



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 9 Wrights Mill Rd, Armonk NY 10504

Section III- DESCRIPTION OF WORK:

Construction of porch over existing terrace in the rear yard.

(Please note that the expansion of the garage and alteration of the space over the garage shown on this plans was the subject of a review and determination by the RPRC on 2/16/2021). A Building Permit has been issued for this work

Section III- CONTACT INFORMATION:

APPLICANT: Teodoro Siguenza/Teo Siguenza architect PLLC

ADDRESS: 460 Old Post Road, Bedford NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722 EMAIL: ts@teosiguenza.com

PROPERTY OWNER: Jonathan Stern

ADDRESS: 9 Wrights Mill Rd, Armonk NY 10504

PHONE: _____ MOBILE: 914-500-5563 EMAIL: jstern.nissan@gmail.com

PROFESSIONAL: Teodoro Siguenza/Teo Siguenza architect PLLC

ADDRESS: 460 Old Post Road, Bedford NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722

EMAIL: ts@teosiguenza.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 100.02-1-33



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Stern Residence

Initial Submittal Revised Preliminary

Street Location: 9 Wrights Mill Rd, Armonk NY 10504

Zoning District: R-2A Property Acreage: 3.497 Tax Map Parcel ID: 100.02-1-33

Date: 02/03/2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stern Residence Date: 2-4-22

Tax Map Designation or Proposed Lot No.: 100.02-1-33

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>152,329.00</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>12,730.36</u>
3.	Amount of floor area contained within first floor: — <u>3,405</u> existing + <u>0</u> proposed = —	<u>3,405.00</u>
4.	Amount of floor area contained within second floor: — <u>3,929</u> existing + <u>0</u> proposed = —	<u>3,929.00</u>
5.	Amount of floor area contained within garage: — <u>1,157</u> existing + <u>0</u> proposed = —	<u>1,157.00</u>
6.	Amount of floor area contained within porches capable of being enclosed: — <u>253</u> existing + <u>465</u> proposed = —	<u>718.00</u>
7.	Amount of floor area contained within basement (if applicable – see definition): — <u>0</u> existing + <u>0</u> proposed = —	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): — <u>0</u> existing + <u>0</u> proposed = —	<u>0</u>
9.	Amount of floor area contained within all accessory buildings: — <u>0</u> existing + <u>0</u> proposed = —	<u>0</u>
10.	Proposed floor area : Total of Lines 3 – 9 = —	<u>9,209.00</u> SF

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



2-4-22
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stern Residence Date: 2-4-22

Tax Map Designation or Proposed Lot No.: 100.02-1-33

Gross Lot Coverage

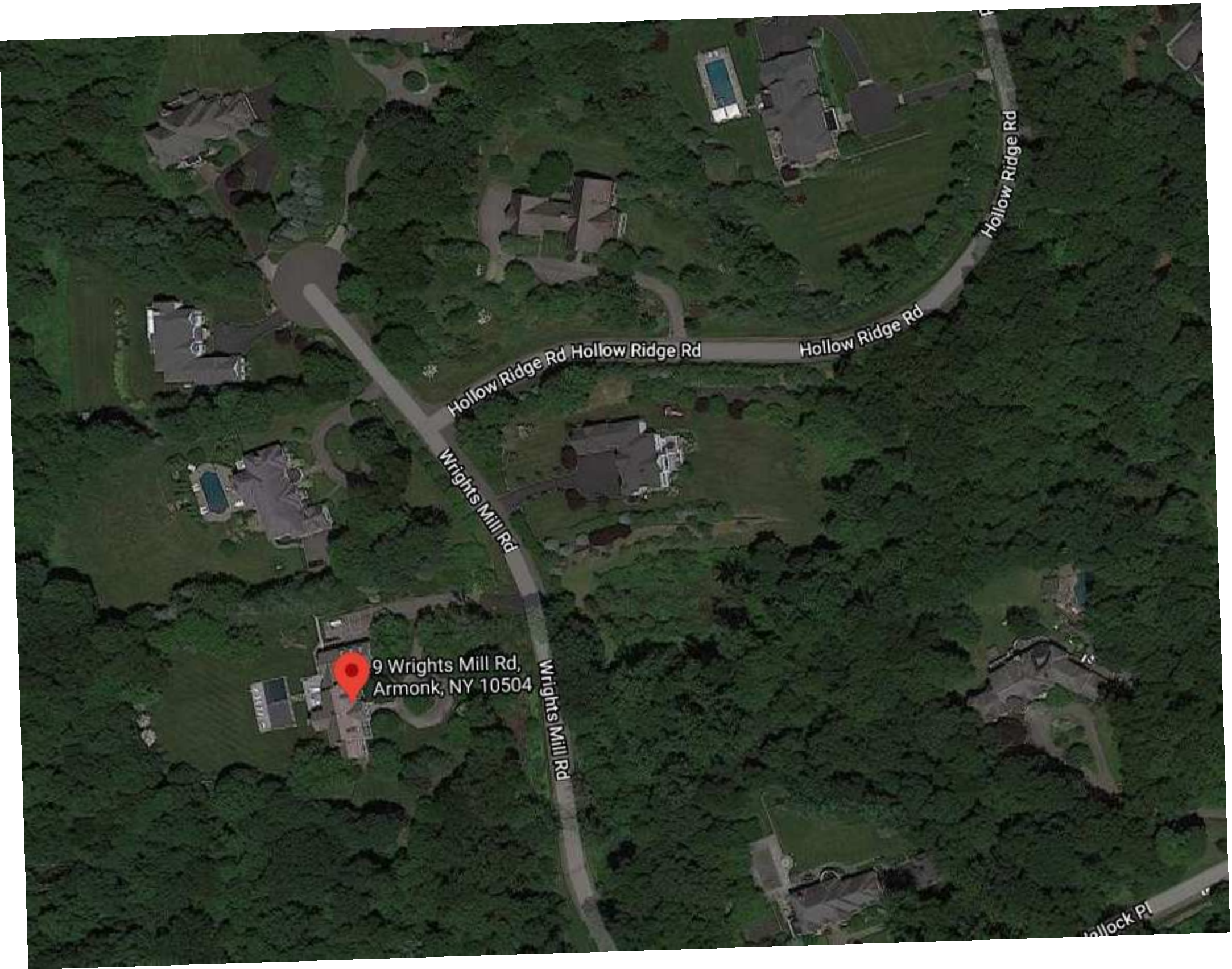
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 3,497 / 152,329.00
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 18,160.68
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
87 x 10 = 870 870.00
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 19,030.68
5. Amount of lot area covered by **principal building**:
4,562 existing + 0 proposed = 4,562.00
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
253 existing + 465 proposed = 718
(over ex. rear terrace)
9. Amount of lot area covered by **driveway, parking areas and walkways**:
8,307 existing + 0 proposed = 8,307
10. Amount of lot area covered by **terraces**:
2,570 existing + -410 proposed = 2,160
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
1,228 existing + 0 proposed = 1,228
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 16,975.00

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



2-4-22
Date



9 Wrights Mill Rd,
Armonk, NY 10504

Hollow Ridge Rd Hollow Ridge Rd

Hollow Ridge Rd

Hollow Ridge Rd

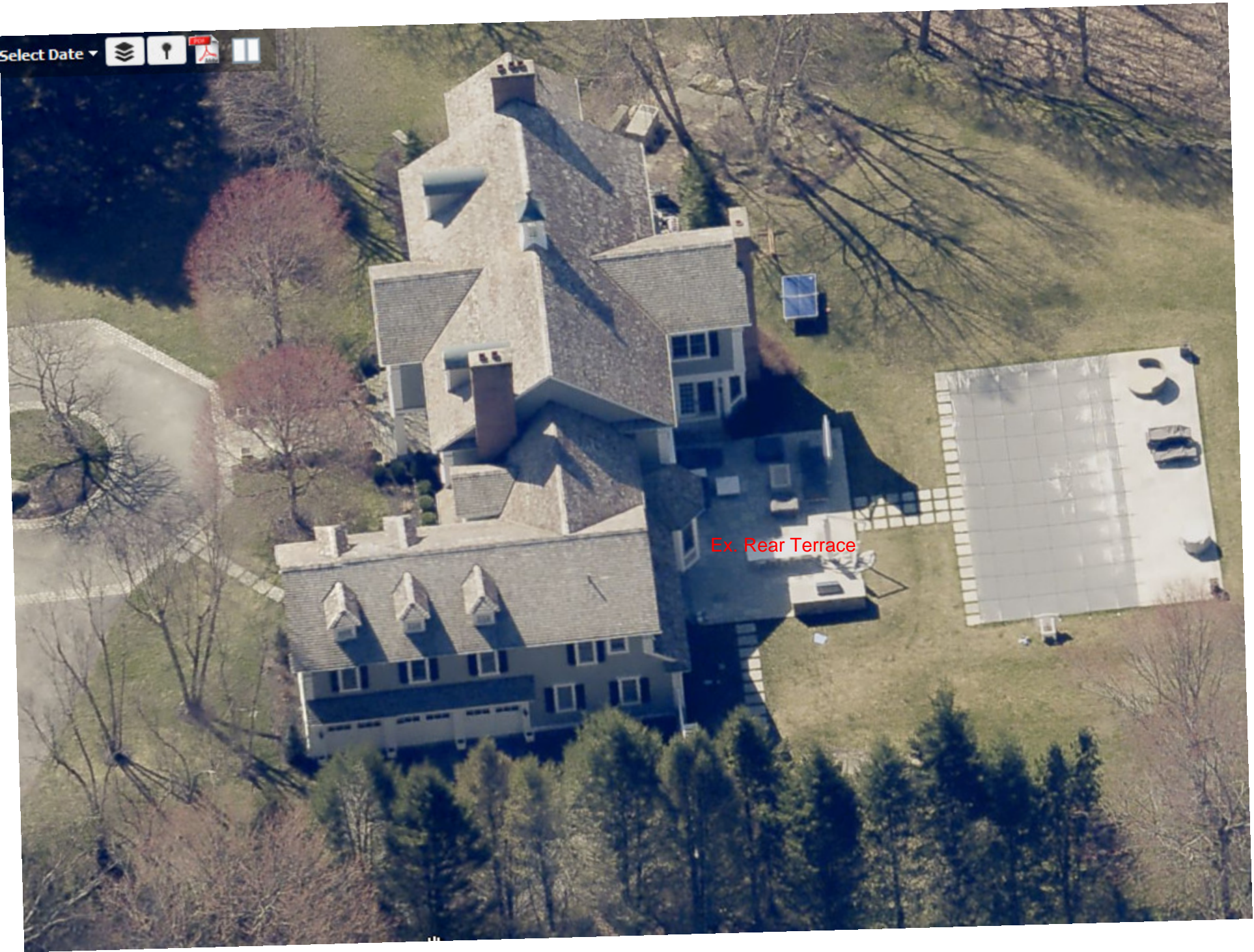
Wrights Mill Rd

Wrights Mill Rd

Hollow Pt



Ex. rear elevation



Ex. Rear Terrace

STERN RESIDENCE

PROPOSED REAR PORCH

(OVER EX. TERRACE)

9 WRIGHT MILL ROAD, ARMONK, NY

TEO SIGÜENZA
ARCHITECT

460 OLD POST ROAD 2A BEDFORD, N. Y. 10506
TEL: 914.234.6289 FAX: 914.234.0619
www.teosiguenza.com

GENERAL NOTES:
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
2. ALL DIMENSIONS TO BE CHECKED
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

DRAWING LIST:

- T101.00 TITLE SHEET & LIST OF DRAWINGS
- SP-1.00 SITE PLAN
- A101.00 PROPOSED FIRST FLOOR, CEILING FRAMING, ELECTRICAL AND PARTIAL FOUNDATION PLAN
- A102.00 SECOND FLOOR, PROPOSED ROOF & ROOF FRAMING PLAN
- A200.00 PROPOSED EXTERIOR ELEVATIONS & SECTION
- SP-1.10 GROSS LAND COVERAGE CALCULATION
- F101.00 FLOOR AREA CALCULATION

NOTE:

- The building addition is designed & comply with the 2020 NYS Residential code & 2020 NYS energy code.

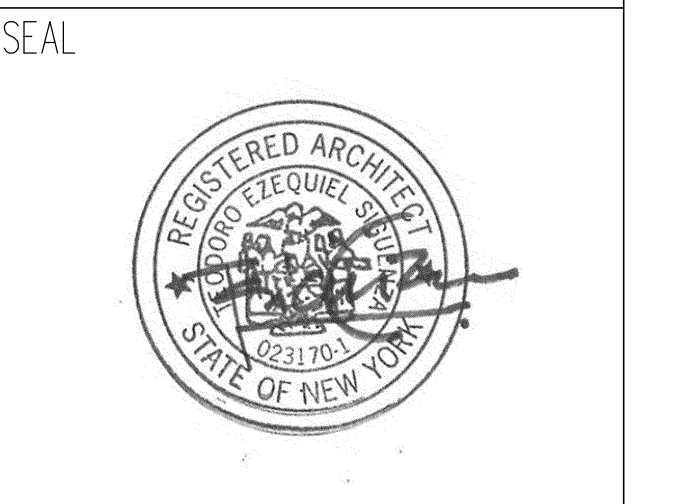
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL CODE TABLE 301.2(1) FOR ZONE 4 (WESTCHESTER COUNTY)													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
30	115 MPH	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	15 DAY	YES	4/24/84 REV 11/1/07	1500	48.5'

DATE:	REVISION

PROJECT
**STERN RESIDENCE
PROPOSED REAR PORCH
OVER EX. TERRACE**

9 WRIGHT MILL ROAD
ARMONK, NY

DRAWING TITLE
**TITLE SHEET & LIST OF
DRAWINGS**



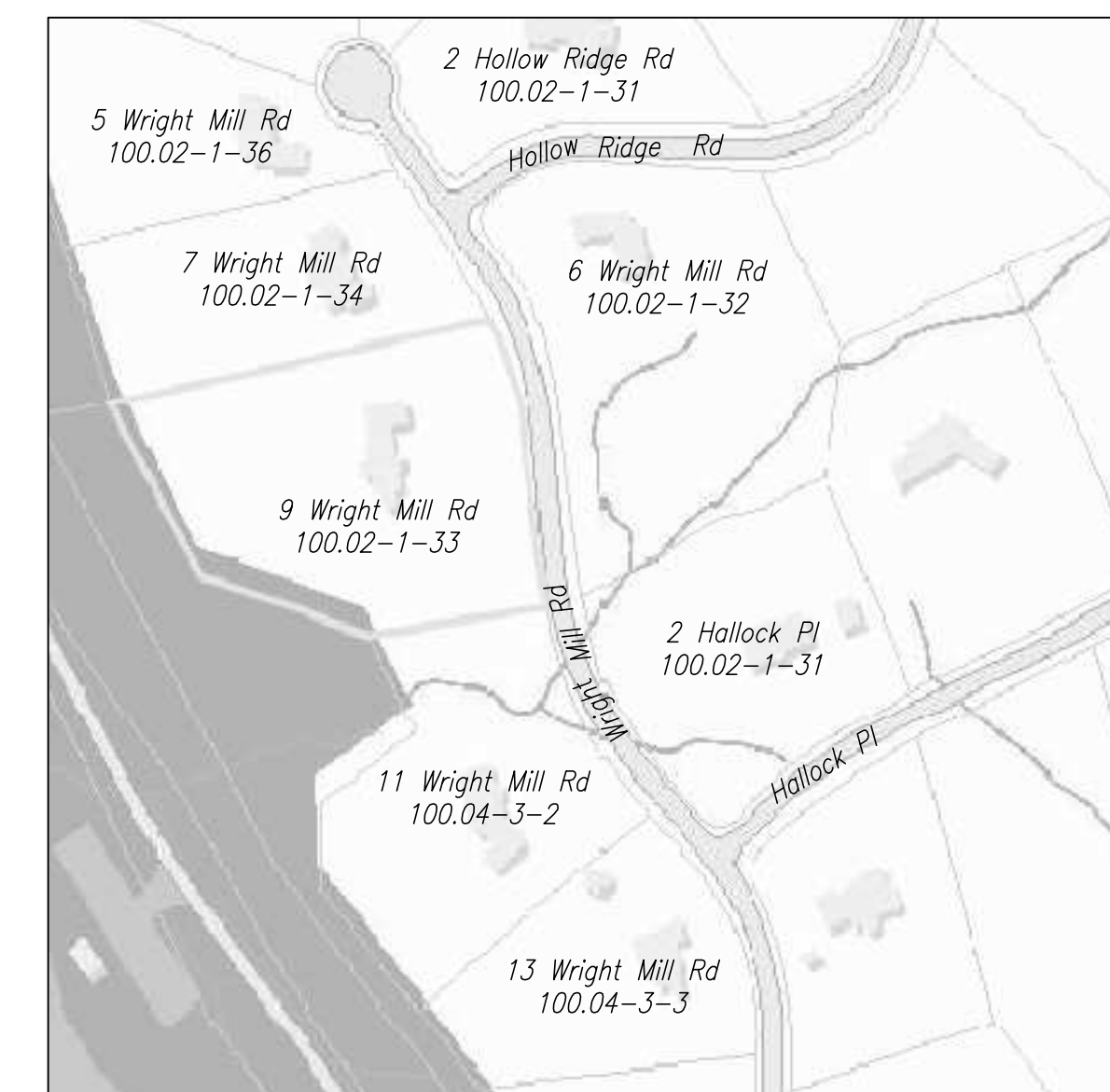
DATE
2-3-22

SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.
T101.00

PAGE NO.

ZONING TABULATION			
Owner:	Mr. & Mrs. Stern	Municipality:	Town of North Castle
Address:	9 Wright Mill Road Armonk, NY	Section :	100.02 Block: 1 Lot: 33
		Total Land Area:	152,329 SF/3.497 Acres
		Zoning District:	R-2A
Topic	Required	Existing	Proposed
Minimum Lot Area	87,120 SF	152,329 SF	152,329 SF
Minimum Front Yard	50 FT	137'-2"	137'-2"
Minimum Side Yard	30 FT	74.81'	74.81'
Minimum Rear Yard	50 FT	246'-0"±	240'-0"±



LOCATION MAP

GENERAL NOTES:
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Tax Lot 1
 Now or Formerly
 County of
 Westchester

Filed Map Lot
 7-29
 F.M.#25386

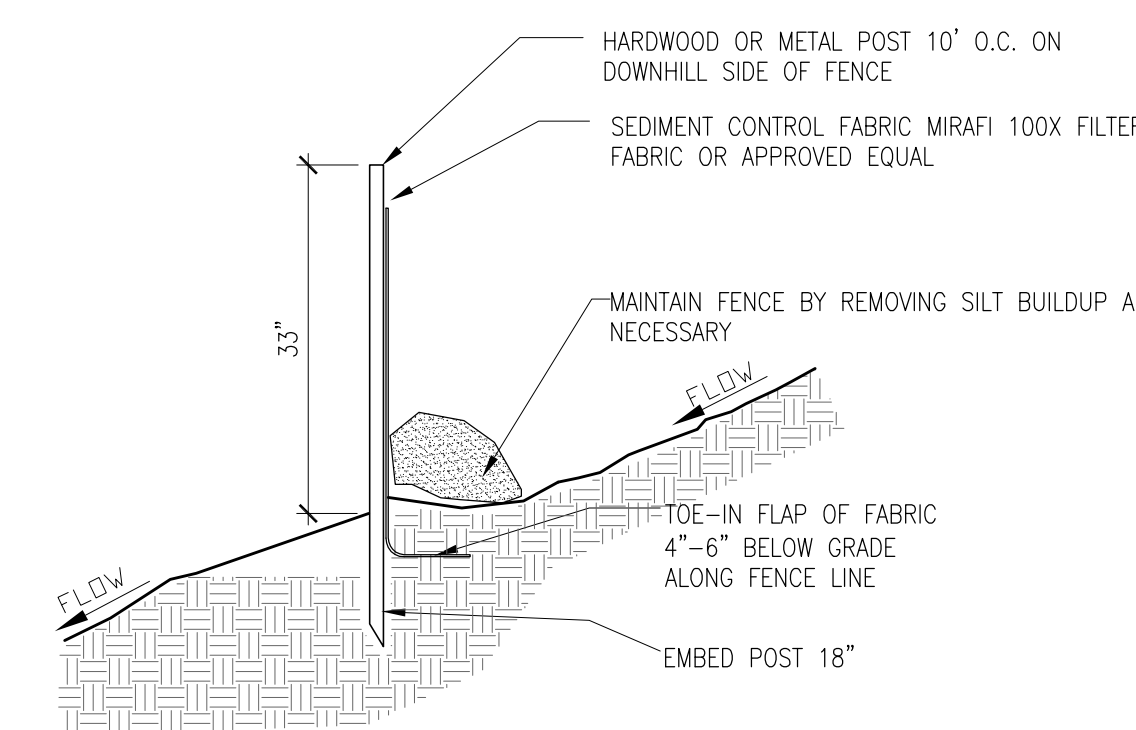
Tax Lot 2
 Now or Formerly
 Steven and Susan
 Bloom

Filed Map Lot 7-3
 F.M.#25386

Tax Lot 34
 Now or Formerly
 Michael Carlinsky
 &
 Denise Lindenaier

Filed Map Lot 1
 F.M.#26464

Tax Lot 100.02-1-33
 Filed Map Lot 7-4
 F.M.#25386
 AREA = 3.497 ACRES



SILT FENCE DETAIL

SCALE: NTS

EROSION CONTROL NOTES

SCALE: NTS

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established.
- Timely maintenance of sediment control structures is the responsibility of the Contractor. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as ordered by the landscape architect, and in accordance with the standards set forth per local codes.
- All topsoil not to be used for final grading shall be stripped from the work area first and placed in a stabilized stockpile or fill area. All topsoil required for final grading and stored on site shall be limed, fertilized, temporarily seeded and mulched within 14 days.
- Any disturbed areas that will be left exposed more than 21 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The Contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.

NO TREE REMOVAL IS PROPOSED

Name of Application:	STERN RESIDENCE
Name & Address of Owner:	NICOLE STERN 9 WRIGHT MILL ROAD ARMONK, NY
Name & Address of Architect: Licensed Professional: and Applicant	Teo Siguenza, Architect 460 Old Post Road, Suite 2A Bedford, N.Y. 10506
Name & Address of Survey:	TC MERRITTS LAND SURVEYOR 394 Bedford road, Pleasantville, NY 10570

DATE:	REVISION

PROJECT
STERN RESIDENCE
PROPOSED REAR PORCH
OVER EX. TERRACE

9 WRIGHT MILL ROAD
 ARMONK, NY

DRAWING TITLE

SITE PLAN

SEAL



DATE
2-4-22

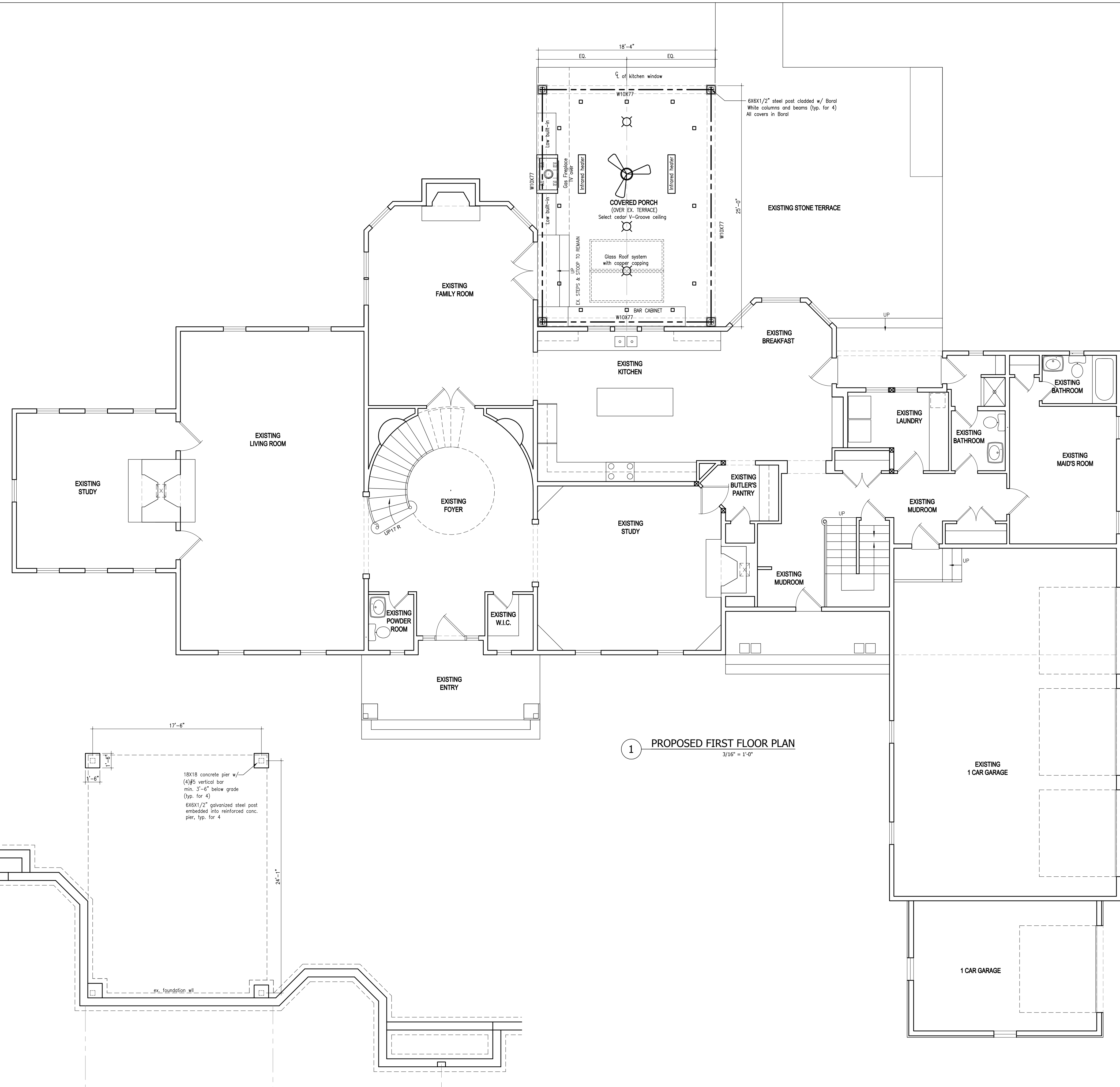
SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.

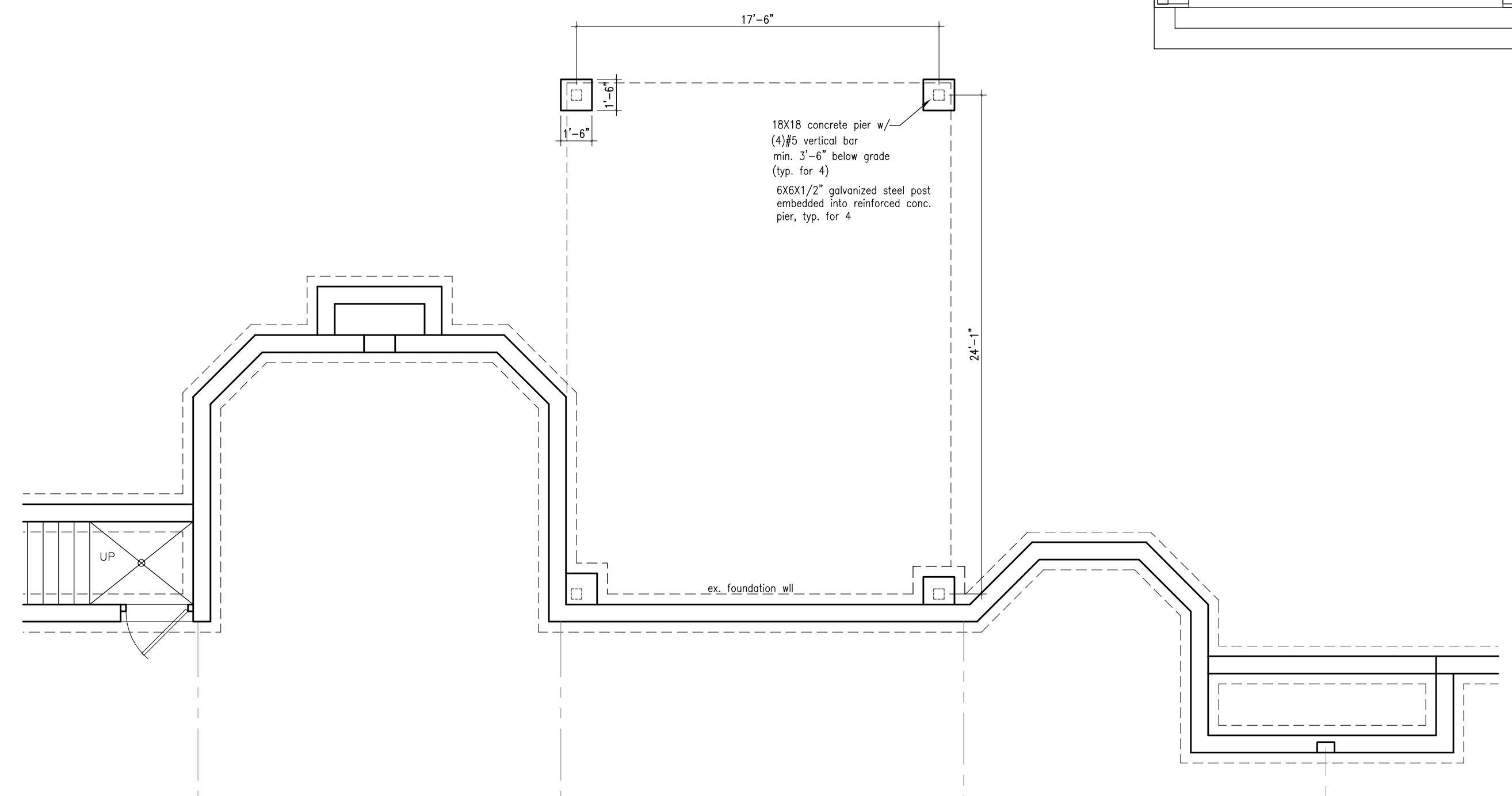
SP-1.00

PAGE NO.

GENERAL NOTES:
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1 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"

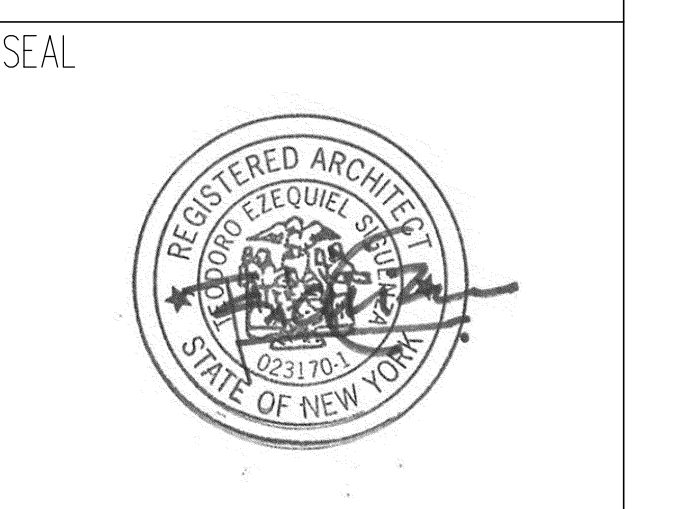


2 PATIAL FOUNDATION PLAN
3/16" = 1'-0"

DATE:	REVISION

PROJECT
STERN RESIDENCE
PROPOSED REAR PORCH
OVER EX. TERRACE
9 WRIGHT MILL ROAD
ARMONK, NY

DRAWING TITLE
PROPOSED FIRST FLOOR, CEILING FRAMING,
ELECTRICAL & PARTIAL FOUNDATION PLAN



DATE
2-3-22

SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.
A101.00

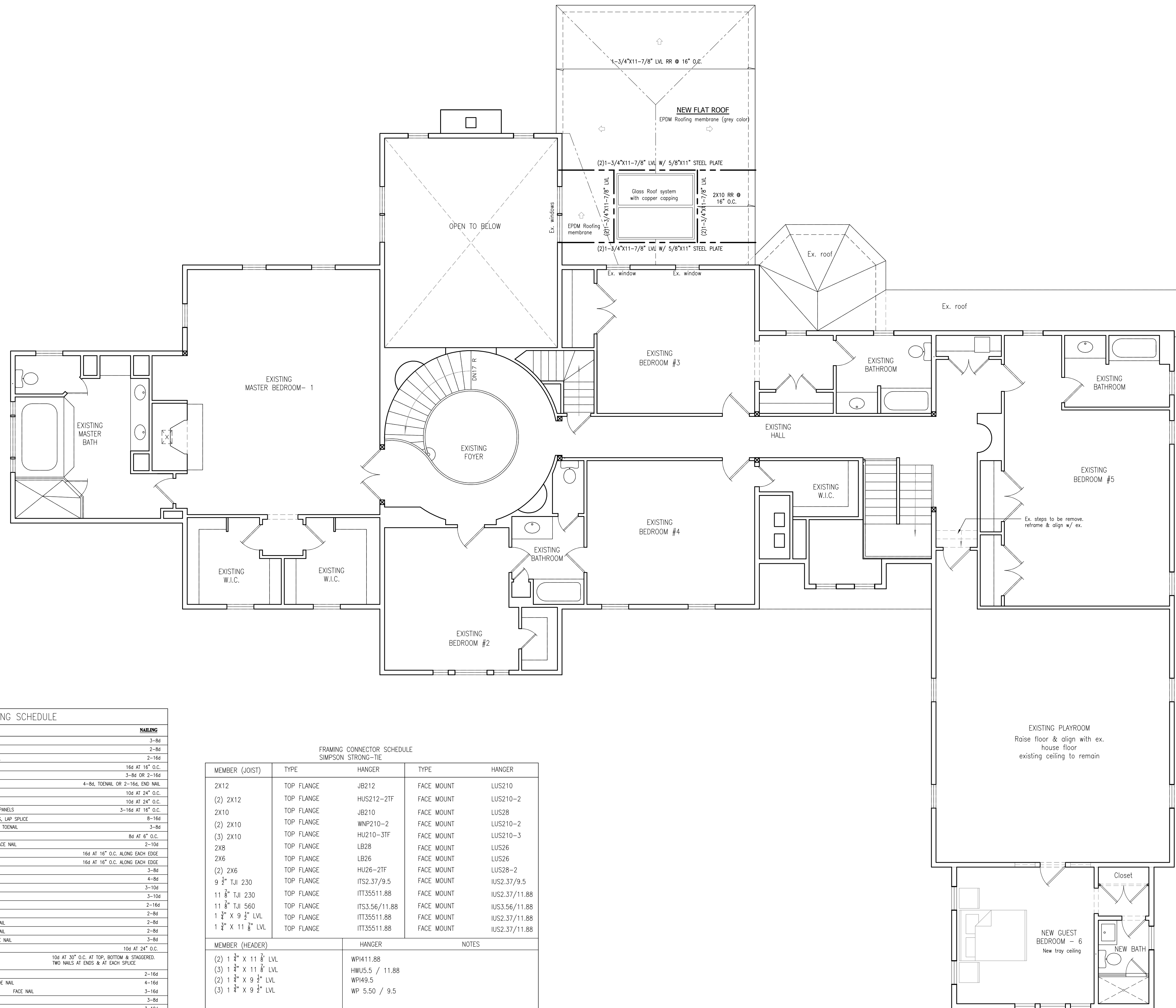
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WOOD POST LEGEND	
□ A	POST ABOVE
□ B	POST BELOW
□ AB	POST ABOVE & BELOW
□	3- 2x POST
⊠	6X6 PARALLAM POST (otherwise noted)
□	STEEL COL.

PLAN NOTES:

- ALL FRAMING LUMBER SHALL BE DRY (19% MAXIMUM MOISTURE CONTENT) DOUGLAS FIR NO.2 GRADE WITH A BASE VALUE FB OF 825 PSI.
- ALL OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS UNLESS SHOWN OTHERWISE.
- DO NOT SCALE DRAWINGS.
- ALL POSTS AND JAMBS TO BE FULLY SPIKED.
- PROVIDE 2x4 BLOCKING UNDER ALL POSTS AND JAMBS OF WINDOW AND DOOR OPENINGS EXCEEDING 6'-0" IN WIDTH.
- ALL LAMINATED VENEER LUMBER AND COMPOSITE LUMBER SHALL BE TRUSS JOISTS, MICROLAMS OR PARALLAMS AS PRODUCED BY TRUSS JOIST MACMILLAN, OR AN APPROVED EQUIVALENT.
- ALL METAL FRAMING CONNECTIONS SHALL BE FULLY NAILED AS PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO SUBMIT FOR REVIEW EXACT CONNECTION MANUFACTURER'S DATA SHEETS FOR EACH TYPE OF CONNECTION SPECIFIED.
- FOR EAVE, OVERHANG AND OTHER EXTERNAL ROOF FEATURES SEE ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS (1 SEPIA, 2 PRINTS) INCLUDING COMPLETE DETAILS FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL, INDICATE WELDS BY STANDARD SYMBOLS, SHOW SIZE, LENGTH AND TYPE OF WELDS; CONNECTIONS SHALL BE DESIGNED FOR A36 STEEL, E70XX ELECTRODES.

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 - ALL DIMENSIONS TO BE CHECKED
 - CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



NAILING SCHEDULE	
CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. 1"x6" SUB-FLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
3. 2" SUB-FLOOR TO JOIST ORDER, BLIND AND FACE NAIL	2-16d
4. SOLE PLATE TO JOIST BLOCKING, TYP. FACE NAIL	16d AT 16" O.C.
5. TOP PLATE TO STUD, END NAIL	3-8d OR 2-16d
6. STUD TO SOLE PLATE, TOE NAIL	4-8d, TOENAIL OR 2-16d, END NAIL
7. DOUBLE STUDS, FACE NAIL	10d AT 24" O.C.
8. DOUBLE TOP PLATES, TYP. FACE NAIL	10d AT 24" O.C.
9. SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d AT 16" O.C.
10. DOUBLE TOP PLATES, MIN. 25" OFFSET OF END JOINTS, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 16" O.C.
13. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d
14. BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER	16d AT 16" O.C. ALONG EACH EDGE
15. CONTINUOUS HEADER, TWO PIECES	16d AT 16" O.C. ALONG EACH EDGE
16. CEILING JOISTS TO PLATE, TOENAIL	3-8d
17. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
18. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-10d
19. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-10d
20. RAFTER TO PLATE, TOENAIL	2-16d
21. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
22. 1"x6" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
23. 1"x6" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
24. WIDER THAN 1"x6" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
25. BUILT-UP CORNER STUDS	10d AT 24" O.C.
26. BUILT-UP GIRDERS & BEAMS, 2" LUMBER LAYERS	10d AT 30" O.C. AT TOP, BOTTOM & STAGGERED. TWO NAILS AT ENDS & AT EACH SPLICE.
27. 2" PLANKS AT EACH BEARING	2-16d
28. ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL	4-16d
FACE NAIL	3-16d
29. RAFTERS TIES TO RAFTERS, FACE NAIL	3-8d
30. COLLAR TIE TO RAFTER, FACE NAIL	3-10d
31. RIM BOARD TO JOIST, FACE NAIL	3-10d

FRAMING CONNECTOR SCHEDULE SIMPSON STRONG-TIE				
MEMBER (JOIST)	TYPE	HANGER	TYPE	HANGER
2X12	TOP FLANGE	JB212	FACE MOUNT	LUS210
(2) 2X12	TOP FLANGE	HUS212-2TF	FACE MOUNT	LUS210-2
2X10	TOP FLANGE	JB210	FACE MOUNT	LUS28
(2) 2X10	TOP FLANGE	WNP210-2	FACE MOUNT	LUS210-2
(3) 2X10	TOP FLANGE	HU210-3TF	FACE MOUNT	LUS210-3
2X8	TOP FLANGE	LB28	FACE MOUNT	LUS26
2X6	TOP FLANGE	LB26	FACE MOUNT	LUS26
(2) 2X6	TOP FLANGE	HU26-2TF	FACE MOUNT	LUS26-2
9 3/4" TJI 230	TOP FLANGE	ITS2.37/9.5	FACE MOUNT	IUS2.37/9.5
11 3/8" TJI 230	TOP FLANGE	ITS3.56/11.88	FACE MOUNT	IUS3.56/11.88
11 3/8" TJI 560	TOP FLANGE	ITS3.56/11.88	FACE MOUNT	IUS3.56/11.88
1 3/4" X 9 3/4" LVL	TOP FLANGE	ITS3.56/11.88	FACE MOUNT	IUS2.37/11.88
1 3/4" X 11 3/8" LVL	TOP FLANGE	ITS3.56/11.88	FACE MOUNT	IUS2.37/11.88
MEMBER (HEADER)	HANGER		NOTES	
(2) 1 3/4" X 11 3/8" LVL	WP411.88			
(3) 1 3/4" X 11 3/8" LVL	HW45.5 / 11.88			
(2) 1 3/4" X 9 3/4" LVL	WP49.5			
(3) 1 3/4" X 9 3/4" LVL	WP 5.50 / 9.5			

DATE:	REVISION

PROJECT
STERN RESIDENCE
PROPOSED REAR PORCH
OVER EX. TERRACE

9 WRIGHT MILL ROAD
ARMONK, NY

DRAWING TITLE
**SECOND FLOOR PLAN &
PROPOSED ROOF & FRAMING PLAN**



DATE
2-3-22

SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.
A102.00

PAGE NO.

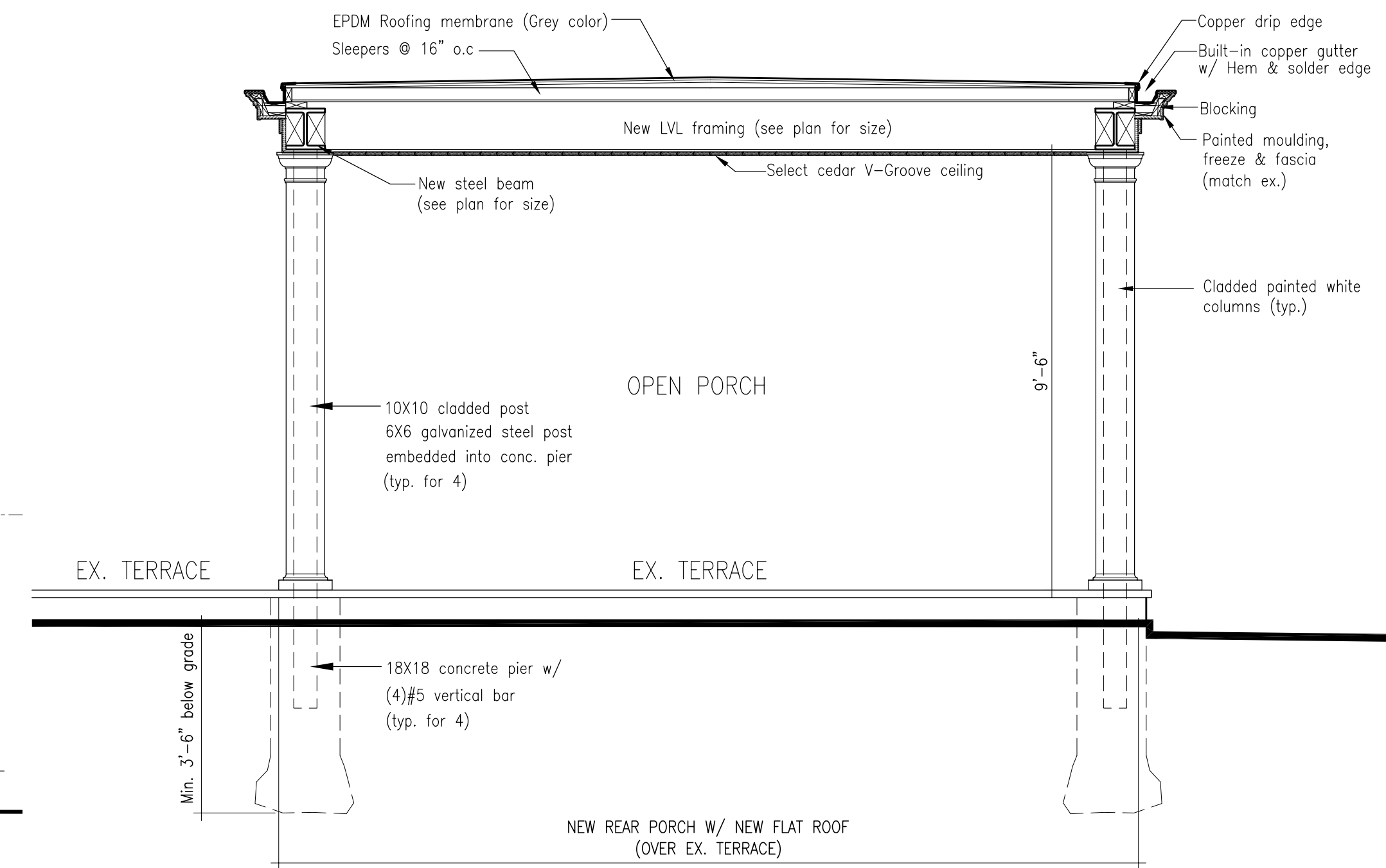
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1 PROPOSED REAR ELEVATION
 3/16" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
 3/16" = 1'-0"



3 PORCH SECTION
 3/8" = 1'-0"

DATE:	REVISION

PROJECT
STERN RESIDENCE
PROPOSED REAR PORCH
OVER EX. TERRACE
 9 WRIGHT MILL ROAD
 ARMONK, NY

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS AND SECTION



DATE
 2-3-22

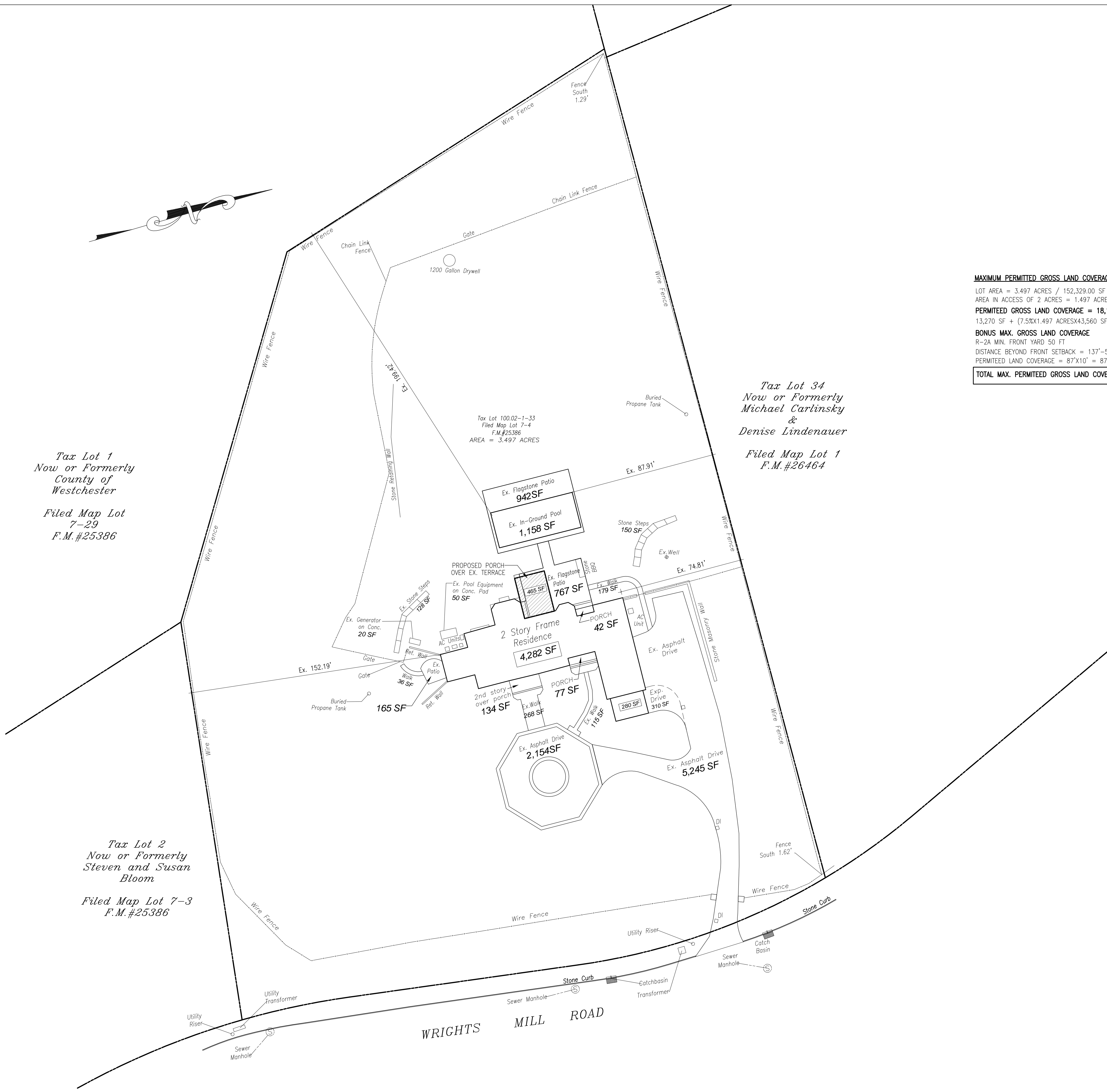
SCALE
 3/16" = 1'-0" or as Noted

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A200.00

PAGE NO.

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MAXIMUM PERMITTED GROSS LAND COVERAGE (SECTION 355-26 (1))
 LOT AREA = 3.497 ACRES / 152,329.00 SF
 AREA IN ACCESS OF 2 ACRES = 1.497 ACRES
PERMITTED GROSS LAND COVERAGE = 18,160.68 SF
 13,270 SF + (7.5% x 1.497 ACRES x 43,560 SF)
BONUS MAX. GROSS LAND COVERAGE
 R-2A MIN. FRONT YARD 50 FT
 DISTANCE BEYOND FRONT SETBACK = 137'-50" = 87'
 PERMITTED LAND COVERAGE = 87' x 10' = 870 SF
TOTAL MAX. PERMITTED GROSS LAND COVERAGE = 19,030.68 SF

EXISTING LAND COVERAGE

PRINCIPAL BUILDING	4,562.0 SF
PORCHES	253.0 SF
DRIVEWAY, PARKING & WALKWAYS	8,307.0 SF
TERRACES & STEPS	2,570.0 SF
TENNIS COURT, POOL & PADS	1,228.0 SF
TOTAL EXISTING	16,920.0 SF

PROPOSED LAND COVERAGE

REAR PORCH	465.0 SF
DELETED TERRACE	-410.0 SF
TOTAL PROPOSED	55.0 SF

TOTAL LAND COVERAGE

TOTAL EXISTING	16,920.0 SF
TOTAL PROPOSED	55.0 SF
TOTAL LAND COVERAGE	16,975 SF < 19,030.68 SF

Tax Lot 1
 Now or Formerly
 County of
 Westchester
 Filed Map Lot
 7-29
 F.M.#25386

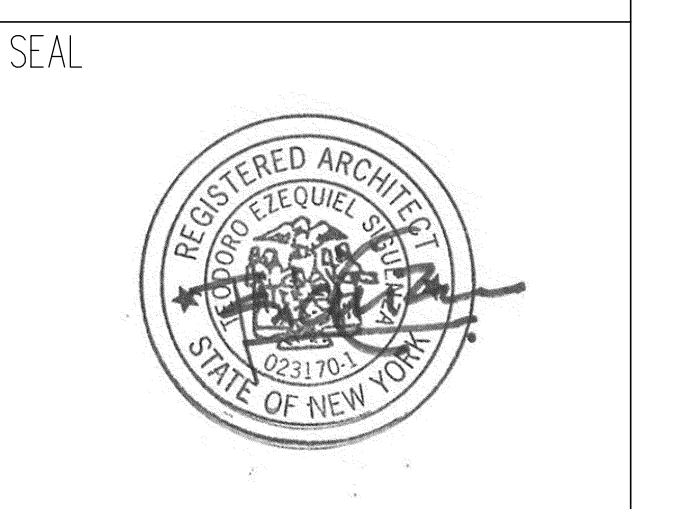
Tax Lot 34
 Now or Formerly
 Michael Carlinsky
 &
 Denise Lindenauer
 Filed Map Lot 1
 F.M.#26464

Tax Lot 2
 Now or Formerly
 Steven and Susan
 Bloom
 Filed Map Lot 7-3
 F.M.#25386

DATE:	REVISION

PROJECT
STERN RESIDENCE
 PROPOSED REAR PORCH
 OVER EX. TERRACE
 9 WRIGHT MILL ROAD
 ARMONK, NY

DRAWING TITLE
**GROSS LAND
 COVERAGE CALCULATION**



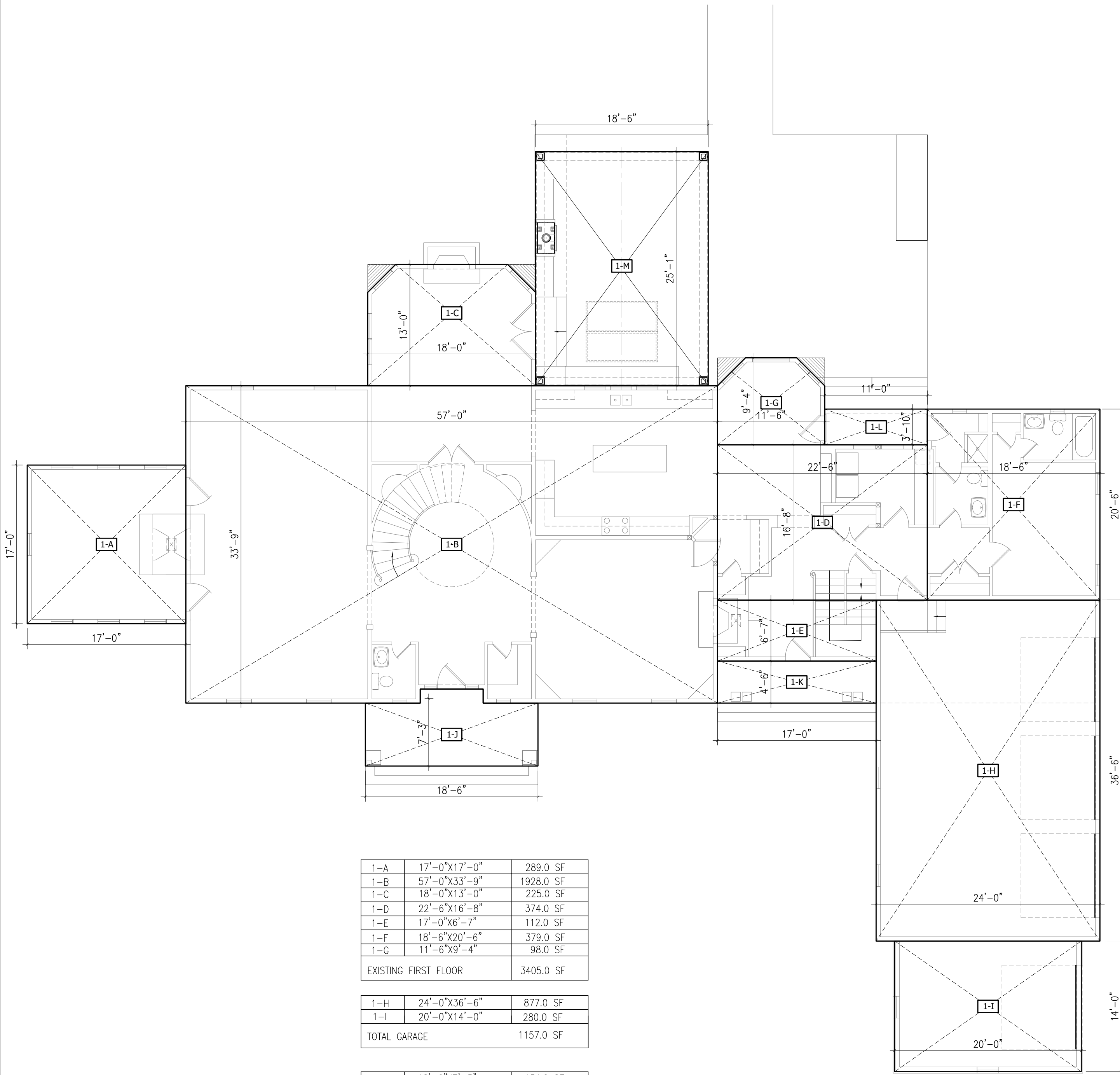
DATE
2-3-22

SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.
SP-1.10

PAGE NO.

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT



1-A	17'-0"X17'-0"	289.0 SF
1-B	57'-0"X33'-9"	1928.0 SF
1-C	18'-0"X13'-0"	225.0 SF
1-D	22'-6"X16'-8"	374.0 SF
1-E	17'-0"X6'-7"	112.0 SF
1-F	18'-6"X20'-6"	379.0 SF
1-G	11'-6"X9'-4"	98.0 SF
EXISTING FIRST FLOOR		3405.0 SF

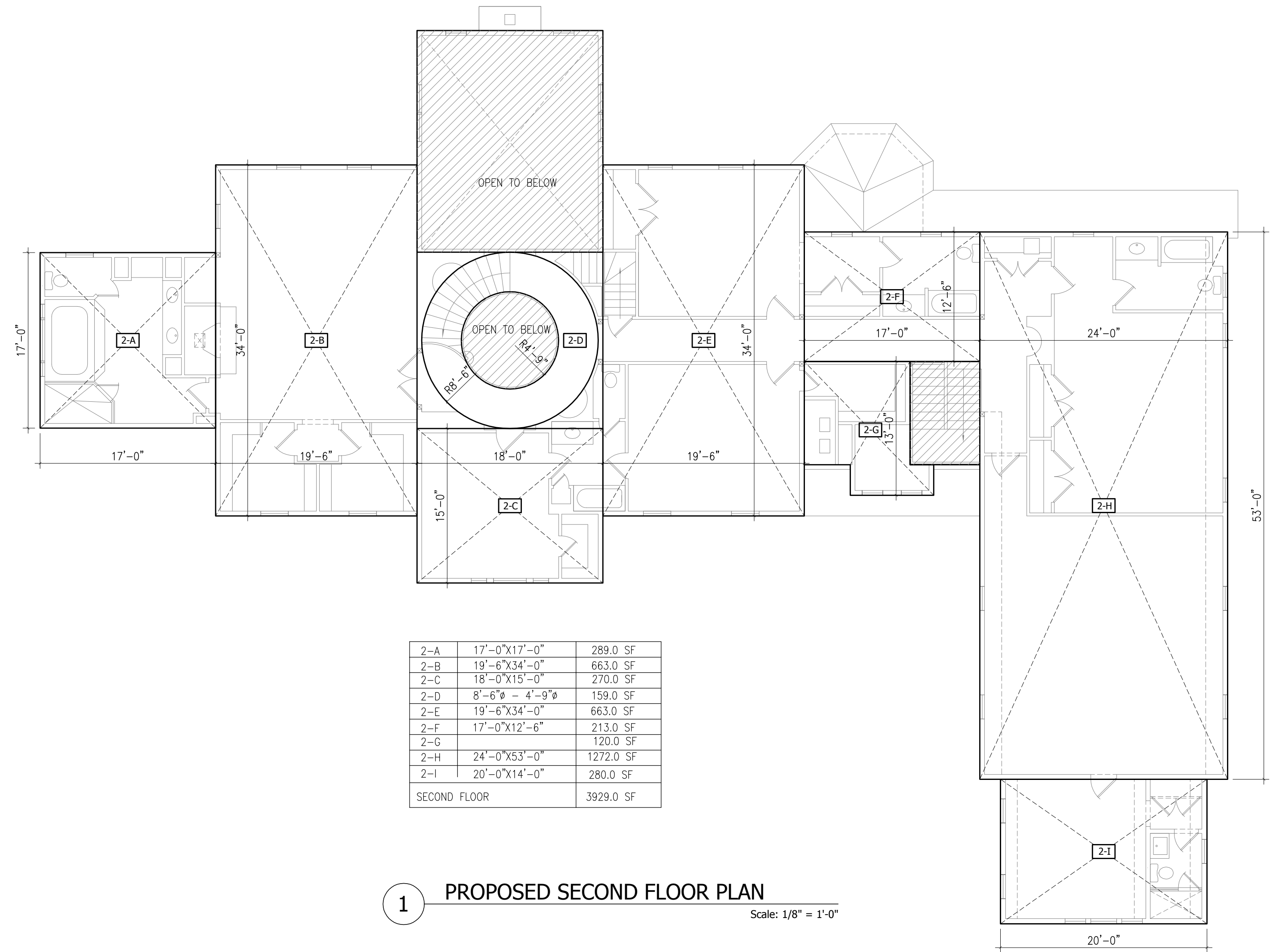
1-H	24'-0"X36'-6"	877.0 SF
1-I	20'-0"X14'-0"	280.0 SF
TOTAL GARAGE		1157.0 SF

1-J	18'-6"X7'-3"	134.0 SF
1-K	17'-0"X4'-6"	77.0 SF
1-L	11'-0"X3'-10"	42.0 SF
1-M	18'-6"X25'-1"	465.0 SF
TOTAL PORCH (EX.+PROP.)		718.0 SF

1 PROPOSED FIRST FLOOR PLAN
 Scale: 1/8" = 1'-0"

TOTAL FLOOR AREA CALCULATION

FIRST FLOOR	3,405.0 SF
GARAGE	1,157.0 SF
TOTAL PORCH (EX.+PROP.)	718.0 SF
SECOND FLOOR	3,929.0 SF
TOTAL	9,209.0 SF



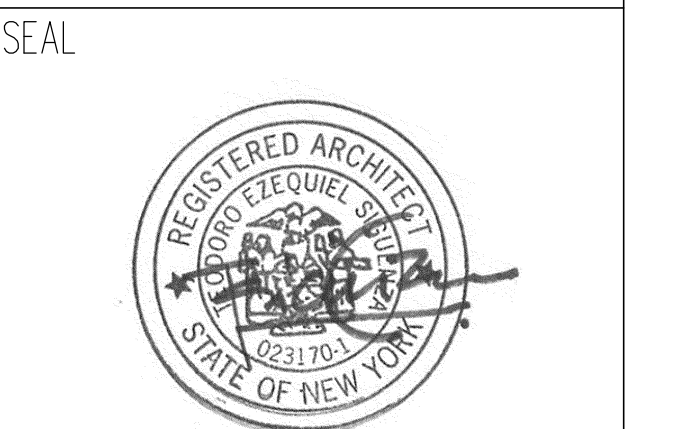
2-A	17'-0"X17'-0"	289.0 SF
2-B	19'-6"X34'-0"	663.0 SF
2-C	18'-0"X15'-0"	270.0 SF
2-D	8'-6"X8'-4"-9"	159.0 SF
2-E	19'-6"X34'-0"	663.0 SF
2-F	17'-0"X12'-6"	213.0 SF
2-G		120.0 SF
2-H	24'-0"X53'-0"	1272.0 SF
2-I	20'-0"X14'-0"	280.0 SF
SECOND FLOOR		3929.0 SF

1 PROPOSED SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"

DATE:	REVISION

PROJECT
STERN RESIDENCE
 PROPOSED REAR PORCH
 OVER EX. TERRACE
 9 WRIGHT MILL ROAD
 ARMONK, NY

DRAWING TITLE
FLOOR AREA CALCULATION



DATE
2-3-22

SCALE
3/16" = 1'-0" or as Noted

DRAWING NO.
F101.00

PAGE NO.