendows that the sendows and the sendows that the sendows the sendows the sendows that the sendows that the sendows that the sendows the sendows that the sendows that the sendows that the sendows the sendows the sendows that the sendows that the sendows that the sendows the sendows the sendows the sendows that the sendows that the sendows the sendows the sendows the sendows that the sendows that the sendows the sendows that the sendows that the sendows that the sendows the sendows that the sendows that the sendows that the sendows the sendows the sendows the sendows that the sendows that the sendows the sendows the sendows that the sendows that the sendows that the sendows the sendows the sendows the sendows that the sendows that the sendows the sendows the sendows the sendows that the sendows that the sendows the sendows the sendows that the sendows the sendows the sendows that the sendows t

9.1 Gypsem Beard: Gypsem board shall be 1/2° gypsem beard, tapered edge. Provide waterproof gypsem board behind; any centatic tills areas, at hathcoars. Use 5/8°, type: %° gypsem beard on gyptep collega and walks where noted. Provide a (2) out compound and said over all gypsem beard areas in preparation for pairts addre other faith.

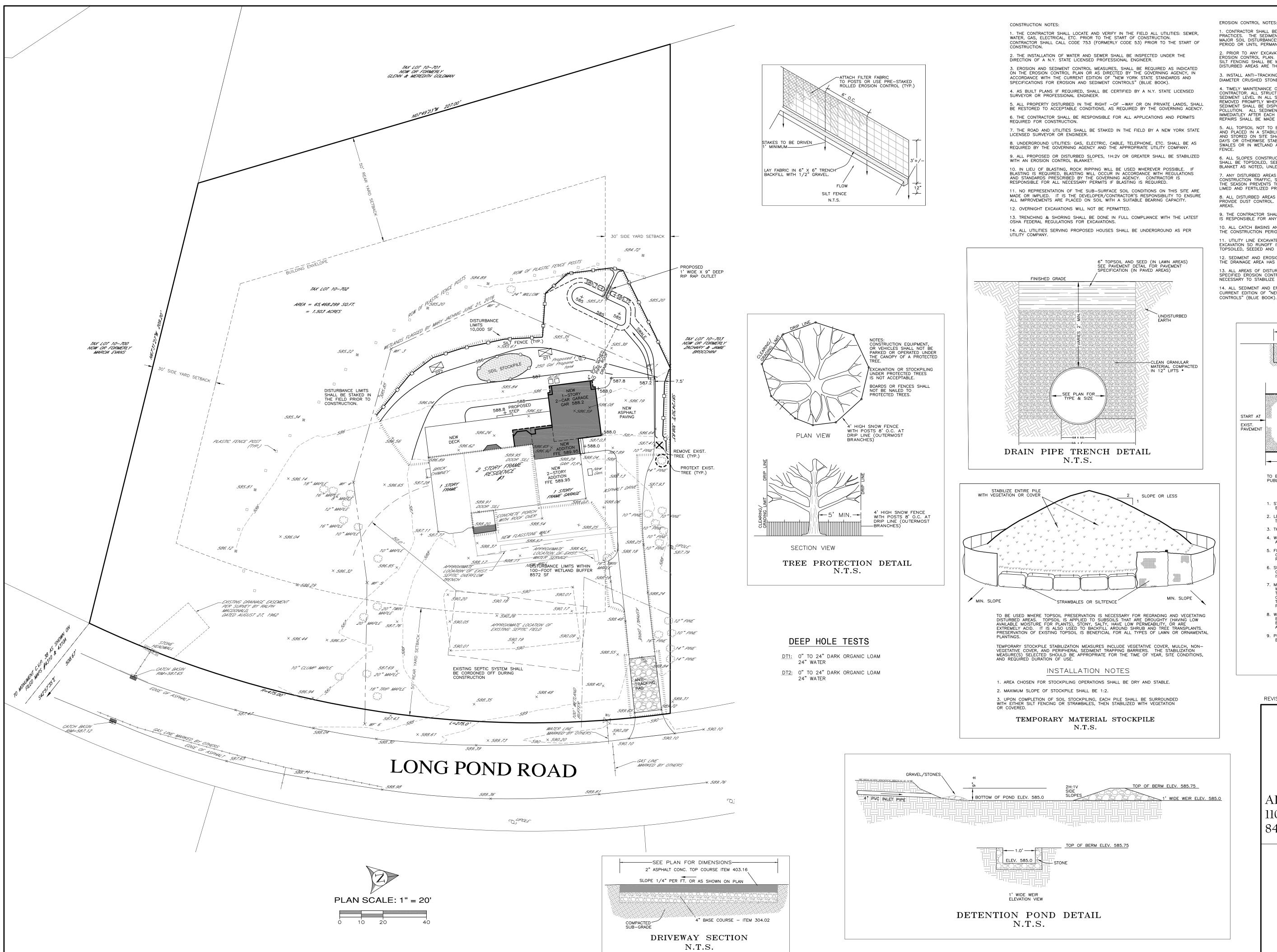
DIVISION 10 - SPECIALTIES - As Required and noted on drawings

15.1 All plumbing shall be done in accordance with the City of New York Uniform Fire Prevention and Building Code. Jocal codes toxing invisibilities

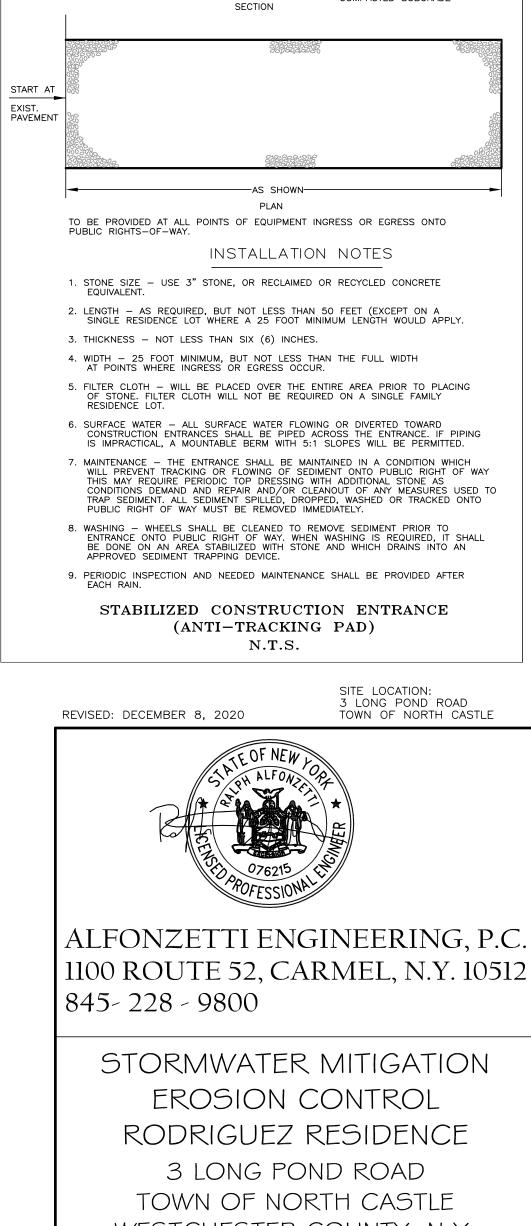
15.2The Contractor shall supply and install the equipment, fixtures and fittings as selected by the Owner and Jocated on the drawings in full conformance with the applicable local journing codes. Contractore while supply Cartificates of Inspection and compliance to the Owner upon completion.

1.25 Terror in treatment PEPROC CHURCE COLLEV (Classical applicable local Codes): Host and cold straphy - Copper Type L or PEX (comer to approve, provide alternate local states) - VCO Verte – VVCC Soil – PVC Wates vertice - U.D.

elace \$.5 All operable windows and exterior doors to be weatherstringed and caulto-8.6 All deors required to be fire-rated shall bear the proper UL and B3A labels affired to the stile on the hinge side of the door.



1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION DEFINITION OF LINUTED PROTECTION OF CONTROL OF CONTRO PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED. 2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED. 3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2" DIAMETER CRUSHED STONE 6" DEEP. 4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATLEY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPARES SHALL BE MADE IMMEDIATELY REPAIRS SHALL BE MADE IMMEDIATELY. 5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT 6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED. 7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING. 8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS. 9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT. 10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED. 11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED. 12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES. 13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES. 14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK). –AS SHOWN– 3 in. CLEAN STONE FILTER FABRIC COMPACTED SUBGRADE



WESTCHESTER COUNTY, N.Y. AUGUST 31, 2016