



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Tambini Residence

Initial Submittal Revised Preliminary

Street Location:

1 HOBBY Farm Drive, Bedford, NY 10506

Zoning District: R-1A Property Acreage: 1.3 Tax Map Parcel ID: 102.04-2-26

Date: 2/28/2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 1 Hobby Farm Drive, Bedford, NY 10506

Section III- DESCRIPTION OF WORK:

New Roof over existing terrace. no footprint change.

Section III- CONTACT INFORMATION:

APPLICANT: John G Scarlato JR Architect
ADDRESS: 33 Byram Hill rd, Armonk, NY 10504
PHONE: 914 273-7350 MOBILE: (914) 714-0152 EMAIL: JGScarlato@gmail.com

PROPERTY OWNER:

Seth Tambini
ADDRESS: 1 Hobby Farm Drive, Bedford, NY 10506
PHONE: _____ MOBILE: _____ EMAIL: SethTambini@gmail.com

PROFESSIONAL: John G Scarlato JR Architect
ADDRESS: 33 Byram Hill rd, Armonk, NY 10504
PHONE: (914) 273-7350 MOBILE: 914 714-0152
EMAIL: JGScarlato@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 102.04 - 2-26



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Tam Bini Residence Date: 2/28/2022

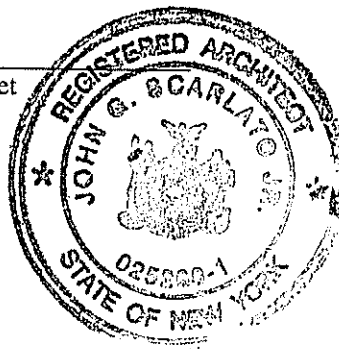
Tax Map Designation or Proposed Lot No.: 102.04 - 2 - 26

Floor Area

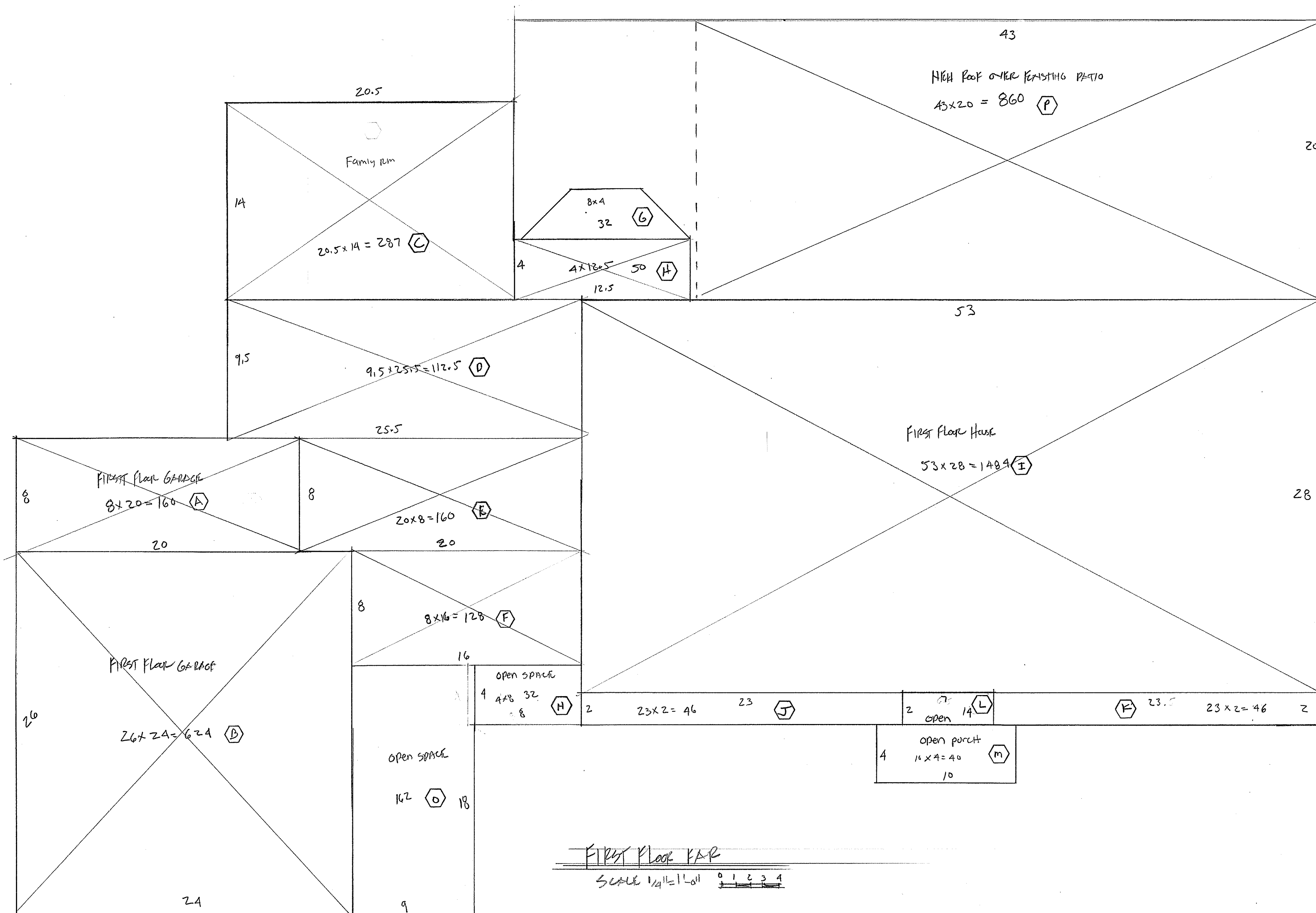
- | | | |
|-----|---|-----------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>56,802</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>8,521.52</u> |
| 3. | Amount of floor area contained within first floor:
<u>2345.5</u> existing + _____ proposed = | <u>2345.5</u> |
| 4. | Amount of floor area contained within second floor:
<u>2339.5</u> existing + _____ proposed = | <u>2339.5</u> |
| 5. | Amount of floor area contained within garage:
<u>784</u> existing + <u>0</u> proposed = | <u>784</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>232</u> existing + <u>860</u> proposed = | <u>1092</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
_____ existing + _____ proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
_____ existing + _____ proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
_____ existing + _____ proposed = | <u>0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>6561</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



2/28/2022
 Date



- (A) 8 x 20 = 160 > 784 GARAGE
- (B) 26 x 24 = 624
- (C) 20.5 x 14 = 287
- (D) 9.5 x 25.5 = 112.5
- (E) 20 x 8 = 160
- (F) 8 x 16 = 128
- (G) 8 x 4 = 32
- (H) 4 x 12.5 = 50
- (I) 53 x 28 = 1,484
- (J) 23 x 2 = 46 First Floor House
- (K) 23.5 x 2 = 46 > 2345.5

3 | 29.5 FIRST FLOOR & GARAGE

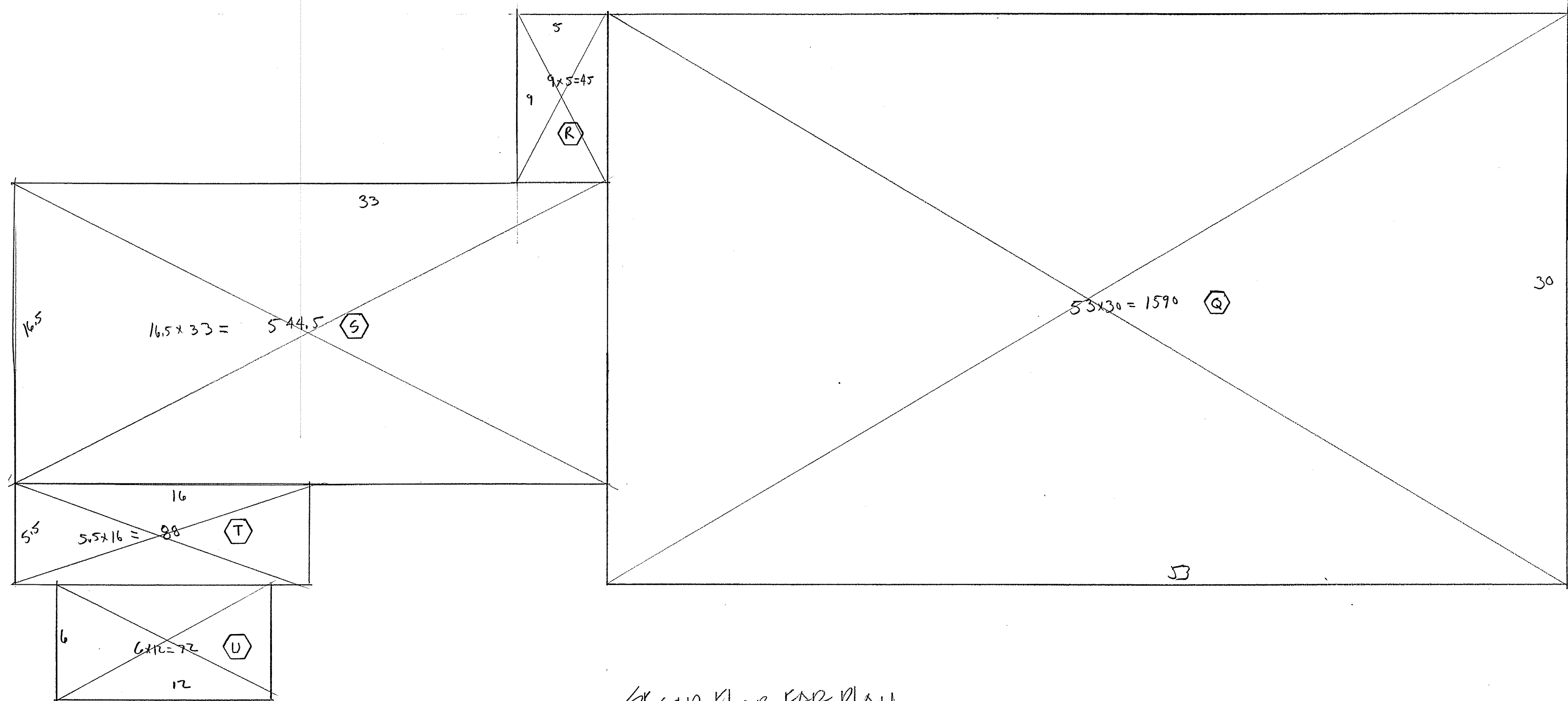
- (L) 2 x 7 = 14
- (M) 4 x 10 = 40
- (N) 4 x 8 = 32
- (O) 9 x 18 = 162

232 EXISTING OPEN PORCH

(P) 43 x 20 = 860 HIGH OPEN PORCH

First Floor PAR
 SCALE 1/4" = 1'-0" 0 1 2 3 4

1 HOBBY FARM DRIVE
 BEDFORD, NY 10506



- Q $53 \times 30 = 1590$
- R $9 \times 5 = 45$
- S $16.5 \times 33 = 544.5$
- T $5.5 \times 16 = 88$
- U $6 \times 12 = 72$

2339.5 SECOND FLOOR

SECOND FLOOR FAP PLAN

SCALE 1/4" = 1'-0" 0 1 2 3 4

1 HOBBY FARM DRIVE
BERKHAMPTON, NY 10506



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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

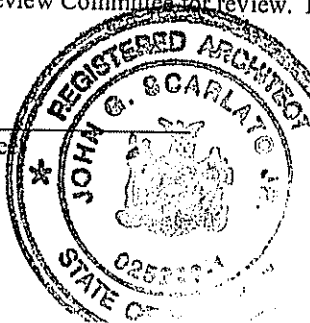
Application Name or Identifying Title: Tambini Residence Date: 2/28/2022
Tax Map Designation or Proposed Lot No.: 102.04 - 2-26

Gross Lot Coverage

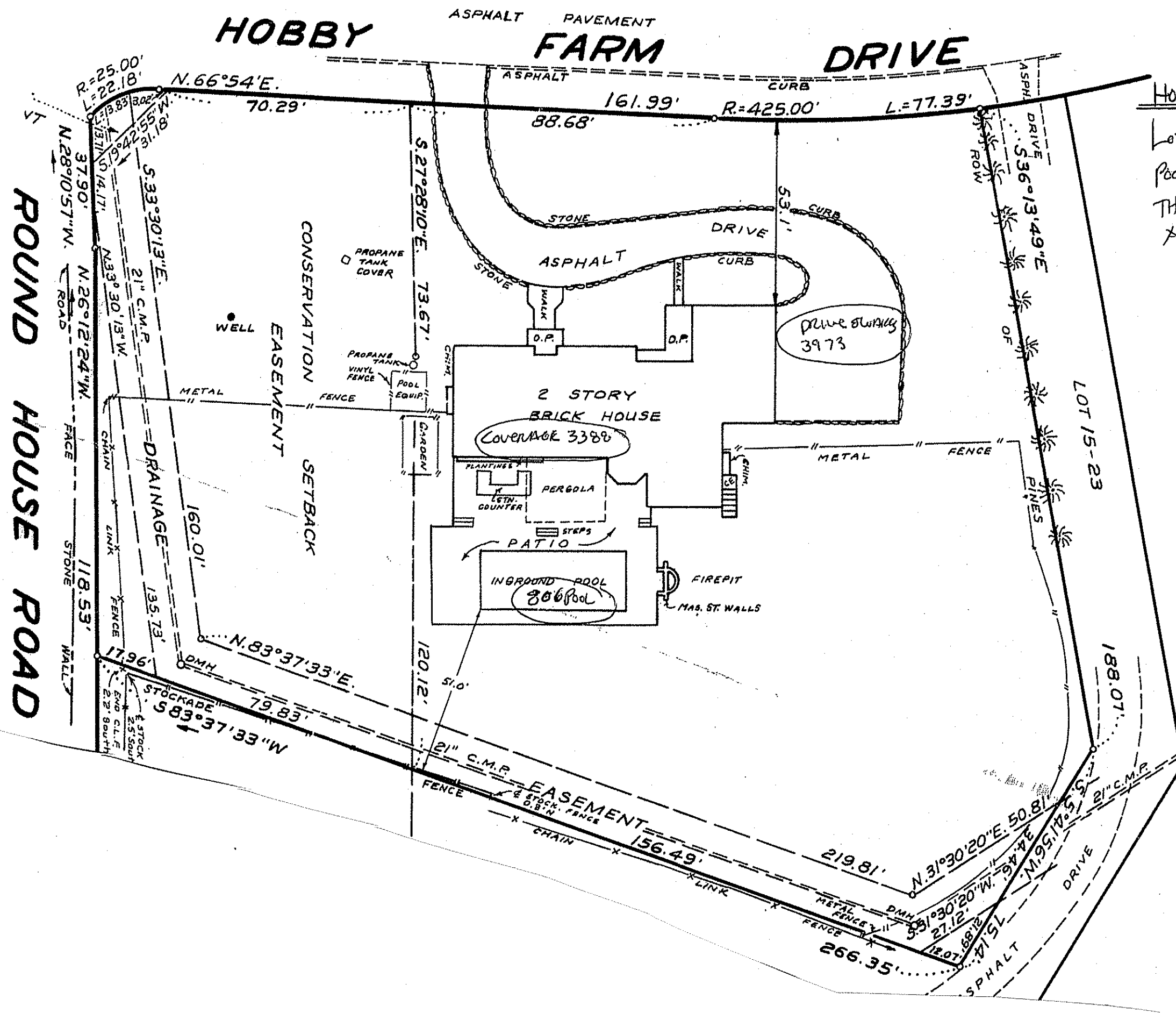
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 56802
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 10541
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
13 x 10 = 130 130
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 10,671
5. Amount of lot area covered by principal building:
3388 existing + 0 proposed = 3388
6. Amount of lot area covered by accessory buildings:
0 existing + 0 proposed = 0
7. Amount of lot area covered by decks:
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:
232 existing + 860 proposed = 1092
9. Amount of lot area covered by driveway, parking areas and walkways:
3973 existing + 0 proposed = 3973
10. Amount of lot area covered by terraces:
1619 existing + -860 proposed = 860 Now covered porch 759
11. Amount of lot area covered by tennis court, pool and mechanical equip:
806 existing + 0 proposed = 806
12. Amount of lot area covered by all other structures:
0 existing + 0 proposed = 0
13. Proposed gross land coverage: Total of Lines 5 - 12 = 10,018

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

John G. Scarlato
Signature and Seal of Professional Preparing Worksheet

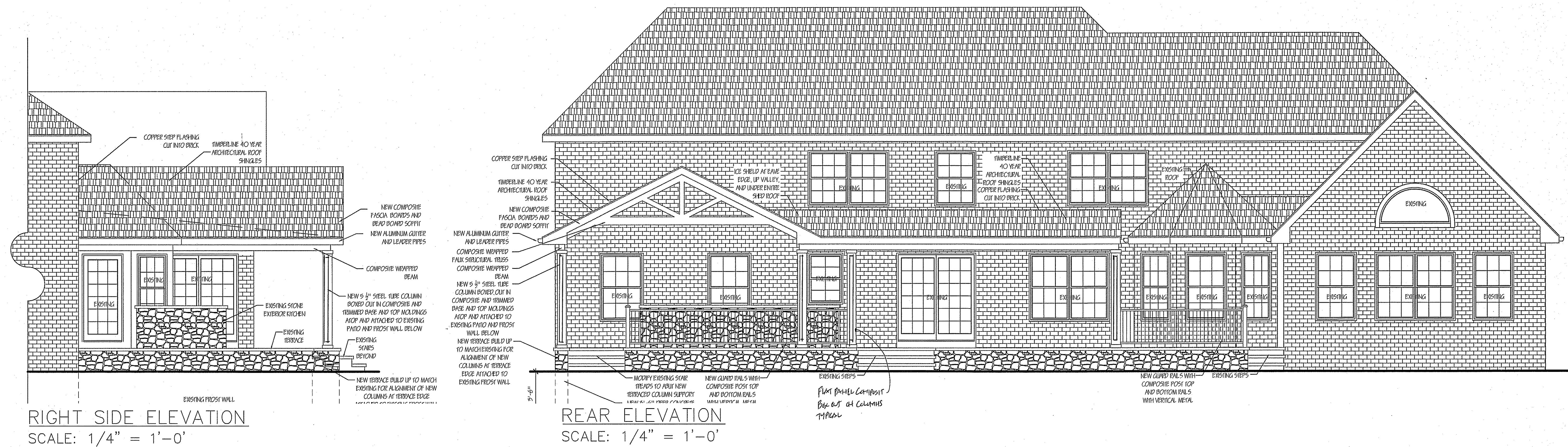


2/28/2022
Date



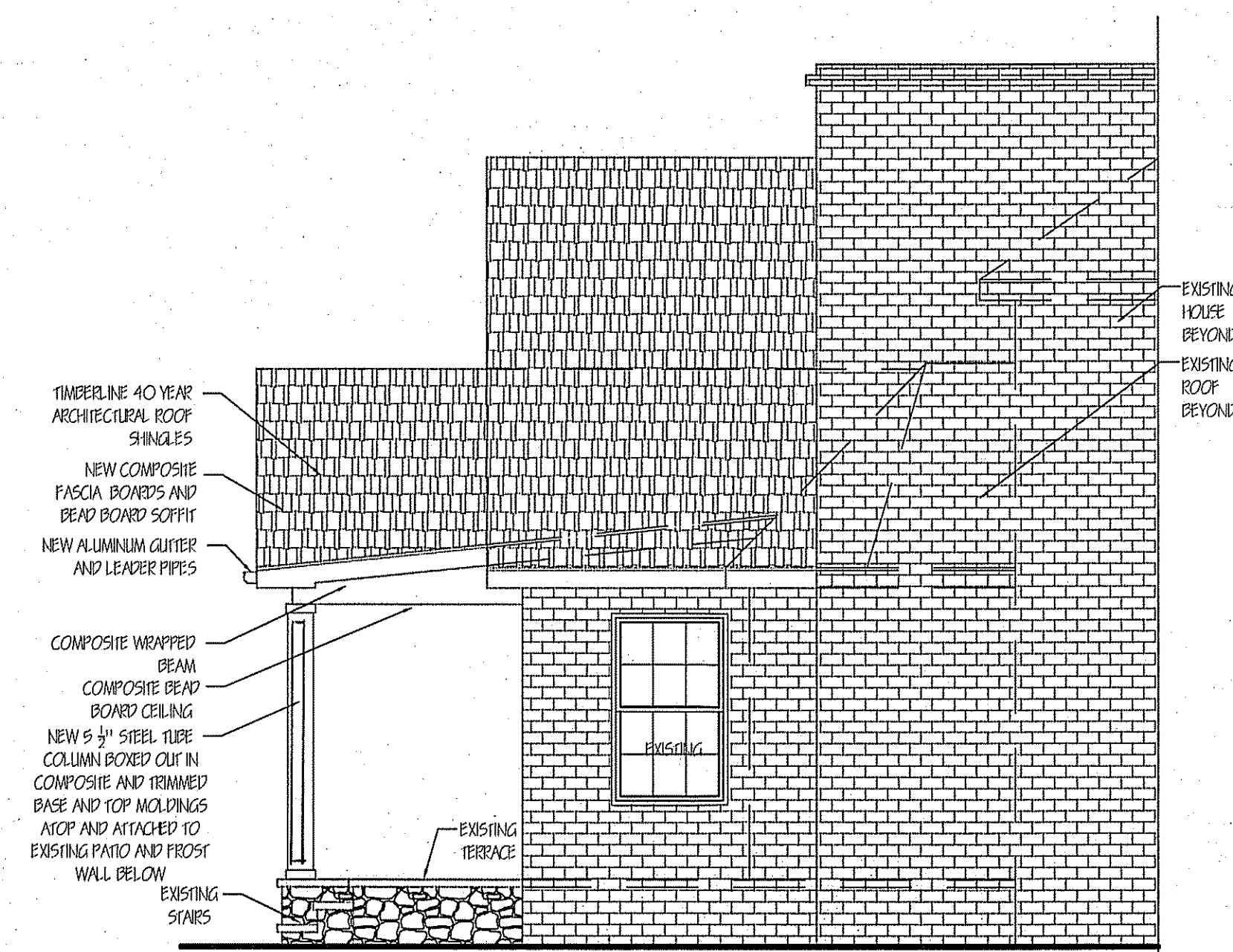
NOTE:
 Lot Coverage # From
 Pool Permit Site is
 THE SAME FROM THIS
 APPLICATION

1 Hobby Farm Drive
 Bedford, NY 10506



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2/25/22 ISSUED FOR PRICING AND PERMIT

John G. Scarlato Jr.
Architect

33 Byram Hill Road
Armonk, NY 10504
Phone: (914) 273-7350
JGSCARLATO@GMAIL.COM

TAMBINI RESIDENCE
1 HOBBY FARM DRIVE
BEDFORD, N.Y. 10506

ADDITION AND INTERIOR
ALTERATIONS AND
RENOVATIONS

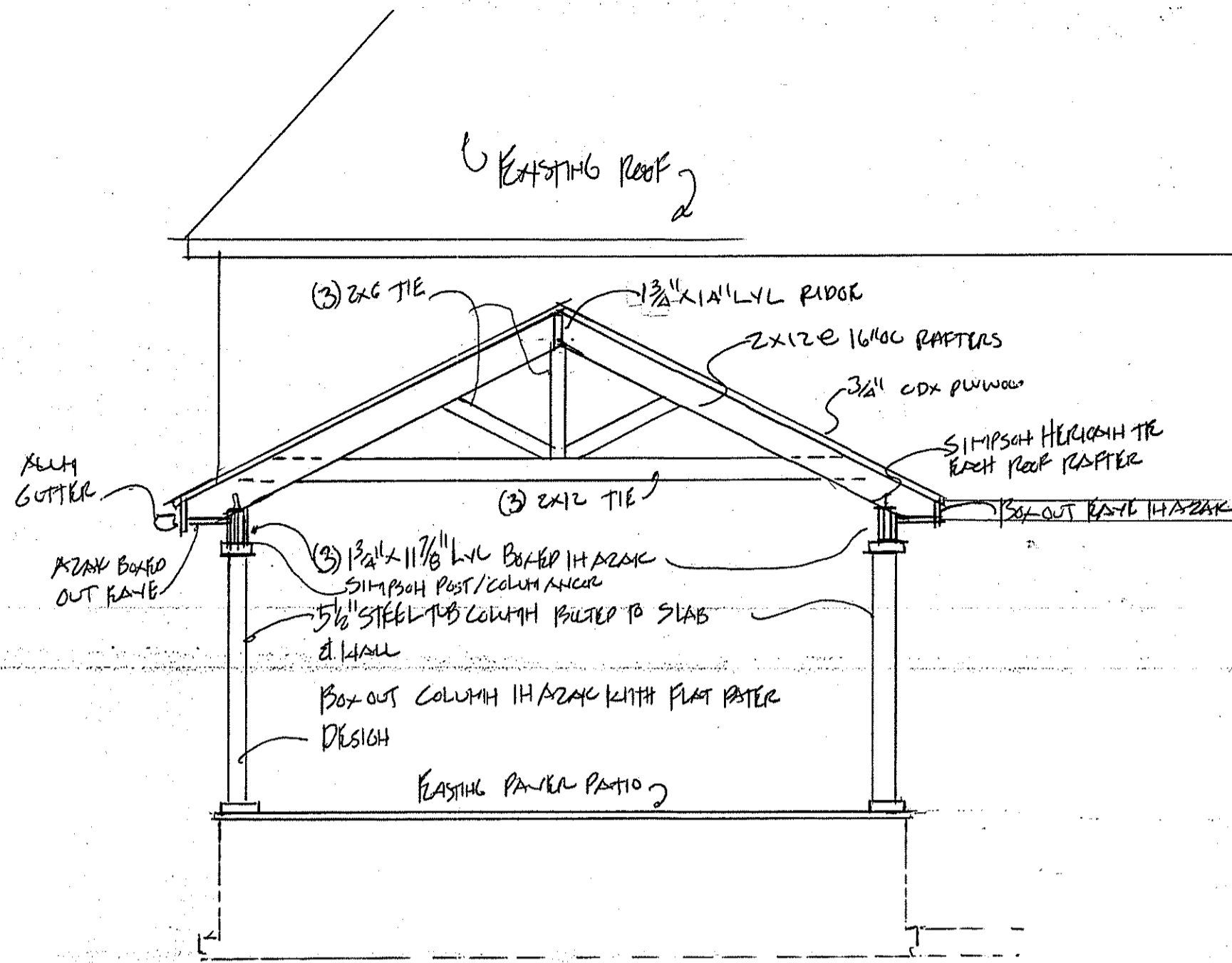
EXTERIOR ELEVATIONS
SECTIONS

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SEALED AND SIGNED IN INK, NO SCANS,
REPRODUCTIONS OR COPIES ARE AUTHORIZED
BY WITHOUT WRITTEN AUTHORIZATION OF JOHN
G. SCARLATO JR., ARCHITECT.
FURTHERMORE:
IT IS A VIOLATION OF NEW YORK STATE LAW FOR
ANY PERSON, UNLESS ACTING UNDER THE
DIRECTION OF A LICENSED ARCHITECT, TO
ALTER IN ANY WAY THESE SEALED AND SIGNED
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CONDITIONED PERMISSION OF THE ARCHITECT.

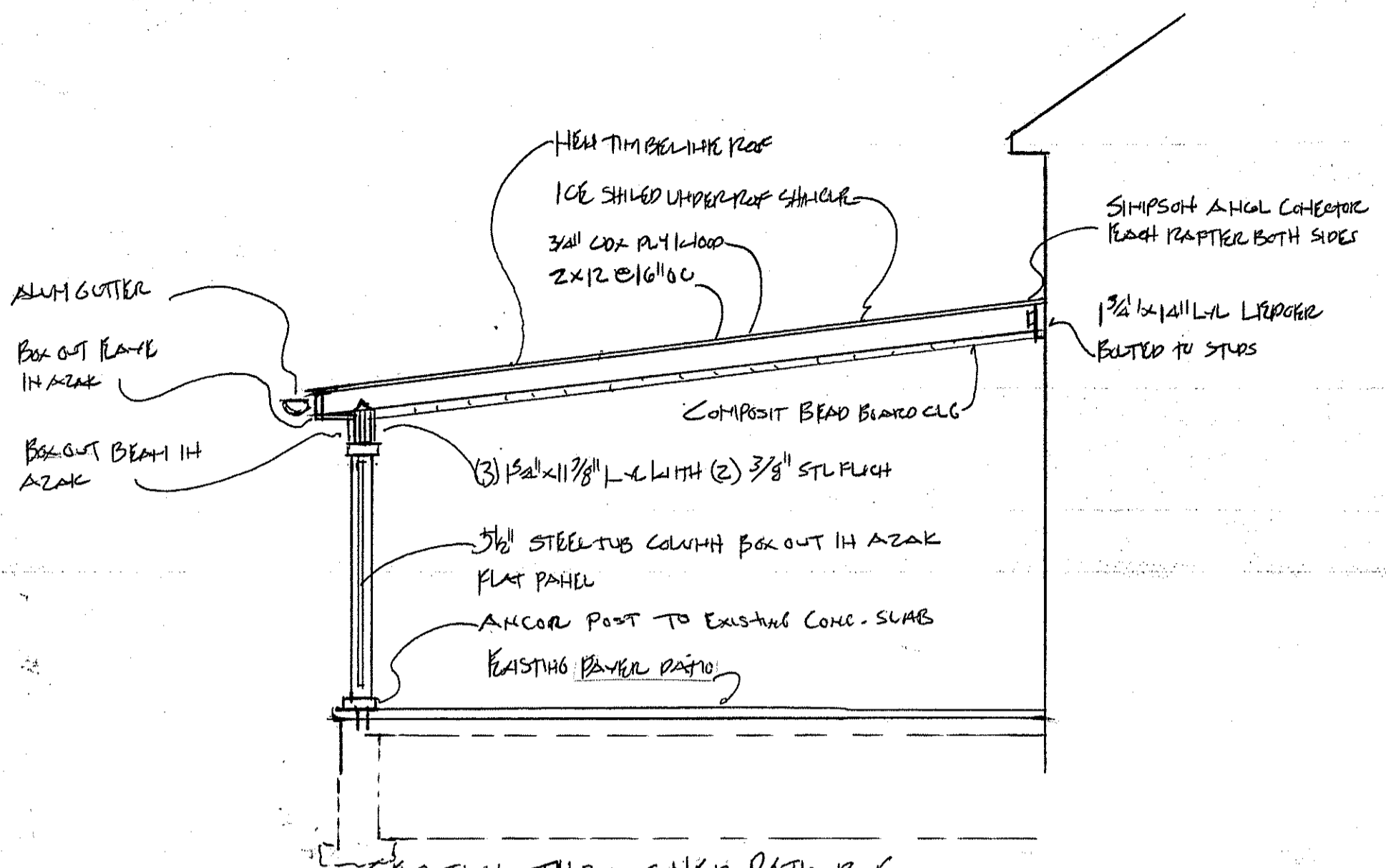


DRAWING NO.

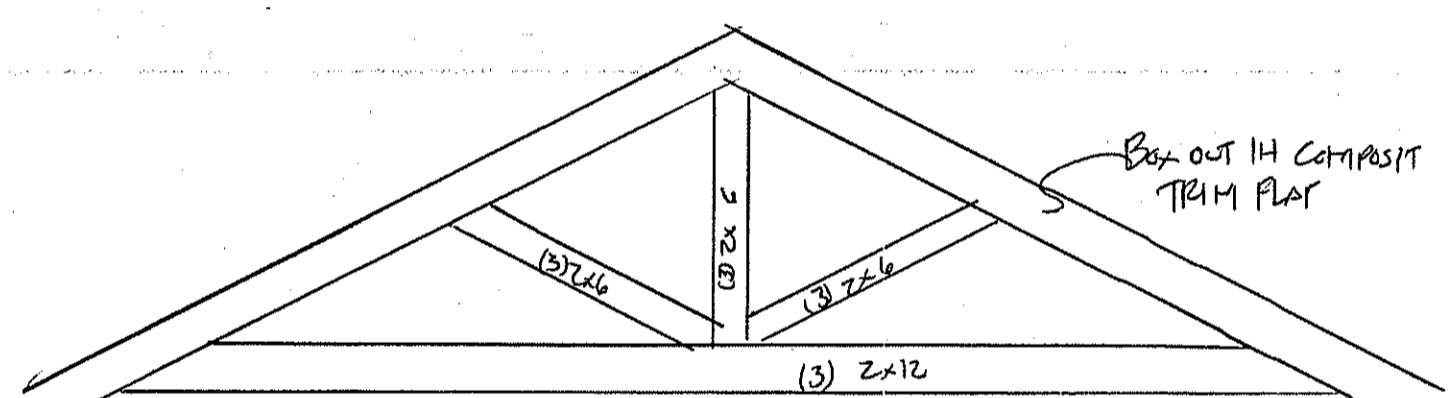
A-2



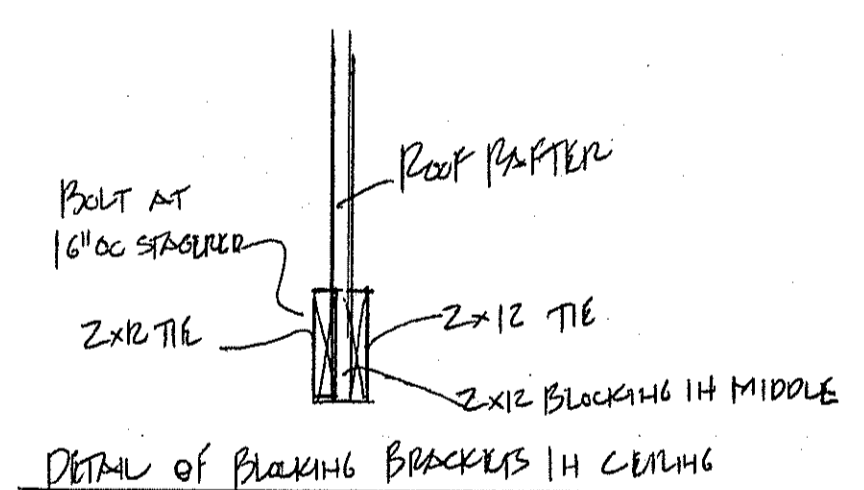
SECTION THRU GARAGE PATIO ROOF
SCALE 1/4" = 1'-0"



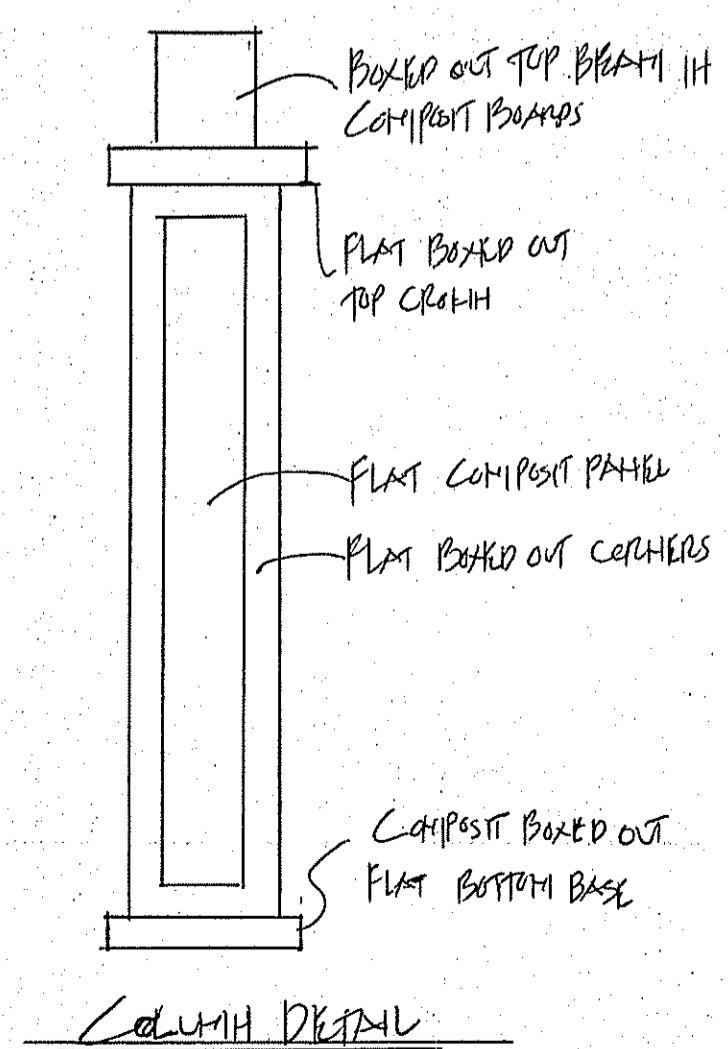
SECTION THRU SHED PATIO ROOF
SCALE 1/4" = 1'-0"



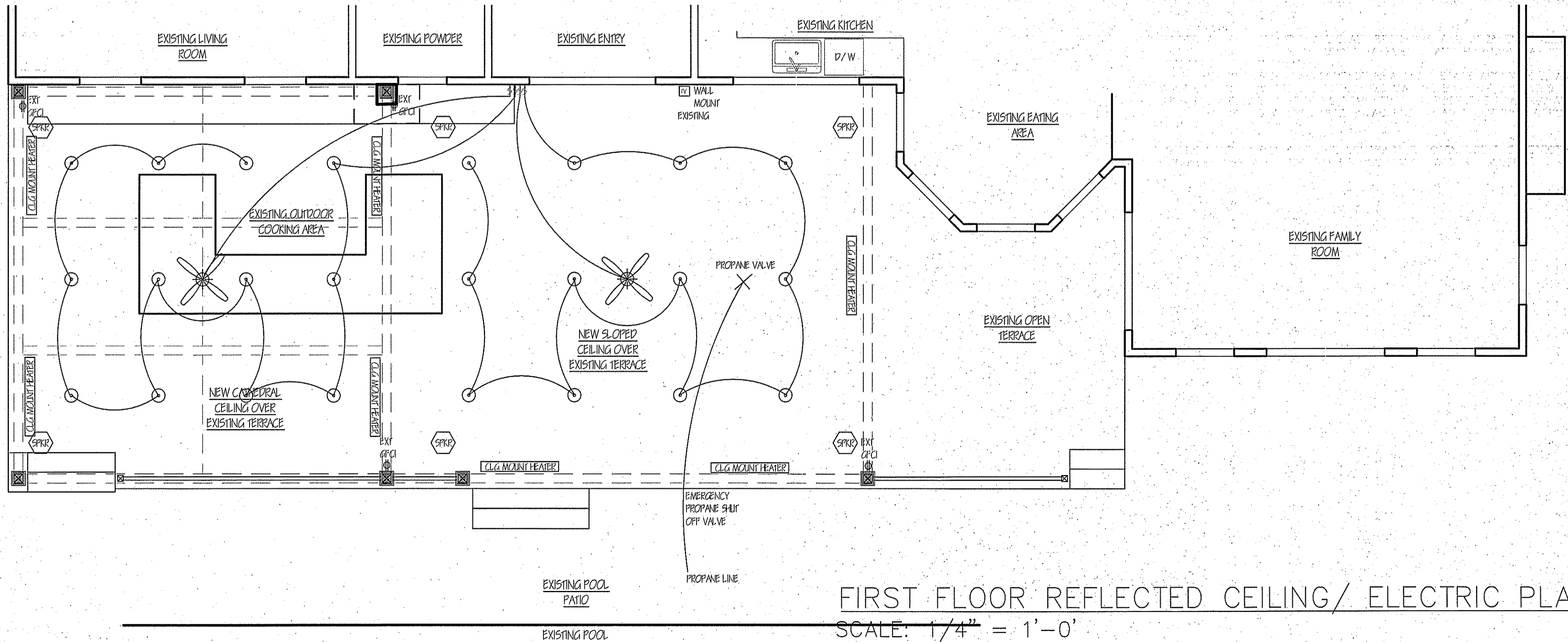
DETAIL OF THE A BRACKETS IN ROOF SYSTEM



DETAIL OF PLANKING BRACKETS IN CEILING



COLUMN DETAIL



FIRST FLOOR REFLECTED CEILING / ELECTRIC PLAN
SCALE: 1/4" = 1'-0"

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NOTE:
AS PER 2020 RESIDENTIAL CODE OF NEW YORK STATE SECTIONS R314-315 AND 2020 FIRE CODE OF NEW YORK STATE SECTION 915, THIS PROJECT WILL REQUIRE FULL COMPLIANCE WITH SMOKE AND CARBON MONOXIDE AND HEAT DETECTORS THROUGHOUT THE HOUSE INCLUDING AREAS NOT DEPICTED OUTSIDE OF THE MAIN SCOPE OF WORK.

INCLUDED AREAS ARE GENERALLY: ALL BEDROOMS AND ADJACENT HALLWAYS, ON EACH LEVEL OF HOME INCLUDING BASEMENTS AND HABITABLE ATTICS, WITHIN THREE FEET OF BATHROOMS.

AS PER R2020 RESIDENTIAL CODE OF NEW YORK STATE APPENDIX J, AND THE CLASSIFICATION OF WORK THE DETECTORS MAY BE BATTERY OPERATED WHERE CEILING FINISHES ARE NOT BEING REMOVED TO EXPOSE THE FRAMING, AND ONLY NEED BE HARDWIRED WHERE THERE IS ACCESS TO AN UNFINISHED ATTIC FOR WIRING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE DETECTORS ARE TO CODE BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.

ELECTRICAL LEGEND	
⚡	NEW DECORA SWITCH SINGLE POLE
⚡	NEW DECORA 3 WAY SWITCH
⚡	NEW DECORA 4 WAY SWITCH
⚡	NEW DECORA DIMMER SWITCH
⚡	NEW DECORA RECEPTICAL
⚡	NEW DECORA GROUND FAULTY CIRCUIT INTERRUPT RECEPTICAL
⚡	NEW DECORA GFI RECEPTICAL
⚡	NEW PHONE OUTLET
⚡	NEW TV CABLE OUTLET
⚡	NEW RECESSED LED DOWN LIGHT
⚡	5\"/>
⚡	NEW LED UNDER-CAB LIGHT PLUCK OR STRIP
⚡	NEW RECESSED WIRE DOWN LIGHT
⚡	5\"/>
⚡	WIRED SMOKE DETECTOR
⚡	WIRED CARBON MONOXIDE DETECTOR
⚡	WIRED SMOKE / CARBON MONOXIDE COMBO DETECTOR
⚡	WIRED HEAT DETECTOR
⚡	BATTERY OPERATED SMOKE / CARBON MONOXIDE COMBO DETECTOR
⚡	JUNCTION BOX FOR LIGHT FIXTURE
⚡	WALL SCONCE JUNCTION BOX
⚡	WALL LIGHT JUNCTION BOX
⚡	CEILING FAN REFINCED JUNCTION BOX

2/25/22 ISSUED FOR PRICING AND PERMIT

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TAMBINI RESIDENCE
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BEDFORD, N.Y. 10506

ADDITION AND INTERIOR ALTERATIONS AND RENOVATIONS

REFLECTED CEILING / ELECTRIC PLANS



DRAWING NO.

A-4