



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: [planning@northcastleny.com](mailto:planning@northcastleny.com).

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

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**Town of North Castle Master Fee Schedule - Revised 11/18/2020**

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

**Town of North Castle Master Fee Schedule - Revised 11/18/2020**

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

**Town of North Castle Master Fee Schedule - Revised 11/18/2020**

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.





RPRC

Adam R. Kaufman, Chairman

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**RESIDENTIAL PROJECT REVIEW COMMITTEE  
RPRC 2021**

**MEETING DATES - 9:30 .a.m.**

January 5  
January 19  
February 2  
February 16

March 2  
March 16  
April 6  
April 20

May 4  
May 18  
June 1  
June 15

July 6  
July 20  
August 3  
August 17

September 7  
September 21  
October 5  
October 19

November 2  
November 16  
December 7  
December 21

**1 PDF ELECTRONIC SUBMISSION  
DEADLINE By 12:00 p.m.**

December 15, 2020  
January 5, 2021  
January 19  
February 2

February 16  
March 2  
March 16  
April 6

April 20  
May 4  
May 18  
June 1

June 15  
July 6  
July 20  
August 3

August 17  
September 7  
September 21  
October 5

October 19  
November 2  
November 16  
December 7

**Submissions shall be made with 1 PDF electronically to [planning@northcastleny.com](mailto:planning@northcastleny.com)**

**Please do not submit hard copy of submission**

**ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN**



# TOWN OF NORTH CASTLE

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RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

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Fax: (914) 273-3554  
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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 709 Bedford Road, Armonk, NY 10504

### Section III- DESCRIPTION OF WORK:

212 square foot addition to primary residence

### Section III- CONTACT INFORMATION:

APPLICANT: Streets and Avenues Development

ADDRESS: 105 Corporate Park Drive, #G027, West Harrison, NY 10604

PHONE: \_\_\_\_\_ MOBILE: 212-464-7262 EMAIL: nikolas@streetsavenues.com

PROPERTY OWNER: James and Kristin Franzese

ADDRESS: 709 Bedford Road, Armonk, NY 10504

PHONE: \_\_\_\_\_ MOBILE: 914-400-5087 EMAIL: james.franzese@gmail.com

PROFESSIONAL: Paul Dennis Architect

ADDRESS: 26 Gilbert Street, South Salem, NY 10590

PHONE: \_\_\_\_\_ MOBILE: 914-763-0959

EMAIL: pauldennis.architects@gmail.com

### Section IV- PROPERTY INFORMATION:

Zone: R2A Tax ID (lot designation) Section 95.03, Block1, Lot 3



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Initial Submittal  Revised Preliminary

Street Location:

Zoning District: \_\_\_\_\_ Property Acreage: \_\_\_\_\_ Tax Map Parcel ID: \_\_\_\_\_

Date: \_\_\_\_\_

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT  
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 Director of Planning

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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 709 BEDFORD RD Date: 12-27-2021

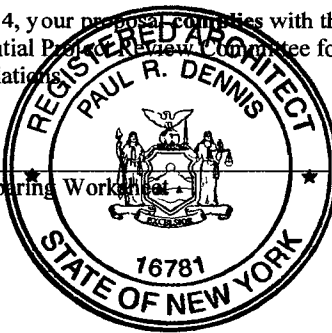
Tax Map Designation or Proposed Lot No.: 9503-1-3

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 2.005 Ac
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 13,286
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
 $\frac{16.39}{100} \times 10 = 163.9$
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,450
5. Amount of lot area covered by **principal building**:  
1396 existing + 212 proposed = 1,608
6. Amount of lot area covered by **accessory buildings**:  
1,983 existing + \_\_\_\_\_ proposed = 1,983
7. Amount of lot area covered by **decks**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = —
8. Amount of lot area covered by **porches**:  
256 existing + \_\_\_\_\_ proposed = 256
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
4,485 existing + \_\_\_\_\_ proposed = 4,485
10. Amount of lot area covered by **terraces**:  
050 existing + \_\_\_\_\_ proposed = 050
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = —
12. Amount of lot area covered by **all other structures**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = —
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 8,582

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

*Paul R. Dennis*  
 Signature and Seal of Professional Preparing Work



12-27-2021  
 Date



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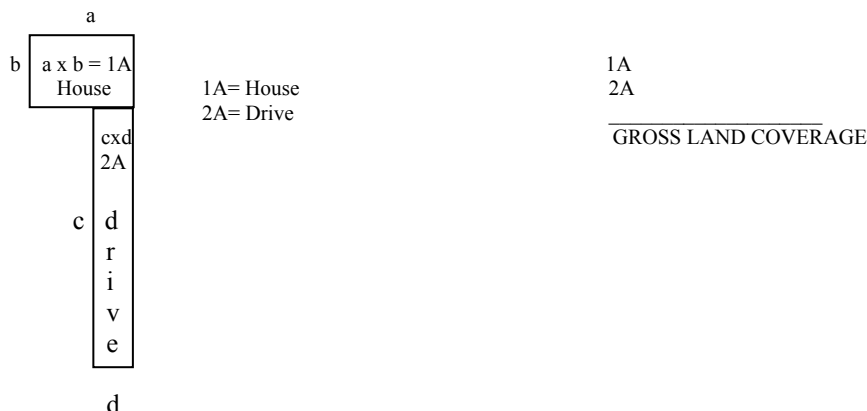
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## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
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[www.northcastleny.com](http://www.northcastleny.com)

**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 709 BEDFORD RD. Date: 12-27-2021  
 Tax Map Designation or Proposed Lot No.: 95.03-1-3

Floor Area

- |     |   |                  |
|-----|---|------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>87,338 SF</u> |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):   | <u>10,191 SF</u> |
| 3.  | Amount of floor area contained within first floor:<br><u>1390</u> existing + <u>212</u> proposed =                    | <u>1608</u>      |
| 4.  | Amount of floor area contained within second floor:<br><u>1390</u> existing + _____ proposed =                        | <u>1390</u>      |
| 5.  | Amount of floor area contained within garage:<br><u>1223</u> existing + _____ proposed =                              | <u>1,223</u>     |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>296</u> existing + _____ proposed =    | <u>296</u>       |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br>_____ existing + _____ proposed = | <u>0</u>         |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>_____ existing + _____ proposed =    | <u>0</u>         |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>1031</u> existing + _____ proposed =             | <u>1,031</u>     |
| 10. | Proposed floor area: Total of Lines 3 – 9 =   | <u>5,914</u>     |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Paul R. Dennis  
 Signature and Seal of Professional Preparing Worksheet



12-27-2021  
 Date





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WESTCHESTER COUNTY  
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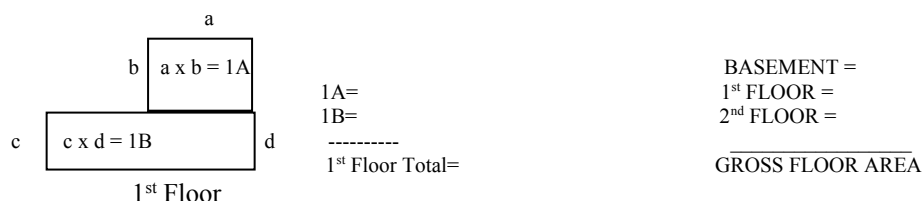
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## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



**GENERAL NOTES:**

- ALL DIMENSIONS INDICATED FOR NEW WORK ARE NOMINAL STUD TO STUD. EXISTING DIMENSIONS INDICATED ARE FINISH TO FINISH. VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS, COMPONENTS AND ACCESSORIES USED FOR THE CONSTRUCTION OF THE WORK INDICATED SHALL BE NEW, FIRST QUALITY AND SPECIFICALLY RECOMMENDED BY THEIR MANUFACTURER FOR THE USE INTENDED. FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS AND DIAGRAMS AND INCLUDE ALL RELATED WORK UPON WHICH THEIR PROPER INSTALLATION AND WARRANTY DEPENDS.
- ALL FRAMING LUMBER TO BE #2 GRADE DOUGLAS FIR, OR BETTER. SILL PLATES TO BE SET ON SILL SEALER AND TERMITE SHIELDS. DOUBLE-UP F.J.'S, C.J.'S AND RAFTERS AT OPENINGS REQUIRING CUT MEMBERS. SILLS AND WOOD MEMBERS EXPOSED TO WEATHER TO BE #1 GRADE SYP PRESSURE TREATED WOOD. USE MATERIAL RATED FOR CONTINUOUS GROUND CONTACT WHERE IN CONTACT WITH GROUND. OSB SHEATHING WILL BE REJECTED. DOUBLE-UP FLOOR JOISTS BELOW LOADBEARING PARTITIONS PARALLEL TO FRAMING DIRECTION.
- EXTERIOR WALL CONSTRUCTION TO BE FIBER-CEMENT PANEL SIDING ON 1-LAYER HOUSEWRAP, ON 2" CDX PLYWOOD SHEATHING, ON 2x4 STUDS @ 16" O/C WITH R-20 FIBERGLASS BATT INSULATION, 1" GWB INTERIOR FACE, SCREW APPLIED.
- INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O/C, UNLESS OTHERWISE INDICATED. FINISH EXPOSED FACES WITH 1/2" GYPSUM WALLBOARD, WHERE STONE OR CERAMIC TILE WALL FINISHES ARE SCHEDULED, PROVIDE 1/2" FIBER CEMENT BACKER BOARD.
- SECURE RAFTERS TO WALL PLATES WITH H2.5T SEISMIC/ HURRICANE CLIPS. SHEATHING IS DESIGNED TO RESIST DESIGN WIND LOADS. FLOATING EDGES IN SHEATHING ARE NOT PERMITTED. PROVIDE WOOD BLOCKING AT FLOATING EDGES AND SECURELY FASTEN BOTH EDGES.
- WINDOWS INDICATED ARE ANDERSEN UNITS. EXTERIOR FINISH COLOR TO BE WHITE. PROVIDE ALL UNITS WITH EXTENSION JAMBS AND SCREENS. VERIFY MANUFACTURERS MINIMUM ROUGH OPENING DIMENSIONS FOR UNITS INDICATED. UNITS ANNOTATED "EGRESS WINDOW" MAY NOT BE CHANGED IN EITHER SIZE OR MANUFACTURE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- ROOF CONSTRUCTION TO BE GAF TIMBERLINE ASPHALT SHINGLES ON 1-LAYER OF POLYPROPYLENE UNDERLAYMENT ON 1/2" OSB ROOF DECK ON SCHEDULED RAFTERS @ 16" O/C. APPLY ICE AND WATER SHIELD AT EAVES AND EXTEND NOT LESS THAN 2' BEYOND INTERIOR FACE OF EXTERIOR WALLS
- WHERE ROOFS INTERSECT WITH WALLS, EXTEND ICE/WATER SHIELD UP WALLS MINIMUM 8", AND OVER ENTIRE ROOF SURFACE OF ROOF WITH A PITCH OF 3 IN 12 OR LESS. PROVIDE METAL FLASHING AT ROOF TO SIDEWALLS. USE STAINLESS STEEL OR COPPER FLASHINGS IN CONTACT WITH CEDAR SIDING OR PRESSURE TREATED WOOD.
- CROSS BRIDGING SHALL BE METAL TENSION BRIDGING. SOLID BLOCKING IN LIEU OF BRIDGING WILL BE REJECTED. INSTALL ROWS OF BRIDGING NOT LESS THAN 5'-0" FROM JOIST BEARING AND NOT MORE THAN 8'-0" APART UNLESS INDICATED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS OVER ALL LOAD-BEARING PARTITIONS.
- UNLESS OTHERWISE NOTED, PROVIDE ONE JACK STUD AT EACH END OF ALL HEADERS WITH A CLEAR SPAN OF LESS THAN 8'-1" AND TWO JACK STUDS AT HEADERS WITH LONGER SPANS. WHERE POSTS ARE INDICATED ON THE PLANS, THEY ARE JACK STUDS. MINIMUM SIZE HEADERS AT INTERIOR DOORS TO BE 2-2x6 U.O.N. HEADERS AT LOADBEARING PARTITIONS ARE INDICATED ON THE DRAWINGS.
- PAINT ALL EXPOSED DRYWALL AND CEILING SURFACES WITH 1-COAT OF VALSPAR PRIMER/ SEALER AND 2-COATS FLAT LATEX FINISH. PAINT ALL TRIM AND DOORS WITH 1-COAT ALKYD PRIMER AND 3-COATS LATEX EGGSHELL FINISH.
- PROVIDE GUTTERS AND LEADERS TO MATCH EXISTING CONNECT TO EXISTING STORM WATER SYSTEM.



**2 RIGHT SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"



**1 REAR ELEVATION**  
SCALE: 1/2" = 1'-0"



**4 LEFT SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"



**3 BEDFORD ROAD (FRONT) ELEVATION**  
SCALE: 1/2" = 1'-0"

ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE:  
FOR THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY  
TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4A	0.32	0.55	0.40	49	20 or 13+5	8/13	19	10/13	10, 2FT	10/13

FILL CAVITIES EXPOSED IN EXISTING FRAMING TO EXTERIOR WITH FIBERGLASS BATT INSULATION PER 2020 NYS RC SECTION AJ104.1.1

DESIGN CRITERIA, RESIDENTIAL CODE OF NEW YORK STATE  
FOR THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY  
Table R301.2 (1)

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

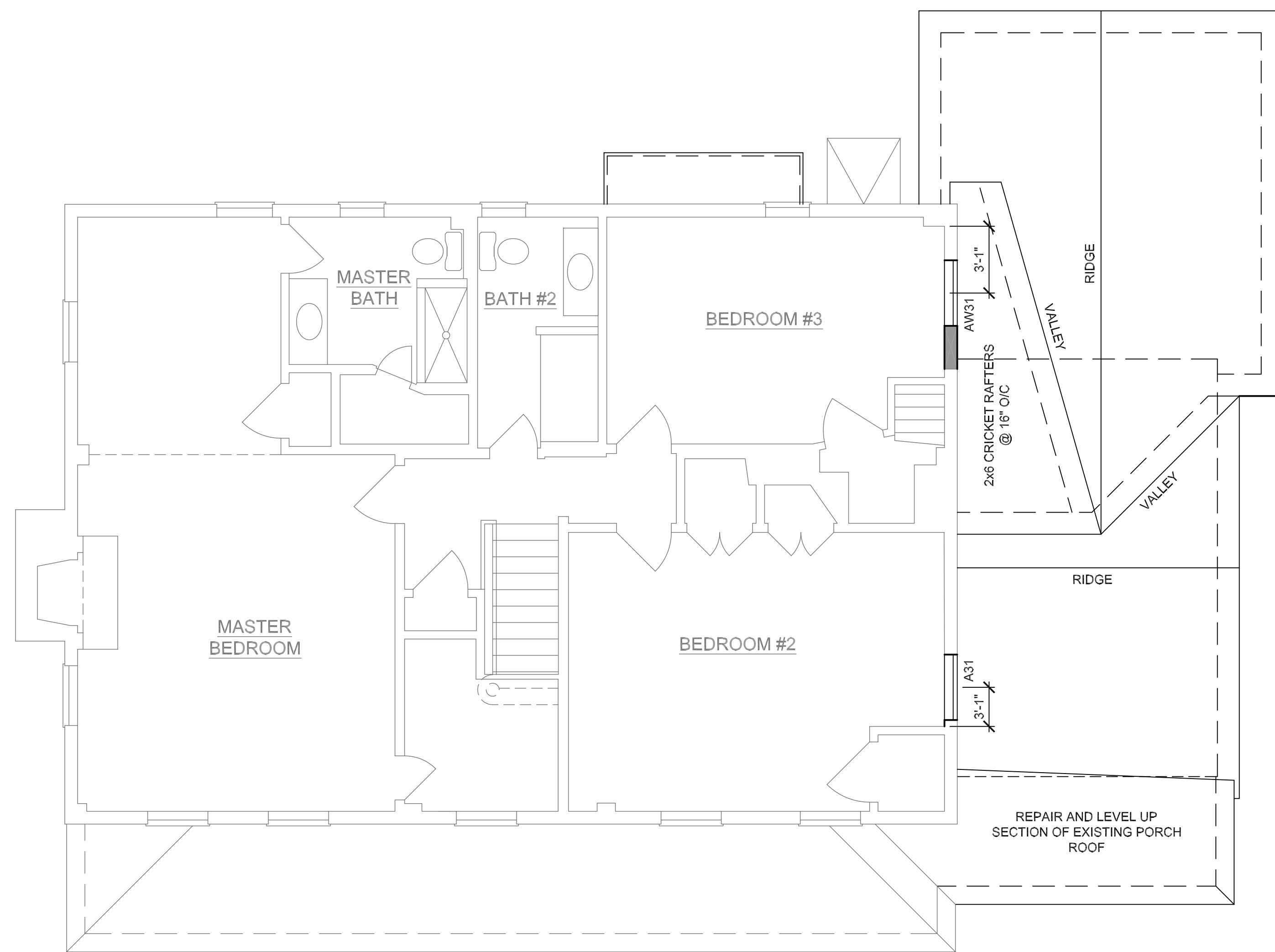
GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			Winter Design Temperature	Ice shield underlayment required	Flood hazards	Air freezing index	
			Weathering	Frost line depth	Termites					Decay
30 lbs/sf	115	B	Severe	3'-6"	Moderate to Heavy	Slight to Moderate	7	Yes	No - per map 36119C0166F eff. 9/28/2007	<1500

**SCOPE OF WORK**

- WORK COMPRISES A FAMILY ROOM ADDITION ON THE RIGHT REAR OF AN EXISTING SINGLE-FAMILY DWELLING. THERE IS NO INCREASE IN BEDROOMS AS A RESULT OF THIS WORK.
- WORK COMPRISES REMOVAL OF THE EXISTING ROOF AND REAR EXTERIOR WALL OF THE EXISTING KITCHEN AND CONSTRUCTION OF A NEW 209SF FAMILY ROOM OVER A CRAWL SPACE
- CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES:  
2020 RESIDENTIAL CODE OF NEW YORK STATE  
2017 NATIONAL ELECTRICAL CODE (NFPA 70)  
TOWN OF NORTH CASTLE MUNICIPAL CODE  
IF CONFLICTS EXIST BETWEEN DIFFERENT CODES, THE STRICTER CODE SHALL APPLY.
- THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2020 NYS ENERGY CODE.

	<b>PAUL DENNIS, A.I.A.</b> ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com	TITLE <b>ELEVATIONS NOTES</b>
	DATE: SEPTEMBER 28, 2021 SCALE: 1/4" = 1'-0", U.O.N. DRAWN BY: LP/PD CHECKED BY:	JOB: <b>2262</b> DRAWING #: <b>A-1</b> SHEET 1 OF 3
<b>FAMIL ROOM ADDITION</b> JAMES AND KRISTIN FRANZESE HOUSE 709 BEDFORD ROAD, ARMONK NY, 10504 SECTION 95.03, BLOCK 1, LOT 3, ZONE R2A		

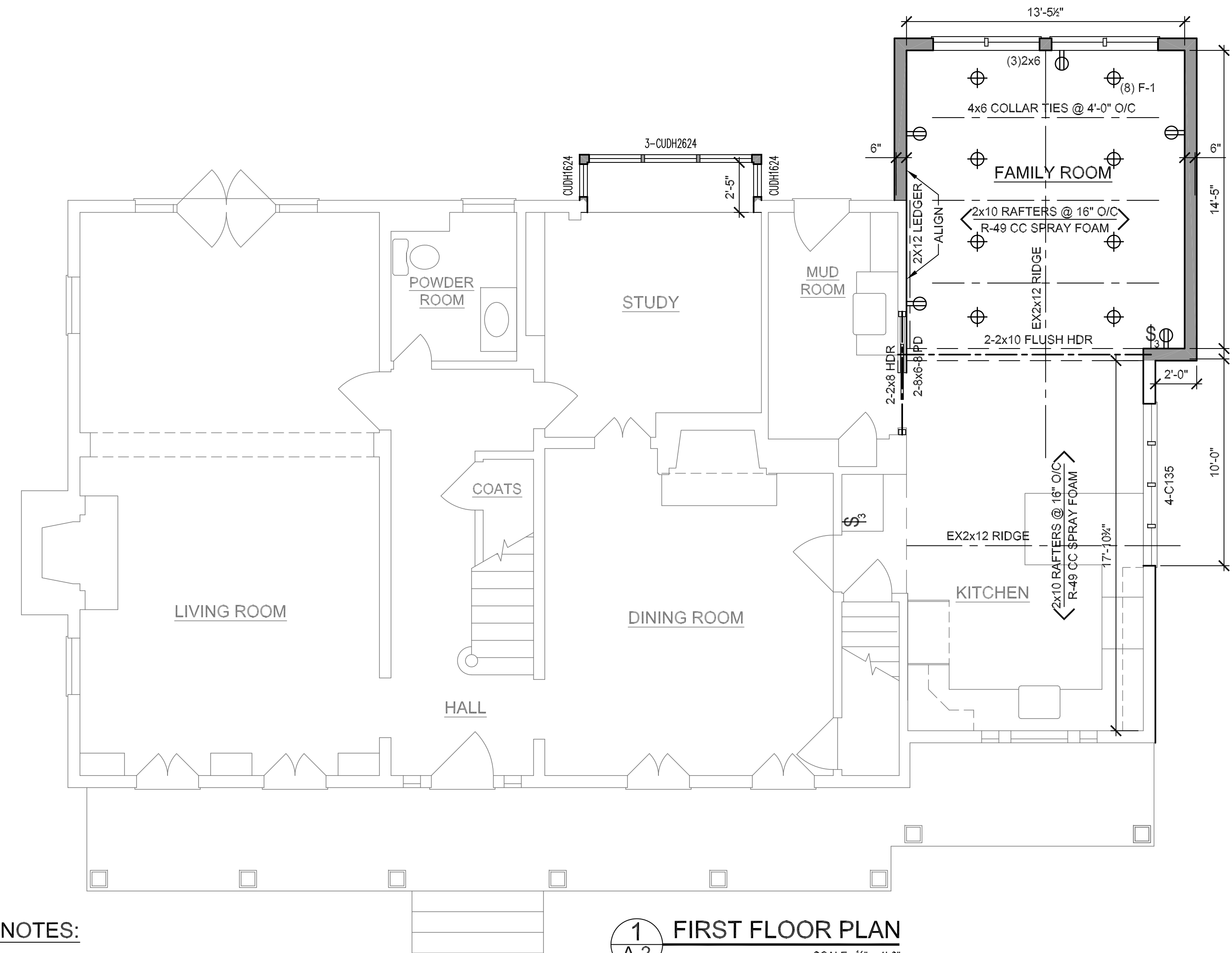




**2 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

[Symbol]	SOFFIT OR HIDDEN LINE
[Symbol]	NEW PARTITION
[Symbol]	FIBERGLASS BATT INSULATION
[Symbol]	CONCRETE MASONRY UNIT (BLOCK)
[Symbol]	CONCRETE
[Symbol]	STONE
[Symbol]	CRUSHED STONE/ GRAVEL
[Symbol]	RIGID INSULATION
[Symbol]	STRUCTURAL STEEL
[Symbol]	NEW DIMENSIONAL LUMBER
[Symbol]	SHIM, AS REQUIRED
[Symbol]	LINE OF BEAM OR HEADER ABOVE
PT	PRESSURE TREATED
T.O.	TRIMMED (CASED) OPENING
R.O.	ROUGH OPENING
PD	POCKET DOOR
EX	EXISTING
FPSC	FIRE PROOF SELF-CLOSING



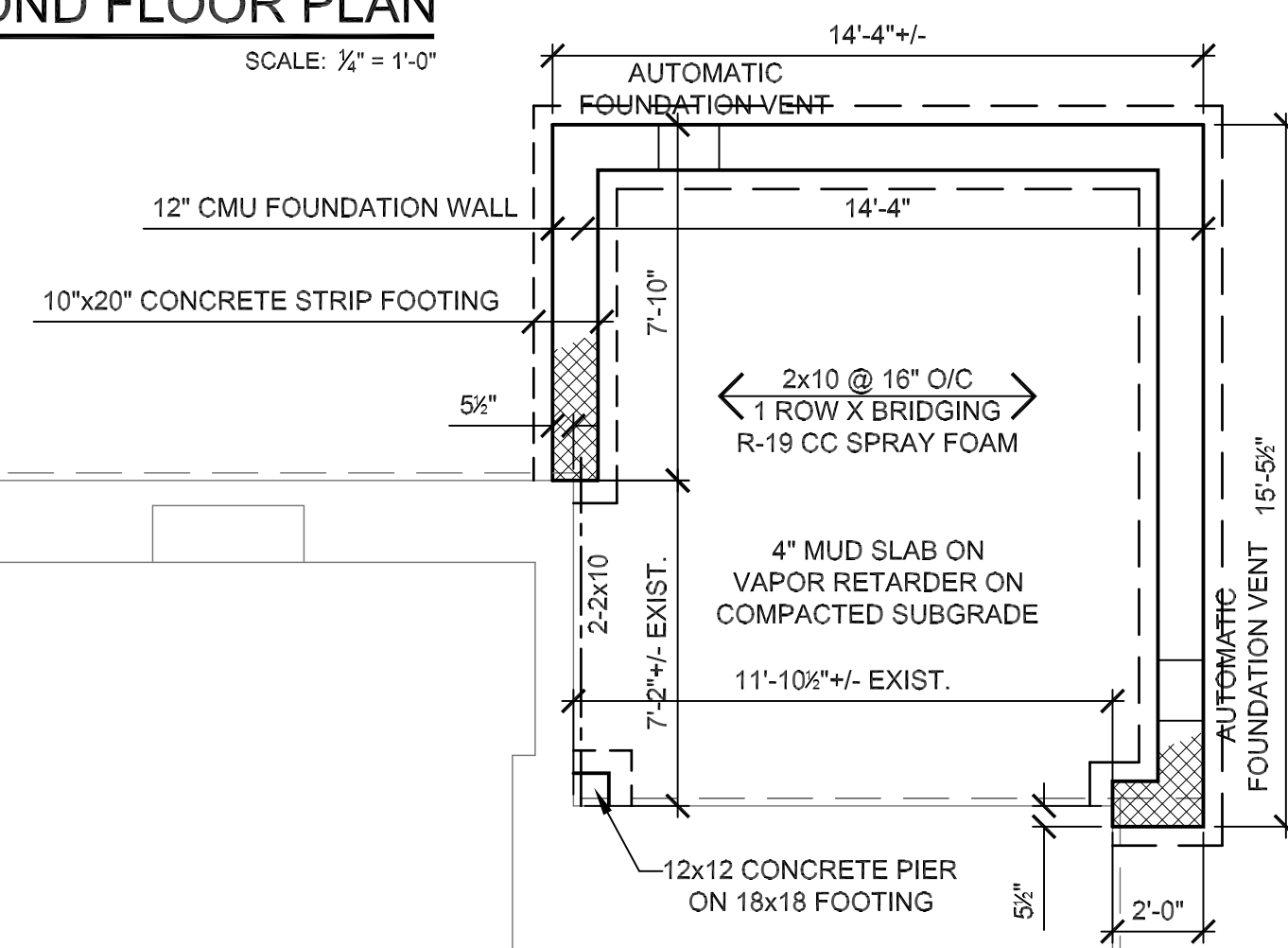
**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**INSULATION NOTES:**

- WHERE SPRAY FOAM INSULATION IS INSTALLED, APPLY CLOSED-CELL FOAM OF SUFFICIENT THICKNESS TO COMPLY WITH TABLE 402.1.2. APPLY WITHIN EXTERIOR STUD WALL VOIDS, AT RIM JOISTS, BETWEEN JOISTS OVER UNHEATED SPACE AND TO UNDERSIDE OF ROOF DECK BETWEEN RAFTERS TO MAINTAIN A CONTINUOUS THERMAL ENVELOPE. IF SPRAY FOAM INSULATION IS USED, DO NOT INSTALL SOFFIT VENTS, GABLE VENTS OR LPI BLOCKING BELOW UNINSULATED WALLS.
- WHERE COMBUSTIBLE SPRAY FOAM IS EXPOSED, COVER WITH 1/2" DRYWALL. WHERE COMBUSTIBLE FINISH MATERIALS ARE USED, PROTECT INSULATION WITH INTUMESCENT SPRAY FIREPROOF COATING OR DRYWALL BELOW FINISH MATERIALS.

**HEATING, VENTILATING, AIR CONDITIONING SCOPE OF WORK**

- EXTEND EXISTING HVAC SYSTEM DUCTWORK TO SERVE NEW FAMILY ROOM AND ENLARGE DUCT SERVING EXISTING KITCHEN TO PROVIDE ADEQUATE AIR VOLUME.



**3 CELLAR/ FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

[Symbol]	INCANDESCENT WALL SCONCE
[Symbol]	INCANDESCENT DOWNLIGHT
[Symbol]	INCANDESCENT ADJUSTABLE ACCENT LIGHT
[Symbol]	LED STRIP LIGHT
[Symbol]	DECORATIVE FIXTURE, FURNISHED BY OWNER
[Symbol]	DUPLEX OUTLET
[Symbol]	DUPLEX OUTLET/ GROUND FAULT INTERRUPTOR
[Symbol]	SIMPLEX OUTLET
[Symbol]	TV ANTENNA/CTV OUTLET
[Symbol]	TELEPHONE OUTLET
[Symbol]	COMBINATION TV/ DATA OUTLET
[Symbol]	PROGRAMMABLE THERMOSTAT
[Symbol]	3-WAY LIGHT SWITCH
[Symbol]	LIGHT SWITCH
[Symbol]	DIMMER SWITCH
[Symbol]	SMOKE DETECTOR, HARDWIRE/ BATTERY BACK-UP
[Symbol]	HEAT DETECTOR/ THERMAL SHUT-OFF
[Symbol]	SMOKE/ CO DETECTOR, DIGITAL READOUT
[Symbol]	J BOX
[Symbol]	WEATHERPROOF FLOODLIGHT
[Symbol]	KEY SWITCH
[Symbol]	PUSH BUTTON
[Symbol]	DOOR BELL
[Symbol]	JAMB SWITCH
[Symbol]	WEATHERPROOF
[Symbol]	EXISTING TO REMAIN

**LIGHT FIXTURE SCHEDULE**

F-1	WAC LOTOS R4ERAR
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**ELECTRICAL NOTES:**

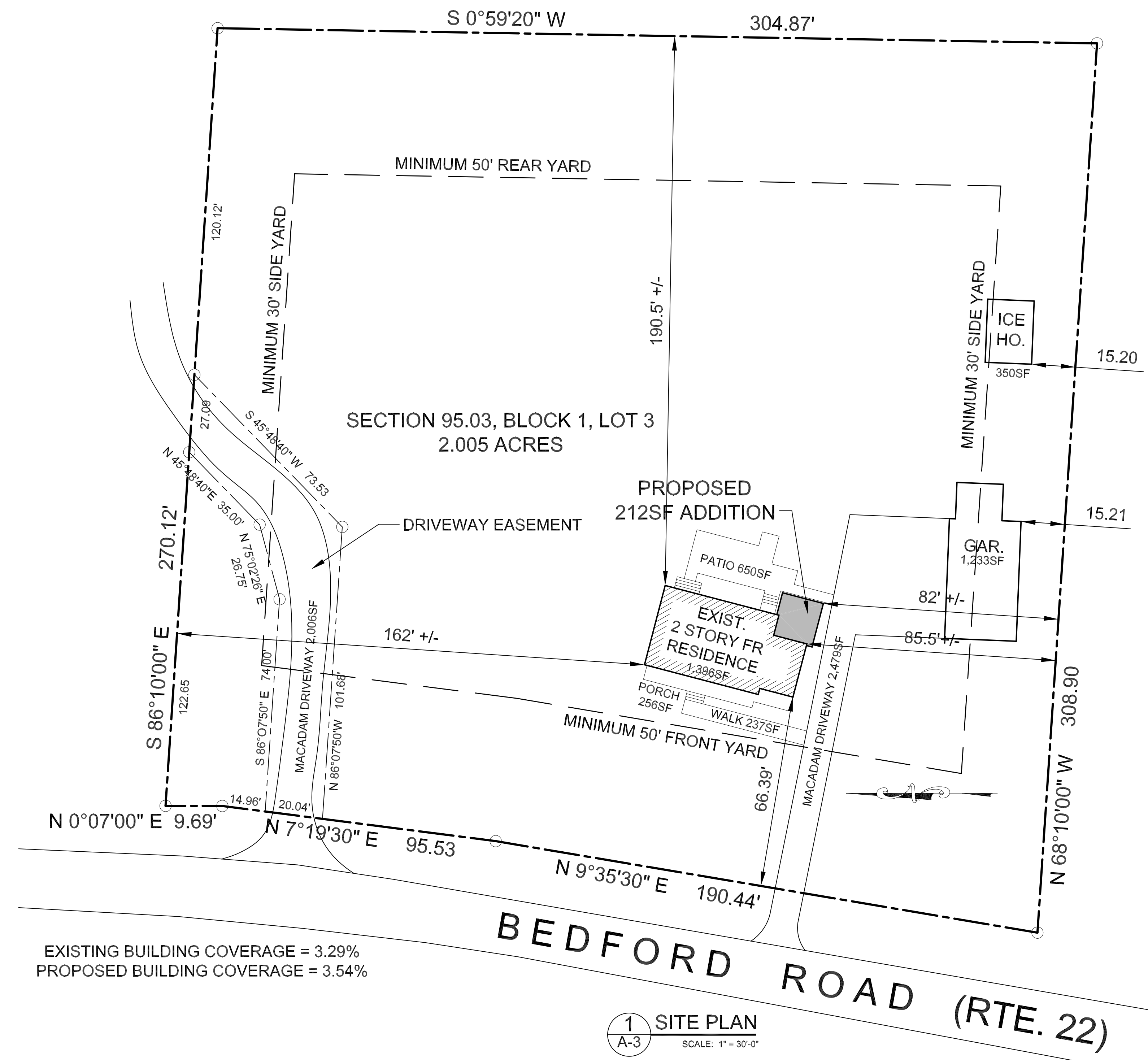
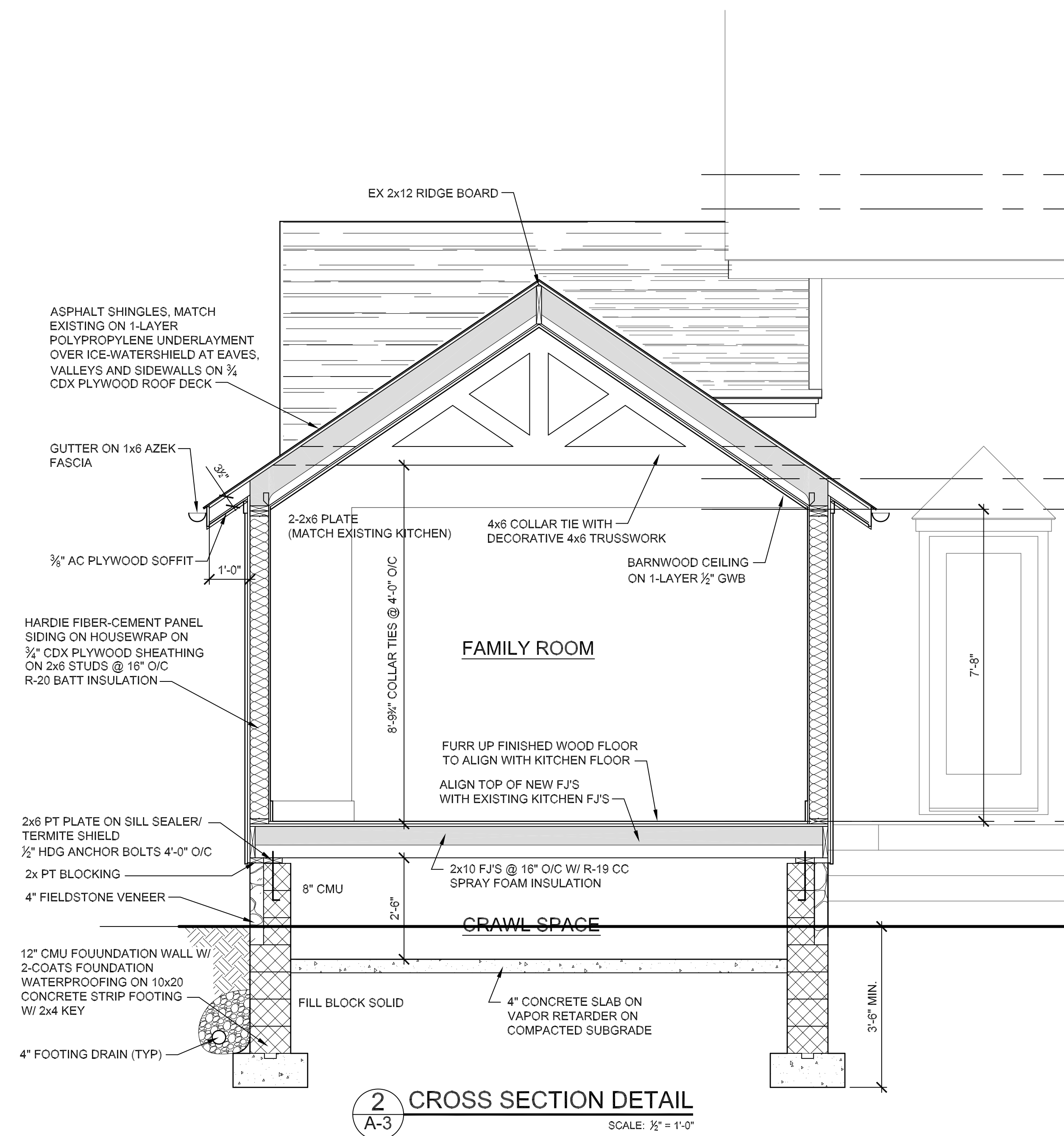
- ALL WORK TO COMPLY WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE.
- ALL LIGHT FIXTURES, ELECTRICAL DEVICES AND EQUIPMENT TO BE UL RATED. INITIAL LAMPING (EXCEPT FIXTURES FURNISHED BY OWNER) BY ELECTRICAL CONTRACTOR.
- ALL SMOKE AND CO DETECTORS TO BE HARD WIRED AND INTERCONNECTED PER NYS CODE. COORDINATE WITH ALARM SYSTEM VENDOR AND DELETE DETECTORS WHERE INSTALLED BY ALARM SYSTEM.
- UNLESS OTHERWISE NOTED: OUTLETS IN LIVING AREAS TO BE LOCATED NOT MORE THAN 12'-0" O/C. OUTLETS AT KITCHEN TO BE NOT MORE THAN 4'-0" O/C, 44" AFF TO CENTER OF DEVICE. OTHER OUTLETS TO BE 18" AFF. SWITCHES TO BE 48" AFF, THERMOSTAT TO BE 60" AFF. SCONCES TO BE 68" AFF, OUTLET AT WASHER AND DRYER TO BE 48" AFF.
- NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SECTION 404.1, 2020 NYS ECCC.

**FOUNDATION NOTES:**

- STAKE OUT THE FOOTPRINT OF THE ADDITION BEFORE STARTING WORK.
- MINIMUM SOIL BEARING CAPACITY TO BE 2 TONS/SF. ON UNDISTURBED SUBSOIL OR 90% COMPACTED FILL. WHERE OVER-EXCAVATION IS NECESSARY, PROVIDE 90% COMPACTED CRUSHED STONE OR CONCRETE FILL.
- WHERE COMPACTED SUBGRADE IS LOOSE OR UNSUITABLE FOR VAPOR RETARDER OR INSTALLATION OF SLAB-ON-GRADE, INSTALL 4" OF COMPACTED 3/4" CRUSHED STONE BASE.
- CONCRETE FOR GARAGE FLOOR SLAB TO BE 3,500 PSI 28-DAY COMPRESSIVE STRENGTH. FOUNDATION WALLS AND OTHER VERTICAL SURFACE EXPOSED TO THE WEATHER TO BE MIN. 3,000 PSI. INTERIOR SLABS, WALLS AND FOOTING NOT EXPOSED TO THE WEATHER TO BE 2,500 PSI. MINIMUM COVER TO REINFORCEMENT TO BE 1 1/2" THICKNESS OF STRIP FOOTINGS TO BE NOT LESS THAN THE WIDTH OF WALL BEARING ON IT.
- INSTALL 1/2" GALVANIZED STEEL ANCHOR BOLTS SPACED NOT MORE THAN 4'-0" O/C. MASAP MUDSILL ANCHORS MAY BE USED IN LIEU OF ANCHOR BOLTS.
- STRIP FOOTINGS ARE TO BE PLACED IN A SINGLE POUR.
- REINFORCING BARS TO BE A MINIMUM OF GRADE 40 DEFORMED BARS. MINIMUM LAP AT SPLICES TO BE NOT LESS THAN 40 TIMES THE BAR DIAMETER.
- FOUNDATION WALLS TO HAVE A MINIMUM 14-DAY SET AND FIRST FLOOR PLATFORM IS TO BE IN PLACE BEFORE COMMENCING BACKFILL. PLACE BACKFILL IN 12" LIFTS, EQUAL ON BOTH SIDES FOR ENTIRE LENGTH OF FOUNDATION WALL.

	<p><b>PAUL DENNIS, A.I.A.</b> ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com</p>	<p>TITLE <b>FLOOR PLAN FOUNDATION PLAN ROOF PLAN</b></p>
	<p><b>FAMIL ROOM ADDITION JAMES AND KRISTIN FRANZESE HOUSE 709 BEDFORD ROAD, ARMONK NY, 10504</b></p>	<p>DATE: SEPTEMBER 28, 2021 SCALE: 1/4" = 1'-0", U.O.N. DRAWN BY: LP/ PD CHECKED BY:</p>
<p>SECTION 95.03, BLOCK 1, LOT 3, ZONE R2A</p>	<p>JOB: <b>2262</b> DRAWING #: <b>A-2</b></p>	<p>SHEET 2 OF 3</p>





EXISTING BUILDING COVERAGE = 3.29%  
PROPOSED BUILDING COVERAGE = 3.54%

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# ISSUE DATE	DATE NOVEMBER 22, 2021 SCALE 1/4" = 1'-0", U.O.N. DRAWN BY LP/ PD CHECKED BY	JOB 2262 SHEET 3 OF 3	DRAWING # <b>A-3</b>
<b>FAMIL ROOM ADDITION</b> <b>JAMES AND KRISTIN FRANZESE HOUSE</b> 709 BEDFORD ROAD, ARMONK NY, 10504 SECTION 95.03, BLOCK 1, LOT 3, ZONE R2A			