



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 6 FOX RIDGE ROAD

Section III- DESCRIPTION OF WORK:

GARAGE ADDITION WITH MASTER BEDROOM, CLOSET & BATHROOM.
NEW MUDROOM, KITCHEN RENOVATION, NEW FIRE PLACE, INTERIOR
RENOVATIONS.

Section III- CONTACT INFORMATION:

APPLICANT: MICHAEL PICCIRILLO ARCHITECTURE PLLC
ADDRESS: 345 KENT STREET, SUITE 203, YORKTOWN HEIGHTS, NY 10598
PHONE: 360-9838 MOBILE: _____ EMAIL: MICHAEL@PICCIRILLOARCHITECT.COM

PROPERTY OWNER: JEWEN VARGHESE
ADDRESS: 6 FOX RIDGE ROAD
PHONE: _____ MOBILE: 917-716-8076 EMAIL: JENSENV@GMAIL.COM

PROFESSIONAL: SAME AS APPLICANT
ADDRESS: _____
PHONE: _____ MOBILE: _____
EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: R1.5A Tax ID (lot designation) 102.01-1-63



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Varghese Renovation

Initial Submittal Revised Preliminary

Street Location: 6 Fox Ridge Road

Zoning District: R1.5A Property Acreage: 1.563 Tax Map Parcel ID: 102.01-1-63

Date: 1-20-22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: VARGHESE Date: 1-28-22

Tax Map Designation or Proposed Lot No.: 102 01-1-63

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 68,084.28
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 11,557.19
3. BONUS maximum gross land cover (per Section 355-26.C(1)(h)):
Distance principal home is beyond minimum front yard setback
21 x 10 = 210
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 11,767.19
5. Amount of lot area covered by principal building:
2153 existing + 420 proposed = 2,573
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:
0 existing + 0 proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
2,628 existing + -137 proposed = 2391
10. Amount of lot area covered by terraces:
291 existing + 0 proposed = 291
11. Amount of lot area covered by tennis court, pool and mechanical equip:
0 existing + 0 proposed = 0
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 5255

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

11-8-21

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: VARGHESE Date: 1-28-22

Tax Map Designation or Proposed Lot No.: 102.01-1-63

Floor Area

- | | | |
|-----|---|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>58,084.28</u> |
| 2. | Maximum permitted floor area (per Section 355-26,B(4)): | <u>9,171.21</u> |
| 3. | Amount of floor area contained within first floor:
<u>1,720</u> existing + <u>209</u> proposed = | <u>1,929</u> |
| 4. | Amount of floor area contained within second floor:
<u>895</u> existing + <u>527</u> proposed = | <u>1,422</u> |
| 5. | Amount of floor area contained within garage:
<u>433</u> existing + <u>211</u> proposed = | <u>644</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>NA</u> existing + <u>NA</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>NA</u> existing + <u>NA</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>3,995</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

1-28-22

Date



N/F WARC PROPERTIES, INC.
38°54'20"W
IRON ROD FOUND

N/F ROSE

229.00'

N17°10'50"W 64.00'

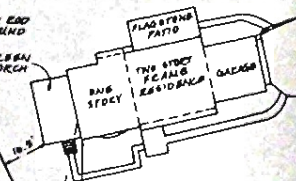
S66°31'20"E

AREA: 1.563 ACRES
TAX LOT 102.01-1-63

STONE WALL

N15°14'30"E

N15°14'30"E
230.85'
IRON ROD FOUND
SCREEN PORCH
10.0'
71.1'



N17°10'50"W

MACADAM DRIVE

THORNWOOD ROAD

N0°35'40"W
IRON ROD FOUND

FOX RIDGE ROAD

185.00'

306.50'

MONUMENT FOUND

Certifications indicated herein signify that this survey was prepared in accordance with the existing code of practice for Land Surveyors as adopted by the New York State Association of Professional Land Surveyors. Said certifications shall be valid only to the party for whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees of the lending institution, for mortgage purposes for said party for whom this survey was prepared. Certifications are not transferable to additional institutions or subsequent owners. Only copies from the original of this survey map bearing the signature and an original of this Land Surveyor's index or his approved seal shall be considered to be true and valid copies. In addition, unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal is a violation of Section 2402, Sub-division 2, of the New York State Education Law. The location of underground improvements or encroachments herein, if any exist, are not certified.

Certified to: JENSEN VARGHESE & CHINNU VARGHESE
GUARANTEED RATE, LLC
WESTCOE LAND TITLE INSURANCE COMPANY
BENCHMARK TITLE AGENCY, LLC

Field survey performed: NOVEMBER 29, 2015
and map prepared: DECEMBER 4, 2015

David L. Odell
David L. Odell, P.L.S., N.Y. State Licensed Land Surveyor No. 040074

SURVEY OF PROPERTY
PREPARED FOR
JENSEN VARGHESE

CHINNU VARGHESE

SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 30' =



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Land Surveying Company
17 Collier Drive East
Carmel, N.Y. 10512
(518) 228-0700

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C13-074

VARGHESE RESIDENCE RENOVATION

6 FOX RIDGE ROAD
ARMONK, NEW YORK 10504



Michael Piccirillo Architecture

NOTE:
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
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ABBREVIATIONS

AB	ANCHOR BOLT	DIAM	DIAMETER	INCL	INCLUDING	PTD	PAINTED	TELE	TELEPHONE
AT	ACOUSTICAL TILE	DIM	DIMENSION	I.D.	INSIDE DIAMETER	P.LAM	PLASTIC LAMINATE	TV	TELEVISION
A.F.F	ABOVE FINISHED FLOOR	DN	DOWN	INSUL	INSULATION	PLWD	PLYWOOD	THK	THICKNESS
ADD.	ADDENDUM	DWG	DRAWING	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	T&G	TONGUE AND GROOVE
AC	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	INV	INVERT	P.C.F.	POUNDS PER CUBIT FOOT	T&B	TOP AND BOTTOM
ALT	ALTERNATE	ELEC	ELECTRICAL	JT	JOINT	P.S.F.	POUNDS PER SQUARE FOOT	T.O.S	TOP OF SLAB
ALUM	ALUMINUM	E.W.C	ELEC. WATER COOLER	LAM	LAMINATE	POL	POLISHED	T.O.W	TOP OF WALL
ANOD	ANODIZED	ELEV	ELEVATION	LAV	LAVATORY	PLAS	PLASTER	T	TREAD (S)
ARCH	ARCHITECTURAL	EQ	EQUAL	LAV	LAVATORY	QT	QUARRY TILE	TYP	TYPICAL
BSMT	BASEMENT	EXP	EXPOSED	L.F.	LINEAR FOOT	RCP	REFLECTED CEILING PLAN	UL	UNDERWRITERS LABORATORY
BIT	BITUMINOUS	EXT.	EXTERIOR	MTL	METAL	RE	REFERENCE	UN	UNLESS NOTED OTHERWISE
BLKG	BLOCKING	EXP. JT.	EXPANSION JOINT	MFR	MANUFACTURER	REIN	REINFORCED	UR	URINAL
BD	BOARD	FIN	FINISH	M.O.	MANUFACTORY OPENING	REV	REVISION	V.C.T.	VINYL COMPOSITION TILE
BLDG	BUILDING	F.F.E.	FINISHED FLOOR ELEV.	MECH	MECHANICAL	REQ	REQUIRED	VB	VAPOR BARRIER
CAB	CABINET	F.P.S.C.	FIRE-PROOF, SELF-CLOSING	MIN	MINIMUM	R	RISER	VERT	VERTICAL
CIP	CAST IN PLACE	FLR	FLOOR	NOM	NOMINAL	RM	ROOM	W	WITH
CPT	CARPET	FTG	FOOTING	N.I.C.	NOT IN CONTRACT	R.O.	ROUGH OPENING	WC	WATER CLOSET
C.B.	CATCH BASIN	FND	FOUNDATION	N.T.S.	NOT TO SCALE	SIM	SIMILAR	WCOOT	WAINSCOT
CLG	CEILING	GALV	GALVANIZED	O.A.I.	OUTSIDE AIR INTAKE	SPEC	SPECIFICATION	WP	WATERPROOFING
CEM	CEMENT	GA	GUAGE	O.C.	ON CENTER	SQ	SQUARE	WR	WATER RESISTANT
C.T.	CERAMIC TILE	GYP. BD.	GYPSON BOARD	O.H.	OVERHANG	S.F.	SQUARE FOOT	WS	WEATHERSTRIPPING
COL	COLUMN	HD. WD.	HARDWOOD	OPNG	OPENING	S.S.	STAINLESS STEEL	WT	WEIGHT
CONC	CONCRETE	HDR	HEADER	OPP	OPPOSITE	STD	STANDARD	W.W.F.	WELDED WIRE FABRIC
CMU	CONC. MASONRY UNIT	HT	HEIGHT	O.D.	OUTSIDE DIAMETER	STL	STEEL	W	WIDE, WIDTH
CONST	CONSTRUCTION	HM	HOLLOW METAL	OPT	OPTION OR OPTIONAL	SYM	SYMBOL	WD	WOOD
CONT	CONTINUOUS	HB	HOSE BIB						
C.F.	CUBIC FEET								
C.Y.	CUBIC YARD								

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
- THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR SHALL CAREFULLY SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH CONSTRUCTION.
- BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE STATED IN CONTRACTOR'S PROPOSAL. AFTER AWARD OF JOB, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.
- NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.
- CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK.
- PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILING AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.
- STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.
- CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.
- WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.
- THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.
- SINCE IT IS NOT POSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED BY DASHED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO ACQUAINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS OCCUR.
- THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
- ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE WHERE THE WORK IS BEING EXECUTED.
- ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.
- ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND STORAGE OF ALL CONSTRUCTION MATERIALS.
- REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.
- PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES, IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS.
- EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETRY TO A SANITARY CONDITION.
- PERMITS:
A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.
B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.
C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.
- CLEANING:
A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.
B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
- WARRANTIES:
A. CONTRACTOR SHALL WARRANTY THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.
- THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT.

ALL NEW INTERIOR FINISHES SHALL COMPLY WITH 2020 NYS RESIDENTIAL CODE - INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF 1 "PILL TEST"

PORTABLE FIRE EXTINGUISHERS
-EXTINGUISHERS SHALL BE SELECTED, INSTALLED, MAINTAINED IN ACCORDANCE WITH NFPA 10. -PROVIDE (1) 2-A, EXTINGUISHER FOR EACH RETAIL SPACE, AND (2) 2-A, EXTINGUISHER FOR WAREHOUSE SPACE
-EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 72.

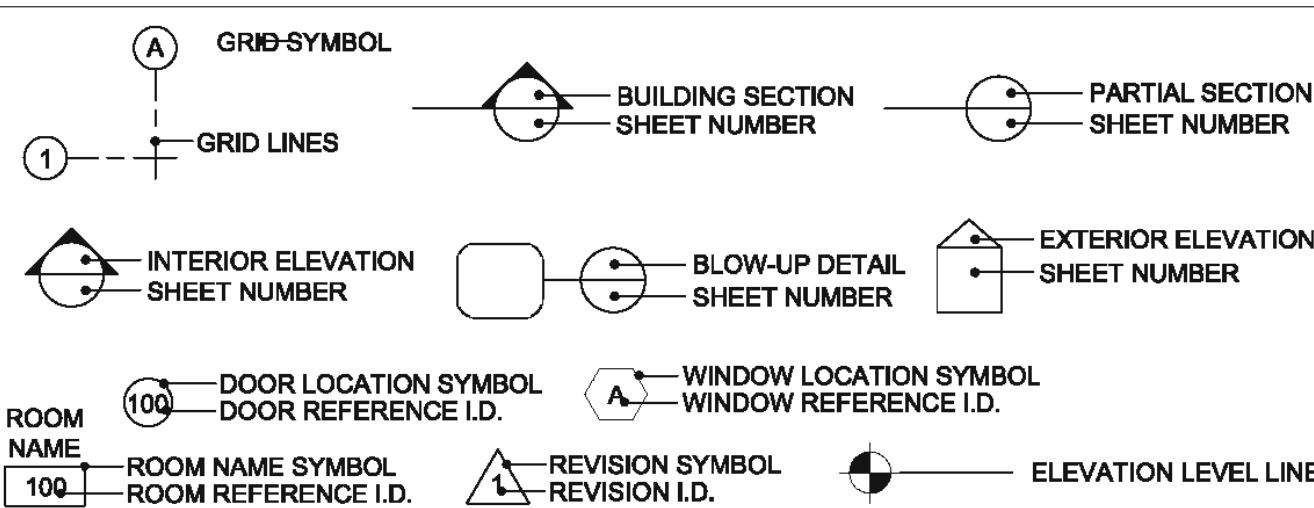
HVAC
-NEW MECHANICAL WORK AND ALTERATIONS TO EXISTING MECHANICAL INSTALLATIONS SHALL CONFORM TO CHAPTER 12 OF THE 2020 NYS RESIDENTIAL CODE.
-HEATING AND COOLING LOADS SHALL BE DETERMINED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THE ASHRAE/ACCA 183.
-HVAC EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE.
-THE HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEG. F AT A POINT 3'-0" ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
-G.C. SHALL PROVIDE SYSTEM SPECIFICATIONS FOR ARCHITECT REVIEW. -EACH HEATING/COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS
-SUPPLY AND RETURN AIR DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH MIN. R-5 INSULATION -ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- PROPER CLEARANCES SHALL BE MAINTAINED TO ALL INSPECTION, SERVICE, REPAIR, OR REPLACEMENT WITHOUT REMOVING ELEMENTS OF PERMANENT CONSTRUCTION.

PLUMBING
-SERVICE WATER HEATING EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE.
-ALL PLUMBING FIXTURES AND DRAINS USED TO RECEIVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM IN ACCORDANCE WITH 2020 NYS RESIDENTIAL CODE. -ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2015 IPC.
-THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1 -STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THEN 0.5" IN LEAST DIMENSION
- OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING. -BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE TRENCHES SHALL BE LINED WITH FINE GRAVEL.
-THE DESIGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL BE APPROVED.
-WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.

ELECTRICAL
-NEW ELECTRICAL COMPONENT, EQUIPMENT, AND SYSTEMS AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.

FUEL AND GAS
-NEW FUEL GAS WORK AND ALTERATIONS TO EXISTING FUEL GAS INSTALLATIONS SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE.

REFERENCE SYMBOLS



ENERGY CODE COMPLIANCE:
2020 NYS RESIDENTIAL CODE, CHAPTER 4:
RESIDENTIAL ENERGY EFFICIENCY
- CLIMATE ZONE 4
PRESCRIPTIVE REQUIREMENTS:
FENESTRATION U-FACTOR: 0.35
CEILING R-VALUE- 49
WALL R-VALUE- 20
FLOOR R-VALUE- 19
(REFER TO PLANS FOR PROJECT INSULATION VALUES)

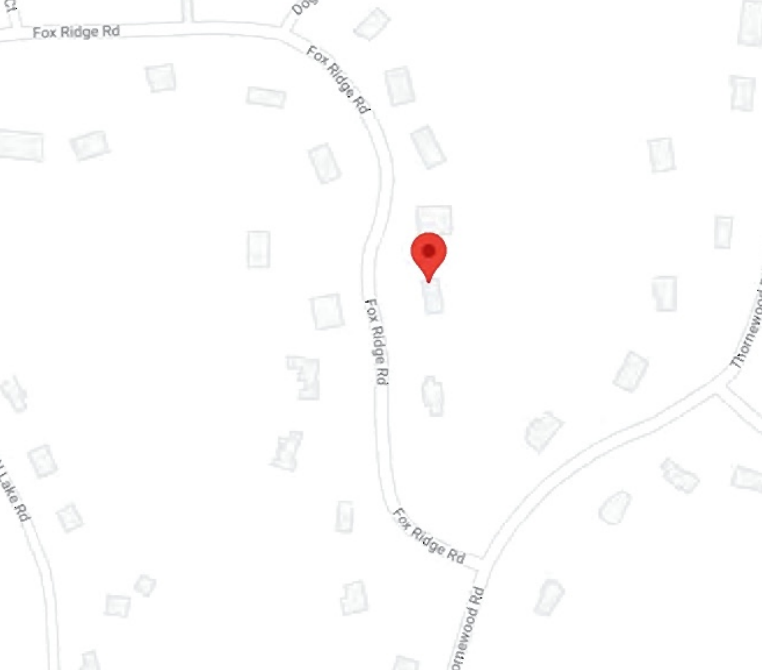
-THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION.
-ALL JOINTS, SEAMS, AND PENETRATIONS -JOINTS AROUND DOORS/WINDOWS AND THEIR FRAMING
-UTILITY PENETRATIONS
-WALLS AND CEILINGS SEPERATING CONDITIONED FROM NON
CONDITIONED SPACE
-ATTIC ACCESS OPENINGS
-RIM JOIST JUNCTION, SILL PLATES AND HEADERS
-BUILDING ENVELOPE AIR TIGHTNESS SHALL BE TESTED IN ACCORDANCE WITH ASHRAE/ASTM E779.
- PROVIDE A MINIMUM OF ONE THERMOSTATE CAPABLE OF AUTOMATICALLY ADJUSTING SPACE TEMPERATURE PER 2020 NYS RESIDENTIAL CODE.
-DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8. ALL OTHER DUCTS SHALL BE INSULATED TO MIN. R-6 (EXCEPT DUCTS LOCATED COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE)
-ALL DUCTS SHALL BE SEALED AND COMPLY WITH M1601.3.1 OF 2020 NYS RESIDENTIAL CODE
-HOT AND COLD WATER PIPES SHALL BE INSULATED TO MIN. R-3
-HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL J. GC SHALL PROVIDE SYSTEM SPECIFICATIONS SHOWING COMPLIANCE WITH ABOVE.
-A MINIMUM OF 50% OF LAMPS SHALL BE IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST DEPTH LINE	TERMITES					
30 PSF	115 MPH - 120 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE HEAVY	7° F	YES	NO	1500 OR LESS	51.6

ENERGY CODE NOTE:

I CERTIFY THAT I AM A REGISTERED PROFESSIONAL, I ALSO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH THE 2020 NYS RESIDENTIAL CODE.
SIGNED: [Signature]
LIGHT AND AIR NOTE:
THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH RESIDENTIAL CODE OF NEW YORK STATE. THE BUILDING PLANS DESCRIBED HEREIN COMPLY WITH CHAPTER 3 INCLUDING PARAGRAPH R303.1 OF THE 2020 NYS RESIDENTIAL CODE.
ALL HABITABLE ROOMS HAVE BEEN PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. THE MINIMUM OPERABLE AREA FOR VENTILATION TO THE OUTDOORS HAVE BEEN PROVIDED AT NOT LESS THAN 4 PERCENT OF FLOOR AREA.



No.	DATE:	ISSUE:

PROJECT NAME:
VARGHESE RESIDENCE
RENOVATION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NY 10504

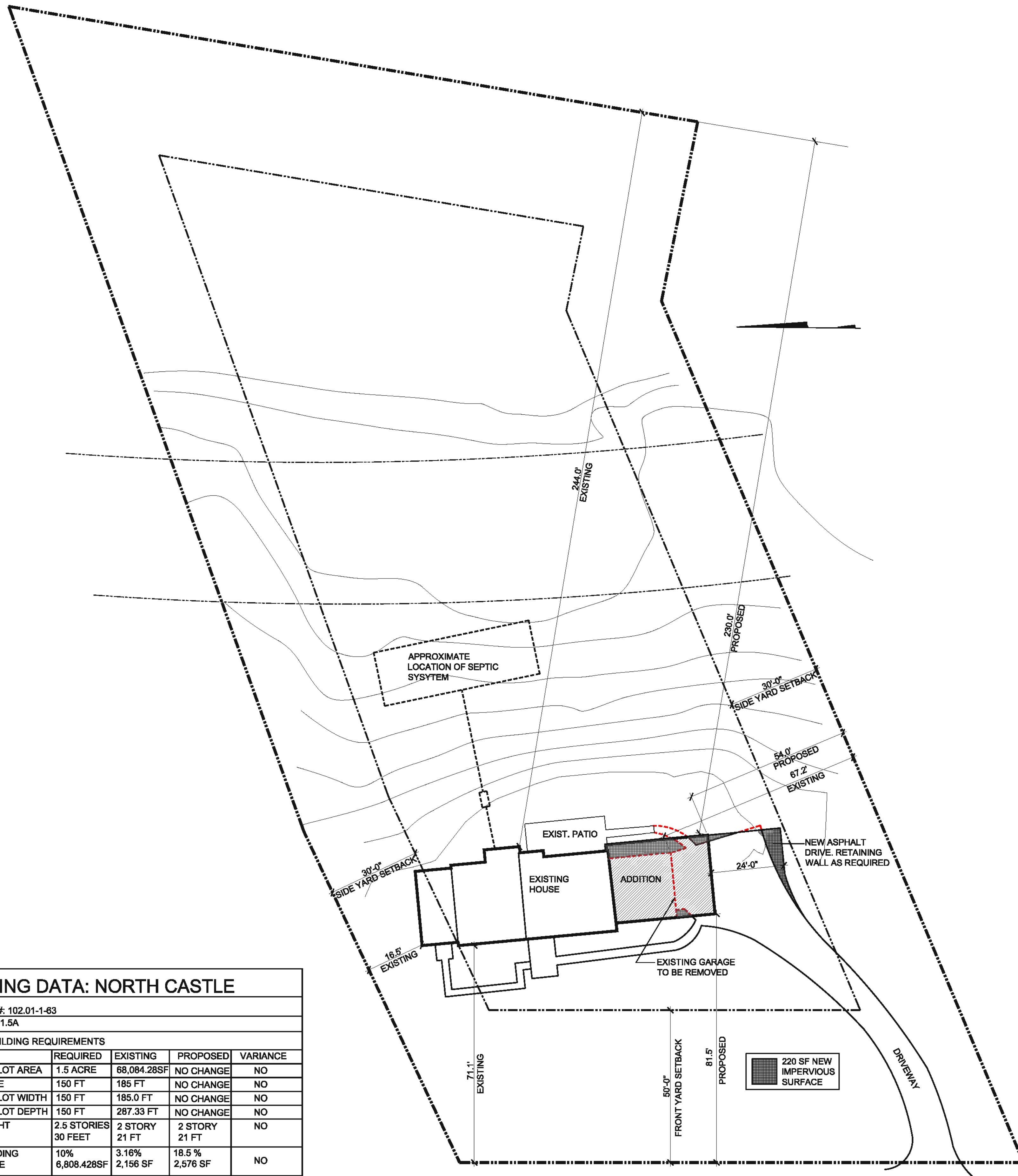


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TITLE SHEET
NOTES

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1	OF	11	

T-100



ZONING DATA: NORTH CASTLE

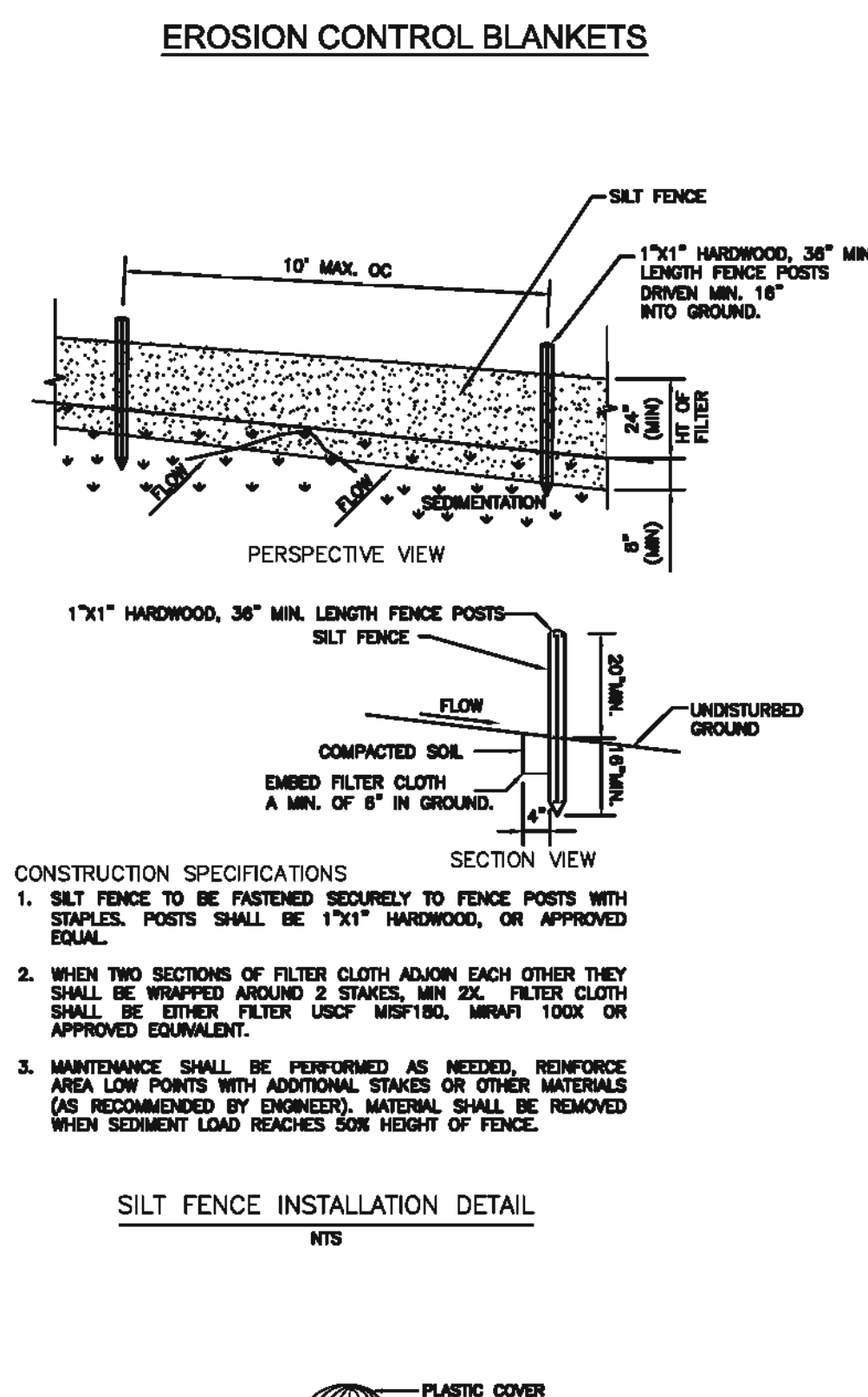
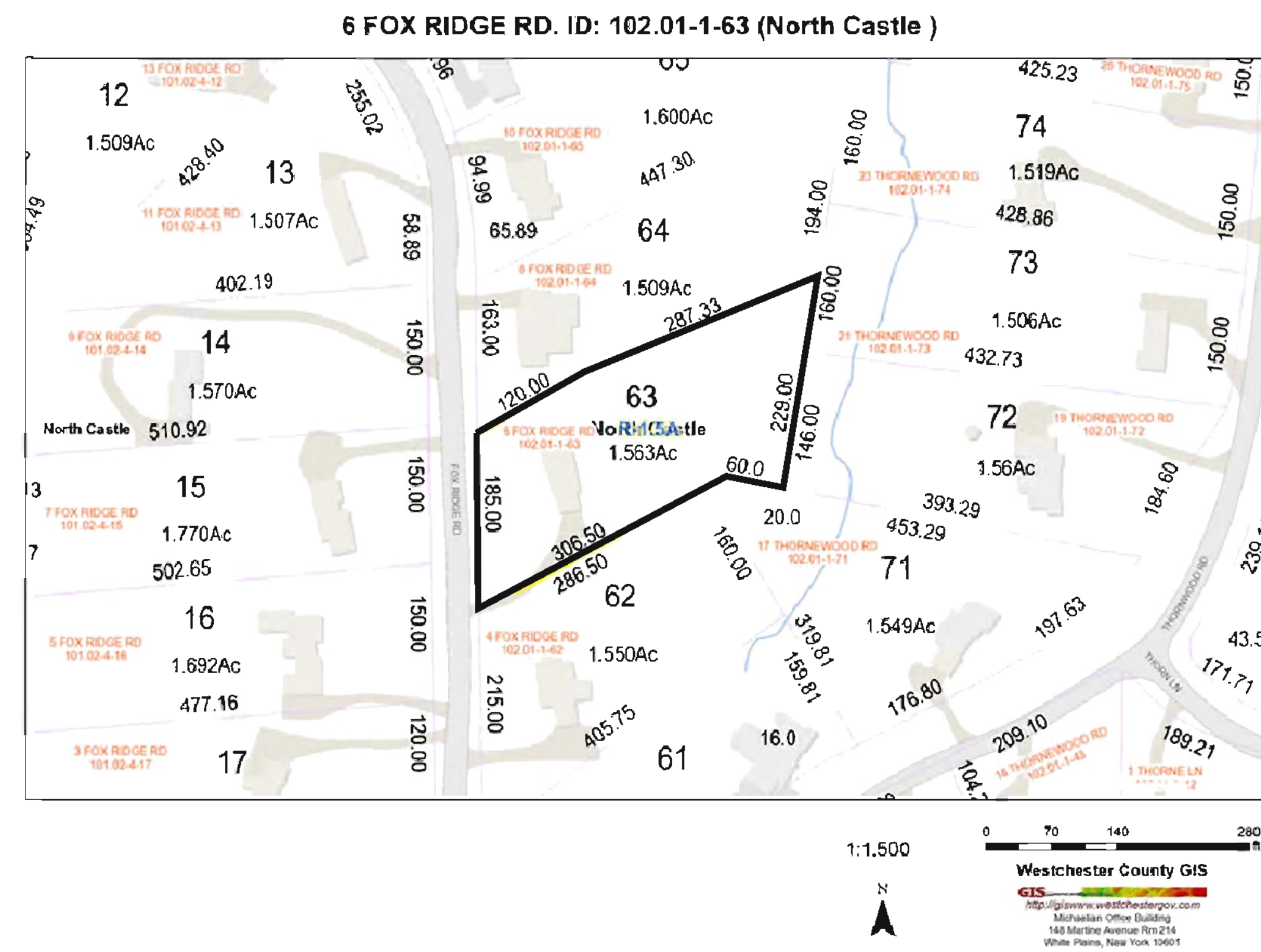
TAX MAP #: 102.01-1-63
 ZONE: R - 1.5A

TABLE BUILDING REQUIREMENTS				
	REQUIRED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT AREA	1.5 ACRE	68,084.28SF	NO CHANGE	NO
FRONTAGE	150 FT	185 FT	NO CHANGE	NO
MINIMUM LOT WIDTH	150 FT	185.0 FT	NO CHANGE	NO
MINIMUM LOT DEPTH	150 FT	287.33 FT	NO CHANGE	NO
MAX HEIGHT	2.5 STORIES 30 FEET	2 STORY 21 FT	2 STORY 21 FT	NO
MAX BUILDING COVERAGE	10% 6,808.428SF	3.16% 2,156 SF	18.5 % 2,576 SF	NO
MAX GROSS FLOOR AREA	REFER TO CALCULATION WORKSHEET			
MAX GROSS LAND COVERAGE	REFER TO CALCULATION WORKSHEET			
SETBACK REQUIREMENTS				
MIN. FRONT	50'-0"	71.1'	71.1'	NO
MIN. REAR	40'-0"	244'	230'	NO
MIN. SIDE (NORTH)	30'-0"	16.5'	16.5'	NO
MIN. SIDE (SOUTH)	30'-0"	67.2'	54.0'	NO

* EXISTING NON-CONFORMING

FOX RIDGE ROAD

A SITE PLAN
 SCALE: 1" = 20'



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SITE PLAN ZONING DATA

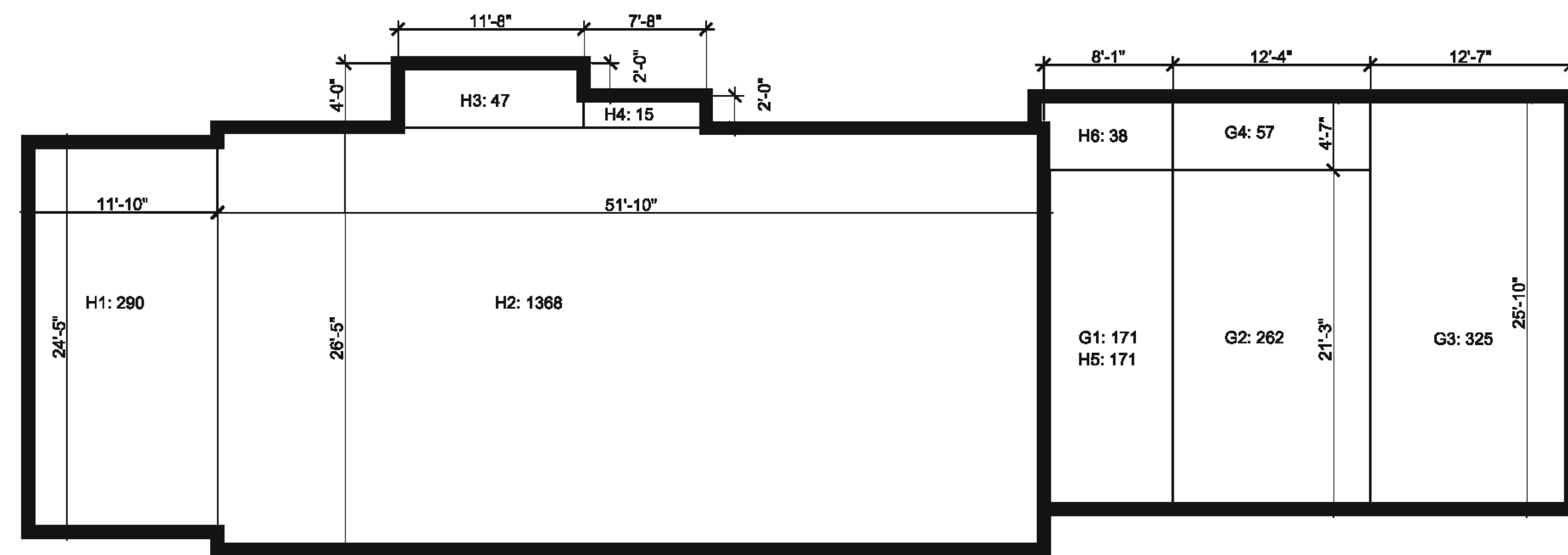
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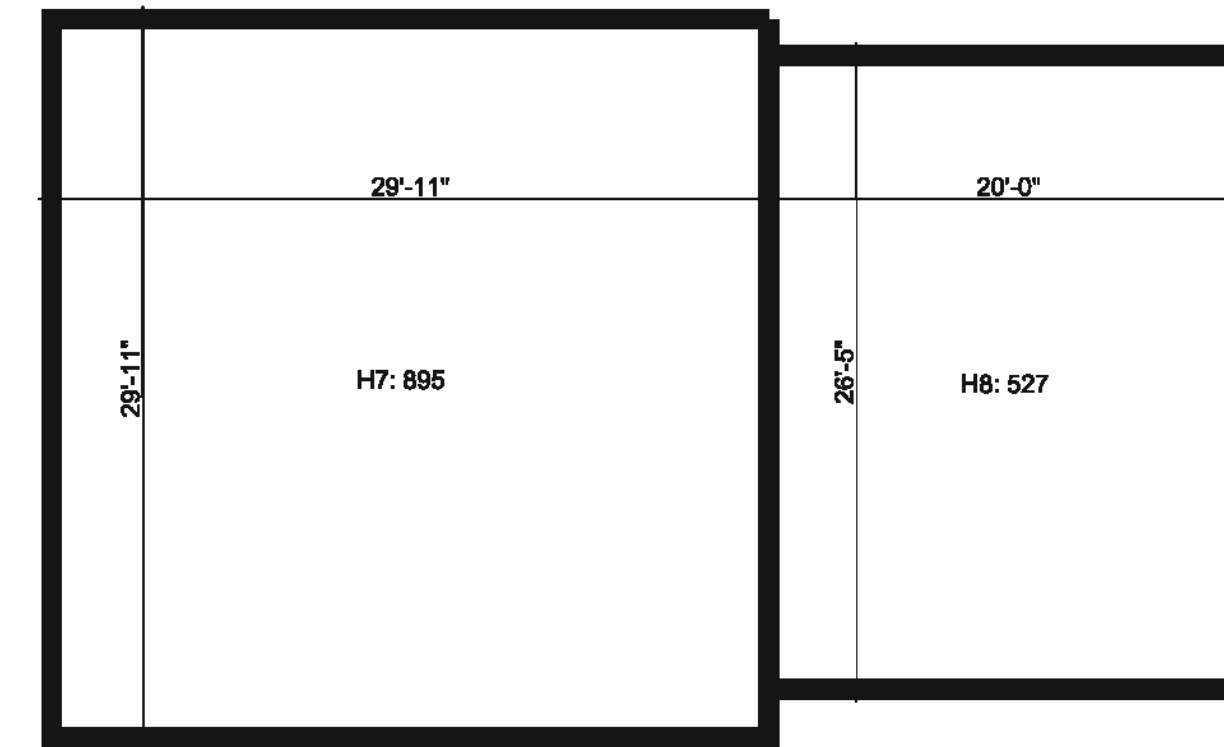
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FIRST FLOOR

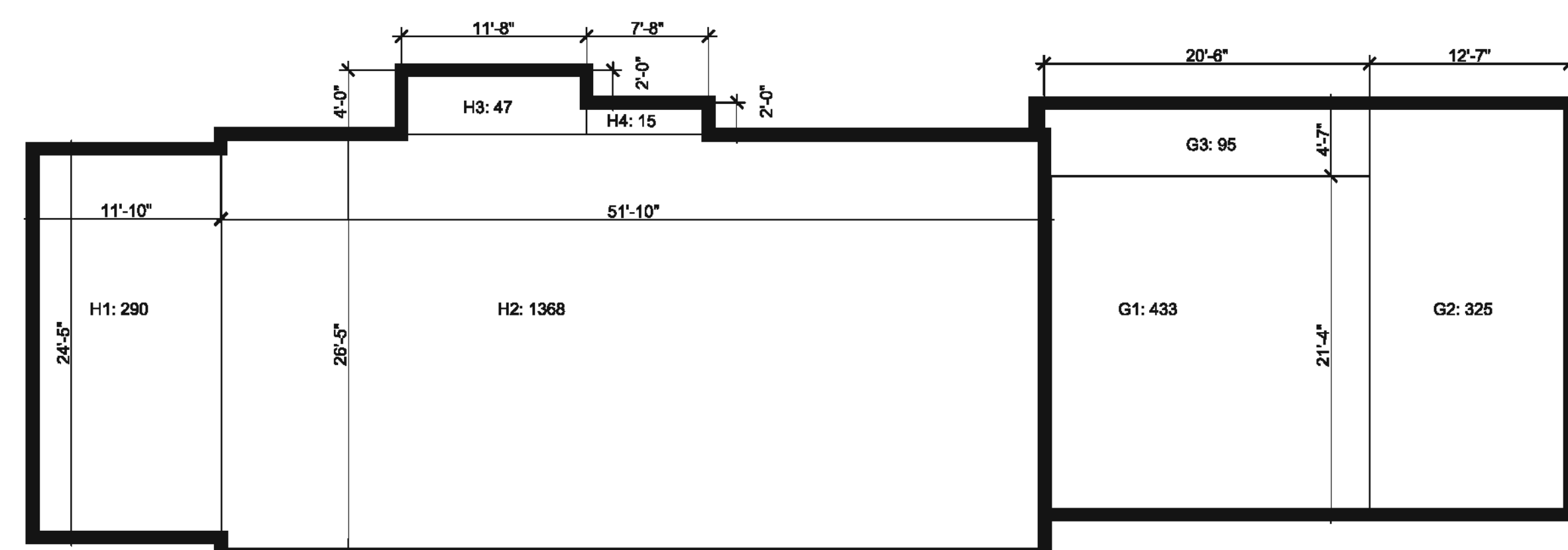
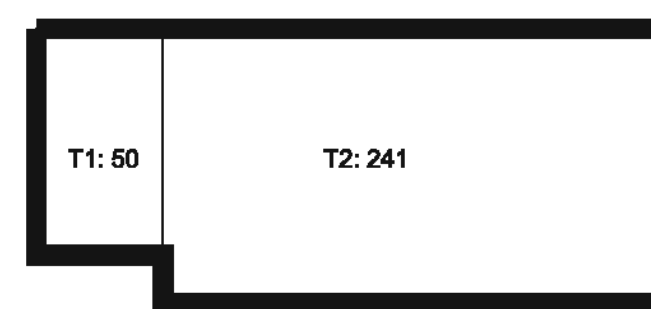
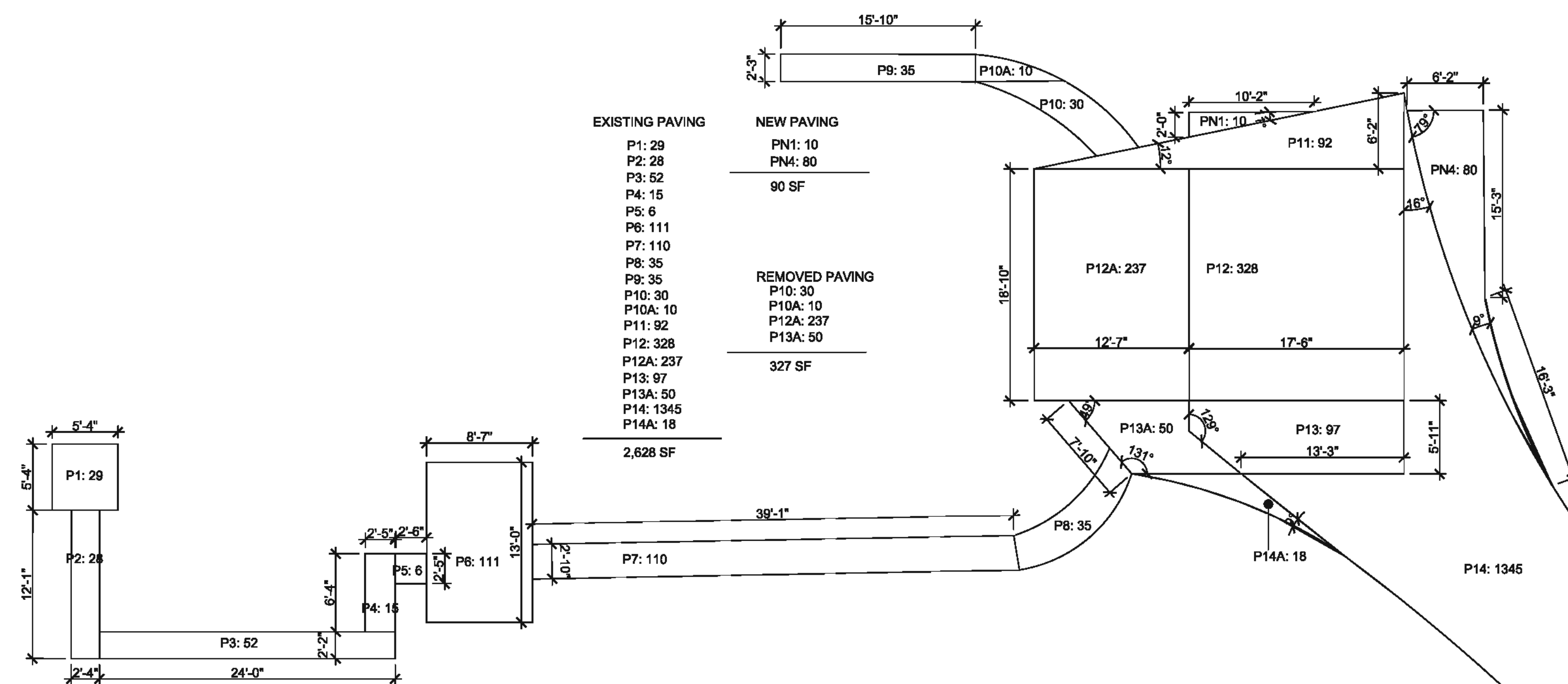


SECOND FLOOR



EXISTING
H7: 895
H8: 527

A FLOOR AREA CALCULTIONS
SCALE: 1/8"= 1'-0"



B GROSS LAND CALCULTIONS
SCALE: 1/8"= 1'-0"

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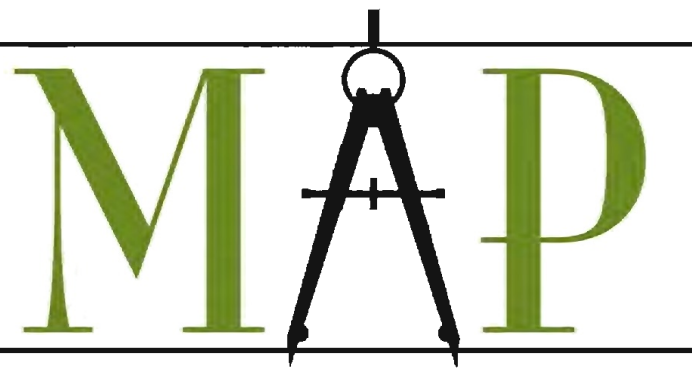
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COVERAGE CALCULATIONS

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WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED



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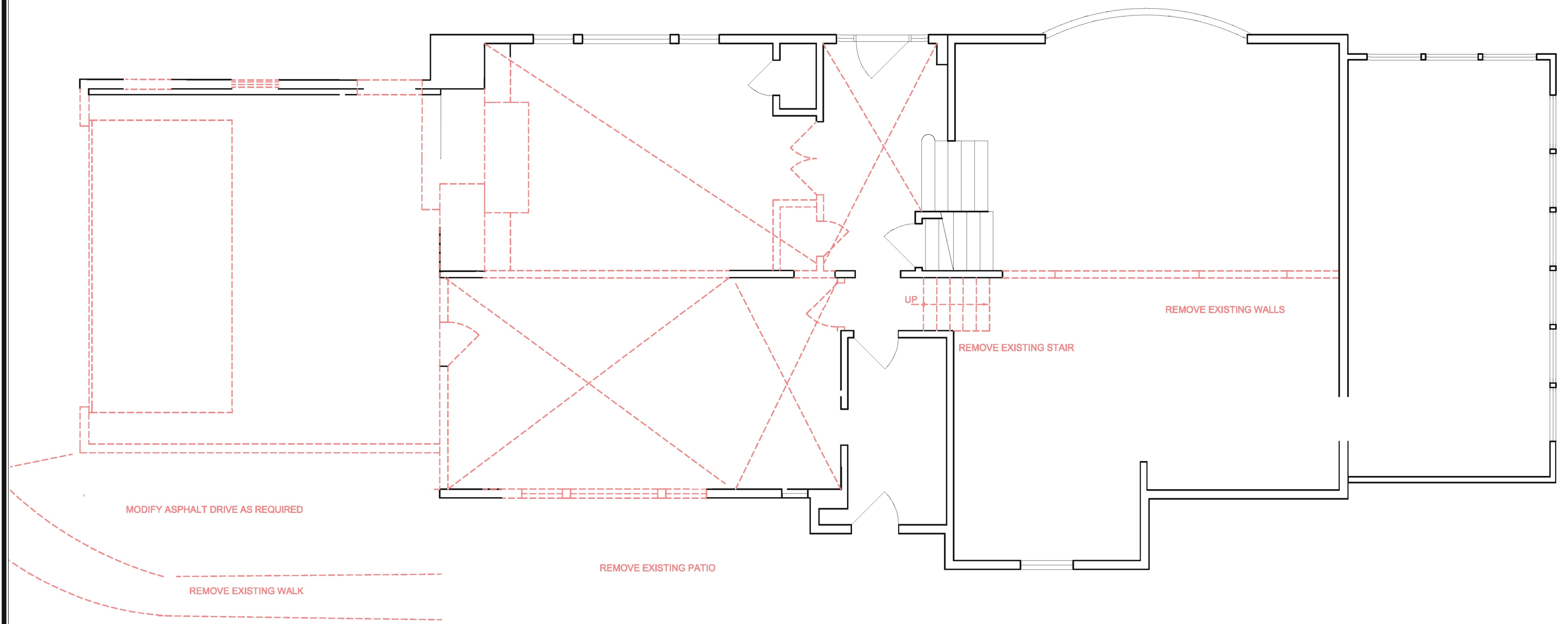
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DEMOLITION PLANS

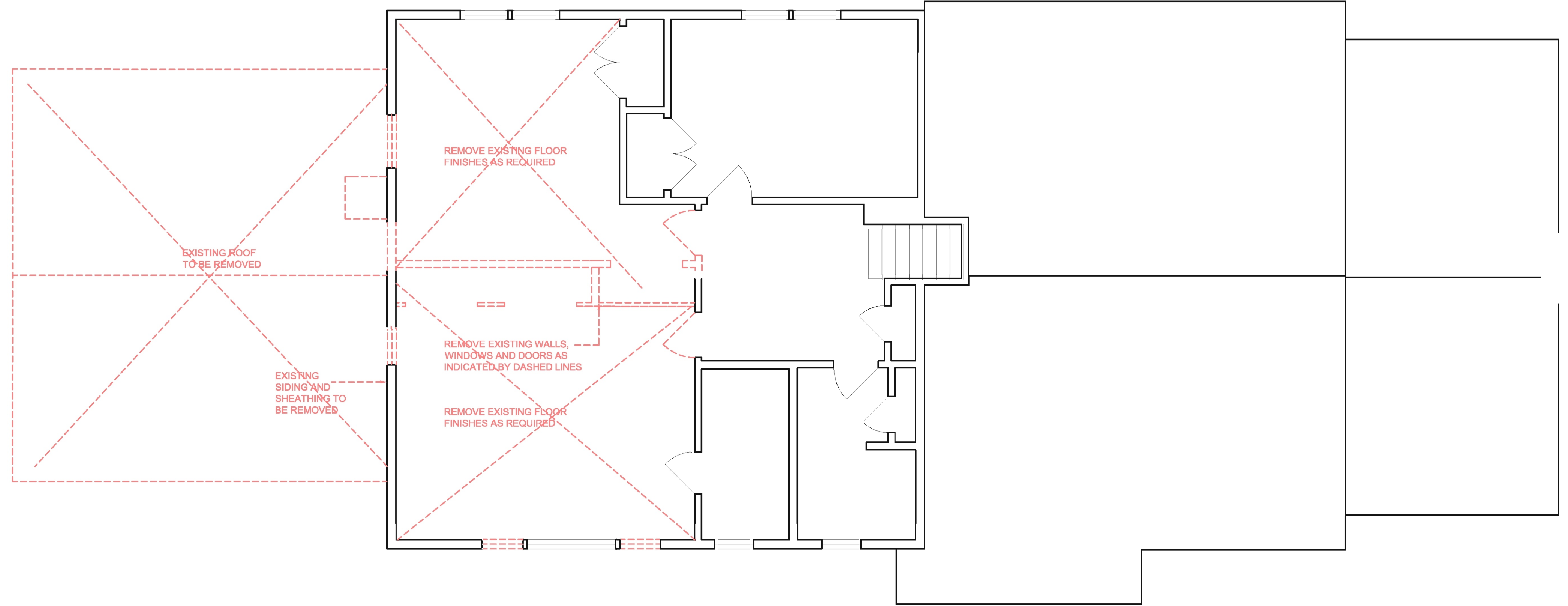
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DEMOLITION NOTES

1. DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.
2. LOCATE DUMPSTER AS INDICATED ON SITE PLAN.
3. DEMOLISH AND REMOVE INDICATED AREAS IN A SAFE AND ORDERLY WAY, REMOVING ELEMENTS IN SMALL PIECES. USE NO EXPLOSIVES.
4. PREVENT THE SPREAD OF DUST OR DEBRIS TO UNAFFECTED PARTS OF THE SITE, ADJACENT PROPERTIES, OR PUBLIC STREETS. CLEAN UP ANY DUST OR DEBRIS SPREAD BY DEMOLITION.
5. TAKE STEPS TO PROTECT EXISTING CONDITIONS TO REMAIN. REPAIR ANY DAMAGE AT NO COST TO THE OWNER. PROTECT AND MARK ALL NEW OPENINGS, WHICH COULD BE HAZARDOUS.
6. PROVIDE TEMPORARY SUPPORT WHERE REQUIRED FOR REMOVAL OF STRUCTURAL MEMBERS.
7. STORE THOSE ITEMS INDICATED TO BE SAVED SO THAT THEY ARE PROTECTED FROM DAMAGE BY WEATHER OR FURTHER CONSTRUCTION ACTIVITIES.
8. ALL ITEMS NOT BEING USED SHALL BE REMOVED. ANY AND ALL ITEMS PRESENTLY IN USE BUT WILL NOT BE UTILIZED SHALL BE REMOVED. G.C. SHALL V.I.F. ALL ITEMS CURRENTLY NOT IN USE FOR DEMOLITION.
9. EXISTING STRUCTURE SHALL BE MAINTAINED IN A WEATHER TIGHT CONDITION THROUGHOUT DEMOLITION. WHERE ITEMS DEEMED TO BE REMOVED SHALL EXPOSE INTERIOR OF BUILDING TO WEATHER ELEMENTS. MEASURES, PROTECTION AND SCHEDULING SHALL TAKE PLACE TO PREVENT DAMAGE TO ITEMS TO REMAIN.
10. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULT ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
11. TEMPORARY PROTECTION, PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUST PROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS, TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.



A FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



B SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

10" CONCRETE BLOCK FOUNDATION WALL WITH STEEL TRUSS TYPE HORIZONTAL REINFORCING EVERY OTHER COURSE ON CONTINUOUS CONCRETE 22"x10" FOOTING WITH 3 ROWS #4 REBAR

10'-8 3/8"

DRILL AND GROUT #4 REBAR 16" LONG AT 48" O.C. VERTICALLY

EXISTING SLAB TO REMAIN

MODIFY EXISTING WALL FOR NEW GARAGE
36"x36"x12" HAUNCHED CONCRETE FOOTING

4" CONCRETE SLAB WITH 6x6 W2.9W2.9 WWF ON 6 MIL V.B. OVER 4" CLEAN GRAVEL

31'-8 3/8"

25'-9 1/4"

A FIRST FLOOR FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN NOTES

1. PREPARE EXISTING SUBFLOOR FOR NEW FLOOR FINISHES.
2. PATCH AND REPAIR ALL WALLS DAMAGED BY DEMOLITION TO APPEAR INTEGRAL WITH NEW WORK.
3. PROVIDE SADDLES AND WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
4. ALL PARTITIONS WITH WALL HUNG CABINETS, WALL HUNG FIXTURES, WALL TILE OR COAT RACKS TO HAVE 2x WOOD STUDS @ 12" O.C. OR AS REQUIRED.
5. SHELVING TO BE PAINT GRADE BIRCH PLYWOOD WITH 1" 1/4" HARDWOOD EDGE TYP. IN EVERY CLOSET. PROVIDE ADJUSTABLE SHELVES IN STORAGE OR PROVIDE COAT ROD, BRACKETS AND SHELVING IN EVERY COAT CLOSET.
6. ALL PIPING NOT BEING CONNECTED TO ACTIVE FIXTURES SHALL BE CUT BACK BELOW LEVEL OF FINISHED FLOOR AND CAPPED PER APPLICABLE CODES AND REGULATIONS.

DIVISION 4 MASONRY

GENERAL REQUIREMENTS: G.C. SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL MASONRY SHOWN OR NOTED IN THESE DOCUMENTS. THE GENERAL REQUIREMENTS OF SECTION 1 SHALL APPLY TO ALL WORK UNDER THIS HEADING.

1. ALL WORK IN THIS SECTION SHALL COMPLY WITH STATE AND LOCAL CODES.
2. MATERIALS: ALL MATERIAL SHALL COMPLY WITH THE LATEST A.S.T.M. STANDARDS.
 1. POROUS FILL (AS REQUIRED) - CLEAN GRAVEL OR CRUSHED STONE. NO CINDERS.
 2. MORTAR - 1.3 PORTLAND CEMENT MORTAR FOR ALL CONCRETE BLOCKWORK; 1.6 PORTLAND CEMENT - LIME MORTAR FOR STONE WORK. NO RETEMPERING PERMITTED.
 3. REINFORCING (AS REQUIRED) - DUR-O-WALL TRUSS-TYPE REINFORCING AS NOTED.
 4. CONCRETE - MASONRY UNITS (C.M.U.) (AS REQUIRED) - LOAD BEARING STONE CONCRETE - MASONRY UNITS, AS MANUFACTURED BY BEDFORD HILLS CONCRETE PRODUCTS CO. OR APPROVED EQUAL, SIZE AS REQUIRED, AND AS NOTED IN DOCUMENTS.
3. CONCRETE BLOCKWORK SHALL BE REINFORCED ON EVERY SECOND HORIZONTAL JOINT WITH DUR-O-WALL TRUSS-TYPE BLOCK REINFORCEMENT. LAY BLOCKS WITH CELLS VERTICAL AND JOINTS STAGGERED IN EACH COURSE. ALL BLOCKWORK TO BE PROPERLY BONDED TOGETHER AND TO ADJACENT WORK.
4. COMPLY WITH RECOMMENDED METHODS AND PRACTICE AS DESCRIBED BY NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS AND BRICK INSTITUTE OF AMERICA.

CAST-IN-PLACE CONCRETE

1. DO ALL WORK IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS. PERFORM ALL WORK IN ACCORDANCE WITH ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS SPECIFIED OTHERWISE.
2. INSPECTION AND TESTING (INCLUDING BUT NOT LIMITED TO TEST CYLINDERS: TAKE THREE TEST CYLINDERS FROM EACH POUR, LABEL WITH DATE AND LOCATION PLACED, AND DELIVER TO OWNER FOR TESTING) OF CONCRETE WORK AND CONCRETE MIX SHALL BE PERFORMED IN ACCORDANCE OF THE LOCAL BUILDING DEPARTMENT.
3. CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.
4. PROVIDE SAND AND GRAVEL BASE.
5. WELDED WIRE FABRIC SHALL BE 6" X 6" W2.9W2.9 SIZE PLAIN FINISH CONFORMING TO ASTM A185 UNLESS OTHERWISE INDICATED. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC A615 GRADE 60.
6. REINFORCING STEEL SHALL BE BILLET STEEL BARS, GRADE 60, GALVANIZED FINISH, CONFORMING TO ASTM A615. COMPLETE WITH ALL ACCESSORIES SUCH AS CHAIRS, BAR SUPPORTS, SPACERS, TIE WIRE, ETC.
7. SCREED AND FINISH CONCRETE SMOOTH AND LEVEL OR SLOPED AS INDICATED TO RECEIVE FURTHER CONSTRUCTION. EXTERIOR PAVEMENTS TO HAVE BROOMED FINISH.
8. ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS". HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE FOLLOWED.
9. CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS FOR FOUNDATIONS. SLUMP SHALL NOT EXCEED 4".
10. REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
11. FOLLOW ACI RULES AS TO TIES, ANCHORAGE, SPLICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS.
12. REINFORCEMENT MARKED "CONTINUOUS" (CONT.) SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND CORNERS, AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
13. CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.
14. PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES FOR SIZE AND LOCATION OF ALL OPENINGS. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS IN ADDITION TO STRUCTURAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.

GENERAL NOTES

1. EXCAVATION AND EARTHWORK
 1. SOILS AT THE BASE OF ALL EXCAVATIONS SHALL HAVE A PRESUMPTIVE BEARING VALUE OF NO LESS THAN 2 TSF.
 2. IF SOILS ARE UNSUITABLE AT THE LEVELS SHOWN ON THE DRAWINGS FOR FOUNDATIONS, THE EXCAVATION SHALL BE DEEPEMED UNTIL SUITABLE SOILS ARE ENCOUNTERED.
 3. SOILS AT THE EXCAVATION LEVEL SHALL BE COMPACTED TO 95% MAX. DENSITY, ASTM D 1557.
2. CONCRETE WORK
 1. ALL CONCRETE SHALL CONFORM TO ACI 318-88 (REV. 1986) BUILDING CODE, AND ACI DESIGN HANDBOOK 340. IR-84.
 2. CONCRETE: F_c = 3500 PSI
 3. REINFORCING STEEL: F_y = 60 KSI
 4. ALL EXTERIOR CONCRETE REQUIRES AIR ENTRAINMENT.
 5. CONCRETE SLUMP SHALL BE NO GREATER THAN 4".
 6. CURING IS REQUIRED PER ACI CODE.
 7. WELDING REINFORCING STEEL IS PROHIBITED.
 8. ANCHOR BOLTS SHALL BE IMBEDDED, OR DRILL-IN, AT THE DISCRETION OF THE CONTRACTOR. ANY EXTERIOR ANCHOR BOLTS SHALL BE GALVANIZED.
3. FIELD VERIFY ALL EXISTING DIMENSIONS AS INDICATED ON DRAWINGS.
 1. GENERAL CONTRACTOR TO LAYOUT ROOM WITH EXISTING CONDITIONS AND FIELD VERIFY PRIOR TO INSTALLING INTERIOR WALLS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.



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WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED

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PROPOSED PLAN

SCALE:	AS NOTED	DATE:	09-11-21
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- WALL AND DOOR SYMBOLS**
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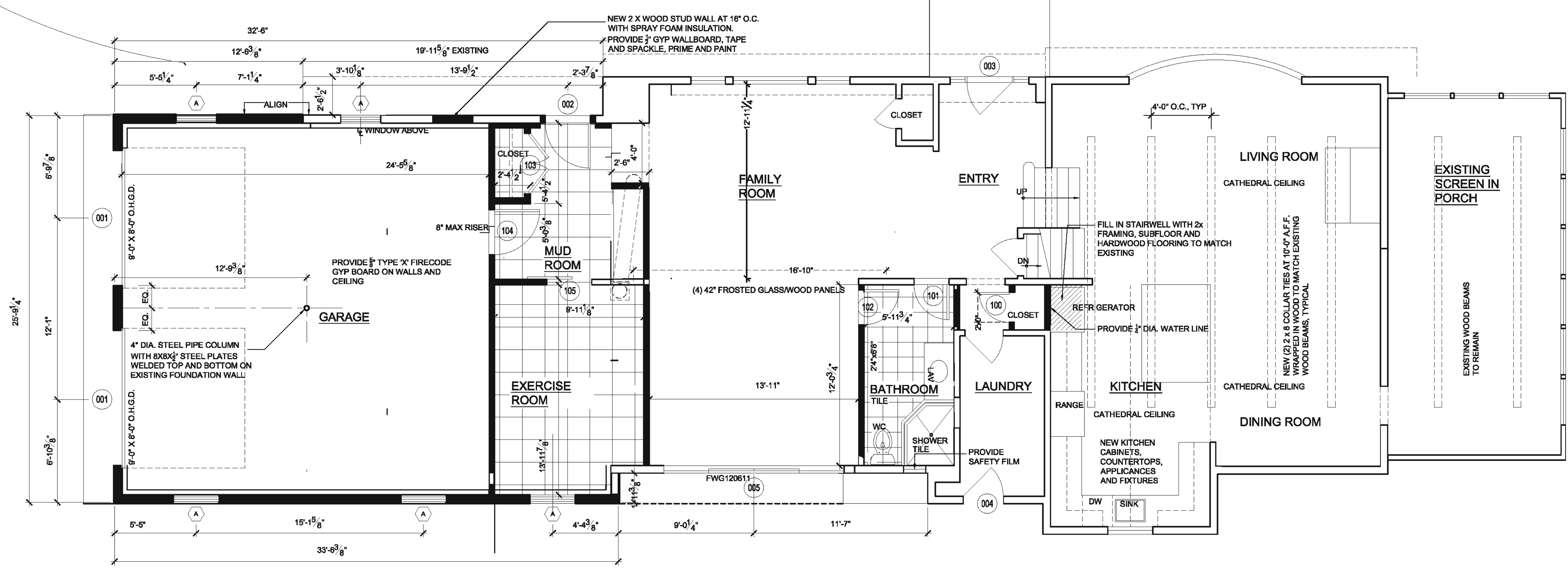


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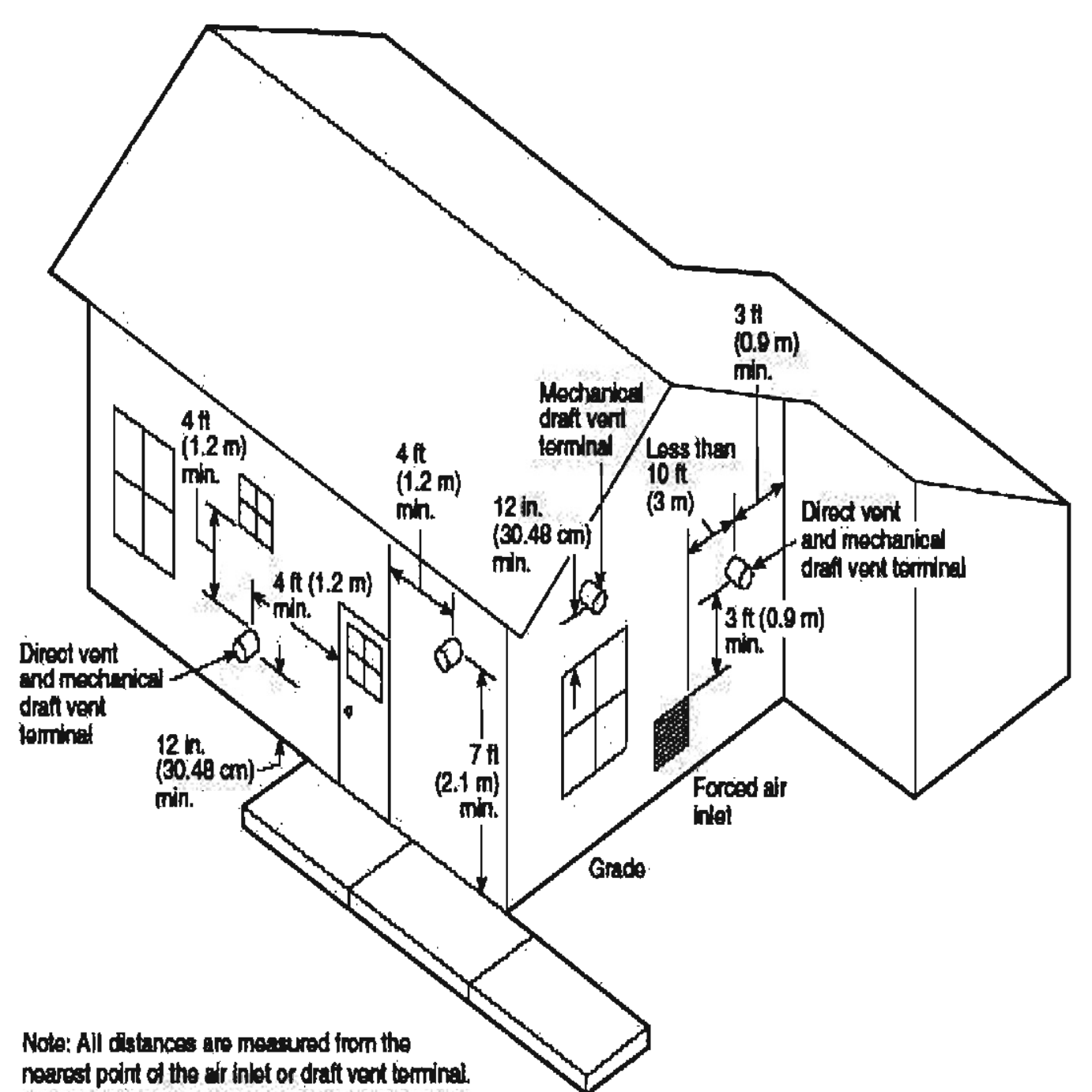
PROPOSED PLAN

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A-101
1 OF 1



A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



Note: All distances are measured from the nearest point of the air inlet or draft vent terminal.

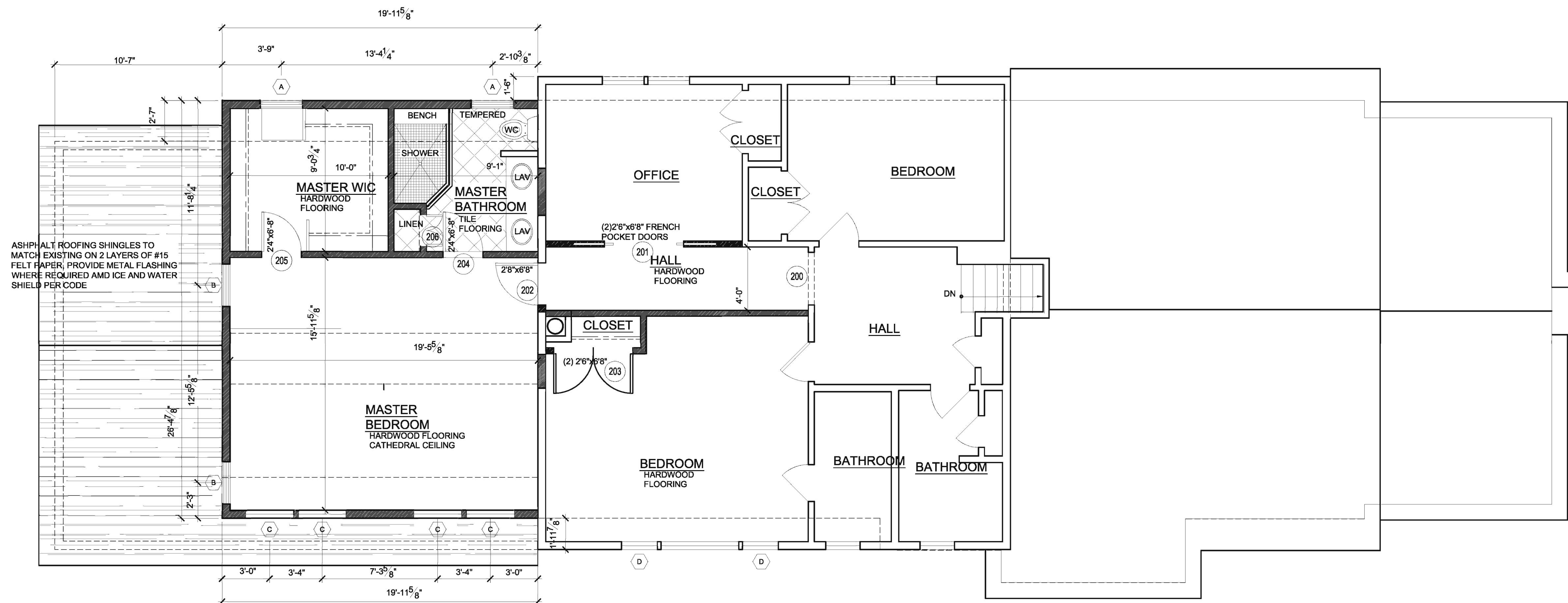
C PRESCRIPTIVE VENT
REQUIREMENTS
SCALE: 1/2" = 1'-0"

1. DRYER EXHAUST TO EXTERIOR OF BUILDING (UNLESS DRYER IS LISTED AND LABELED AS CONDENSING (DUCTLESS DRYER).
2. DUCT TERMINATION SHALL NOT BE LESS THAN 3 FEET IN ANY DIRECTION FROM OPENING INTO BUILDING
3. DUCT SHALL BE 4" NOMINAL DIAMETER, MIN. 28 GAGE METAL, WITH SMOOTH INTERIOR, AND BE EQUIPPED W/ BACKDRAFT DAMPER.
4. RANGE HOOD W/ EXHAUST TO EXTERIOR.
5. PROVIDE MAKE-UP AIR FOR HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM. MAKEUP AIR SYSTEM MODEL NO. MUAS BY FANTECH OR APPROVED EQUAL
6. MAKE UP AIR SHALL BE APPROX. EQUAL TO EXHAUST AIR RATE

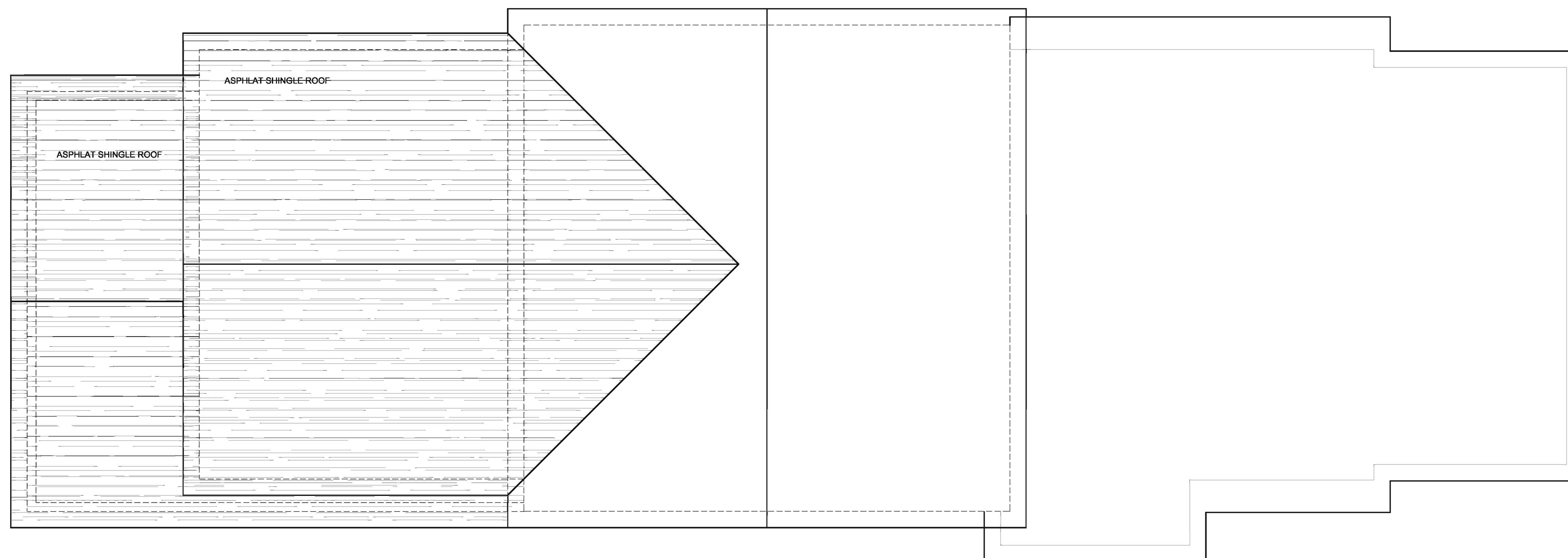


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NOTE:
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A SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



B ROOF PLAN
SCALE: 1/4" = 1'-0"

No.	DATE:	ISSUE:

PROJECT NAME:
VARGHESE RESIDENCE
RENOVATION/ADDITION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NEW YORK 10504



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PROPOSED PLAN

SCALE: AS NOTED DATE: 09-11-21

DRAWN BY: MAP
CHKD BY: MAP

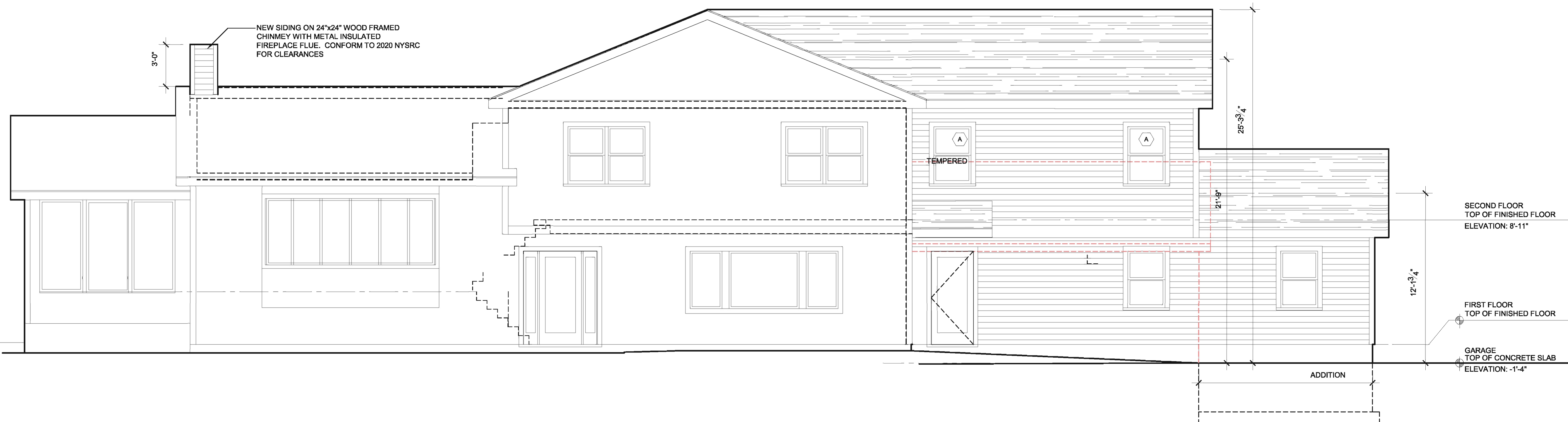
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1 OF 1



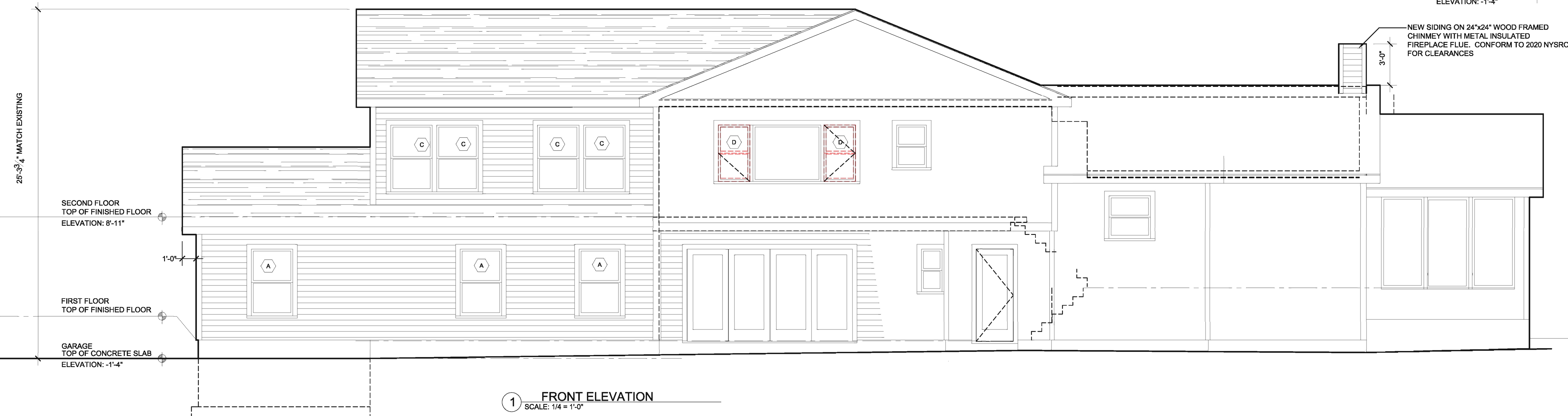
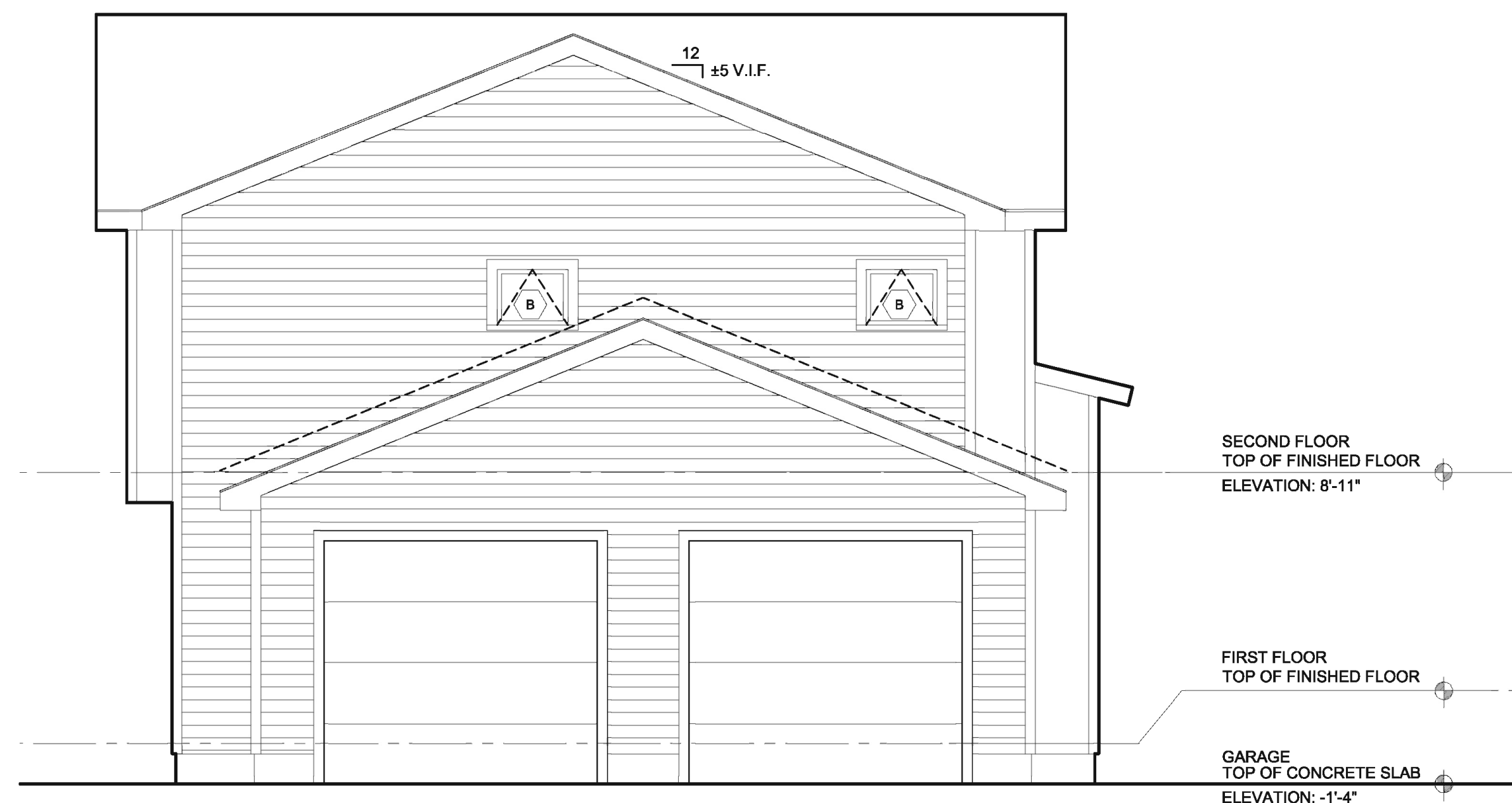
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1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES		
ITEMS	MATERIAL	COLOR
CORNER BOARDS	MATCH MAIN HOUSE	MATCH MAIN HOUSE
FASCIAS	MATCH MAIN HOUSE	MATCH MAIN HOUSE
SIDING	TO MATCH HOUSE	MATCH HOUSE
WINDOWS	VINYL CLAD	WHITE
CASING	AZEK	WHITE
SLIDER	VINYL CLAD	WHITE
RAILING	COMPOSITE	WHITE
DECKING	COMPOSITE	GREY



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS

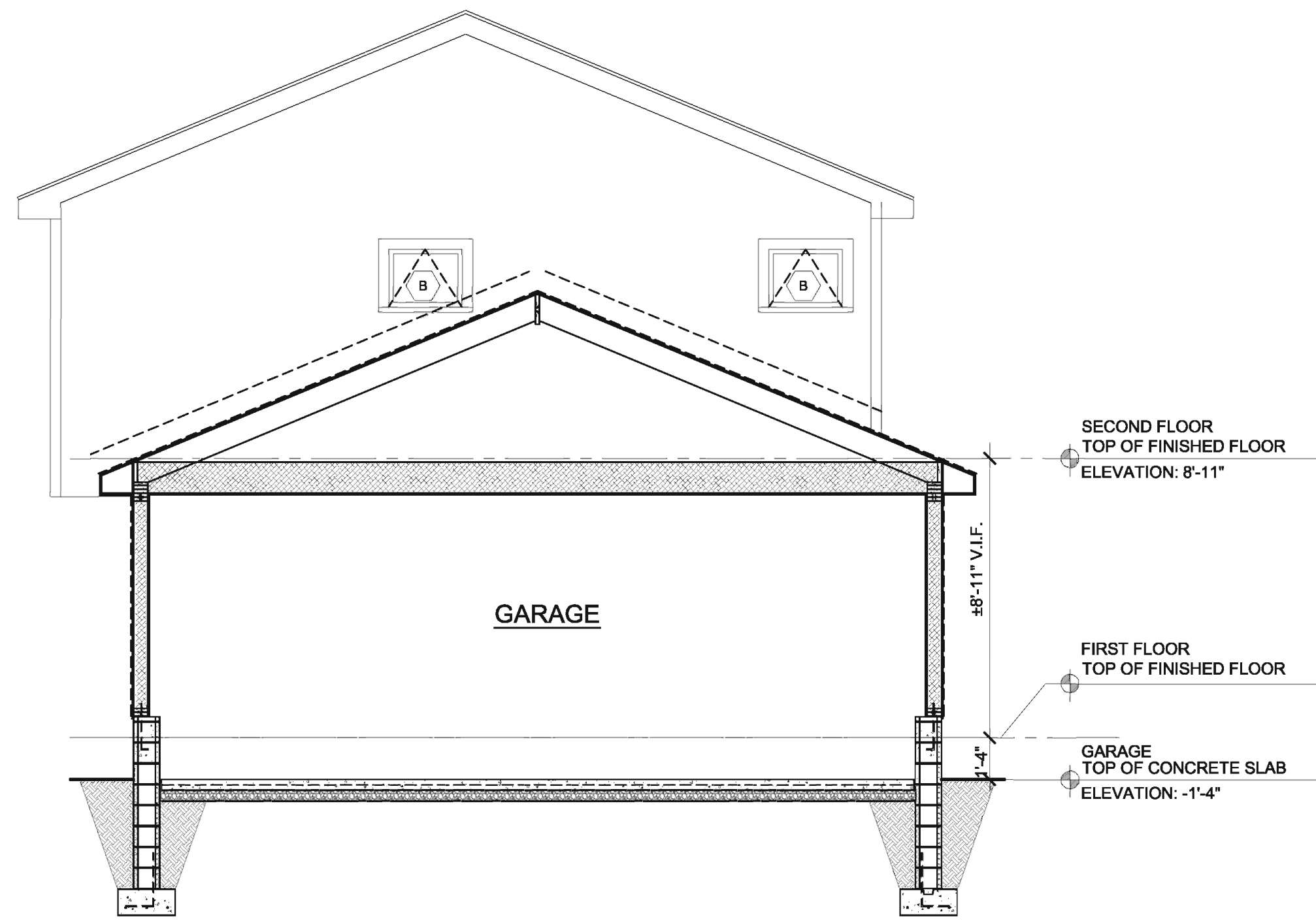
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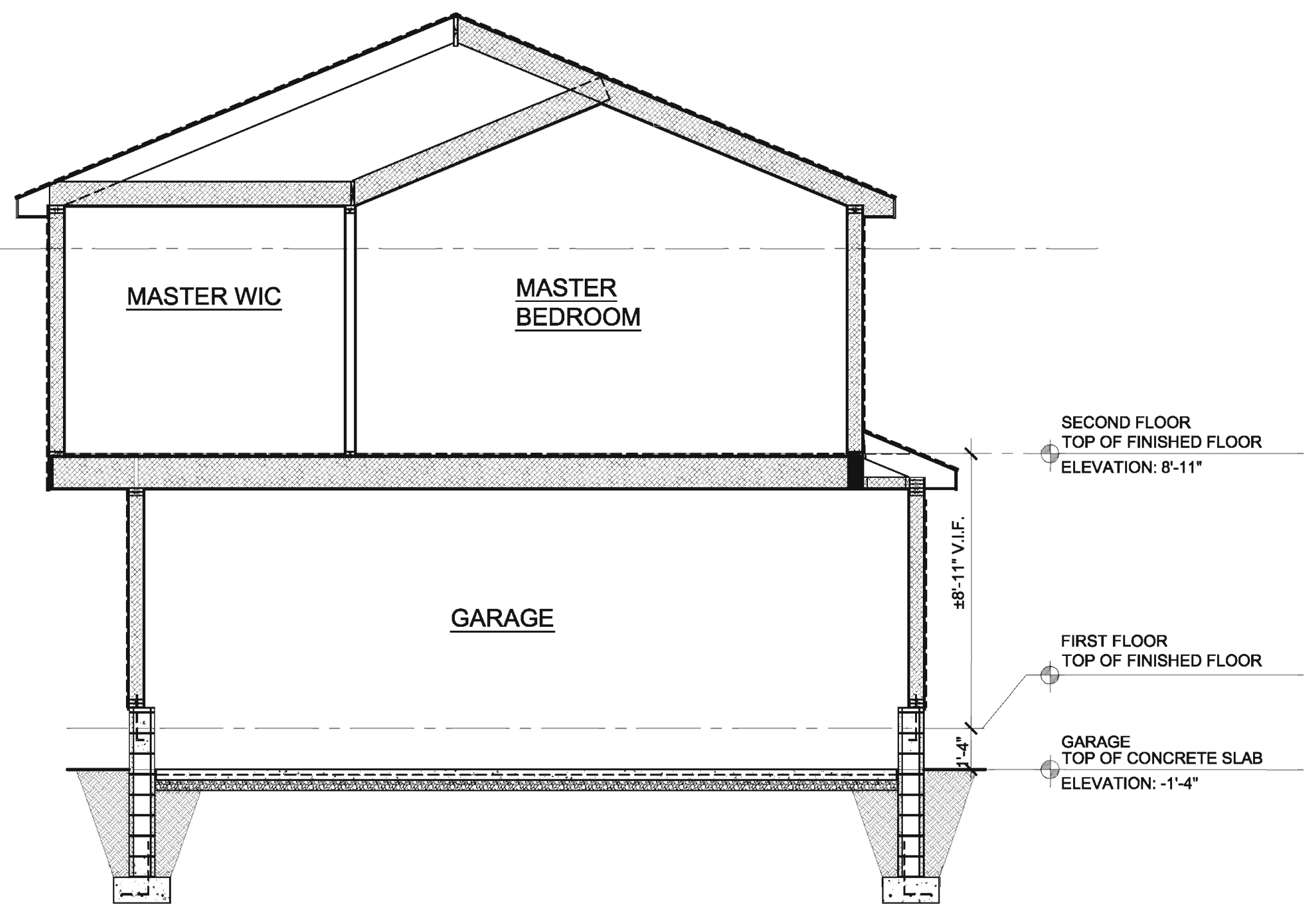
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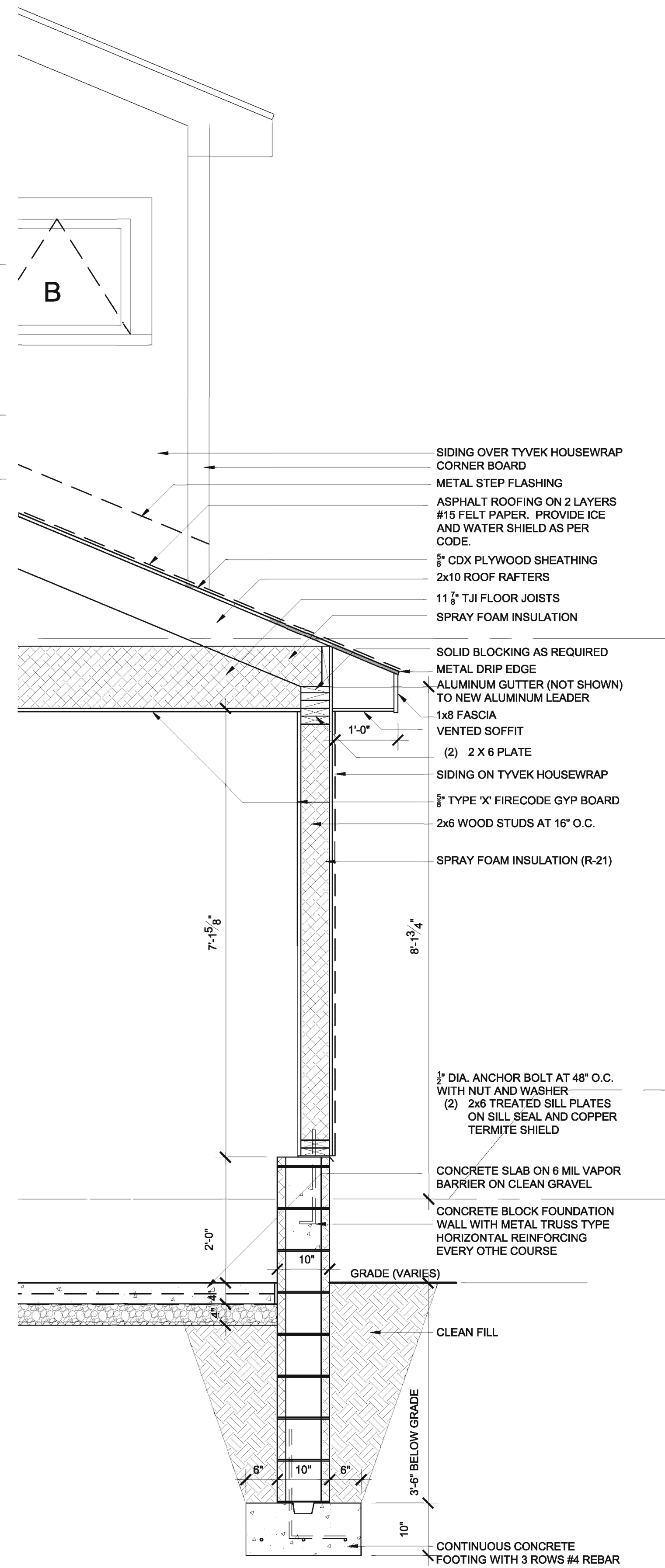
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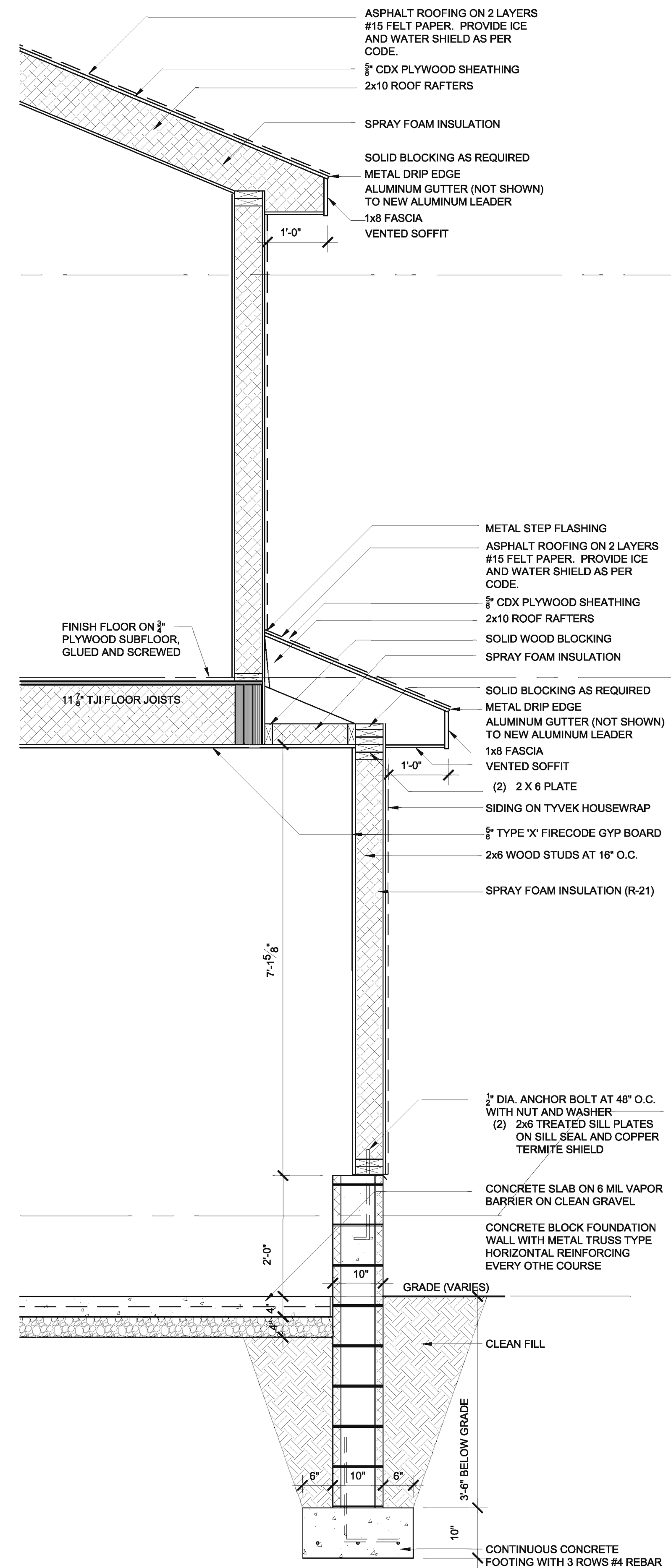
A BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"

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ELEVATIONS

SCALE: AS NOTED DATE: 12-2-21

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A-300

1 OF 1

WINDOW SCHEDULE

WINDOW MARK	MODEL NUM.	WINDOW ROUGH OPENING (Width x Height)	WINDOW TYPE	INTERIOR CASING	EXTERIOR CASING	MUNTIN PATTERN	HARDWARE	REMARKS
A	TW2640	2'-8 1/2" x 4'-4 1/2"	DOUBLE HUNG	MATCH EXISTING	VINYL MATCH EXISTING	SEE ELEVATION	MATCH EXISTING	BUG SCREEN
B	A251	2'-4 7/8" x 2'-0 5/8"	AWNING	MATCH EXISTING	VINYL MATCH EXISTING	SEE ELEVATION	MATCH EXISTING	BUG SCREEN
C	TW210410	3'-0 1/8" x 5'-0 7/8"	DOUBLE HUNG	MATCH EXISTING	VINYL MATCH EXISTING	SEE ELEVATION	MATCH EXISTING	BUG SCREEN
D	REPLACEMENT EGRESS WINDOW	± 2'-3" x 4'-3" V.I.F.	CASEMENT	MATCH EXISTING	VINYL MATCH EXISTING	SEE ELEVATION	MATCH EXISTING	BUG SCREEN 90° EGRESS HARDWARE

WINDOW SPECIFICATION
WINDOW SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT.

- ALL WINDOWS SCHEDULED ARE MANUFACTURED BY ANDERSEN WINDOW COMPANY.
- VINYL CLAD EXTERIOR- COLOR: WHITE
- INTERIOR FINISH- COLOR: WHITE INTERIOR (MATCH EXISTING)
- EXTERIOR TRIM- MATCH EXISTING
- SPACER BAR- YES
- GLAZING- INSULATED LOW-E 272 GLASS WITH ARGON GAS.
- HARDWARE- MATCH EXISTING
- WINDOW SCREENS- MATCH EXISTING
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

DOORS SCHEDULE

DOOR NUMBER	LOCATION	MODEL NUMBER DOOR OPENING (W x H x THICKNESS)	DOOR TYPE	DOOR MATERIAL	DOOR & FRAME FINISH	FRAME MATERIAL	HARDWARE SET	REMARKS
001	GARAGE	T.B.D. \$3,000 ALLOWANCE PER DOOR 9'-0" x 8'-0" x 1 1/2"	INSULATED OVERHEAD GARAGE DOOR	WOOD / GLASS	WOOD	WOOD	ENTRY LOCKSET WEATHER-STRIPPING	3/4 HP MOTOR, KEYPADS, REMOTE
002	MUDROOM	T.B.D. 3'-0" x 6'-8" x 1 1/2"	ENTRY	WOOD / GLASS	WOOD	WOOD	ENTRY LOCKSET WEATHER-STRIPPING	ALUMINUM SILL
003	ENTRY	EXISTING	ENTRY					
004	LAUNDRY	EXISTING	ENTRY					
004	FAMILY ROOM	FWG 120611 12'-0" x 6'-11"	QUAD GLIDER	WOOD / GLASS	WOOD	WOOD	ENTRY LOCKSET WEATHER-STRIPPING	ALUMINUM SILL
100	CLOSET	4 PANEL 2'-0" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	PASSAGE	
101	BATHROOM	6 PANEL 2'-4" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	BATHROOM LOCKSET	MARBLE SADDLE
102	BATHROOM	6 PANEL 2'-4" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	BATHROOM LOCKSET	MARBLE SADDLE
103	CLOSET	4 PANEL (2) 2'-0" x 6'-8" x 1 1/2"	DOUBLE	MDF	PAINT	WOOD	DUMMY KNOBS BALL CATCHES	
104	MUDROOM	6 PANEL 3'-0" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	ENTRY WITH MORTISE, SELF CLOSING HINGES	C LABEL FIRE RATED DOOR AND FRAME
105	MUDROOM	T.B.D. BY OWNER 3'-0" x 6'-8" x 1 1/2"	BARN	T.B.D.	PAINT	WOOD	BARN DOOR BY OWNER	
200	HALL	3'-4" x 6'-8"	TRIMMED OPENING		PAINT	WOOD		
201	HALL	FRENCH 2'-6" x 6'-8" x 1 1/2"	DOUBLE POCKET	GLASS / MDF	PAINT	WOOD	THUMB PULL	POCKET DOOR HARDWARE
202	MASTER BEDROOM	6 PANEL 2'-8" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	BEDROOM LOCKSET	
203	BEDROOM	6 PANEL 2'-6" x 6'-8" x 1 1/2"	DOUBLE	MDF	PAINT	WOOD	DUMMY KNOBS BALL CATCHES	
204	MASTER BATHROOM	6 PANEL 2'-4" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	BATHROOM LOCKSET	MARBLE SADDLE
205	MASTER W.I.C.	6 PANEL 2'-4" x 6'-8" x 1 1/2"	SINGLE	MDF	PAINT	WOOD	PASSAGE	
206	LINEN CLOSET	2 PANEL (2) 1'-0" x 6'-8" x 1 1/2"	DOUBLE	MDF	PAINT	WOOD	DUMMY KNOBS BALL CATCHES	

- DOOR SCHEDULE NOTES
- OWNER TO PROVIDE ALL DOOR LATCH/LOCK SETS AND HINGES. CONTRACTOR TO INSTALL ALL HINGES/LATCH/LOCK SETS.
 - WHERE WEATHER-STRIPPING IS CALLED FOR, PROVIDE ON FOUR (4) SIDES, INCLUDING SADDLE.

FINISH SCHEDULE													
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	REMARKS
				MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.		
	GARAGE	EPOXY FINISH ON CONCRETE SLAB	---	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	ALL GYP. BD. TO BE 5/8" FIRECODE TYPE 'X'
	MUDROOM	TILE	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	EXERCISE ROOM	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	FAMILY ROOM	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	ENTRY	HARDWOOD FLOORING	TILE	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	BATHROOM	TILE	TILE	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	KITCHEN	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	LIVING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	DINING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	BEDROOM	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	HALL	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	OFFICE	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	MASTER BEDROOM	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	MASTER W.I.C.	HARDWOOD FLOORING	WOOD	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
	MASTER BATHROOM	TILE	TILE	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	

FINISH SCHEDULE NOTES

- ALL TILE OR STONE FLOORING TO BE SET ON THINSET OVER CEMENT BOARD, TYP. U.O.N.
 - ALL MARBLE TILE TO BE INSTALLED AS PER THE MARBLE INSTITUTE OF AMERICA, MARBLE TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL NATURAL STONE TILE TO BE INSTALLED AS PER THE NATURAL STONE INSTITUTE OF AMERICA, NATURAL TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL CERAMIC & PORCELAIN TILE TO BE INSTALLED AS PER THE NATIONAL TILE COUNCIL OF NORTH AMERICA, TILE TO BE INSTALLED ON THINSET AND UNCOUPLING AND WATERPROOF MEMBRANE DITRA OR DITRA-XL BY SCHLUTER OR APPROVED EQUAL.
- ALL TILE, MARBLE SADDLES AND COUNTERTOPS TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- HARDWOOD FLOORING TO BE 2 1/4" OAK HARDWOOD FLOORING TO MATCH EXISTING WITH MINIMAL SHORT PIECES. INSTALLED, SANDED PLUS 1 COAT NATURAL STAIN & 3 COATS OIL BASED POLYURETHANE.
- ALL SURFACES AND FINISHES TO RECEIVE PRIMER IN STRICT ACCORDANCE WITH PAINT MANUFACTURERS RECOMMENDATIONS. RECOAT AS REQUIRED FOR PROPER COVERAGE.
- * PATCH TO MATCH ALL CEILINGS DAMAGED BY NEW CONSTRUCTION

HWD. = CLEAR SELECT WHITE OAK HARDWOOD FLOORING
GYP. = GYPSUM WALLBOARD
CEM. = CEMENT BOARD



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SCHEDULES

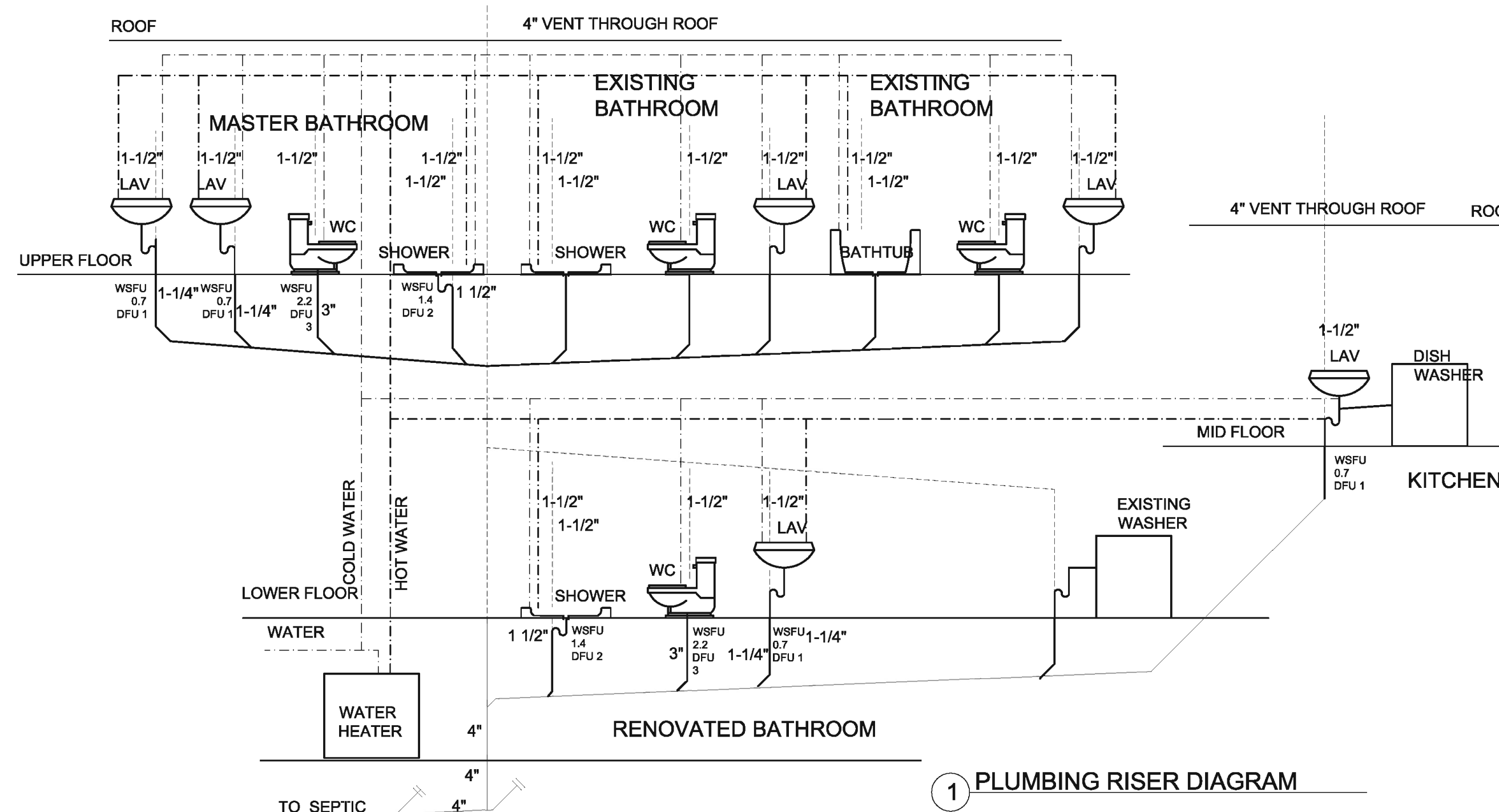
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1 OF 1



1 PLUMBING RISER DIAGRAM