

**Michael A. Testa, Jr.
1114 State Route 22
Pawling, N. Y. 12564
914-760-4319 Cell
e-mail matestajr@gmail.com**

Memorandum

**TO: Adam Kaufman Chairman RPRC
Town of North Castle
Planning Department
17 Bedford Road
Armonk N.Y. 10504**

FROM:  Michael A. Testa, Jr.

**SUBJECT: Mr. Troy Benson
9 Fox Run
Armonk, New York 10504**

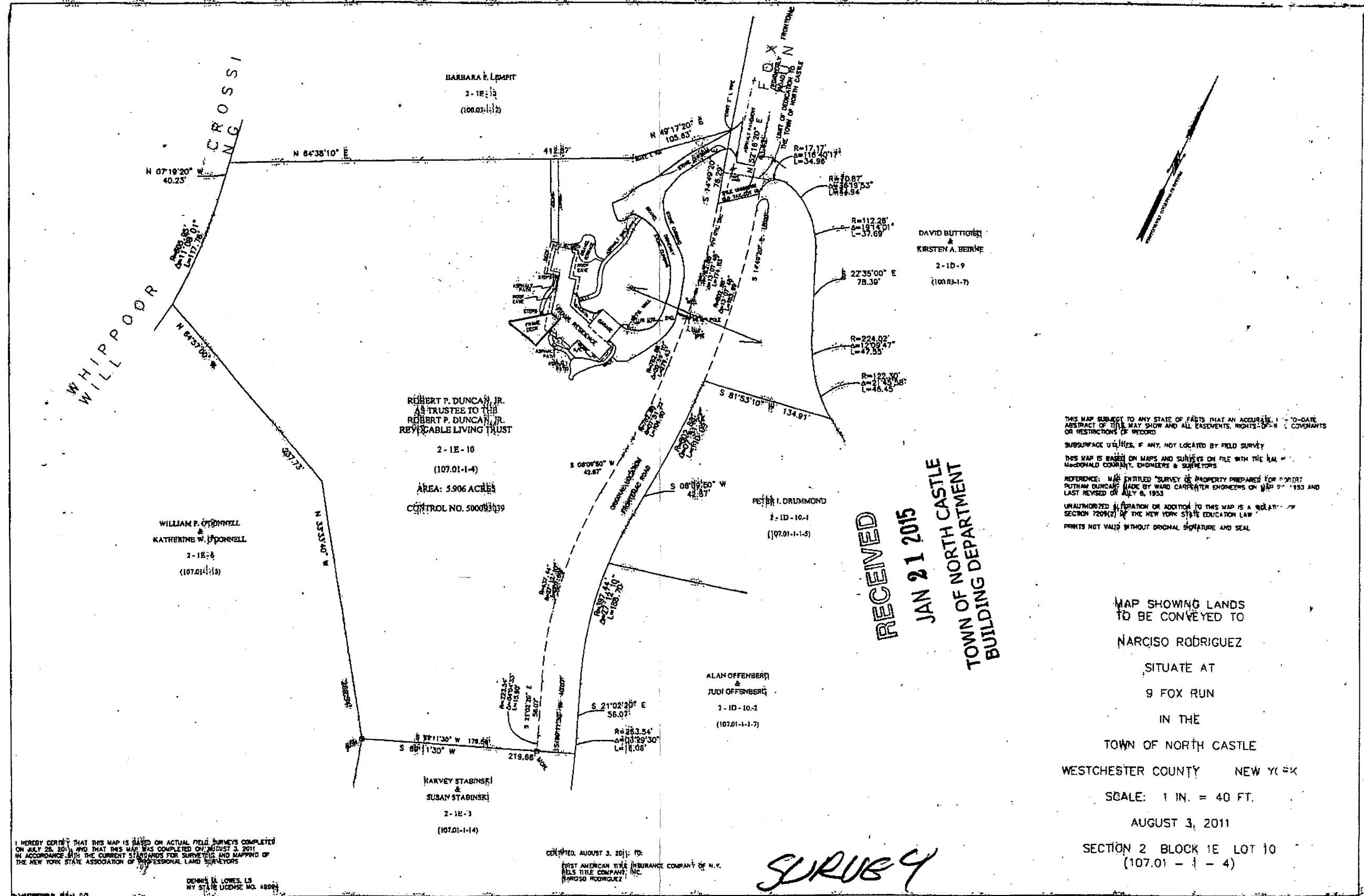
Re-Proposed legalization submission for the RPRC for wooden and solarium improvements done circa 1995

DATE: January 24, 2022

Regarding the property of Mr. Troy Benson located at 9 Fox Run Armonk, New York involving the legalization of a wooden deck and solarium improvement done circa 1995; please find enclosed the following documents per your submission criteria for the RPRC Board:

- RPRC application and associated review fee
- Copy of survey
- Gross land coverage worksheet
- Westchester County GIS overlay for your reference
- Copy of listing by real estate agent from previous buyer
- As-built plan depicting wooden deck and solarium improvements done circa 1995

If you should have any further questions in this matter, please do not hesitate to contact me



RECEIVED
JAN 21 2015
TOWN OF NORTH CASTLE
BUILDING DEPARTMENT

THIS MAP SUBJECT TO ANY STATE OF FACTS THAT AN ACCURATE, UP-TO-DATE ABSTRACT OF TITLE MAY SHOW AND ALL EASEMENTS, RIGHTS-OF-WAY, COVENANTS OR RESTRICTIONS OF RECORD
 SUBSURFACE UTILITIES, IF ANY, NOT LOCATED BY FIELD SURVEY
 THIS MAP IS BASED ON MAPS AND SURVEYS ON FILE WITH THE REAL PROPERTY RECORDS DEPARTMENT, WESTCHESTER COUNTY, ENGINEERS & SURVEYORS
 REFERENCE: MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR ROBERT PUTNAM DUNCAN, JR. MADE BY WARD CARPENTER ENGINEERS ON MAP OF 1953 AND LAST REVISED ON JULY 8, 1953
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW
 PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL

MAP SHOWING LANDS
 TO BE CONVEYED TO
 NARCISO RODRIGUEZ
 SITUATE AT
 9 FOX RUN
 IN THE
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY NEW YORK
 SCALE: 1 IN. = 40 FT.
 AUGUST 3, 2011
 SECTION 2 BLOCK 1E LOT 10
 (107.01 - 1 - 4)

I HEREBY CERTIFY THAT THIS MAP IS BASED ON ACTUAL FIELD SURVEYS COMPLETED ON JULY 28, 2011 AND THAT THIS MAP WAS COMPLETED ON AUGUST 3, 2011 IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SURVEYING AND MAPPING OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS
 DENNIS H. LOWES, L.S.
 NY STATE LICENSE NO. 48898
 RALPH L. McDONALD COMPANY, ENGINEERS & SURVEYORS

CERTIFIED AUGUST 3, 2011 BY:
 FIRST AMERICAN TITLE INSURANCE COMPANY OF N.Y.
 TITLE COMPANY, INC.
 NARCISO RODRIGUEZ

SURVEY
NOT TO SCALE

FILE NO. 48898

PHOTO VIEWS OF GUEST BATHROOM

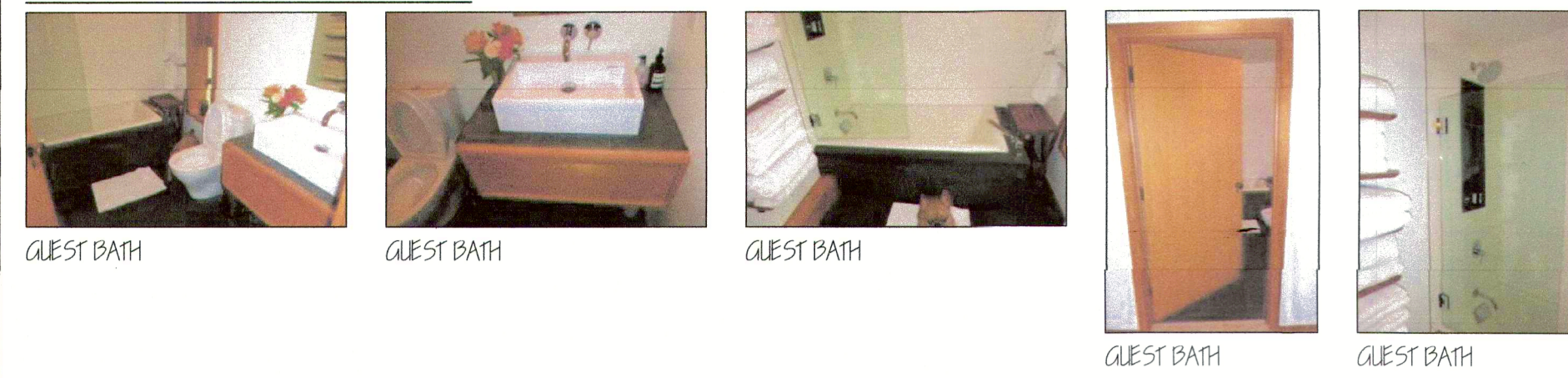


PHOTO VIEWS OF DECK AREA



PHOTO VIEWS OF KITCHEN



PHOTO VIEWS OF MASTER BATHROOM

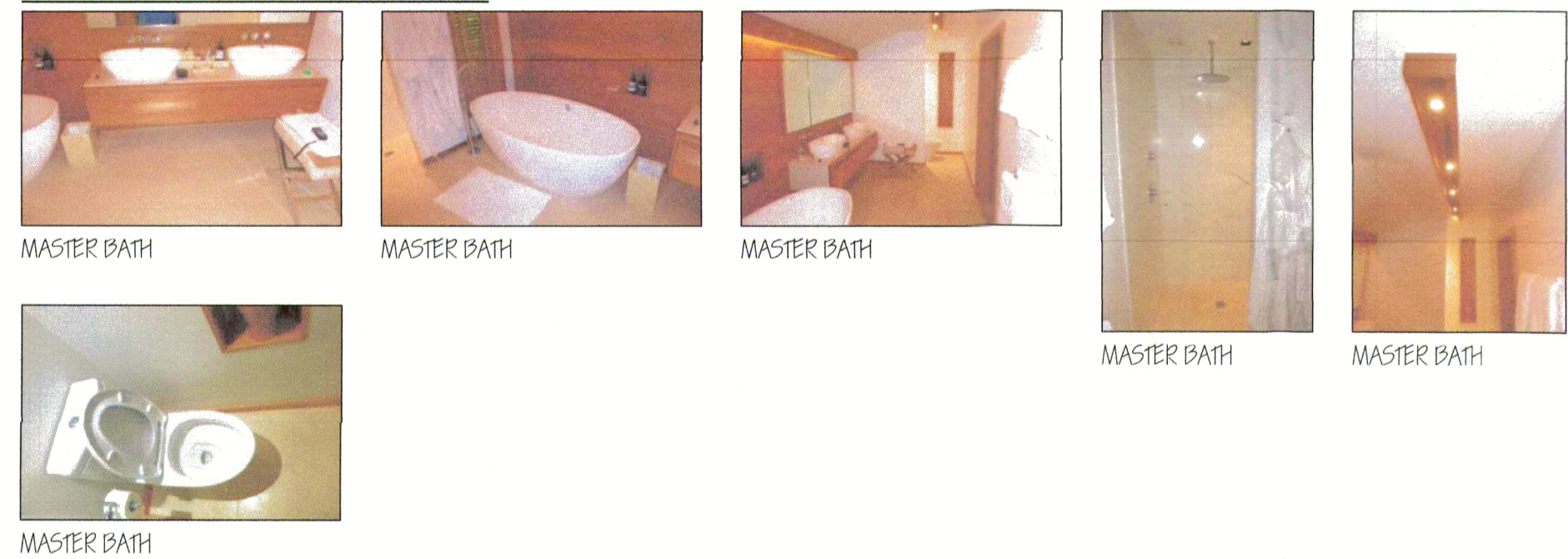
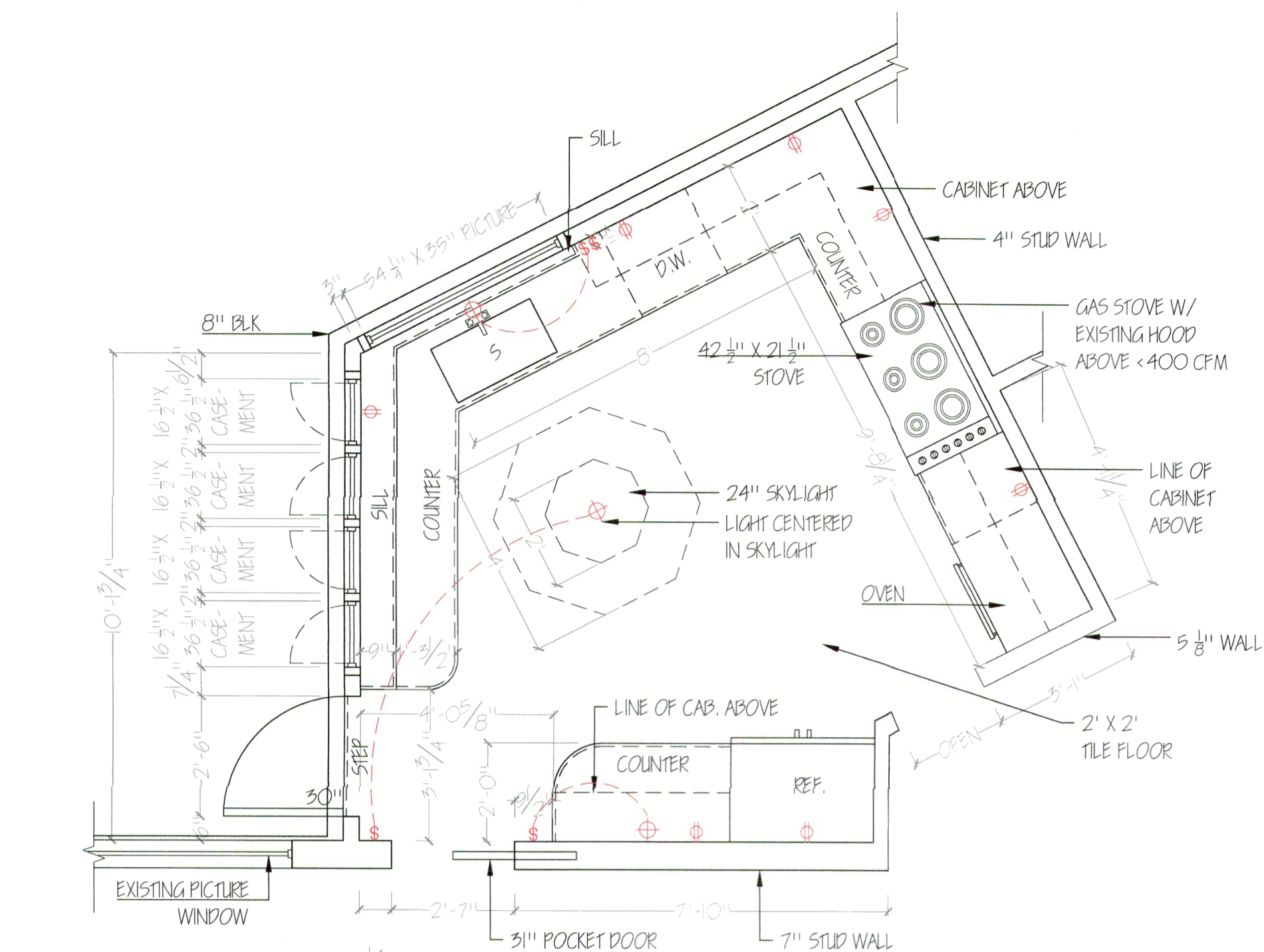
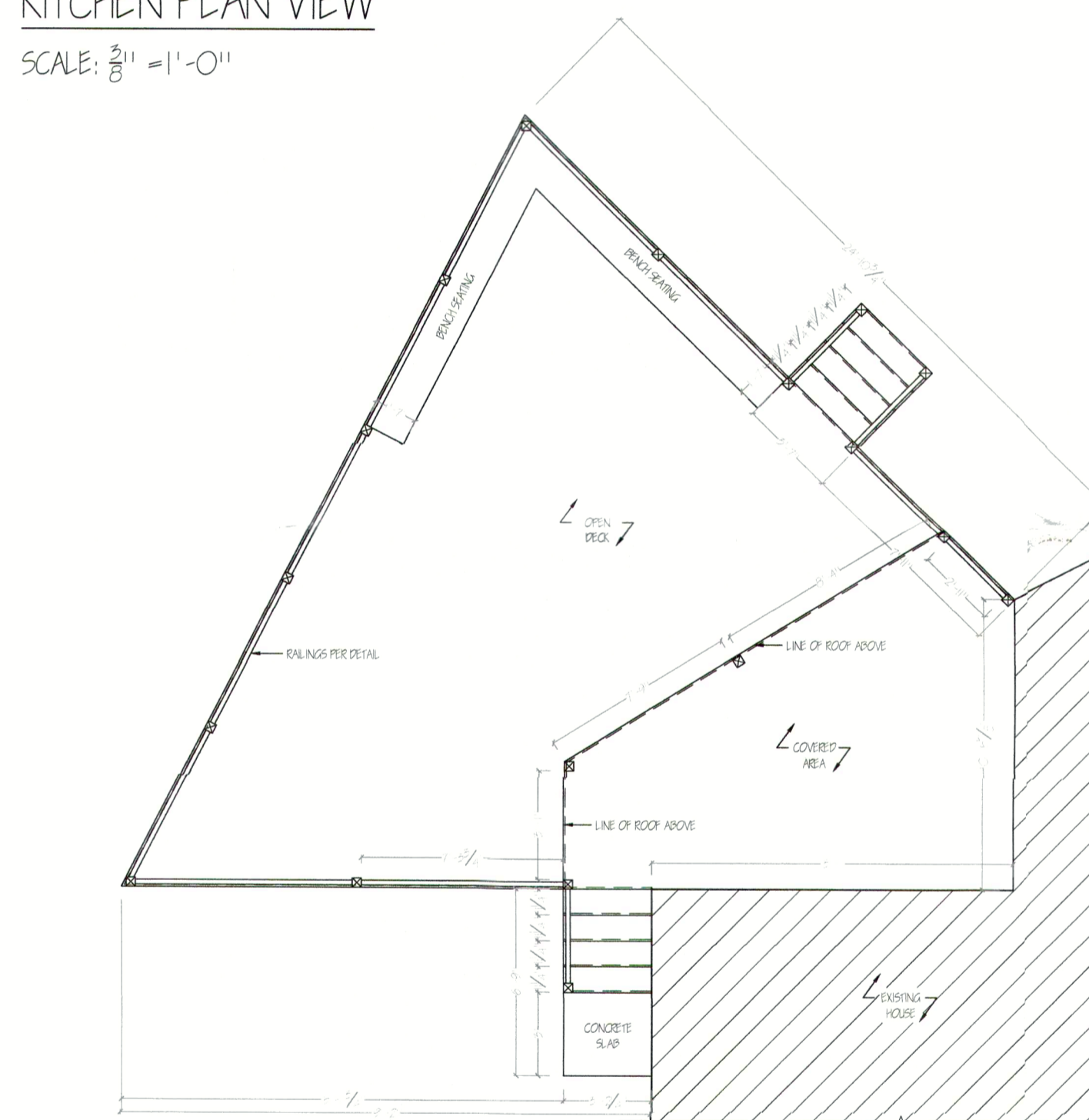


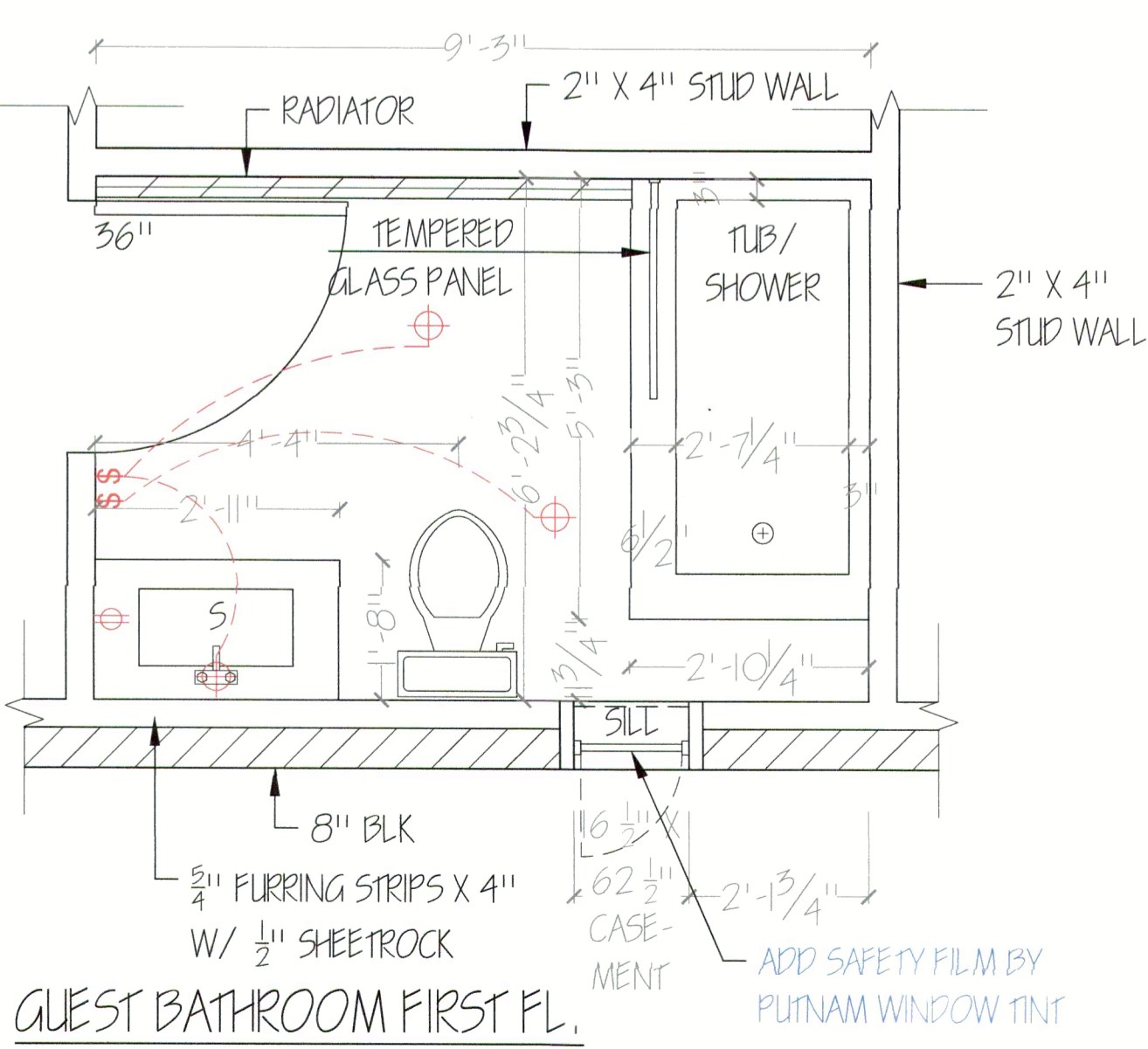
PHOTO VIEWS OF SOLARIUM



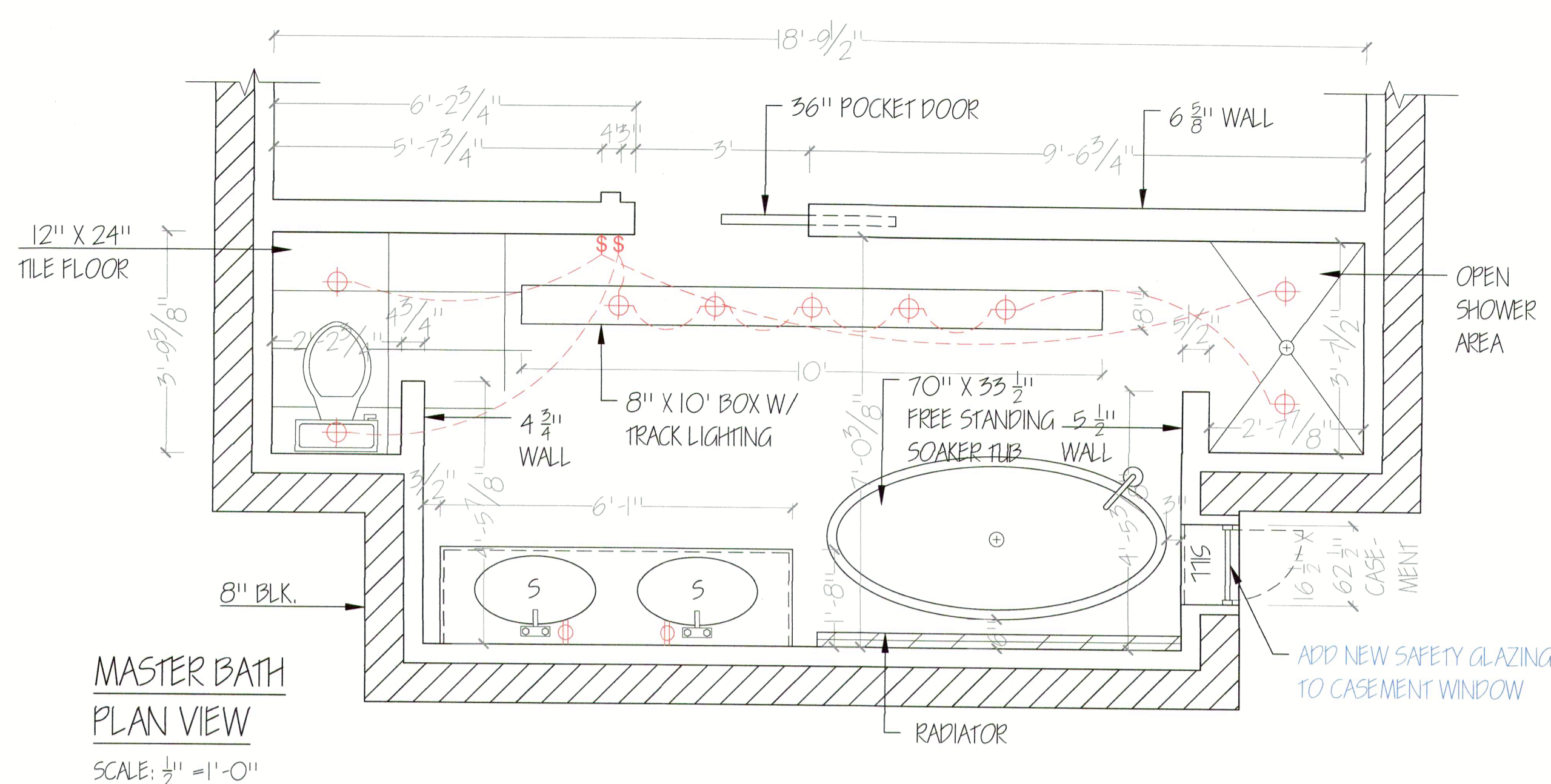
KITCHEN PLAN VIEW
SCALE: 3/8" = 1'-0"



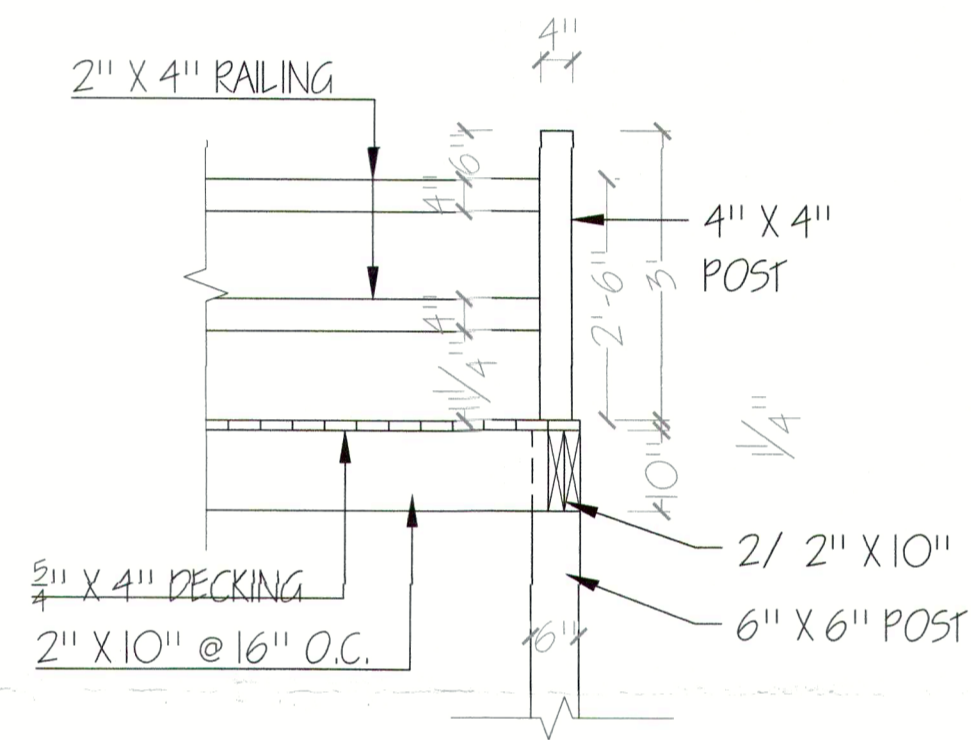
EXISTING WOODEN DECK PLAN VIEW
SCALE: 3/16" = 1'-0"



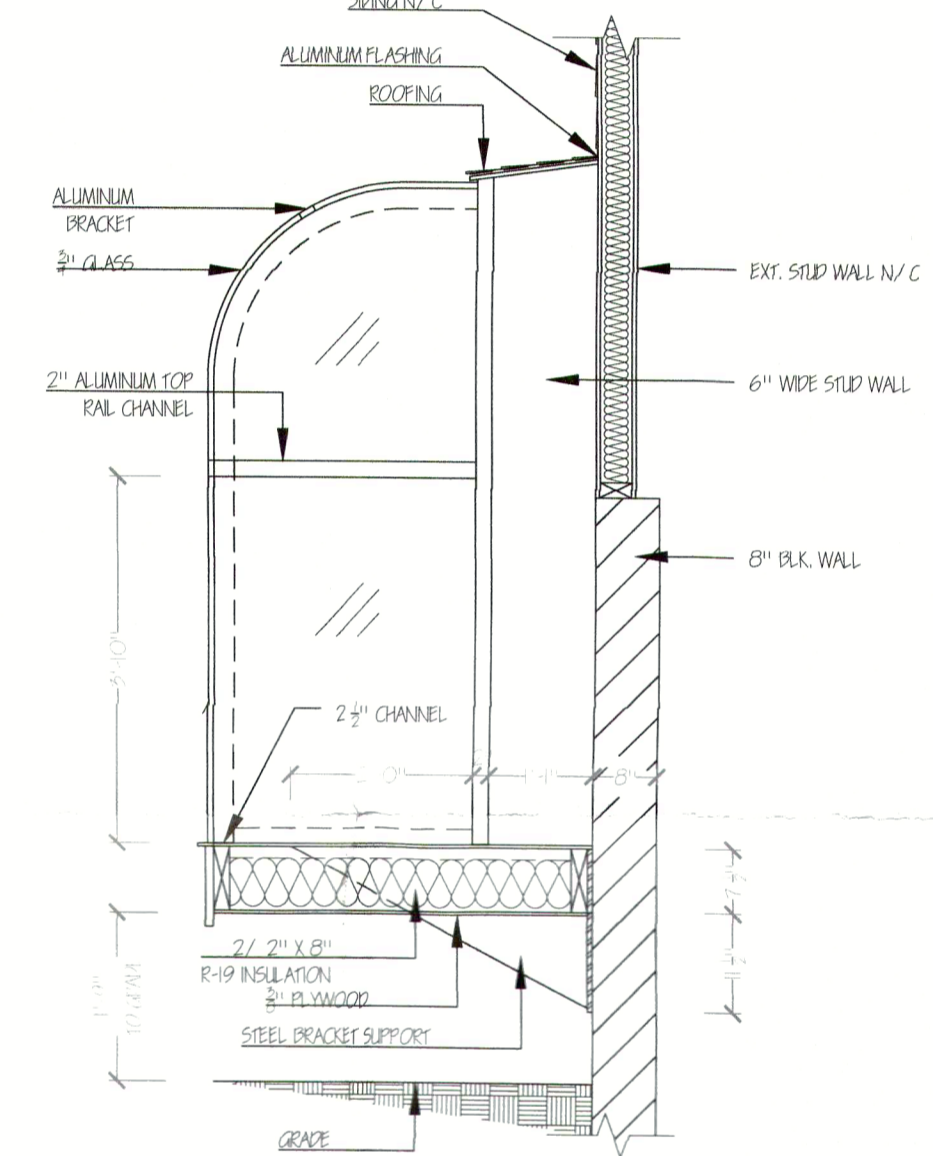
GUEST BATHROOM FIRST FL.
SCALE: 1/2" = 1'-0"



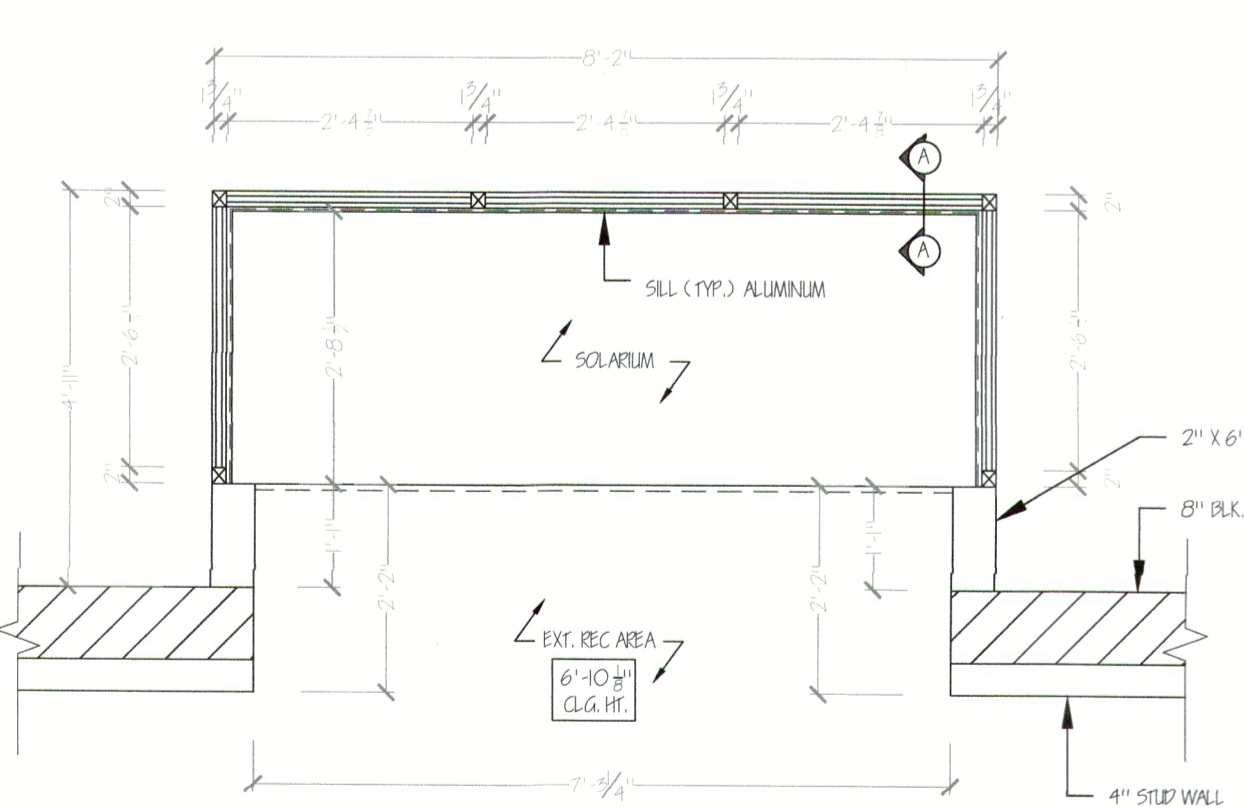
MASTER BATH PLAN VIEW
SCALE: 1/2" = 1'-0"



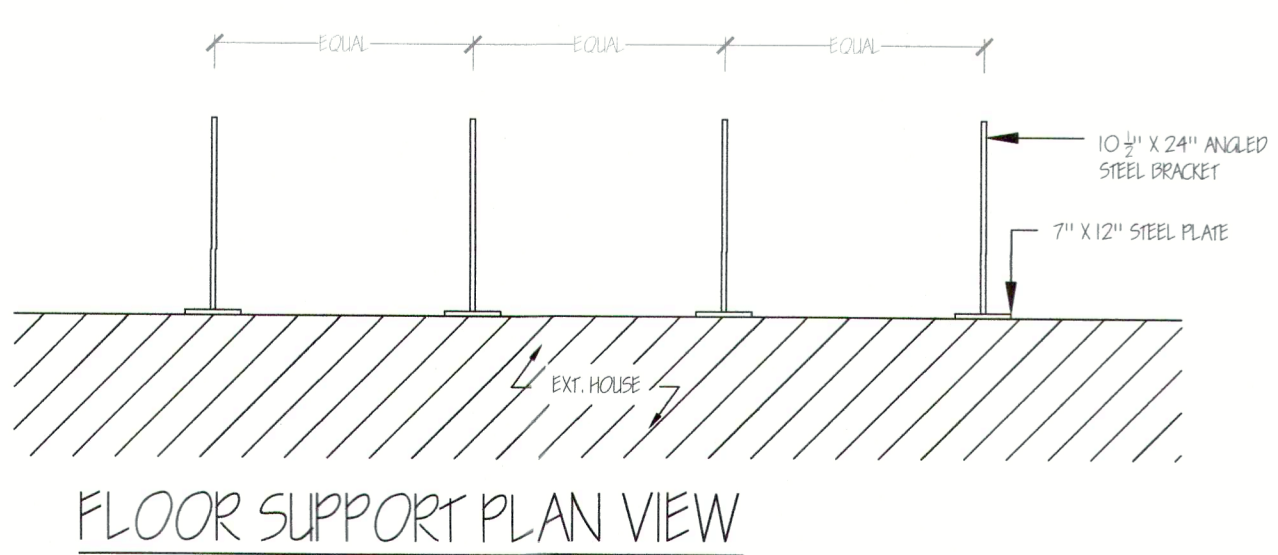
SECTION VIEW/RAILING DETAIL
SCALE: 1/2" = 1'-0"



SECTION VIEW A-A
SCALE: 1/2" = 1'-0"



PLAN VIEW SOLARIUM
SCALE: 1/2" = 1'-0"



FLOOR SUPPORT PLAN VIEW
SCALE: 1/2" = 1'-0"

Note: Residence to be provided w/ new smoke and CO detectors per NY State Code

- Smoke/Carbon Monoxide Detector
- Smoke Detector

General notes (Where applicable)

- All work shall conform to local and state building codes and regulations of all other agencies having jurisdiction.
- Contractor shall obtain and pay for all required permits.
- All materials shall be new and of best quality.
- Contractor is to be fully covered by Workmen's Compensation Liability insurance as may be required by local jurisdiction.
- Contractors to remove all debris from premises as required.
- Tape and spackle as required.
- Patch and repair interior and exterior walls, floors and ceilings as required.
- All new gypsum board to align with existing.
- Firestopping to be installed as required by code. Concealed spaces within the walls, partitions, floors, stairs and around chimneys, pipes and duct openings in such construction shall be firestopped to prevent the passage of flame, smoke, fumes and hot gases.
- Firestopping to be installed where new work joins existing.
- Smoke detectors, regardless of the category of work, smoke detectors shall be provided where required by R-509 of IRC Residential Code.
- Smoke detectors shall have an audible alarm. Both battery and electrically operated hardwired devices are acceptable.
- Carbon monoxide detector to be installed as per New York state codes. (As needed)
- All framing to be done in accordance with the latest addition of the "National design specification for stress graded lumber and it's fasteners" as published by the national lumber manufacturers association.
- All lumber and wood shall be kiln dried, free from rot, large loose knots and other imperfections.
- Framing lumber shall be Douglas fir/Larch No. 2 or better with min. FB=1200 p.s.i. and E=1,700,000 p.s.i.
- All framing lumber shall bear visible grade stamp.
- Provide all needed lockers, blocking, nailers, cuts, aprons and framing hardware for a complete job.
- Set joists and rafters with crown up.
- All lumber in contact with masonry to be pressure-treated.
- Pluwood for subfloor shall be APA rated stud-1-Floor exp. 1, T&G edges.
- Pluwood room and wall sheathing shall be APA rated for sheathing. Grade stamp visible on all sheets. Support all edges.
- Provide X-brackets or solid blocking at mid-span of joists and rafters or at 8 ft. on center intervals.
- Pressure treated (PTD) wood shall be treated Southern yellow Pine. Sawdust and wood scraps shall be contained and disposed of recommended by MFG. Pressure treated wood shall not be burned.
- All nails and screws, bolts and other metal coming in contact with pressure treated wood shall be hot dipped galvanized.
- Contractors to provide all temporary shoring and partitions as needed.
- Electrical work, wiring and equipment shall conform to the National Electrical code (NEPA) latest addition and all regulatory agencies.
- Contractor to remove existing debris as needed.

Notes:

- Residence pre-dates NYS Energy Code and was built circa 1953.
- Work done associated with kitchen, solarium, bathrooms, and deck modifications done circa 1995.

DATE: 7/27/2021 APPROVED BY: Michael A. Testa, Jr.
REVISION: 12/15/2021

AS-BUILT KITCHEN, BATHROOMS, SOLARIUM AND WOODEN DECK PLAN VIEWS FOR RESIDENCE OF MR. TROY BENSON LOCATED AT 9 FOX RUN ARMONK, NEW YORK 10504

SCALE: AS NOTED PAGE # 1 OF 1
FOR BUILDING DEPARTMENT LEGALIZATION/FILE





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT Troy Benson (owner)

ADDRESS: 9 Fox Run Armonk New York 10504

Section III- DESCRIPTION OF WORK:

Legalization of Existing Wooden Deck
modifications and Solarium Done circa 1995
For building Dept. Legalization

Section III- CONTACT INFORMATION:

APPLICANT: Michael A. Testa Jr.

ADDRESS: 114 State Route 22 Pawling New York 10504

PHONE: 845-855-5128 MOBILE: 914-260-4319 EMAIL: matestajr@gmail.com

PROPERTY OWNER: Mr. Troy Benson

ADDRESS: 9 Fox Run Armonk New York 10504

PHONE: 1-212-810-6993 MOBILE: 1-646-467-4257 EMAIL: Troy@quallsbenson.com

PROFESSIONAL: Anthony Pisarri P.E.

ADDRESS: 3 Rosalind Drive Cortlandt Manor NY 10567

PHONE: 914-739-6580 MOBILE: 914-329-1605

EMAIL: APisarri@aol.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.01-1-4



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: _____

Roy Benson (owner)
 Initial Submittal Revised Preliminary

Street Location: _____

9 Fox Run Armonk N.Y. 10504

Zoning District: R2A Property Acreage: 5.906 Tax Map Parcel ID: 107.01-1-4

Date: 1-25/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Troy Benson 9 Fox Run Date: 1/24/22
 Tax Map Designation or Proposed Lot No.: 107.01-1-4

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 257,265.36
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 26,530.90
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
140 x 10 = 1400 1,400
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 27,930.90
5. Amount of lot area covered by **principal building**:
3,171.65 existing + 0 proposed = 3,171.65
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
1,144.50 existing + 0 proposed = 1,144.50
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
8,133 existing + 0 proposed = 8,133.0
10. Amount of lot area covered by **terraces**:
973 existing + 0 proposed = 973
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
16.66 existing + 0 proposed = 16.66
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 13,438.81 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date

1/24/22

Gross Land Coverage Worksheet Breakdown

Item #		S.F.
A	main House 21'x26'	546.0
B	main house 3'x15'	45.0
C	Garage 20'x24'	480.0
D	main House 28'x19'	532.0
E	Main House 58'x18'	1,044.0
F	Solarium 4'-11" x 8'-2"	40.15
G	main House 10'x28'	280.0
H	main House 11'x19' ÷ 2	104.50
H	Rear Deck Large Deck w/Steps	(-) 780.50
J	Small Deck (Right Side Rear)	(-) 364.0
K	main House 10'x20' ÷ 2	100.0

3,171.65
S.F.

principal Bldg.

Decks

I	Rear Deck	780.50
J	Small Deck	364.0

1,444.50
S.F.

DECKS
TOTAL

Code

L = Driveways, Parking Areas
& Walkways

115' x 4' = 460 S.F.
100' x 4' = 400

↙ Walks

Cont. →

S.F.

5'x35' = 175.0

30'x4' = 120.0

45'x4' = 180.0

40'x4' = 160.0

30'x4' = 120.0

150'x14' = 2,100.0

15'x4' = 60.0

30'x30' ÷ 2 = 450.0

30'x30' ÷ 2 = 450.0

165'x14' = 2,310.0

40'x14' = 560.0

7'x8' ÷ 2 = 28.0

7'x8' = 56.0

10'x10' ÷ 2 = 50.0

20'x25' ÷ 2 = 250.0

20'x10' ÷ 2 = 100.0

10'x16' ÷ 2 = 80.0

3'x8' = 24.0

Walkways

Driveway
& Parking Areas

9,133.0
S.F.

Driveway, Parking &
Walkways

TERRACES (Patios)

20'x25' = 500.0

22'x43' ÷ 2 = 473.0

973.0
S.F.

Terrace/Patios

Mechanical Equipment
CONDENSER

16,666 S.F.

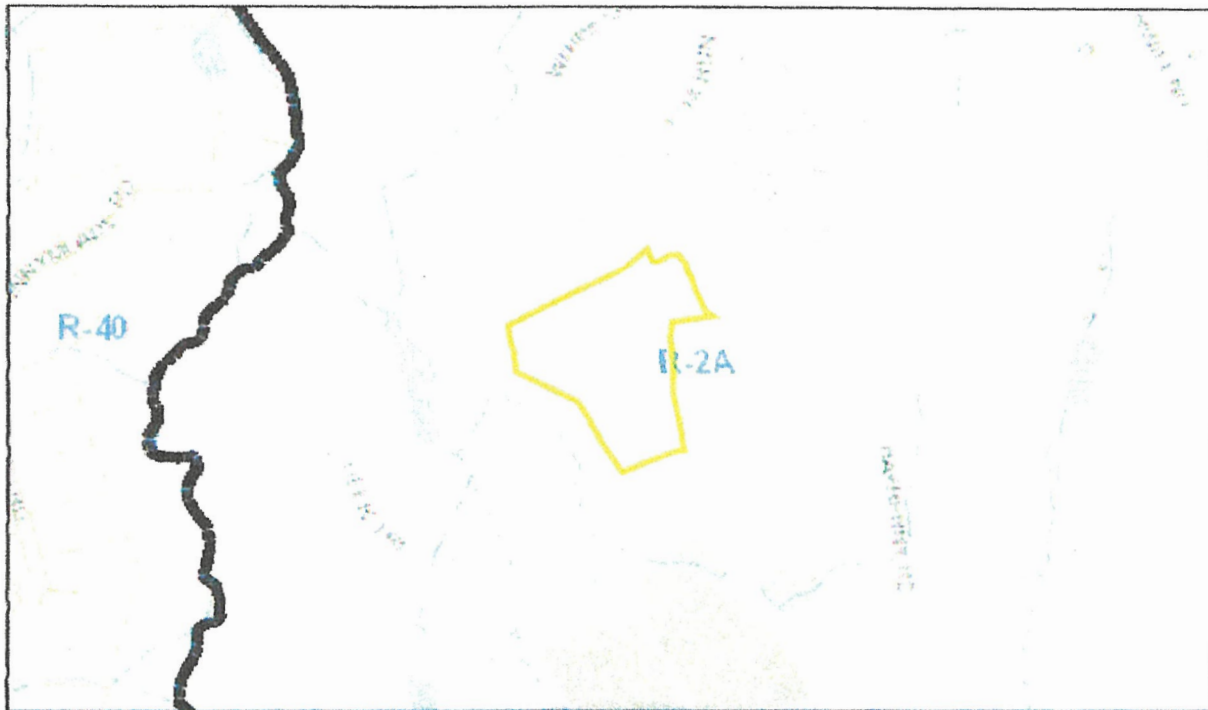
CONDENSER UNITS

Tax Parcel Maps

Address: 9 FOX RUN

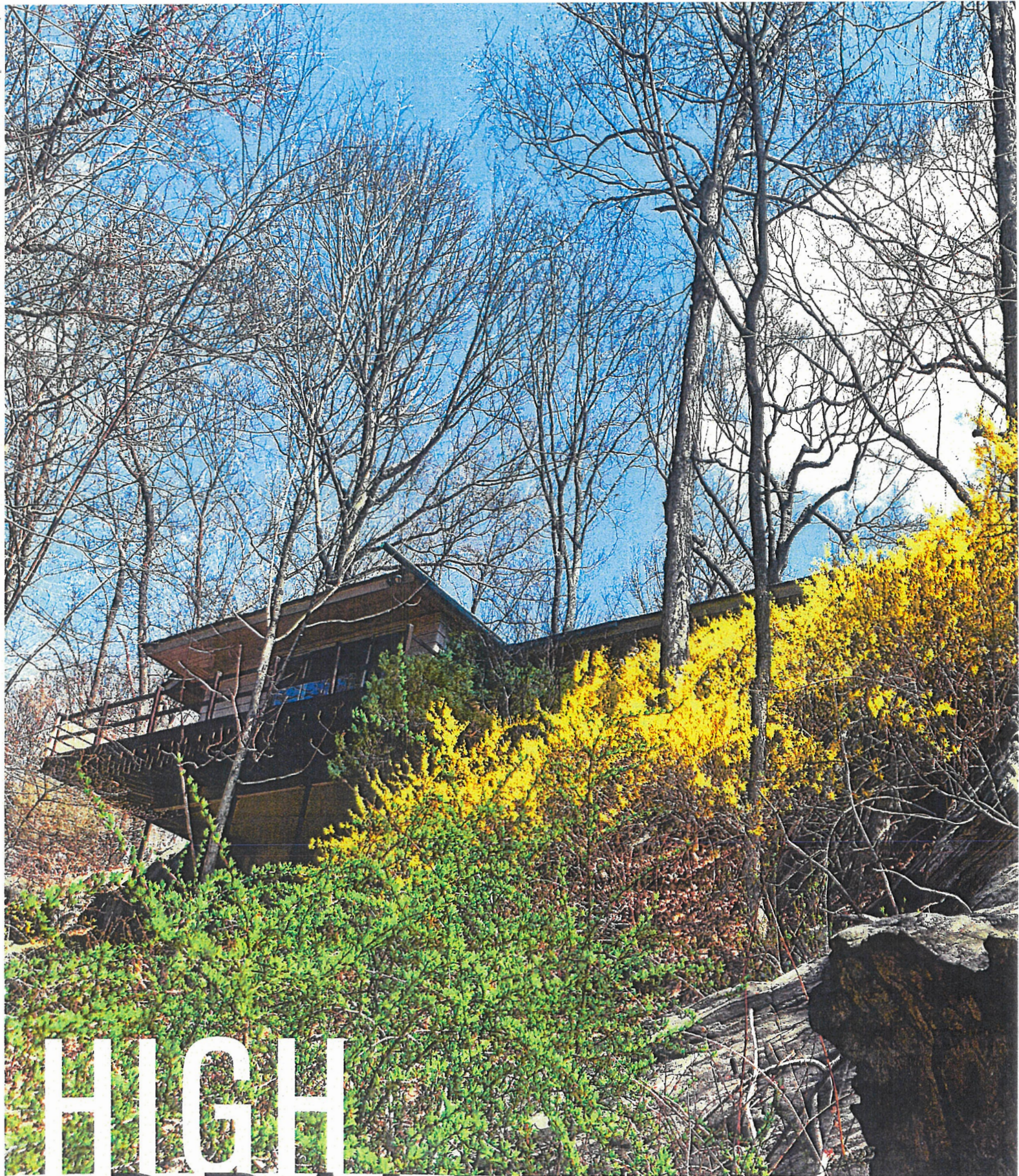
Print Key: 107.01-1-4

SBL: 10700100010040000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

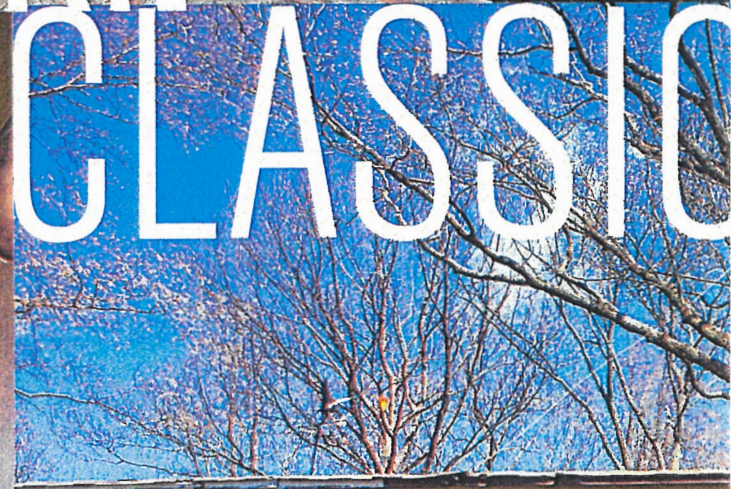


HIGH DRAMA

THE DUNCAN RESIDENCE 1955, ARMONK
ARCHITECT EDGAR TAFEL

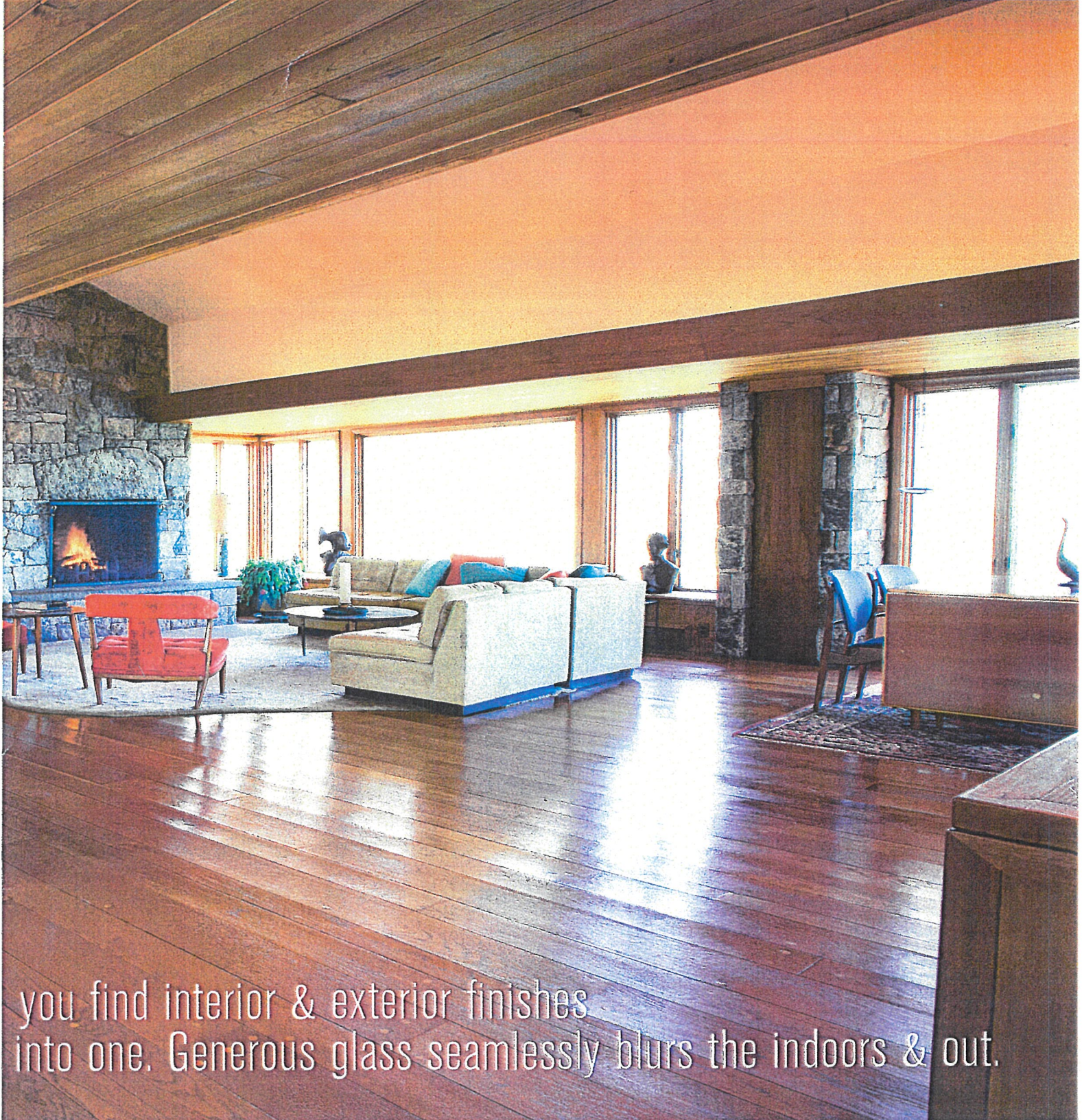
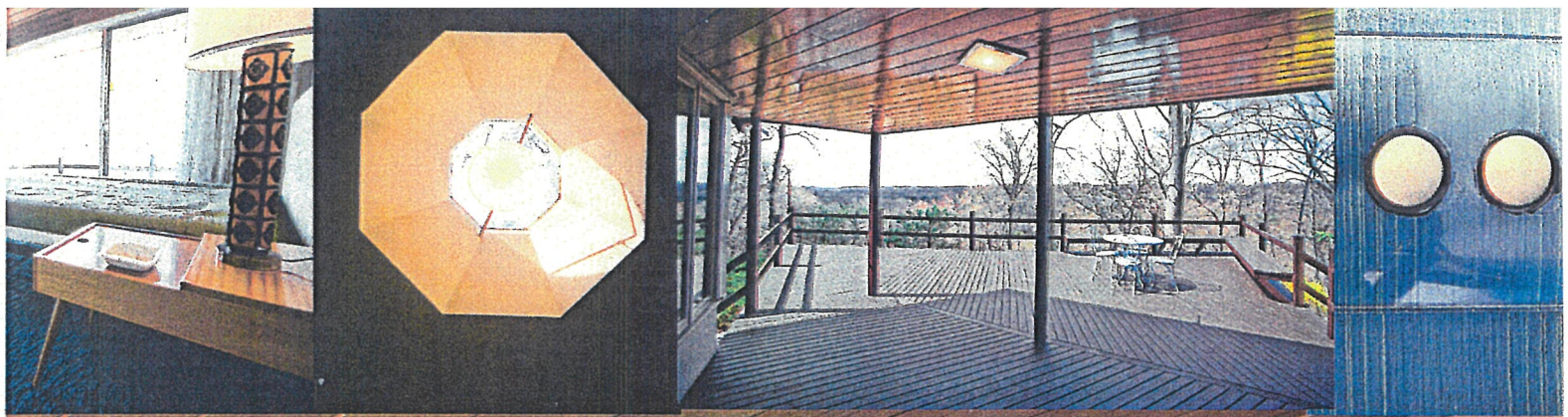


MODERN

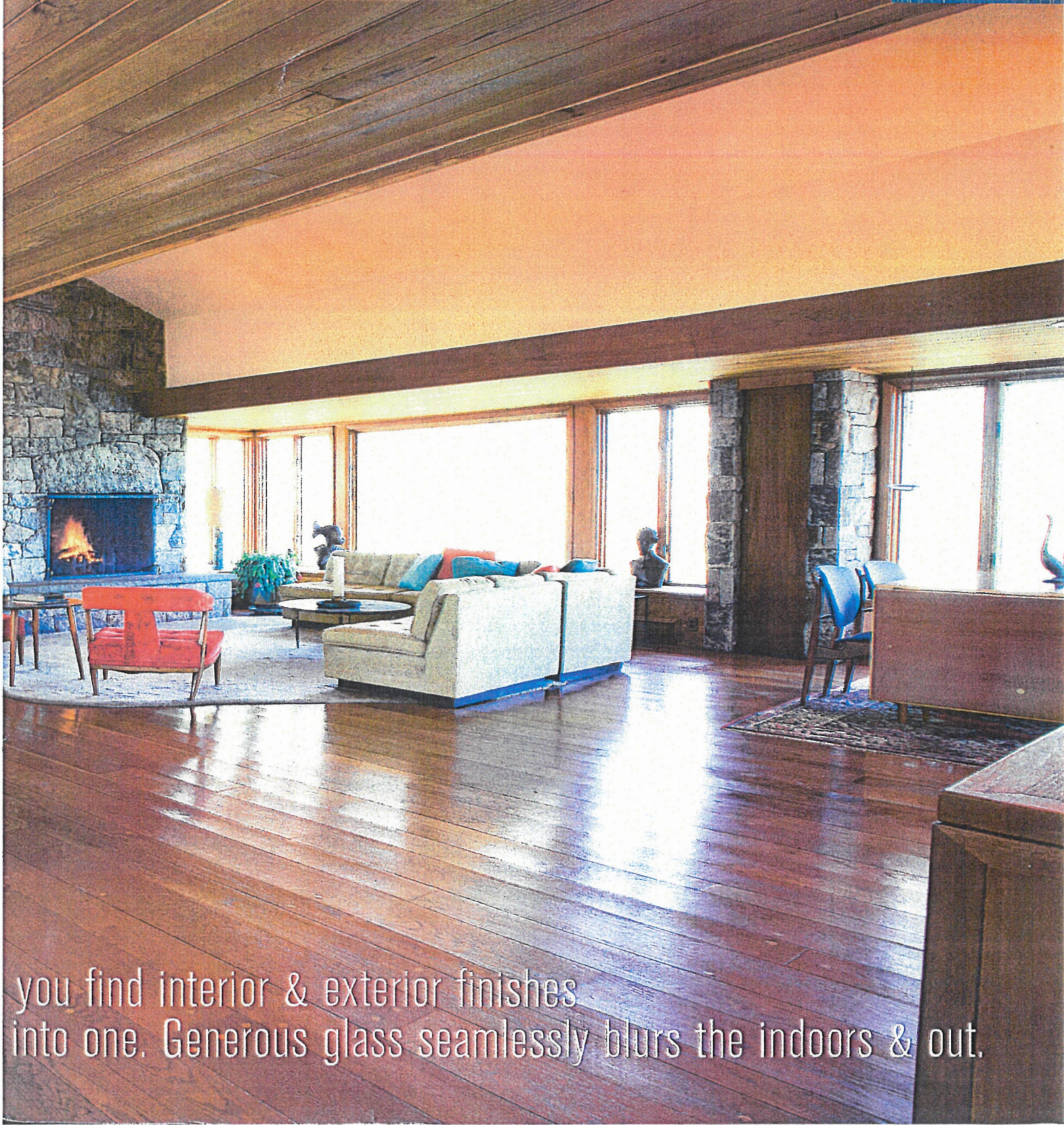
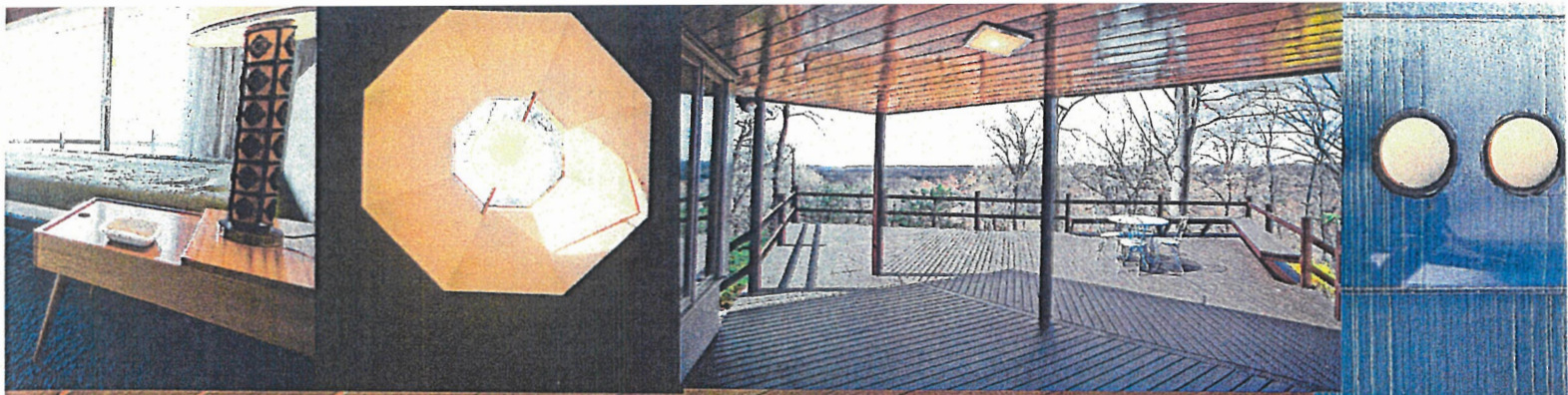


CLASSIC





you find interior & exterior finishes
into one. Generous glass seamlessly blurs the indoors & out.



you find interior & exterior finishes
into one. Generous glass seamlessly blurs the indoors & out.



PEACEFUL



SECLUSION

HIGH DRAMA. Ultimate privacy and seclusion within close proximity to Manhattan...welcome home to an expansive six acre property in prestigious Whip-poorwill with extraordinary one-of-a-kind views complimented by artful mid-century modern architecture. Noted architect Edgar Tafel designed this residence for it's present original owner embracing the architectural principles of Frank Lloyd Wright. The union of landscape and architecture enrich one's environment lending to a quality lifestyle. Carefully preserved since inception, you find interior and exterior finishes of wood and stone melding into one. Generous glass brings indoor and outdoors together seamlessly. The home's interior excites the senses with teal as a theme color accenting warm wood tones and exciting retro kitchen, baths and fixtures. All maintained. All fully functional. Outdoor entertaining spaces, areas for play, and nature's wonders are at your doorstep. Come in and enjoy!



THE DUNCAN RESIDENCE
ARMONK, NEW YORK

BUILT 1955, ARCHITECT
EDGAR TAFEL

3,567 SQ. FT.*

3 BEDROOMS

3 BATHROOMS

6.0 ACRES*

DEN OR 4TH BEDROOM

FABULOUS S.W. VIEWS

2 STONE FIREPLACES

HAND CRAFTED WOOD
FINISHES THROUGHOUT

MASTER BEDROOM WING
W/ OPTIONAL 2
BEDROOM FEATURE.

VIEW KITCHEN W/
STAINLESS STEEL COUNTERS
AND BREAKFAST BAR

LARGE LOWER LEVEL
WALK-OUT OFFICE/STUDIO

EXPANSIVE WRAP-AROUND
ENTERTAINING DECK

MEANDERING DRIVEWAY
ACCENTED BY BOULDERS

PRIVATE PARK-LIKE SETTING

2 CAR ATTACHED GARAGE

* approximate

TODD GODDARD TOP PRODUCER
BROKER ASSOCIATE, ECOBROKER 914.406.0588
ARMONK HOME OFFICE
ARCHITECTURALHOMESNY.COM

HoulihanLawrenceRealEstate
237 Momaroneck Avenue, White Plains New York 10605



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