



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 25 Orchard Dr., Armonk, N.Y.

### Section III- DESCRIPTION OF WORK:

Proposed new single family residence

### Section III- CONTACT INFORMATION:

APPLICANT: Santucci Construction Corp.  
ADDRESS: 15 Travis LA., Montrose, N.Y. 10548  
PHONE: 914-736-0393 MOBILE: 914-447-1057 EMAIL: dsantucci@santucciconstruction.com  
(Dom)

PROPERTY OWNER: Damian Development, LLC  
ADDRESS: 15 Travis Lane, Montrose, N.Y. 10548  
PHONE: 914-736-0393 MOBILE: 914-447-1057 EMAIL: dsantucci@santucciconstruction.com  
(Dom)

PROFESSIONAL: Ralph Mastromonaco, PEPC  
ADDRESS: 13 Dove Ct., Cinton-on-Hudson, N.Y. 10520  
PHONE: 914-271-4762 MOBILE: 914-629-7152  
EMAIL: hardyross@aol.com

### Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) 108.1-6-78



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: \_\_\_\_\_

Initial Submittal  Revised Preliminary

Street Location: \_\_\_\_\_

25 Orchard Dr., Armonk

Zoning District: R-10 Property Acreage: 15,774 sq. ft. Tax Map Parcel ID: 108-1-6-78

Date: 3-1-2022

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

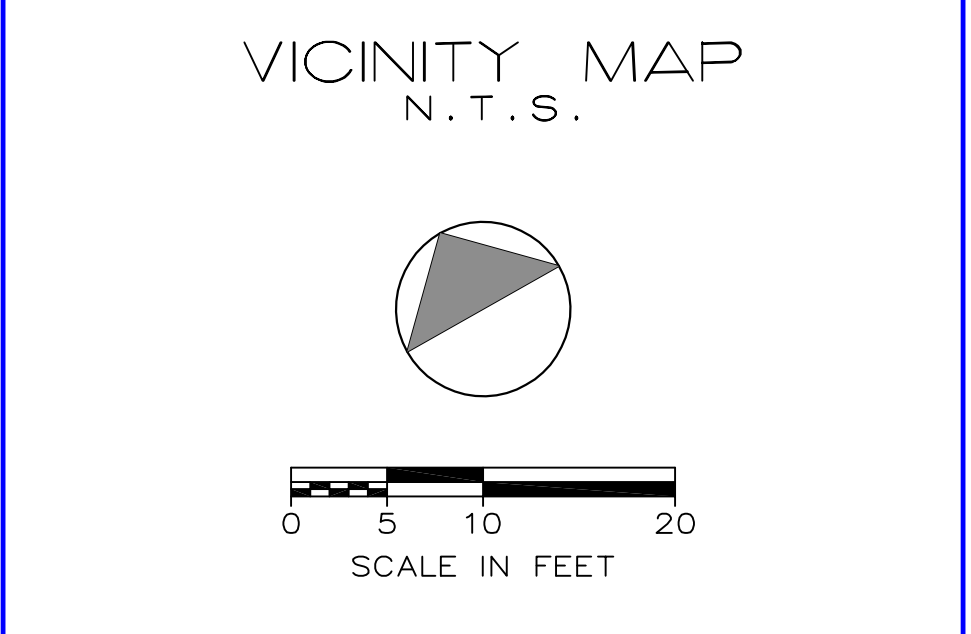
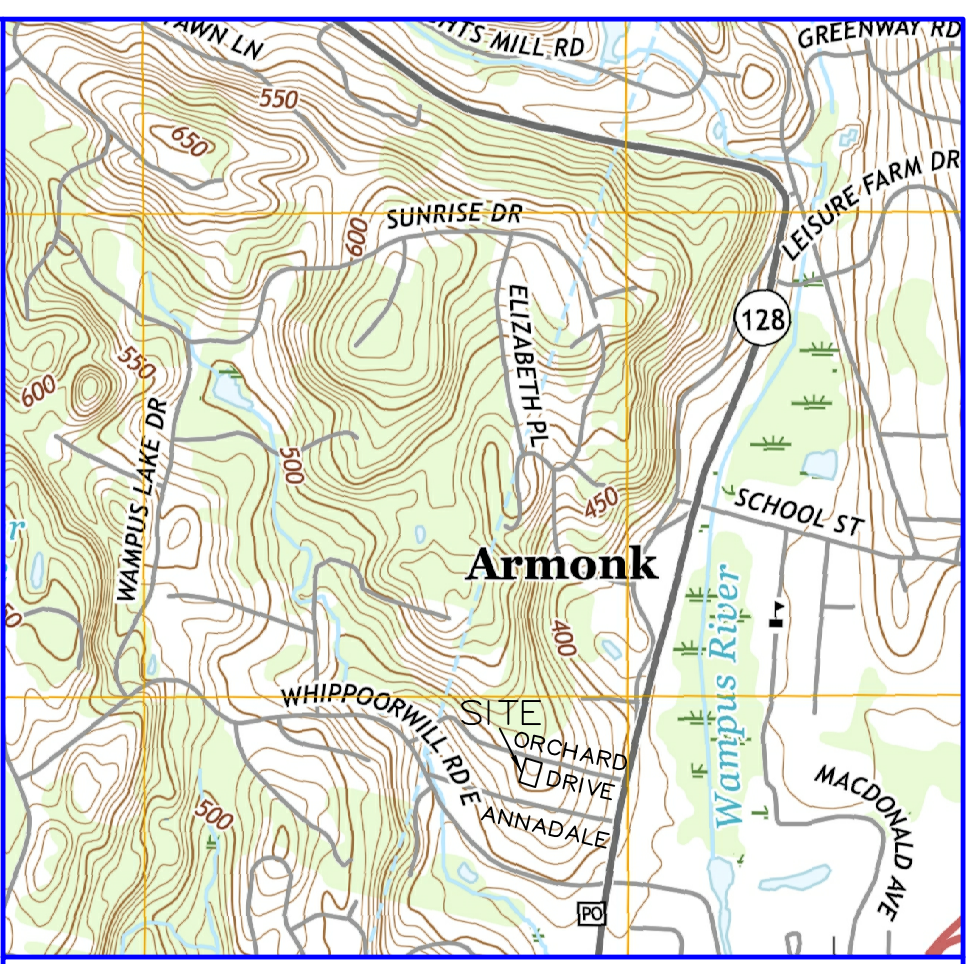
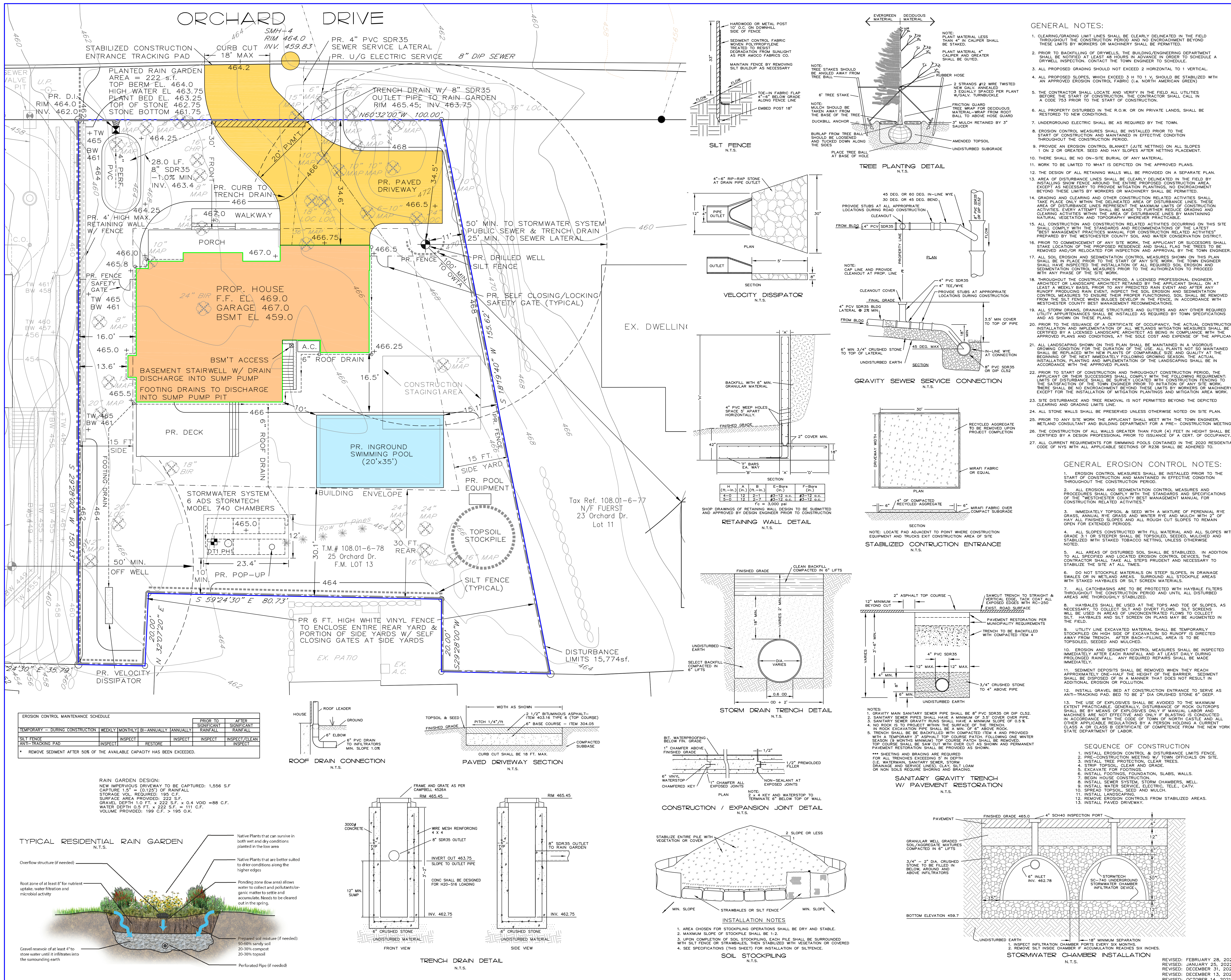
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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.





### LEGEND

EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN
		DRAIN MANHOLE
		DRAIN INLET
		CONTOUR LINE
		SPOT ELEVATION
		DRILLED WELL
		TREE TO BE REMOVED
		TREE PRESERVED
		TREE PROTECTION

### GENERAL EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE WESTCHESTER COUNTY BEST MANAGEMENT MANUAL FOR CONSTRUCTION RELATED ACTIVITIES.
3. IMMEDIATELY TOPSOIL & SEED WITH A MIXTURE OF PERENNIAL RYE GRASS, ANNUAL RYE AND CLOVER WITH 2" OF HAY. ALL FINISHED SLOPES AND ALL ROUGH OUT SLOPES TO REMAIN OPEN FOR EXTENDED PERIODS.
4. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEED, MULCHED AND STABILIZED WITH STAKED HAYBALES OR SILT SCREEN MATERIALS.
5. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED, IN ADDITION TO ALL SPECIFIED AND LOCATED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
6. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT SCREEN MATERIALS.
7. ALL CATCHBASINS ARE TO BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
8. HAYBALES SHALL BE USED AT THE TOPS AND TOE OF SLOPES, AS NECESSARY TO COLLECT SILT AND DISPERSED FLOWS. SILT SCREENS WILL BE USED AT AREAS OF CONCENTRATED FLOWS TO COLLECT SILT. HAYBALES AND SILT SCREEN ON PLANS MAY BE AUGMENTED IN THE FIELD.
9. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON HIGH ELEVATION EXCAVATION SLOPES IF DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEED, AND MULCHED.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
11. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRING. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION.
12. INSTALL GRAVEL BED AT CONSTRUCTION ENTRANCE TO SERVE AS ANTI-TRACKING PAD. BED TO BE 2" DIA CRUSHED STONE 6" DEEP.
13. THE USE OF EXPLOSIVES SHALL BE AVOIDED TO THE MAXIMUM EXTENT PRACTICABLE. GENERALLY, DISTURBANCE OF ROCK OUTCROPS SHALL BE BY MEANS OF EXPLOSIVES ONLY IF MANUAL LABOR AND MACHINERY ARE NOT EFFECTIVE AND NOT EDITED IN ACCORDANCE WITH THE CODE OF TOWN OF NORTH CASTLE AND ALL OTHER APPLICABLE REGULATIONS BY A PERSON HOLDING A CURRENT CLASS A OR CLASS B CERTIFICATE OF COMPETENCE FROM THE NEW YORK STATE DEPARTMENT OF LABOR.

SURVEY INFORMATION SHOWN HEREON HAS BEEN FIELD SURVEYED BY WARD CARPENTER ENGINEERS ON 5-19-14. VERTICAL DATUM NAVD 88.

ENGINEERING DRAWING PLAN REVIEWED BY TOWN ENGINEER

OWNER: DAMIAN DEVELOPMENT LLC  
 15 TRAVIS LANE, MONROE, N.Y. 10548  
 PROPERTY LOCATION  
 25 ORCHARD DRIVE  
 ARMONK, NY 10504  
 ZONING CONFORMANCE  
 ZONE R10  

	REQUIRED	PROPOSED
MINIMUM LOT AREA	10,000 s.f.	15,774 s.f.
MINIMUM FRONTAGE	100'	100'
MINIMUM LOT WIDTH	100'	105'
MINIMUM LOT DEPTH	100'	150'
MINIMUM YARD DIMENSIONS:		
FRONT	30'	34.6'
ONE SIDE YARD	15'	16.0'
REAR	30'	72.8'
MAXIMUM HEIGHT OF BUILDING	30'	29'
MAXIMUM BUILDING COVERAGE	30%	15.6%
GROSS LAND COVERAGE SF	5,631	5,567
GROSS FLOOR AREA SF	4,866	4,555
PARKING REQUIREMENT	2	2

 TAX DESIGNATION  
 SECTION 108.01  
 BLOCK 6  
 LOT 78

Joseph Carmelo, PE  
 Town Engineer

RALPH G. MASTROMONACO, P.E., P.C.  
 Consulting Engineers  
 13 Dove Court, Croton-on-Hudson, New York 10520  
 (914) 271-4762 (914) 271-2820 Fax



SITE PLAN LOT 78  
 PREPARED FOR  
 DAMIAN DEVELOPMENT LLC  
 LOCATED AT  
 25 ORCHARD DRIVE  
 TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY, NY  
 SEPTEMBER 1, 2021

REVISED: FEBRUARY 28, 2022  
 REVISED: JANUARY 25, 2022  
 REVISED: DECEMBER 31, 2021  
 REVISED: DECEMBER 13, 2021  
 REVISED: OCTOBER 14, 2021



# 25 ORCHARD DRIVE ARMONK, NY NEW CONSTRUCTION SINGLE FAMILY RESIDENCE



NOTE:  
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.  
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DRAWING LIST	
Sheet Number	Sheet Name
A001	TITLE SHEET
A002	SITE PLAN ZONING
A100	FOUNDATION/ BASEMENT PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ATTIC FLOOR PLAN
A104	ROOF PLAN
A200	ELEVATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTIONS
A350	WALL SECTIONS
A400	DETAIL/ SCHEDULES
E101	BASEMENT ELECTRICAL PLAN
E102	1ST FLOOR ELECTRICAL PLAN
E103	SECOND FLOOR ELECTRICAL PLAN
E104	ATTIC ELECTRICAL PLAN
S100	1ST FLOOR FRAMING
S101	2ND FLOOR FRAMING
S102	ATTIC FLOOR FRAMING
S103	ATTIC CEILING FRAMING
S104	ROOF FRAMING
S105	FRAMING NOTES DETAILS
S105.1	DECK DETAILS
S106	STRUCTURAL DETAILS
x201	PERSPECTIVES

### PRESCRIPTIVE HVAC REQUIREMENTS REFER TO ENERGY CODE COMPLIANCE NOTES FOR OTHER REQUIREMENTS

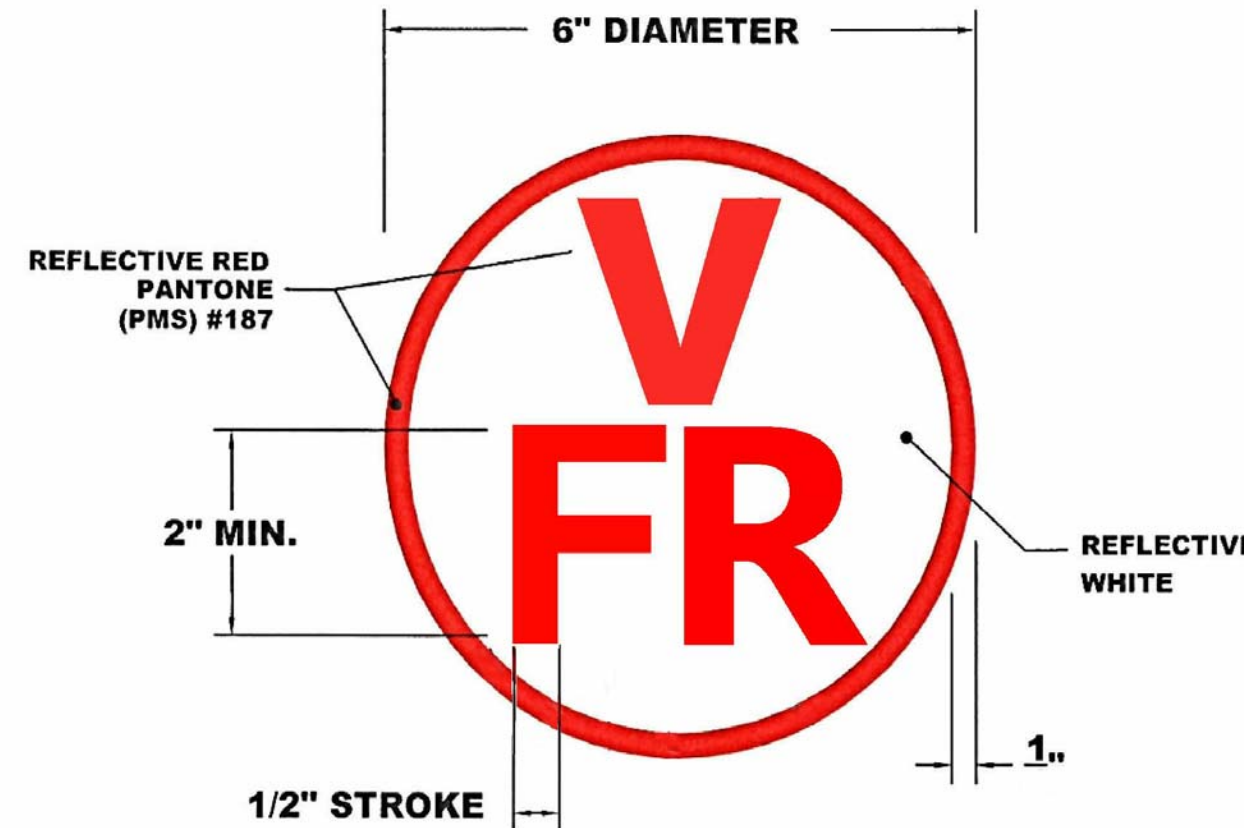
- The HVAC system shall be designed by the HVAC sub contractor to heat the entire house to a minimum inside temperature of 72°F when the outside temperature is -5°F and with a 15mph wind. The cooling system shall cool all conditioned spaces to an inside temperature of 72°F when the outside temperature is 90°F.
- The G.C. shall be responsible for the adequacy of the system design and its ability to meet the performance specifications herein. All tonnages to be determined. All materials to be best quality new materials as specified. No substitutions will be permitted except with Architect's written approval.
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J.
- EQUIPMENT LOAD CALCULATIONS SHALL TAKE INTO ACCOUNT ENVELOPE BUILDING TIGHTNESS OF 2-ACH50

### MECHANICAL AND WATER HEATING

- Air handler leakage shall be designed by manufacturer at <=2% of design air flow
- Provide programmable thermostat installed for control of heating and cooling systems and initially set by manufacturer to code specifications.
- Heat pump thermostats shall be installed on all heat pumps.
- Circulating service hot water systems shall have automatic or accessible manual controls.
- All mechanical ventilation system fans not part of tested and listed HVAC equipment shall meet efficiency and airflow limits.
- Hot water boilers supplying heat through one-or-two-pipe systems shall have outdoor setback control to lower boiler water temp. based on outdoor temp.
- Heated water circulation system shall have a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity or thermos-syphon systems shall not be used. Controls for circulating hot water system pumps shall start the pump with signal for hot water demand within the occupancy. Controls shall automatically turn off the pump when water is in circulation loop is set at set-point temp. and no demand for hot water exists.

### DUCTS

DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER:  
ROUGH IN TEST: TOTAL LEAKAGE TESTED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF TEST.  
POSTCONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE



MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS	
USE	LIVE LOAD (PSF)
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING ROOMS LIVE LOAD	40
SLEEPING ROOMS LIVE LOADS	30
FLOOR DEAD LOADS	15
STAIRS	40
GUARDRAILS AND HANDRAILS	200
GUARD INFILL COMPONENTS	50
GROUND SNOW LOAD / ROOF LIVE LOAD	45

### APPLICABLE CODES: 2020 RESIDENTIAL CODE OF NYS

#### ENERGY CODE COMPLIANCE:

2020 ECCC NYS, CHAPTER 4: RESIDENTIAL ENERGY EFFICIENCY  
- CLIMATE ZONE 4  
- PRESCRIPTIVE REQUIREMENTS:  
FENESTRATION U-FACTOR- 0.35  
FENESTRATION SHGC- 0.40  
SKYLIGHT U-FACTOR- 0.55  
CEILING R-VALUE- 49  
WALL R-VALUE- 20  
FLOOR R-VALUE- 19

#### ENERGY CODE NOTES:

- CONSTRUCTION DRAWINGS AND DOCUMENTATION DEMONSTRATE ENERGY CODE COMPLIANCE FOR LIGHTING AND MECHANICAL SYSTEMS, AND THE BUILDING ENVELOPE, THERMAL ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION.
  - ALL JOINTS, SEAMS, AND PENETRATIONS
  - JOINTS AROUND DOORS/WINDOWS AND THEIR FRAMING
  - UTILITY PENETRATIONS
  - WALLS AND CEILINGS SEPARATING CONDITIONED FROM NON CONDITIONED SPACE
  - ATTIC ACCESS OPENINGS
  - RIM JOIST LUNION, SILL PLATES AND HEADERS
- BUILDING ENVELOPE AIR TIGHTNESS SHALL BE TESTED IN ACCORDANCE WITH ASHREA/ASTM E779. AIR LEAKAGE SHALL NOT EXCEED (3) AIR CHANGES PER HOUR
- AIR BARRIER AND THERMAL BARRIER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE A MINIMUM OF ONE THERMOSTAT FOR EACH HEATING AND COOLING SYSTEM CAPABLE OF AUTOMATICALLY ADJUSTING SPACE TEMPERATURE PER IECC 2015, R403.1.1.
  - REFER TO HVAC SPECIFICATIONS FOR OTHER REQUIREMENTS
- IC-RATED RECESSED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE <2.0 CFM LEAKAGE @ 75 Pa
- AUTOMATIC OR GRAVITY DAMPERS SHALL BE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
- WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR AIR FOR COMBUSTION.
- U-FACTOR OF FENESTRATION PRODUCTS SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100.
- A PROTECTIVE COVERING SHALL BE INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND EXTENDS A MINIMUM OF 6" BELOW GRADE. ALL INSULATION SHALL BE LABELED OR THE INSTALLED R-VALUE SHALL BE PROVIDED.
- FLOOR INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION SHALL BE INSTALLED ON THE UNDERSIDE OF THE FLOOR FRAMING AND EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
- WALL INSULATION SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
- CEILING INSULATION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SPRAY POLYURETHANE FOAM THICKNESS AND INSTALLED R-VALUE SHALL BE LISTED ON CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.
- ATTIC ACCESS HATCH AND DOOR INSULATION R-VALUS SHALL BE OF THE ADJACENT ASSEMBLY.
- BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
- ALL DUCTS SHALL BE SEALED AND COMPLY WITH M1601 OF IRC 2015
- DUCT TIGHTNESS TEST RESULT OF <=4CFM/100 FT2 ACROSS THE SYSTEM OR <=3CFM/100 FT2 WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH IN TEST, VERIFICATION MAY NEED TO OCCUR DURING FARMING INSPECTION.
- DUCTS SHALL BE PRESSURE TESTED PER 403.2.2 IECC 2015.
- AIR HANDLER LEAKAGE DESIGNED BY MANUFACTURER AT <=2% OF DESIGN AIR FLOW.
- DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8. ALL OTHER DUCTS SHALL BE INSULATED TO MIN. R-6 (EXCEPT DUCTS LOCATED COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE)
- ALL MECHANICAL VENTILATION SYSTEMS FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT SHALL MEET EFFICACY AND AIR FLOW LIMITS.
- HVAC PIPING CONVEYING FLUIDS ABOVE 105 D OR CHILLED FLUIDS BELOW 55D ARE INSULATED TO >= R-3
- HEATING AND COOLING EQUIPMENT SHALL BE SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY CODE OFFICIAL.
  - GC SHALL PROVIDE SYSTEM SPECIFICATIONS SHOWING COMPLIANCE WITH ABOVE.
- HOT WATER PIPES SHALL BE INSULATED TO MIN. R-3.
- A MINIMUM OF 75% OF LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.

#### R-VALUE CERTIFICATE

A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE MECHANICAL ROOM, AND SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON THE CEILING/ ROOF, WALLS, FOUNDATION, AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND SOLAR HEAT GAIN COEFFICIENT OF FENESTRATION, AND THE RESULTS FOR ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING. DONE ON THE BUILDING. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT

#### ENERGY CODE NOTE:

I CERTIFY THAT I AM A LICENSED PROFESSIONAL. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH THE 2015 IECC RESIDENTIAL PROVISIONS AS AMENDED BY THE 2017 SUPPLEMENT TO THE NYSECCC SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

#### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA							TABLE R301.2(1)		
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS	
			WEATHERING	FROST DEPTH	TERMITE				DECAY
45 PSF	115 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7° F	YES	

#### INSULATION AND FENESTRATION REQUIREMENTS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH
4	0.35	0.55	49	20	5/10 <sup>3</sup>	19	10/13 <sup>C</sup>	10, 2 FT <sup>4</sup>

THIS PROJECT MEETS THE PRESCRIPTIVE METHOD FOR ENERGY CODE COMPLIANCE: CLIMATE ZONE 4

#### GENERAL NOTES

- ALL WORK SHALL CONFORM TO IRC 2015, 2017 NYS SUPPLEMENT, AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY MANUFACTURER'S PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE OWNER.
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.
- THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT.

#### FIRE PROTECTION NOTES

- SMOKE DETECTORS SHALL BE INSTALLED IN ALL EXISTING BEDROOMS, ADJACENT HALL, AND ONE ON EACH STORY OF DWELLING PER APPLICABLE CODES (LISTED TOP OF SHEET)
- ALL SMOKE DETECTORS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE RCNYS AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL LL INTERVENING DOORS CLOSED. ALL SMOKE DETECTORS SHALL BE INSTALLED PER APPLICABLE CODES (LISTED TOP OF SHEET)
- REFER TO SHEET A004- DIVISION 10
- PROVIDE FIREBLOCKING PER APPLICABLE CODES (LISTED TOP OF SHEET)
- PROVIDE FIRE BLOCKING IN WALL CAVITIES OR FURRED SPACES THAT EXCEED 8 FT IN HEIGHT, AROUND ALL PIPING, VENTS AND WIRING HOLES, ETC.

#### PRESCRIPTIVE VENTILATION REQUIREMENTS

WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL CONSIST OF SUPPLY OR EXHAUST FANS, OR COMBINATION OF BOTH, AND ASSOCIATED DUCTS AND CONTROLS, AND SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.

WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A RATE OF:

- 75 CFM (CONTINUOUS) OR INTERMITTENT PER TABLE M1505.4.3 (2)
- KITCHEN: 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
- BATHROOMS: MECHANICAL EXHAUST 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

#### PRESCRIPTIVE LIGHT REQUIREMENTS

PROVIDE ARTIFICIAL LIGHT CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.

#### RECEPTACLE LOCATIONS

- ALL ROOMS (EXCEPT NON WALK IN CLOSETS).
- INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IS LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE.
- AT COUNTERTOPS, INSTALLED SO THAT NO POINT ALONG THE WALL THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE.
- PROVIDE 4 RECEPTACLES AT KITCHEN ISLAND
- IN BATHROOM PROVIDE GFCI RECEPTACLE AT VANITIES. 2 OUTLETS AT (2) SINKS, ONE RECEPTACLE AT SINGLE SINK.
- APPLIANCE RECEPTACLE SHALL BE WITHIN 6" OF APPLIANCE.
- PROVIDE ONE EXTERIOR GFCI RECEPTACLE AT FRONT, BACK, AND SIDES OF HOUSE OF HOUSE.
- 4 TOTAL EXTERIOR OUTLETS
- PROVIDE MIN. 1 RECEPTACLE IN HALLSWAY 10' OR MORE.
- PROVIDE RECEPTACLE FOR APPLIANCES IN LAUNDRY ROOM
- PROVIDE MIN. 1 GFCI RECEPTACLE IN GARAGE. REFER TO ELECTRICAL PLAN FOR OTHER OUTLETS IN GARAGE.
- PROVIDE MIN. 1 WALL SWITCHED LIGHTING OUTLET IN EACH HABITABLE ROOM AND BATHROOM, HALLWAY, STAIRWAY, GARAGE, STORAGE, AND UTILITY SPACES. ALL SWITCHED SHALL BE PROVIDED BY OWNER

No.	DATE	ISSUE
1	2/28/22	ISSUED

PROJECT NAME:  
**SINGLE FAMILY HOUSE**

PROJECT ADDRESS:  
**25 ORCHARD DRIVE  
ARMONK, NY**



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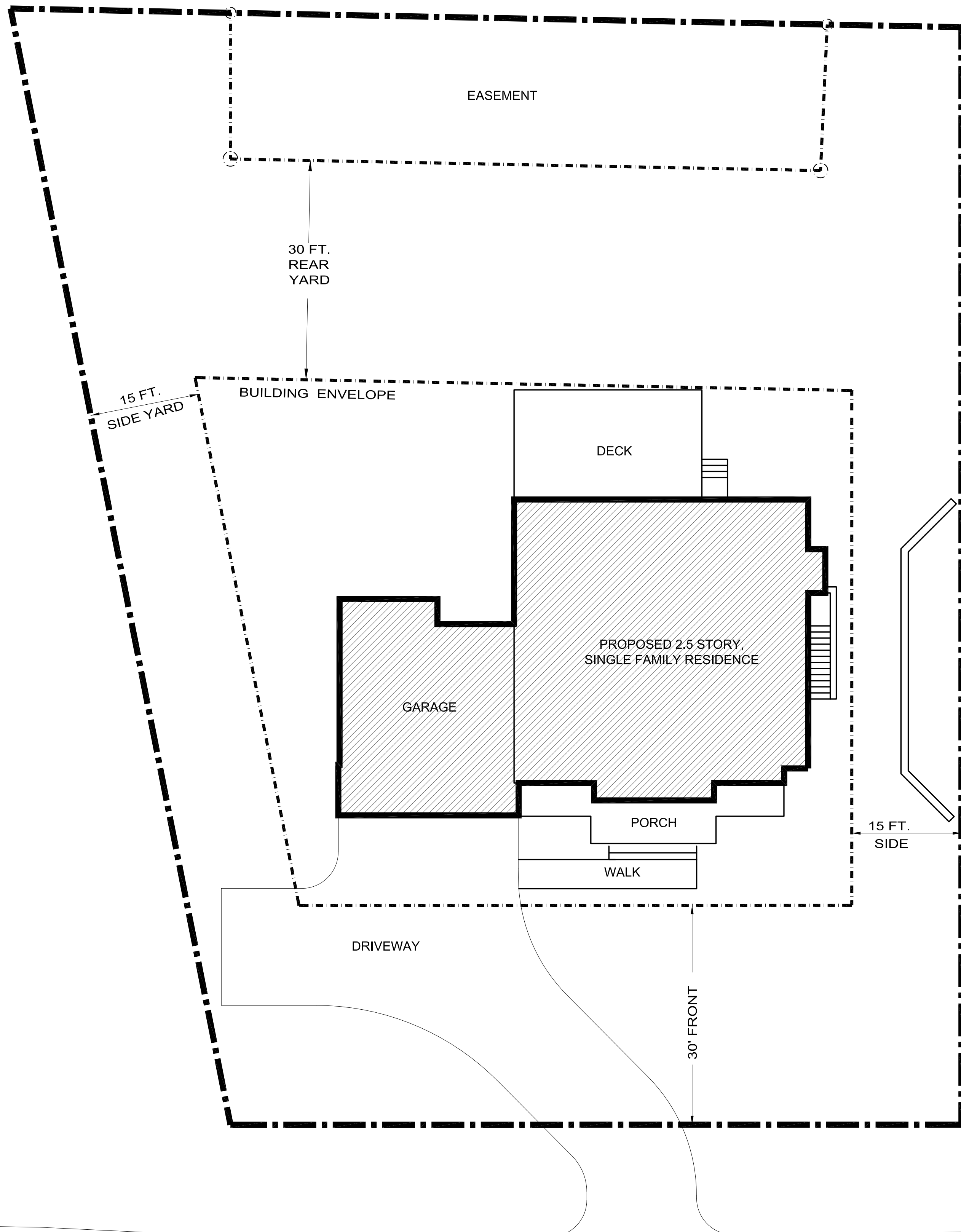
### TITLE SHEET

Scale \_\_\_\_\_ Date \_\_\_\_\_ Issue Date \_\_\_\_\_

Drawn by Author \_\_\_\_\_  
Checked by \_\_\_\_\_  
Project number \_\_\_\_\_  
**A001**

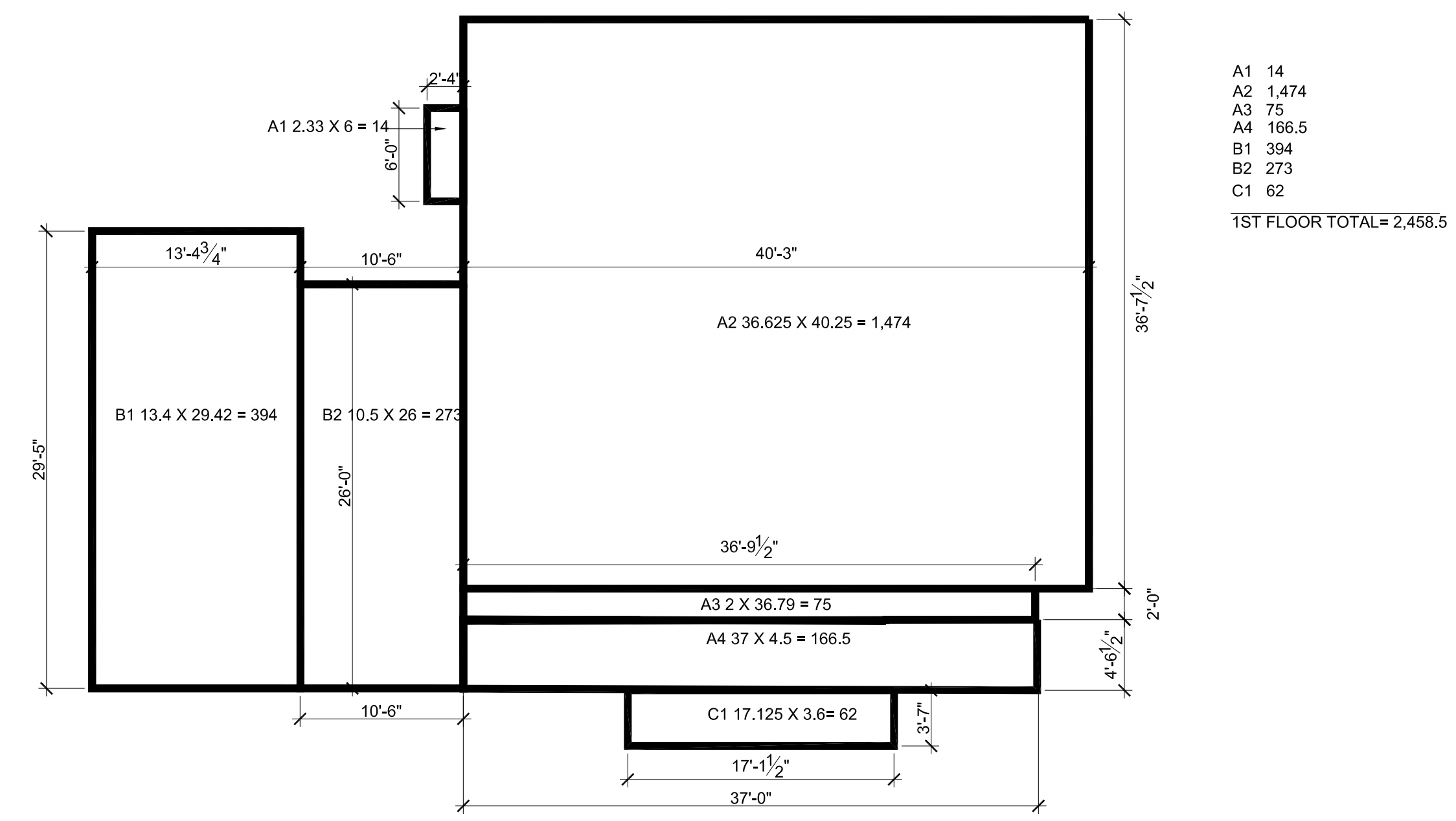


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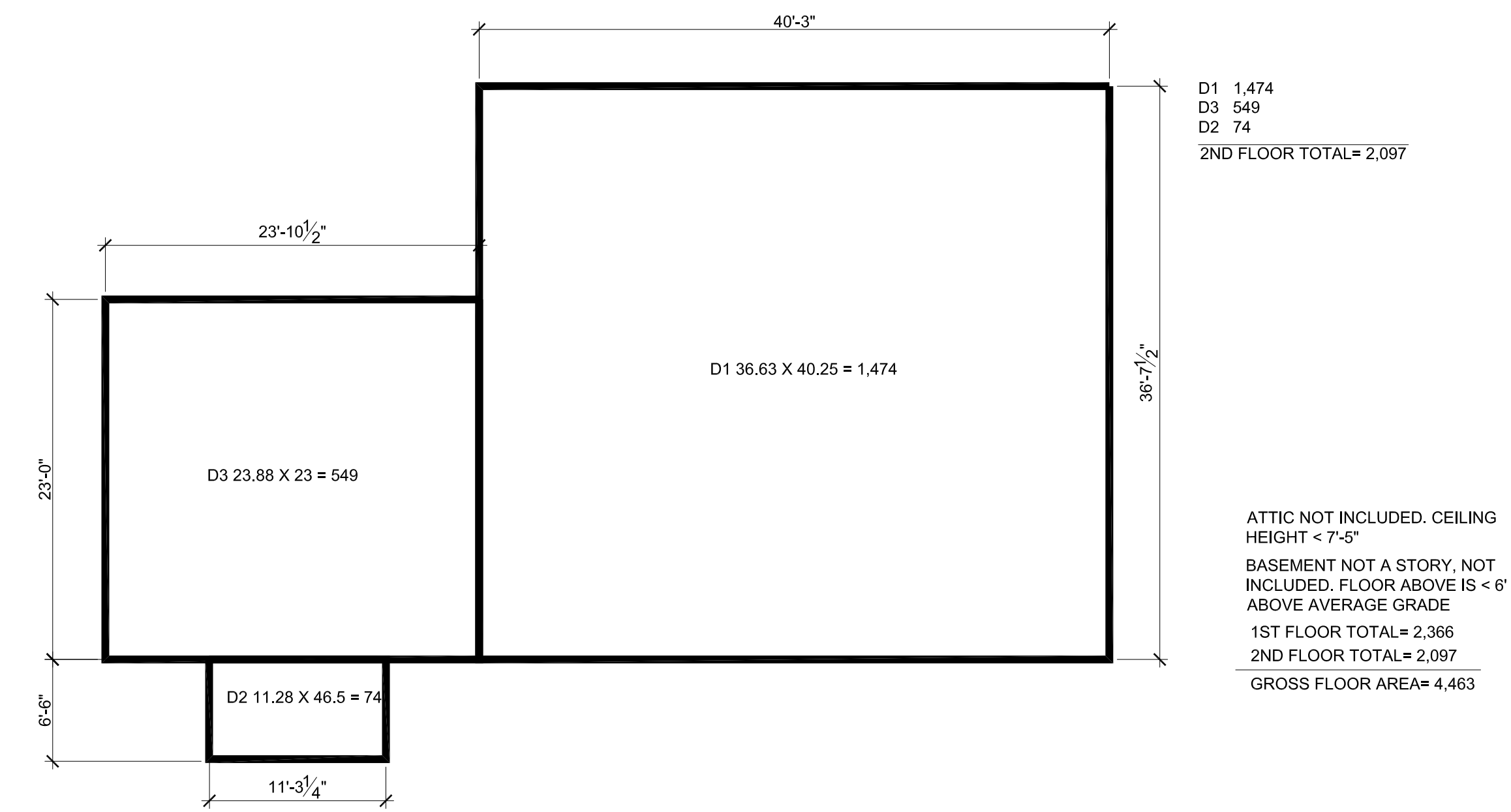


**A SITE PLAN**  
SCALE: 1"= 10'

REFER TO SITE ENGINEERS PLANS, PREPARED BY RALPH G. MASTROMOACO, P.E., P.C. FOR ALL OTHER SITE DETAILS/ ZONING DATA



**1 1ST FLOOR AREA**  
SCALE: 1/8"=1'-0"



**2 2ND FLOOR AREA**  
SCALE: 1/8"=1'-0"

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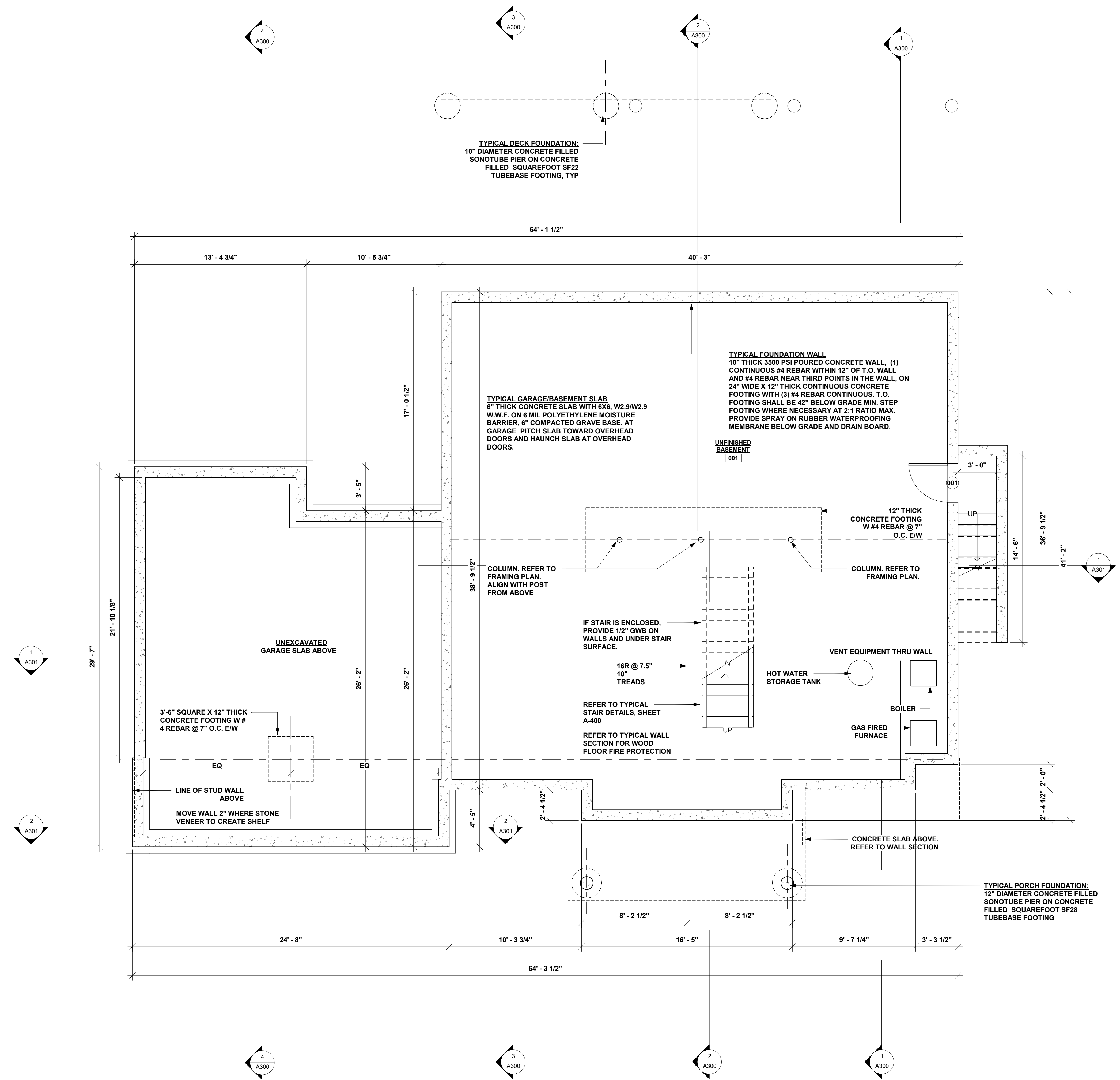
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**SITE PLAN**

**A002**



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**1 BASEMENT FLOOR**  
1/4" = 1'-0"

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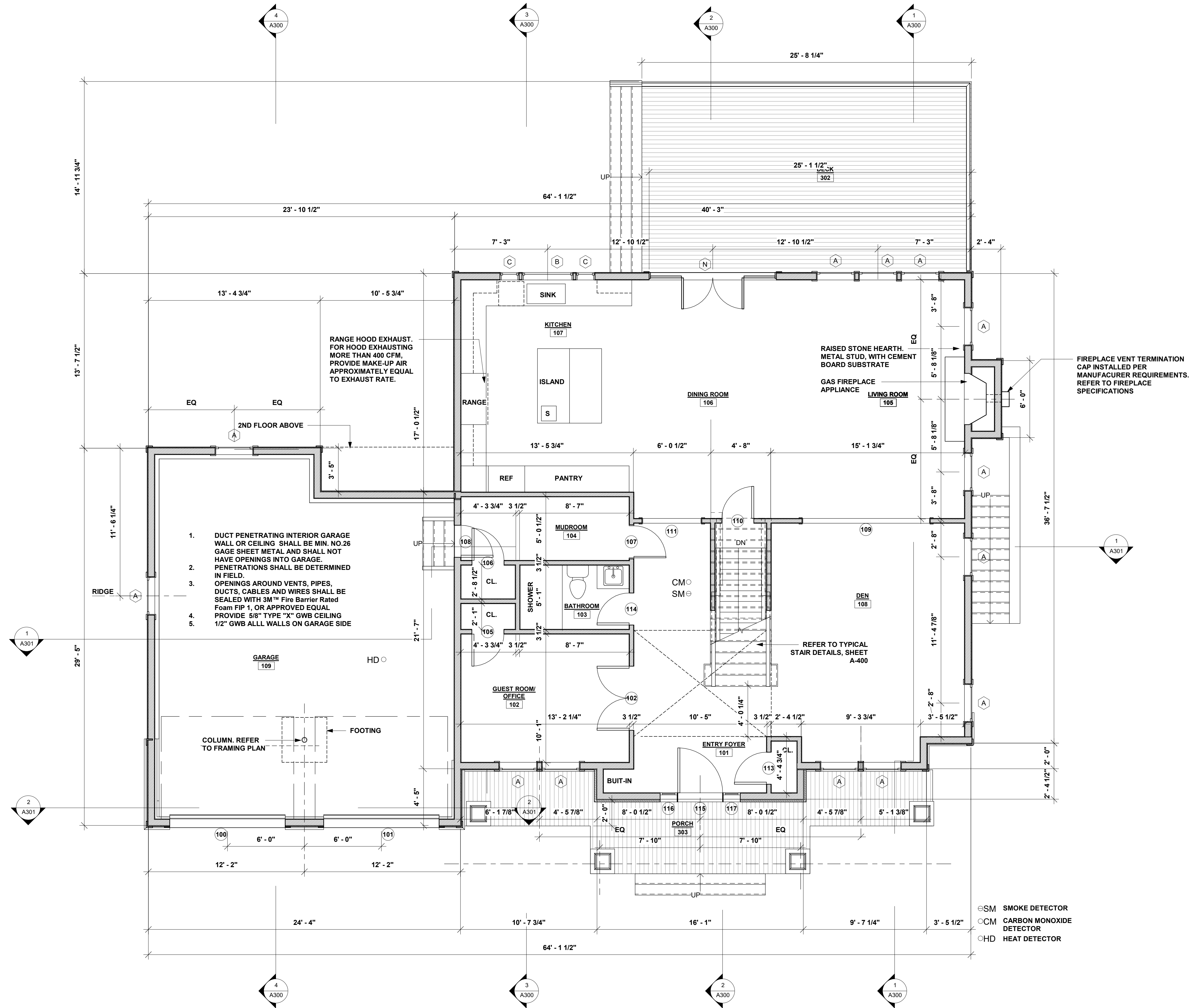
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**FOUNDATION/  
BASEMENT PLAN**

Scale	Date	Issue Date
1/4" = 1'-0"		
Drawn by Author	A100	
Checked by Checker		
Project number		



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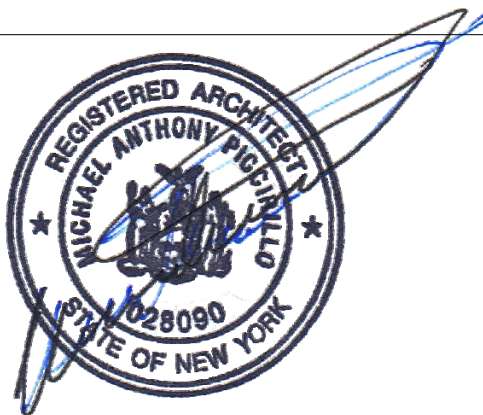


**1 FIRST FLOOR**  
1/4" = 1'-0"

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**FIRST FLOOR PLAN**

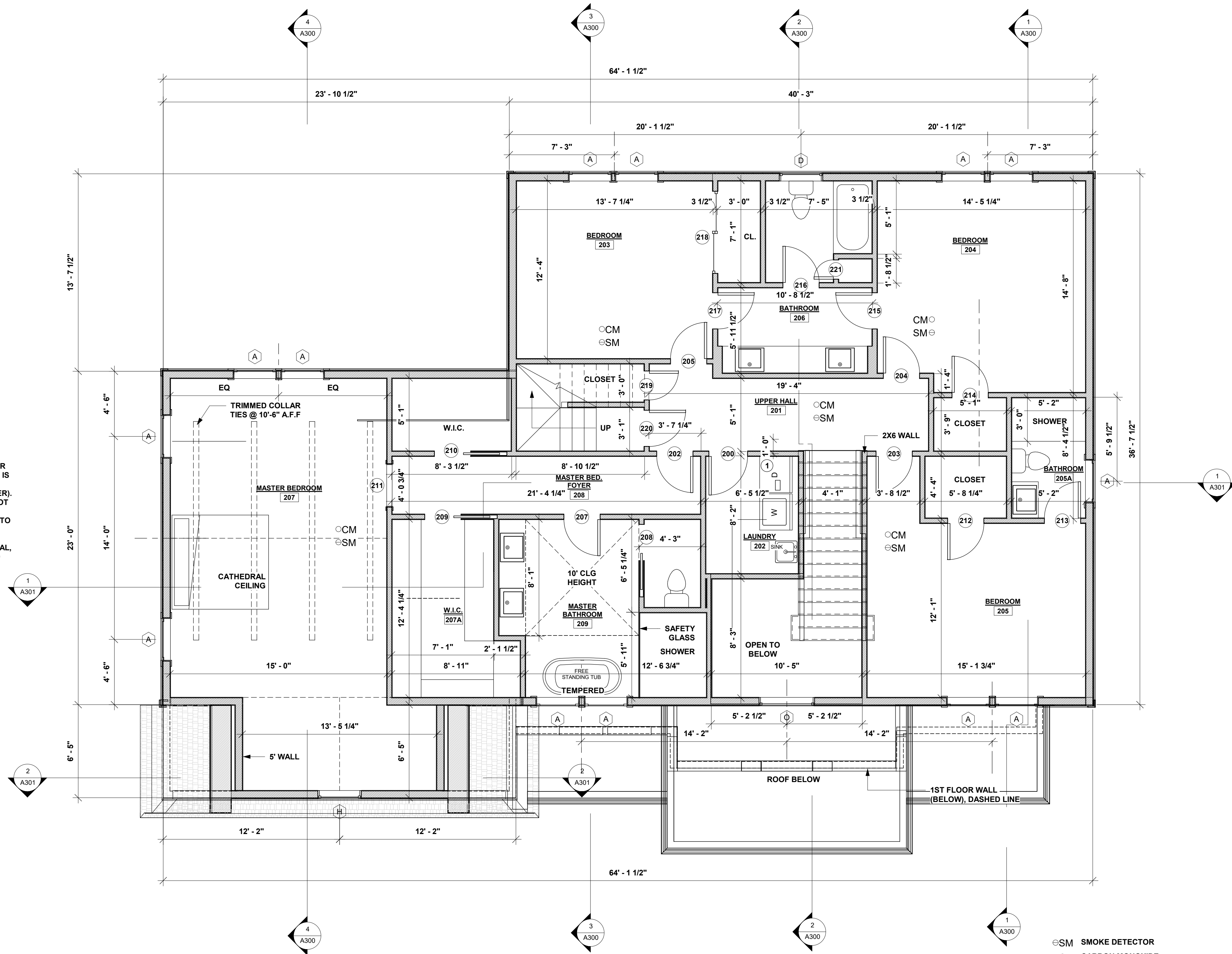
Scale	Date	Issue Date
1/4" = 1'-0"		
Drawn by Author	A101	
Checked by Checker		
Project number		

- ⊙SM SMOKE DETECTOR
- ⊙CM CARBON MONOXIDE DETECTOR
- ⊙HD HEAT DETECTOR



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- 1 DRYER EXHAUST TO EXTERIOR OF BUILDING (UNLESS DRYER IS LISTED AND LABELED AS CONDENSING (DUCTLESS DRYER). DUCT TERMINATION SHALL NOT BE LESS THAN 3 FEET IN ANY DIRECTION FROM OPENING INTO BUILDING.
- DUCT SHALL BE 4" NOMINAL DIAMETER, MIN. 28 GAGE METAL, WITH SMOOTH INTERIOR, AND BE EQUIPPED W/ BACKDRAFT DAMPER.
- PROVIDE FLOOD PAN WITH DRAIN WASHER.



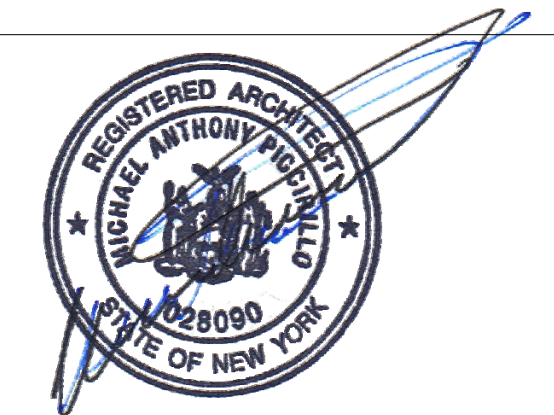
1 SECOND FLOOR  
1/4" = 1'-0"

SM SMOKE DETECTOR  
CM CARBON MONOXIDE DETECTOR

No.	DATE	ISSUE
1	2/28/22	ISSUED

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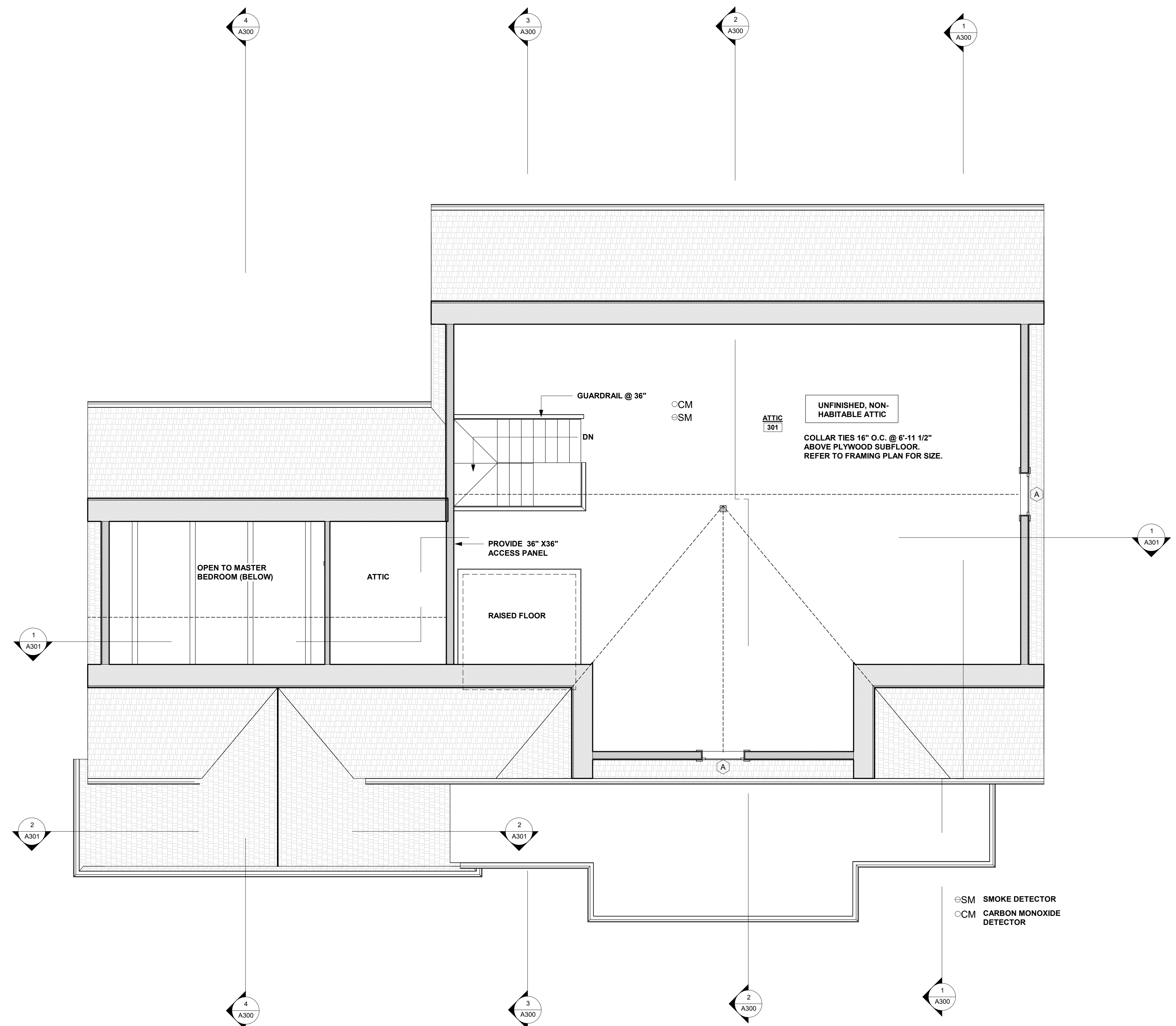
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**SECOND FLOOR PLAN**

Scale	Date	Issue Date
1/4" = 1'-0"		
Drawn by Author	A102	
Checked by Checker		
Project number		



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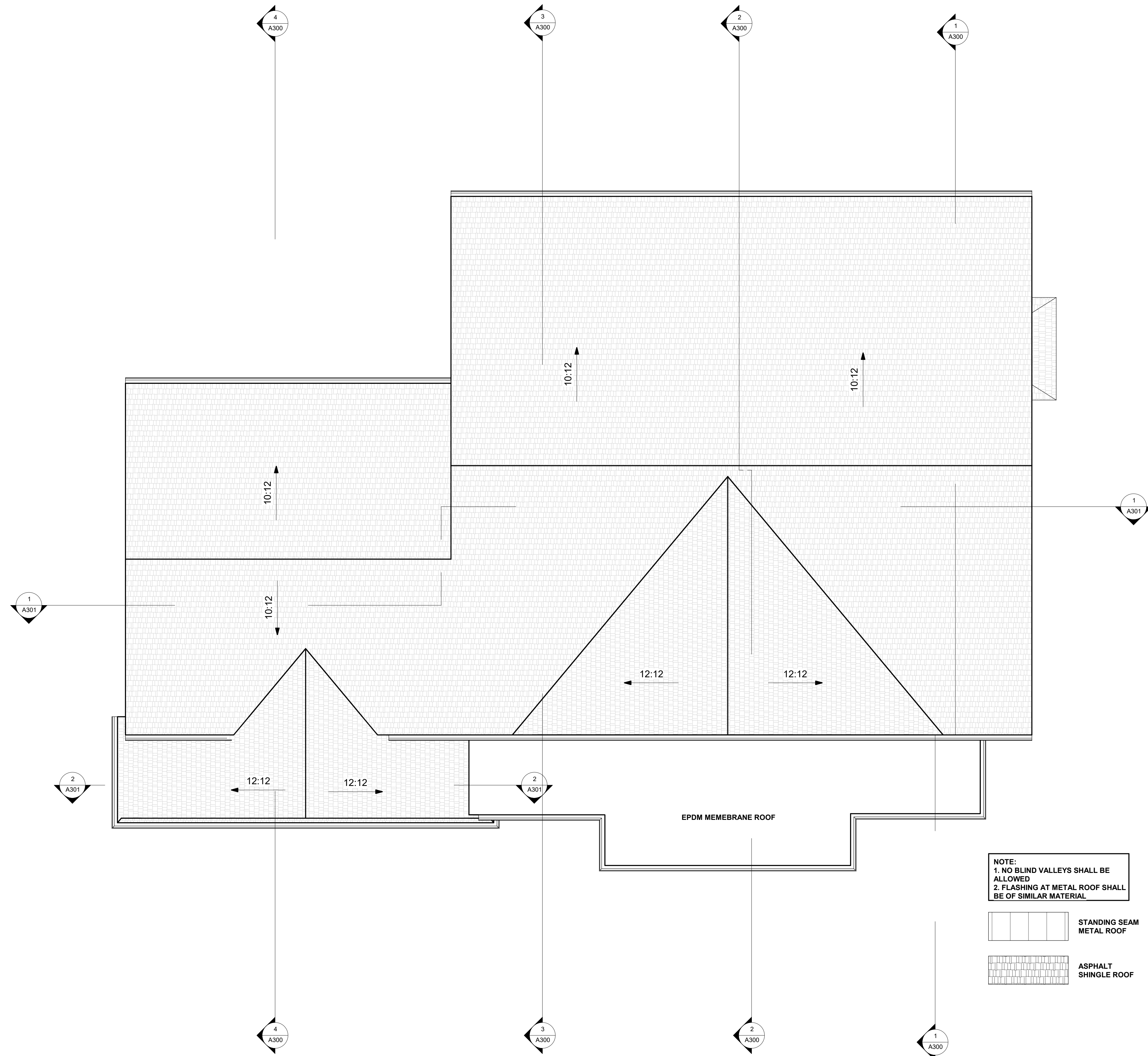
**ATTIC FLOOR PLAN**

Scale 1/4" = 1'-0"	Date	Issue Date
Drawn by Author	<b>A103</b>	
Checked by Checker		
Project number		


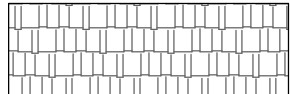
**1 ATTIC FLOOR**  
1/4" = 1'-0"



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NOTE:  
1. NO BLIND VALLEYS SHALL BE ALLOWED  
2. FLASHING AT METAL ROOF SHALL BE OF SIMILAR MATERIAL

-  STANDING SEAM METAL ROOF
-  ASPHALT SHINGLE ROOF

**1** ROOF  
1/4" = 1'-0"

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**ROOF PLAN**

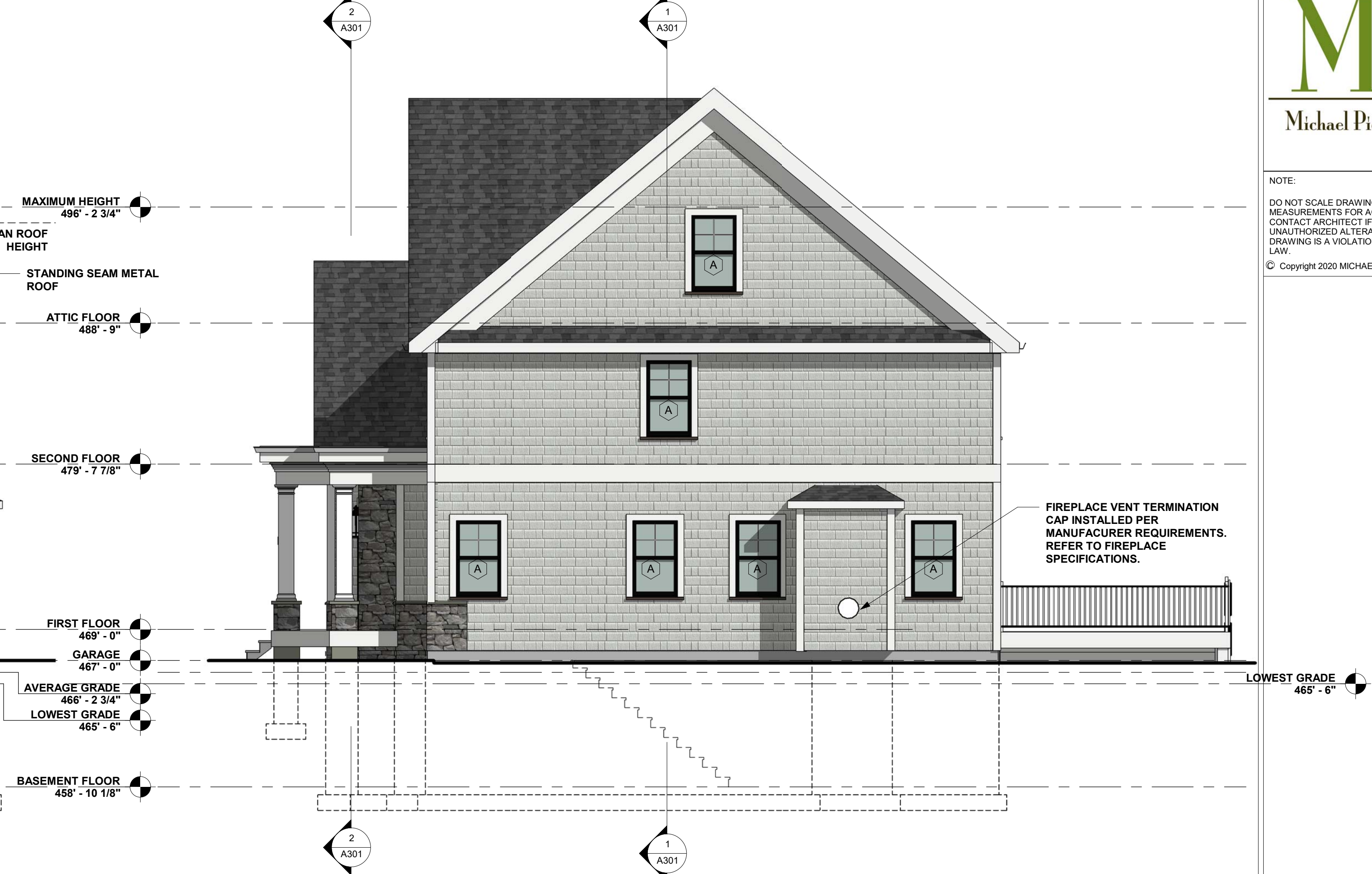
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Drawn by Author	<b>A104</b>	
Checked by Checker		
Project number		



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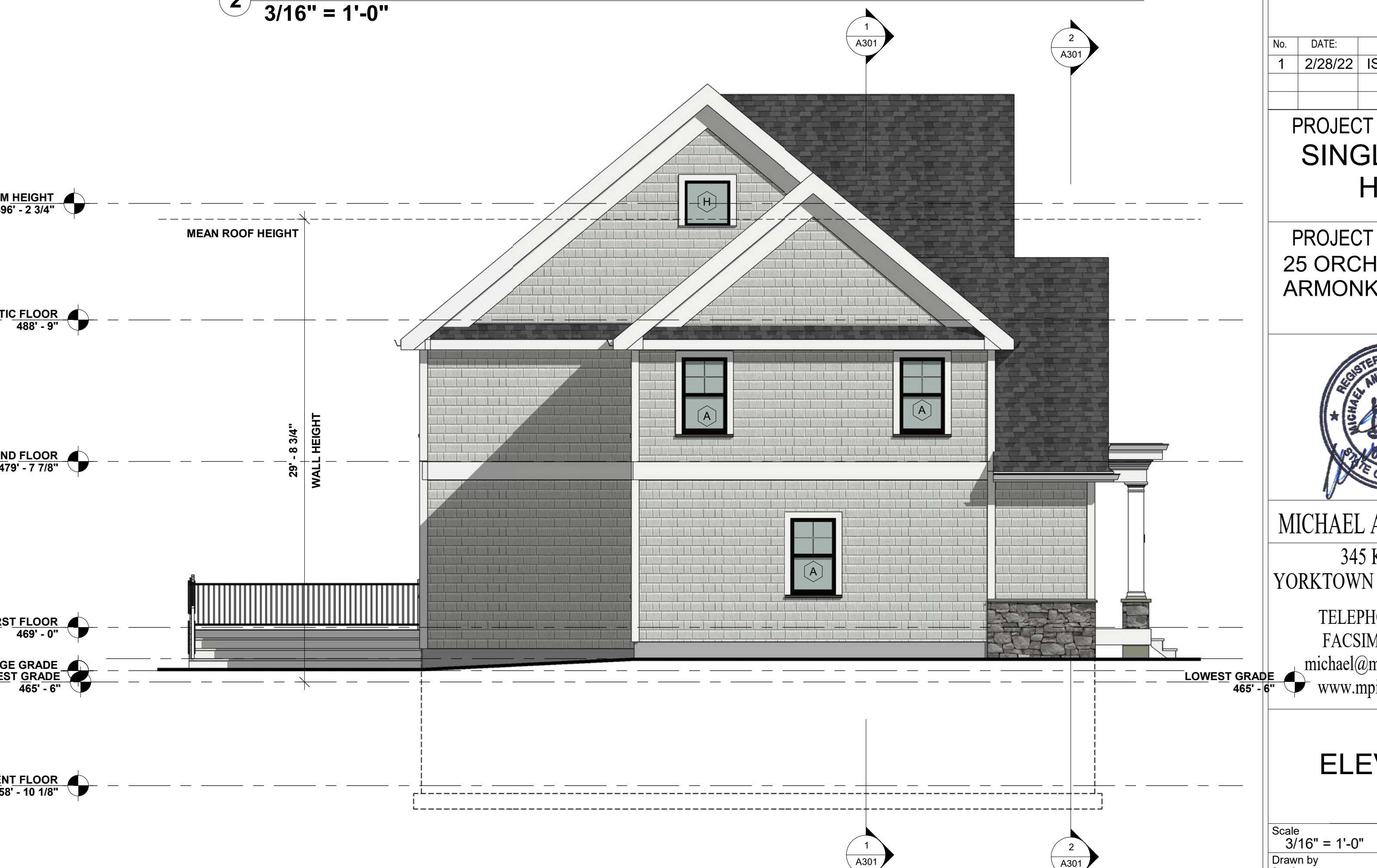
**1 NORTH ELEVATION**  
3/16" = 1'-0"



**2 EAST ELEVATION**  
3/16" = 1'-0"



**3 SOUTH ELEVATION**  
3/16" = 1'-0"

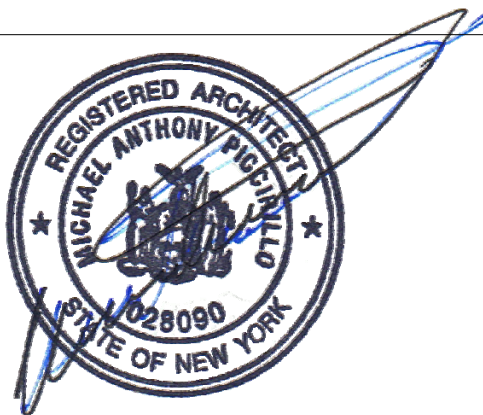


**4 WEST ELEVATION**  
3/16" = 1'-0"

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1	2/28/22	ISSUED

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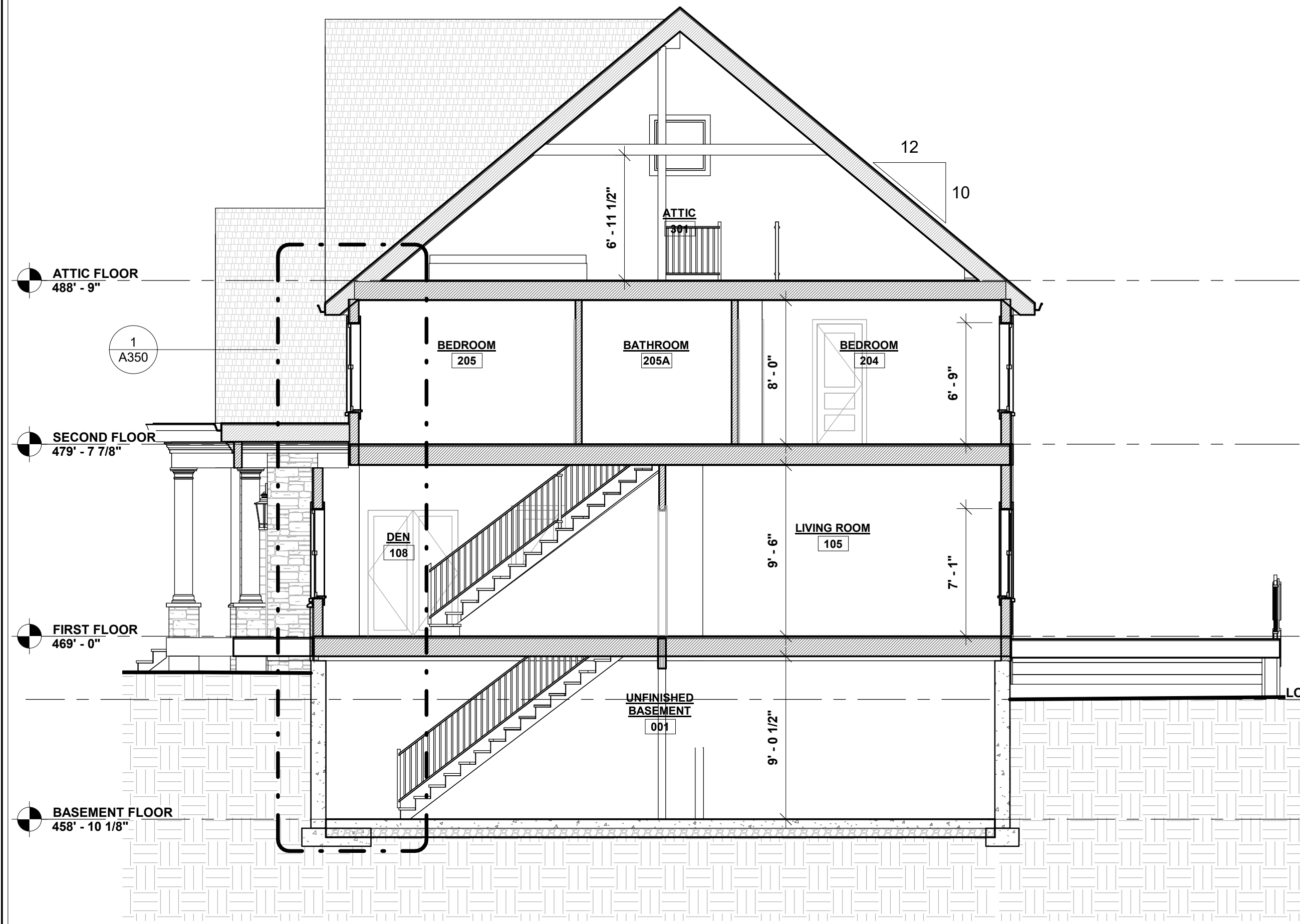
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**ELEVATIONS**

Scale	Date	Issue Date
3/16" = 1'-0"		
Drawn by Author	A200	
Checked by Checker		
Project number		

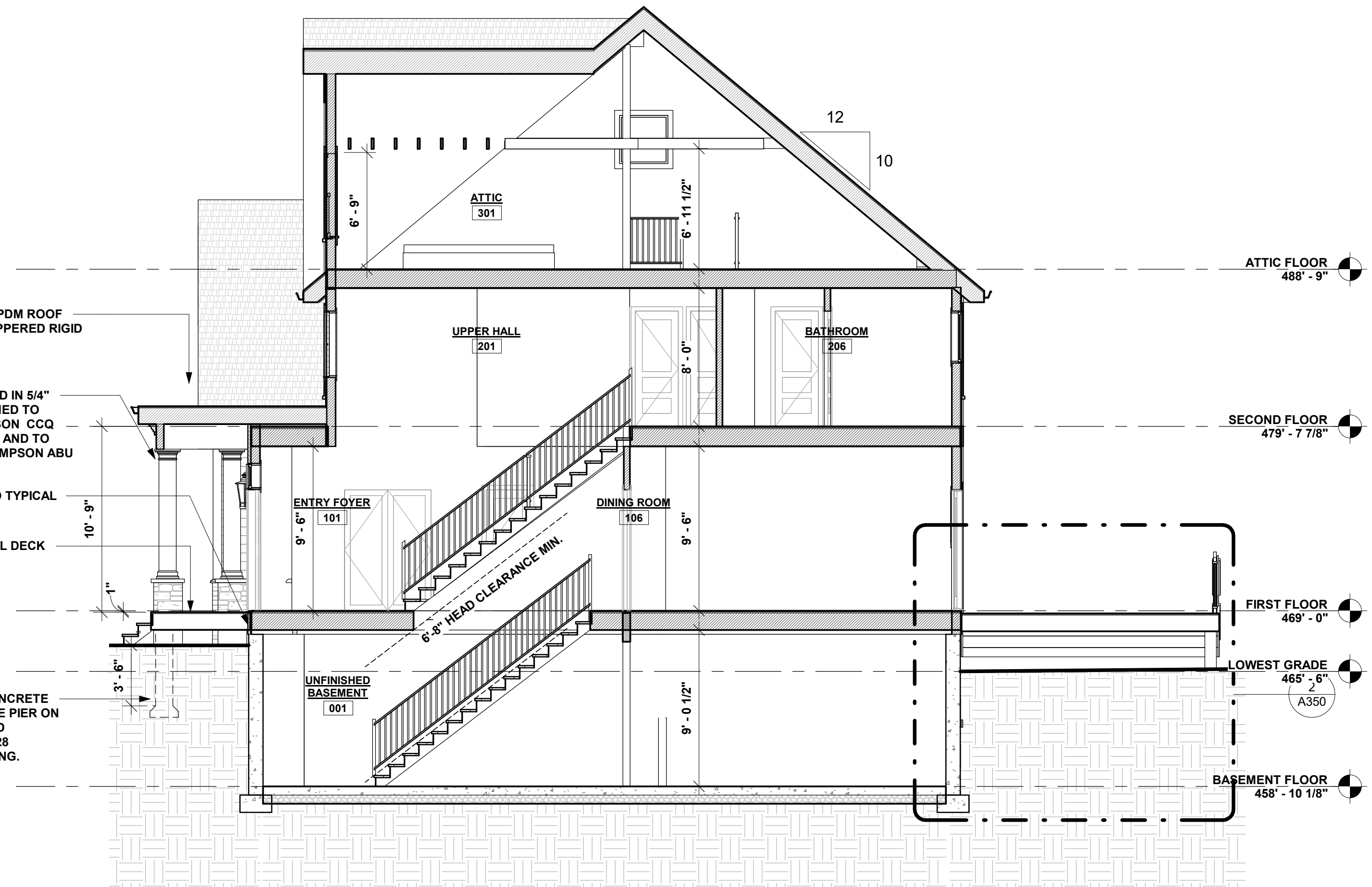


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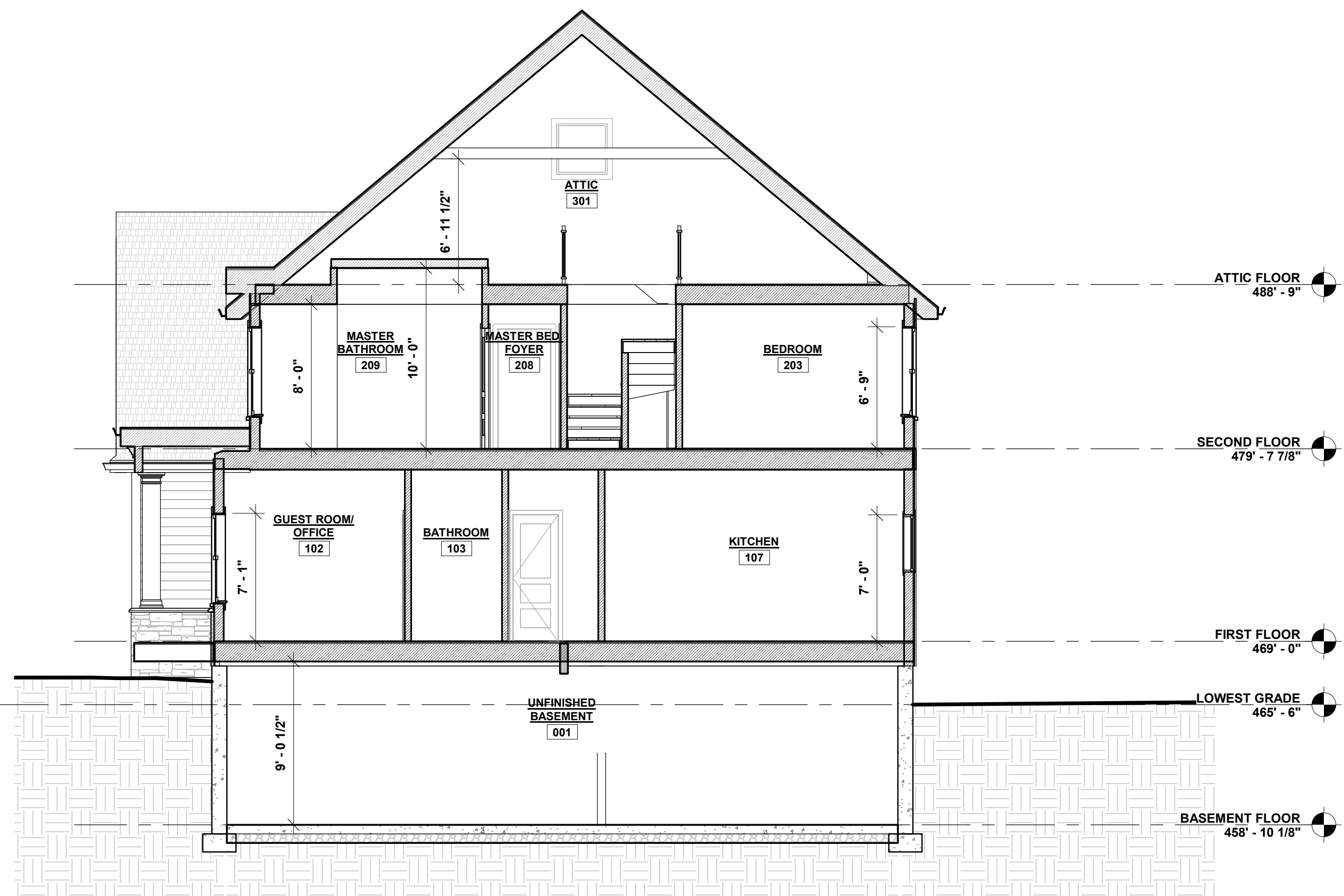


**1** BUILDING SECTION NO.1  
3/16" = 1'-0"

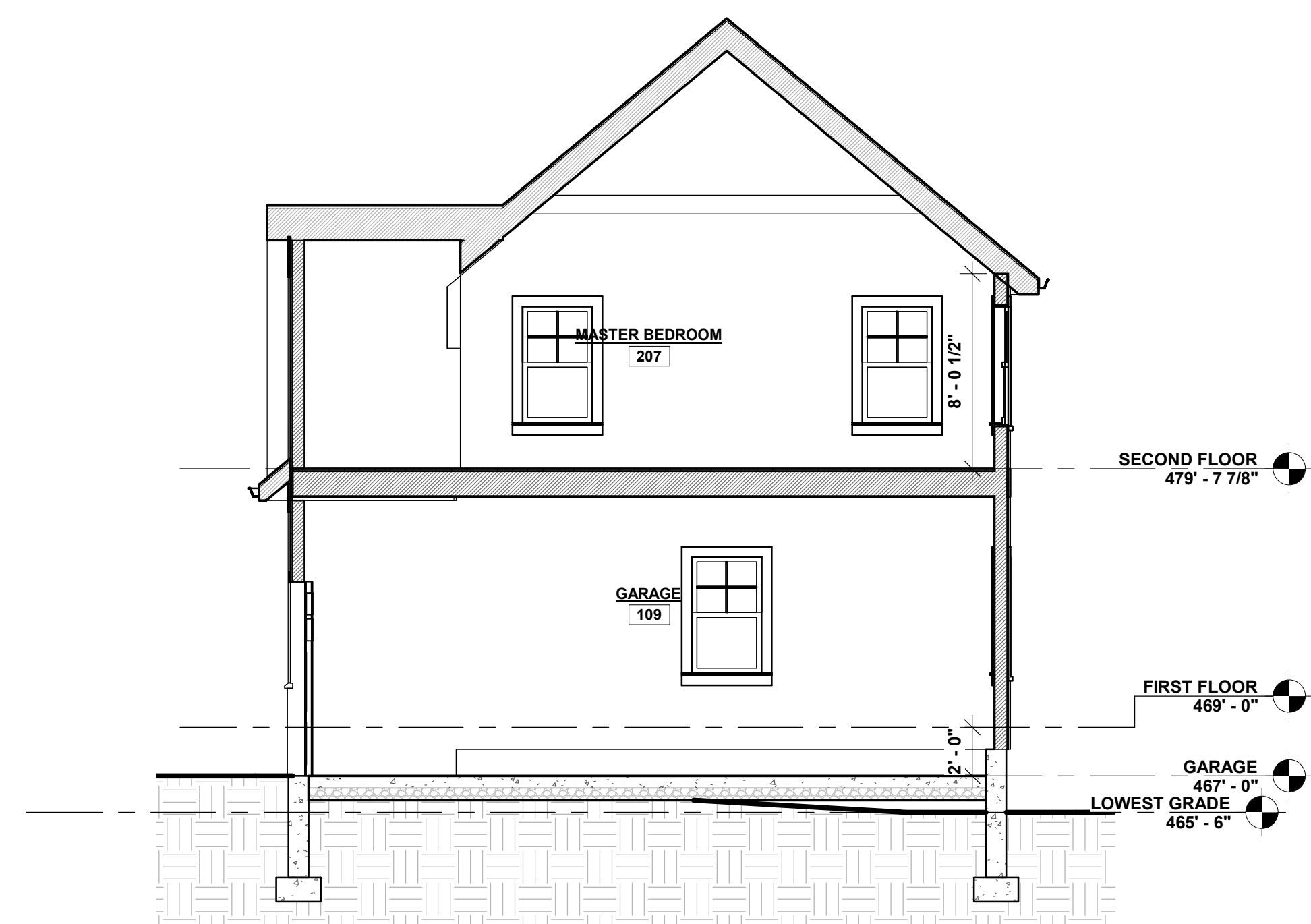
FULLY ADHERED EPDM ROOF MEMBRANE ON TAPPED RIGID INSULATION  
PT POST WRAPPED IN 5/4" PVC TRIM ATTACHED TO BEAM WITH SIMPSON C/CQ (ECCQ) POST CAP AND TO CMU PIER WITH SIMPSON ABU POST BASE  
LEDGER. REFER TO TYPICAL DECK DETAILS  
REFER TO TYPICAL DECK DETAILS  
12" DIAMETER CONCRETE FILLED SONOTUBE PIER ON CONCRETE FILLED SQUAREFOOT SF28 TUBEBASE FOOTING.



**2** BUILDING SECTION NO.2  
3/16" = 1'-0"



**3** BUILDING SECTION NO.3  
3/16" = 1'-0"



**4** BUILDING SECTION NO.4  
3/16" = 1'-0"

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1	2/28/22	ISSUED

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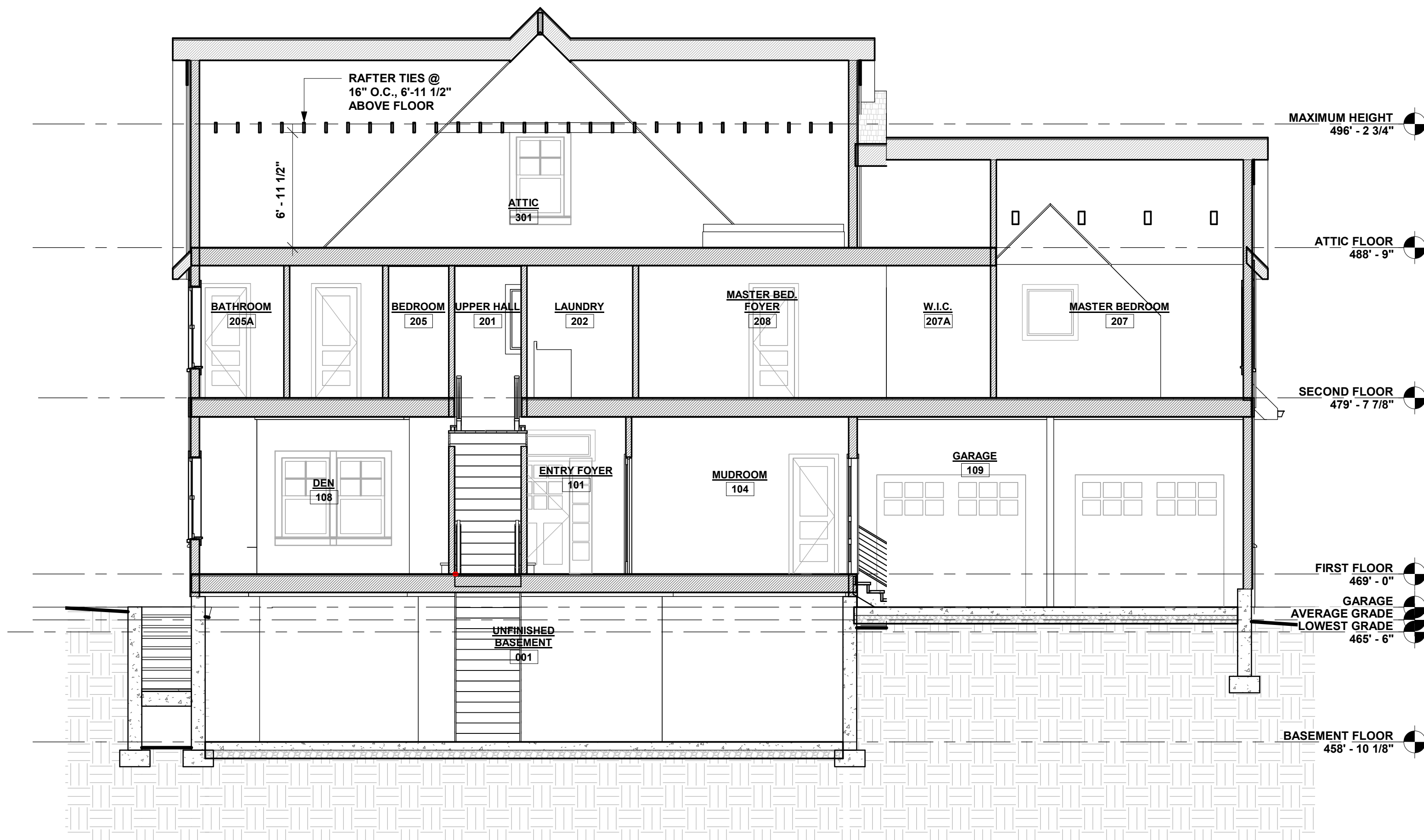
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**BUILDING SECTIONS**

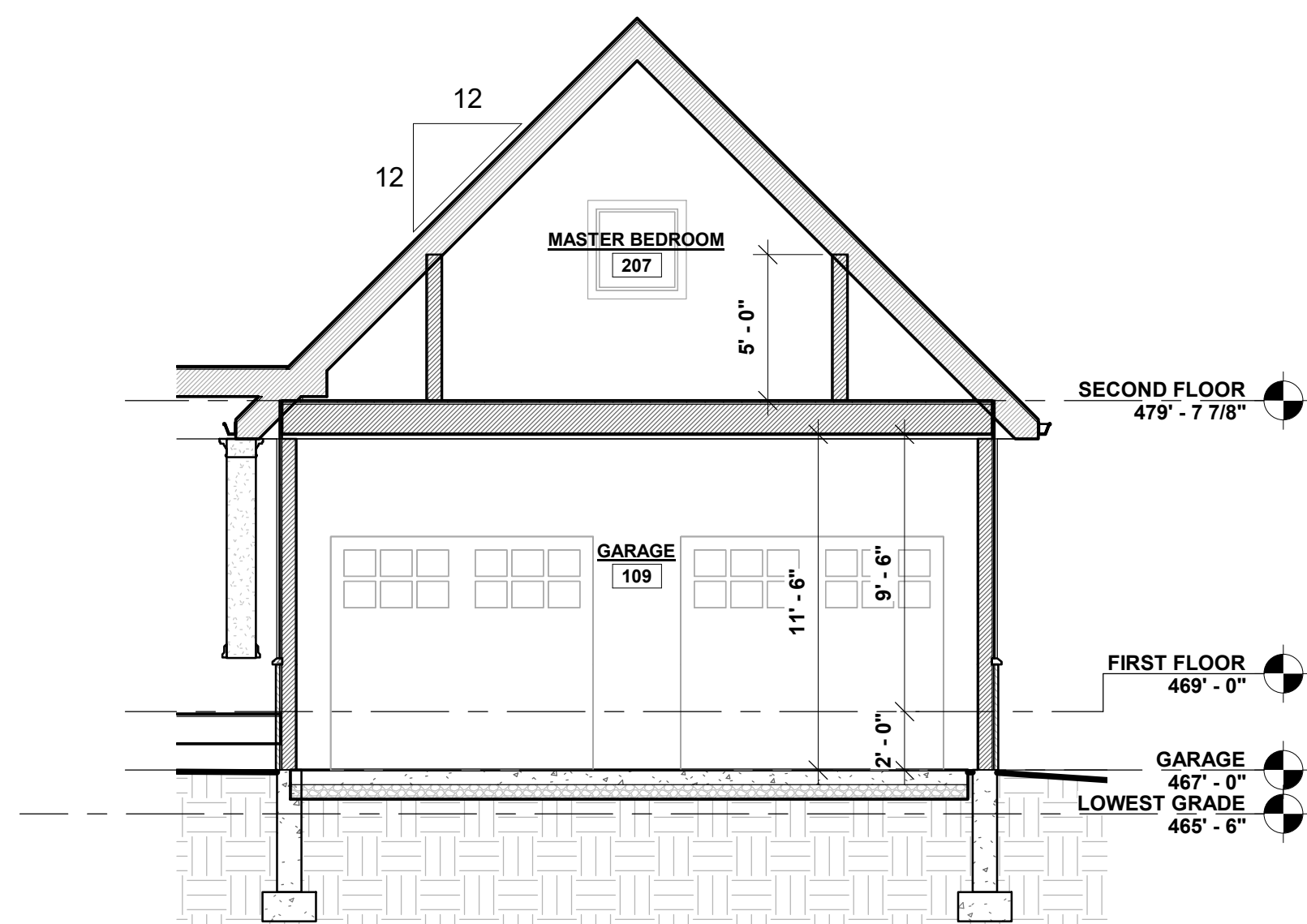
Scale	Date	Issue Date
3/16" = 1'-0"		
Drawn by Author	A300	
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Project number		



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1 BUILDING SECTION NO.5  
3/16" = 1'-0"



2 BUILDING SECTION NO.6  
3/16" = 1'-0"

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## BUILDING SECTIONS

Scale	Date	Issue Date
3/16" = 1'-0"		
Drawn by Author	A301	
Checked by Checker		
Project number		



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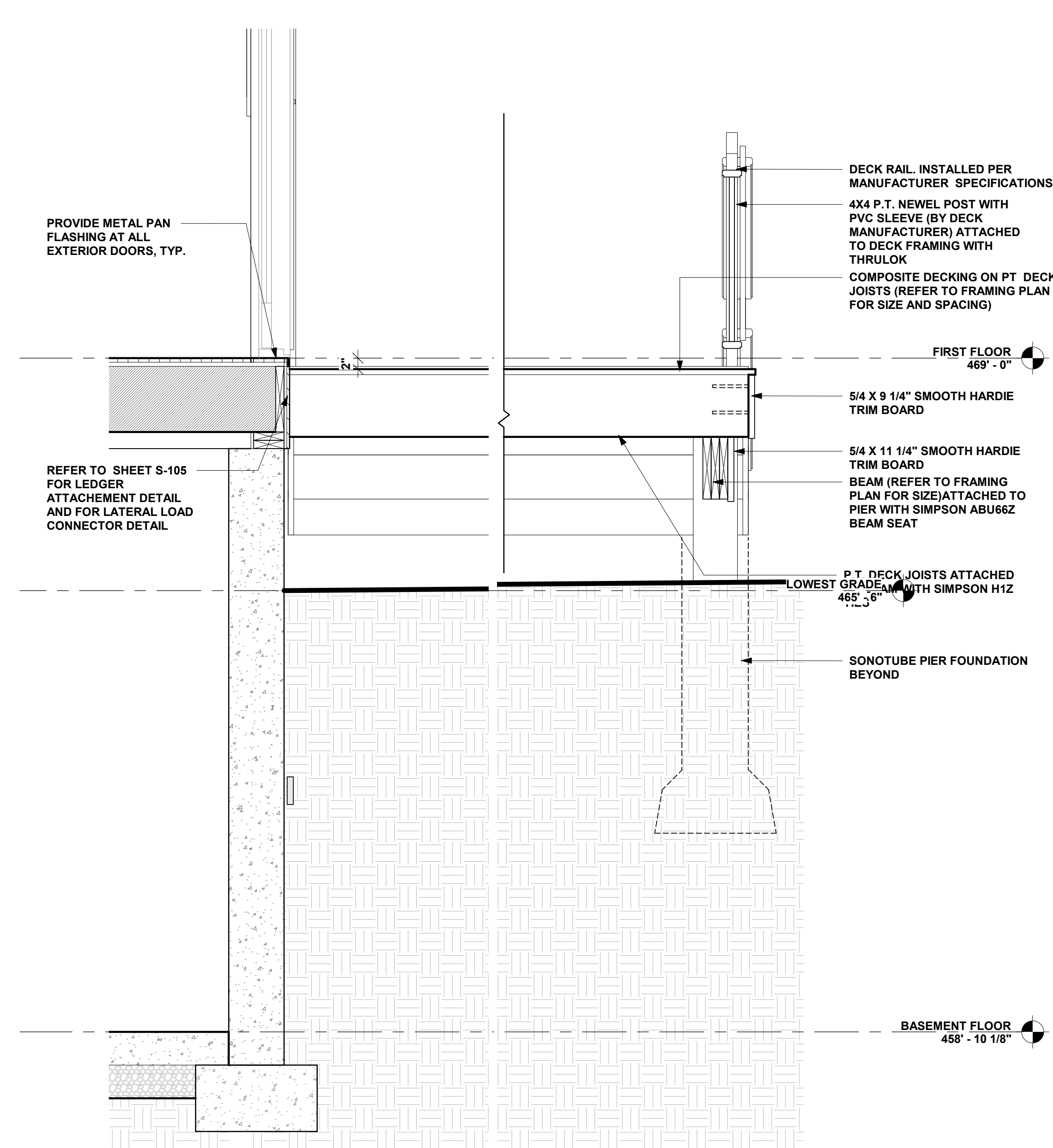
PROJECT ADDRESS:  
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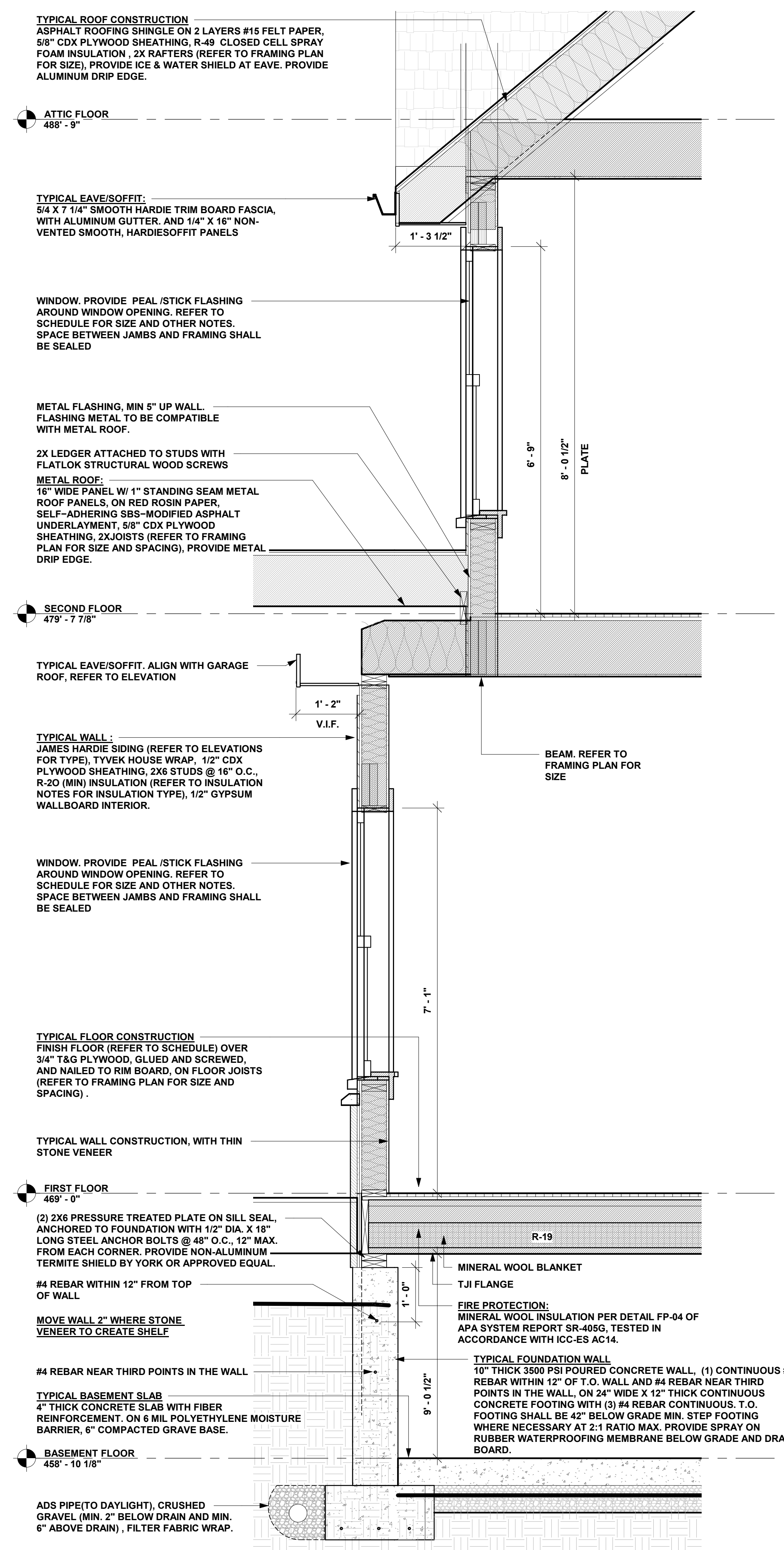
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**WALL SECTIONS**

Scale	Date	Issue Date
3/4" = 1'-0"		
Drawn by Author	A350	
Checked by Checker		
Project number		



2 DECK SECTION  
3/4" = 1'-0"



1 TYPICAL WALL SECTION  
3/4" = 1'-0"



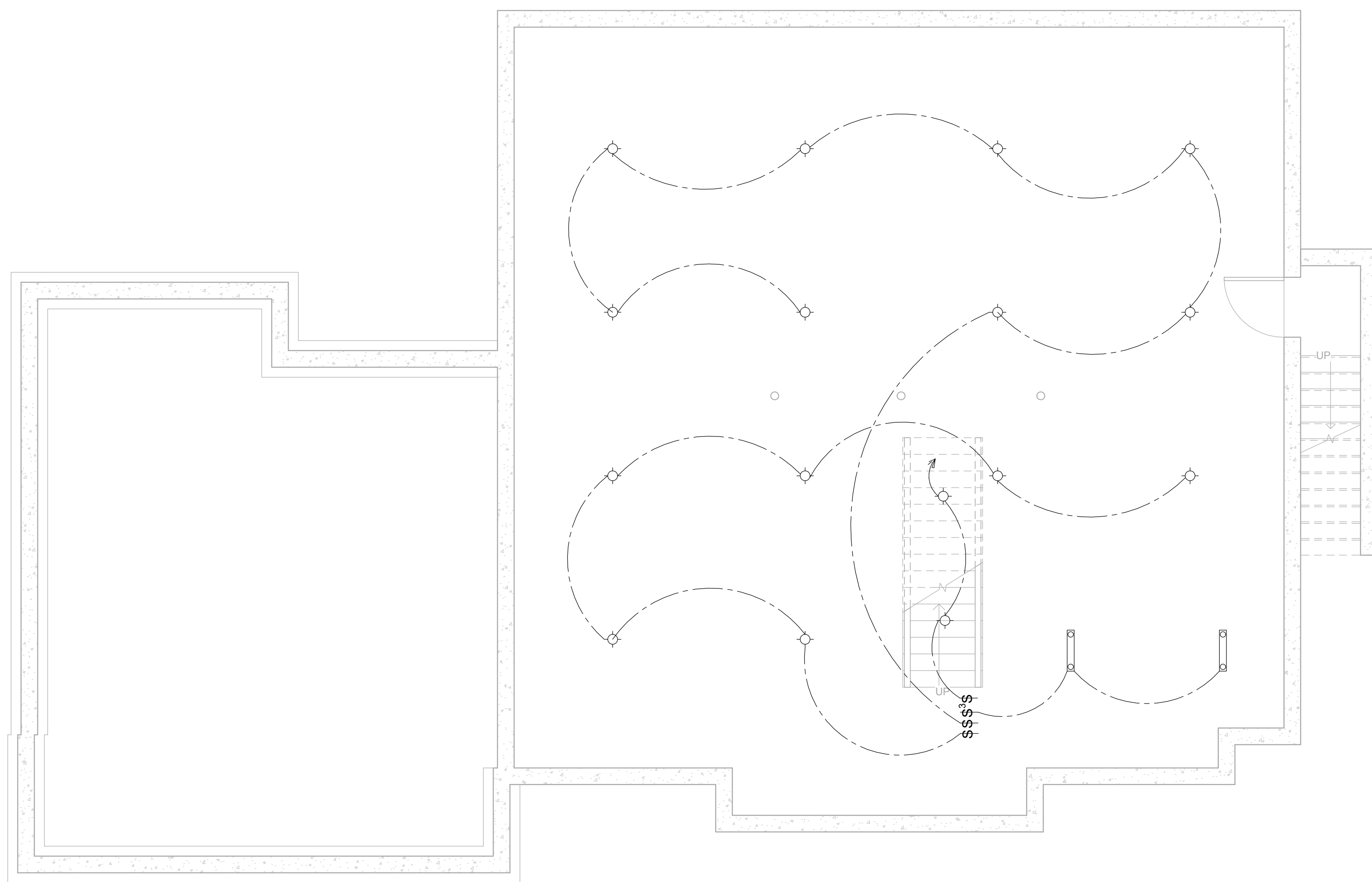
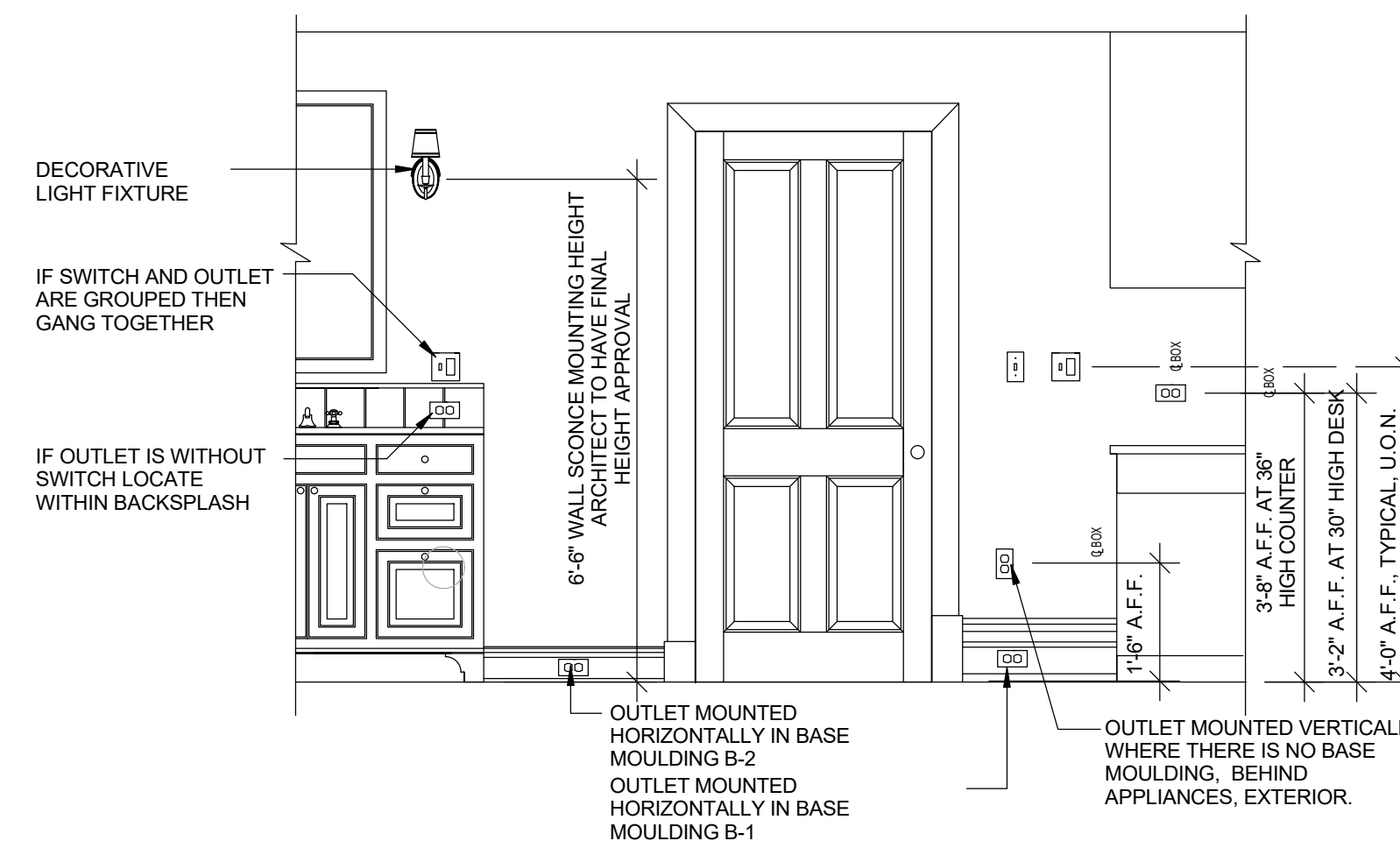




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**RECEPTACLE LOCATIONS:**

1. ALL ROOMS (EXCEPT NON WALK IN CLOSETS).
2. INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IS LINE IN ANY WALL SPACE 1 IS MORE THAN 6' FROM A RECEPTACLE.
3. AT COUNTERTOPS, INSTALLED SO THAT NO POINT ALONG THE WALL THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE.
4. PROVIDE 2 RECEPTACLES AT KITCHEN ISLAND
5. IN BATHROOM PROVIDE GFCI RECEPTACLE AT VANITIES. 2 OUTLETS AT (2) SINKS, ONE RECEPTACLE AT SINGLE SINK.
6. APPLIANCE RECEPTACLE SHALL BE WITHIN 6' OF APPLIANCE.
7. PROVIDE ONE EXTERIOR GFCI RECEPTACLE AT FRONT AND BACK OF HOUSE.
8. PROVIDE MIN. 1 RECEPTACLE IN HALLSWAY 10' OR MORE.
9. PROVIDE RECEPTACLE FOR APPLIANCES IN LAUNDRY ROOM.
10. PROVIDE MIN. 1 GFCI RECEPTACLE IN GARAGE.
11. PROVIDE MIN. 1 WALL SWITCHED LIGHTING OUTLET IN EACH HABITABLE ROOM AND BATHROOM, HALLWAY, STAIRWAY, GARAGE, STORAGE, AND UTILITY SPACES



**ELECTRICAL LEGEND**

- NEW WALL RECEPTACLE
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE IN WET AREA
- SURFACE MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- NEW 90 CFM EXHAUST FAN
- NEW CABLE TELEVISION RECEPTACLE
- NEW DOOR BELL
- REMOTE CONTROL GARAGE DOOR OPENER

**DIVISION 16 ELECTRICAL**

General Requirements: G.C. shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures and control at existing house, new addition and alterations. Subcontractor shall coordinate work with all other trades.

NOTE: PRIOR TO COMMENCING ANY WORK UNDER THIS SECTION THE GENERAL CONTRACTOR SHALL ARRANGE A SITE MEETING WITH THE ELECTRICAL SUB-CONTRACTOR, THE ARCHITECT AND THE OWNER. A COMPLETE WALK-THRU SHALL TAKE PLACE TO REVIEW SWITCHING, LIGHTING ETC. ON A ROOM-BY-ROOM BASIS. THIS SHALL BE DONE WELL ENOUGH IN ADVANCE OF THE WORK TO ALLOW FOR CHANGES TO MATERIAL ORDERS.

**A. SCOPE OF WORK:**

1. Provide 200-ampere underground service.
2. Intent is to provide a complete and proper system of electric wiring, conforming to the latest edition of the National Electric Code. At completion, furnish Certificate of Inspection of National Board of Fire Underwriters.
3. G.C. shall obtain all required permits, inspections, and underwriter approvals, certificates, etc., and all items necessary for the completion of the work specified under this Section.
4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL SERVICE EQUIPMENT REQUIRED BY THE POWER COMPANY, including, but not limited to, C.T. closets, meters, transformers, primary and secondary lines, etc.
5. Wire for and connect all power equipment including but not limited to the following: Lighting fixture, appliances, receptacles, HVAC equipment, exhaust fans, heat and smoke detectors, Etc.
6. Provide outlet boxes, receptacles, switches, plates, and connections to equipment and appliances herein specified.
7. Provide all disconnects and switches for generator.
8. Provide and install all recessed light fixtures as shown on drawing; trim kit color and style to be selected, submit catalog cut for approval.
9. Provide I.C. housings where required.
10. Provide proper housings, lenses, etc. at wet locations.
11. Provide dimmer units as indicated on electrical drawings. Dimmers shall be slide type w/preset.
12. Provide and install door chime at main entry foyer door, with push buttons at both main entry and Mudroom door.
13. Provide 4 exterior spot lights. Location to be determined in field with owner
14. Provide and install all automatic garage door openers.
  - 14.1. Openers shall be 3/4 HP, BELT DRIVE TYPE. Light shall turn on during garage door operation. Submit catalog cut to architect for approval. Provide exterior and internal keypad for each door.
15. Provide smoke detectors, heat detectors, and carbon monoxide detectors per code and as indicated on plans.
  - 15.1. The smoke detectors shall be a part of the electrical system and be hard wired (line voltage) and interconnected such that if one unit is activated, all units will sound.

**B. Submittals**

1. Submit 1 switch, dimmer, receptacle, and cover plate of each type to be used, to the Architect for approval prior to purchasing.

**C. MATERIALS**

1. Circuits shall be BX or Romex cable installed according to Underwriter's Code. Wire for maximum voltage drop of 2 percent, but no wire to be smaller than #12. Circuits designed for 15-ampere load but sufficient in number so that initial load shall not exceed 1000 Watts.
2. Smoke detectors, heat detectors, and carbon monoxide detectors shall be manufactured by Simplex or equal.
3. Switches - shall be paddle type, quiet type by leviton or equal, color to be selected.
4. Dimmers to be lutron divi or equal, color to be selected.
5. Receptacles - shall be leviton decora line or equal duplex grounded, color to be selected. height to be as shown or as directed by architect or shown on plans. special receptacles for equipment as shown on the drawings. exterior receptacles shall be waterproof type with gasketed spring covers equal to the leviton 6196.
6. Undercabinet lights shall be loox led 3006, manufactured by hafele.
7. Under counter power strip shall be wiremold plugmold, hardwired
8. RECESSED LIGHTING FIXTURES - shall be lightolier lytcaster led 4" dia. round recessed fixtures, 1000 lumens, 3500k, with clear trim.
  - 8.1. Provide sloped frame in kit for sloped ceilings.
  - 8.2. For wet locations provide appropriate trim

**D. Execution**

1. Obtain all required permits, pay all fees required, and provide all necessary temporary light and power during construction. All work shall be in strict compliance with governing codes and requirements.
2. Furnish the Owner with all required certificates upon completion of work. The entire system shall be properly grounded. Circuiting shall be provided as required to all switches, light fixtures, receptacles, appliances, equipment, etc. shown on the plans or specified herein.
3. Provide any and all outlets required by codes not shown on plans. Wire size to be minimum #12, larger where required, with ground. Number of outlets per circuit as required by Code (BOCA) (NEC). Separate equipment circuits as required by Code. Provide for all outlets and switches, etc. as called for on drawings. Gang devices as shown on drawings.

No.	DATE	ISSUE
1	2/28/22	ISSUED

PROJECT NAME:  
**SINGLE FAMILY HOUSE**

PROJECT ADDRESS:  
25 ORCHARD DRIVE  
ARMONK, NY



MICHAEL A. PICCIRILLO, AIA  
345 KEAR STREET  
YORKTOWN HEIGHTS, NEW YORK  
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**BASEMENT ELECTRICAL PLAN**

Scale 1/4" = 1'-0"	Date	Issue Date
Drawn by Author	E101	
Checked by Checker		
Project number		

**BASEMENT ELECTRICAL PLAN**  
1 1/4" = 1'-0"



**RECEPTACLE LOCATIONS:**

1. ALL ROOMS (EXCEPT NON WALK IN CLOSETS).
2. INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IS LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE.
3. AT COUNTERTOPS, INSTALLED SO THAT NO POINT ALONG THE WALL THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE.
4. PROVIDE 2 RECEPTACLES AT KITCHEN ISLAND
5. IN BATHROOM PROVIDE GFCI RECEPTACLE AT VANITIES. 2 OUTLETS AT (2) SINKS, ONE RECEPTACLE AT SINGLE SINK.
6. APPLIANCE RECEPTACLE SHALL BE WITHIN 6' OF APPLIANCE.
7. PROVIDE ONE EXTERIOR GFCI RECEPTACLE AT FRONT AND BACK OF HOUSE.
8. PROVIDE MIN. 1 RECEPTACLE IN HALLSWAY 10' OR MORE.
9. PROVIDE RECEPTACLE FOR APPLIANCES IN LAUNDRY ROOM.
10. PROVIDE MIN. 1 GFCI RECEPTACLE IN GARAGE.
11. PROVIDE MIN. 1 WALL SWITCHED LIGHTING OUTLET IN EACH HABITABLE ROOM AND BATHROOM, HALLWAY, STAIRWAY, GARAGE, STORAGE, AND UTILITY SPACES

**DIVISION 16 ELECTRICAL**

General Requirements: G.C. shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures and control at existing house, new addition and alterations. Subcontractor shall coordinate work with all other trades.

NOTE: PRIOR TO COMMENCING ANY WORK UNDER THIS SECTION THE GENERAL CONTRACTOR SHALL ARRANGE A SITE MEETING WITH THE ELECTRICAL SUB-CONTRACTOR, THE ARCHITECT AND THE OWNER. A COMPLETE WALK-THRU SHALL TAKE PLACE TO REVIEW SWITCHING, LIGHTING ETC. ON A ROOM-BY-ROOM BASIS. THIS SHALL BE DONE WELL ENOUGH IN ADVANCE OF THE WORK TO ALLOW FOR CHANGES TO MATERIAL ORDERS.

**A. SCOPE OF WORK:**

1. Provide 200-ampere underground service.
2. Intent is to provide a complete and proper system of electric wiring, conforming to the latest edition of the National Electric Code. At completion, furnish Certificate of Inspection of National Board of Fire Underwriters.
3. G.C. shall obtain all required permits, inspections, and underwriter approvals, certificates, etc., and all items necessary for the completion of the work specified under this Section.
4. **THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL SERVICE EQUIPMENT REQUIRED BY THE POWER COMPANY**, including, but not limited to, C.T. closets, meters, transformers, primary and secondary lines, etc.
5. Wire for and connect all power equipment including but not limited to the following: Lighting fixture, appliances, receptacles, HVAC equipment, exhaust fans, heat and smoke detectors, Etc.
6. Provide outlet boxes, receptacles, switches, plates, and connections to equipment and appliances herein specified.
7. Provide all disconnects and switches for generator.
8. Provide and install all recessed light fixtures as shown on drawing; trim kit color and style to be selected, submit catalog cut for approval.
9. Provide I.C. housings where required.
10. Provide proper housings, lenses, etc. at wet locations.
11. Provide dimmer units as indicated on electrical drawings. Dimmers shall be slide type w/preset.
12. Provide and install door chime at main entry foyer door, with push buttons at both main entry and Mudroom door.
13. Provide 4 exterior spot lights. Location to be determined in field with owner
14. Provide and install all automatic garage door openers.
  - 14.1. Openers shall be 3/4 HP, BELT DRIVE TYPE. Light shall turn on during garage door operation. Submit catalog cut to architect for approval. Provide exterior and internal keypad for each door.
15. Provide smoke detectors, heat detectors, and carbon monoxide detectors per code and as indicated on plans.
  - 15.1. The smoke detectors shall be a part of the electrical system and be hard wired (line voltage) and interconnected such that if one unit is activated, all units will sound.

**B. Submittals**

1. Submit 1 switch, dimmer, receptacle, and cover plate of each type to be used, to the Architect for approval prior to purchasing.

**C. MATERIALS**

1. Circuits shall be BX or Romex cable installed according to Underwriter's Code. Wire for maximum voltage drop of 2 percent, but no wire to be smaller than #12. Circuits designed for 15-ampere load but sufficient in number so that initial load shall not exceed 1000 Watts.
2. Smoke detectors, heat detectors, and carbon monoxide detectors shall be manufactured by Simplex or equal.
3. Switches - shall be paddle type, quiet type by leviton or equal, color to be selected.
4. Dimmers to be lutron divi or equal, color to be selected.
5. Receptacles - shall be leviton decora line or equal duplex grounded, color to be selected. height to be as shown or as directed by architect or shown on plans. special receptacles for equipment as shown on the drawings. exterior receptacles shall be waterproof type with gasketed spring covers equal to the leviton 6196.
6. Undercabinet lights shall be loox led 3006, manufactured by hafele.
7. Under counter power strip shall be wiremold plugmold, hardwired
8. **RECESSED LIGHTING FIXTURES** - shall be lightolier lytcaster led 4" dia. round recessed fixtures, 1000 lumens, 3500k, with clear trim.
  - 8.1. Provide sloped frame in kit for sloped ceilings.
  - 8.2. For wet locations provide appropriate trim

**D. Execution**

1. Obtain all required permits, pay all fees required, and provide all necessary temporary light and power during construction. All work shall be in strict compliance with governing codes and requirements.
2. Furnish the Owner with all required certificates upon completion of work. The entire system shall be properly grounded. Circuiting shall be provided as required to all switches, light fixtures, receptacles, appliances, equipment, etc. shown on the plans or specified herein.
3. Provide any and all outlets required by codes not shown on plans. Wire size to be minimum #12, larger where required, with ground. Number of outlets per circuit as required by Code (BOCA) (NEC). Separate equipment circuits as required by Code. Provide for all outlets and switches, etc. as called for on drawings. Gang devices as shown on drawings.

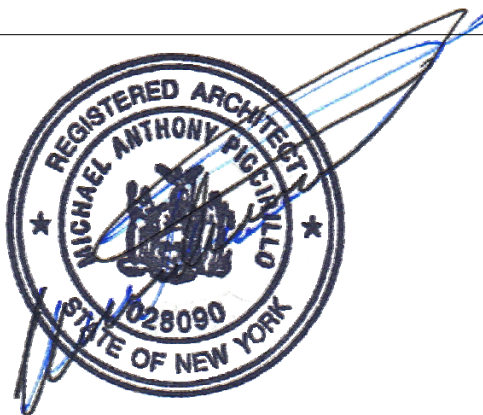


NOTE:  
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No.	DATE	ISSUE
1	2/28/22	ISSUED

PROJECT NAME:  
**SINGLE FAMILY HOUSE**

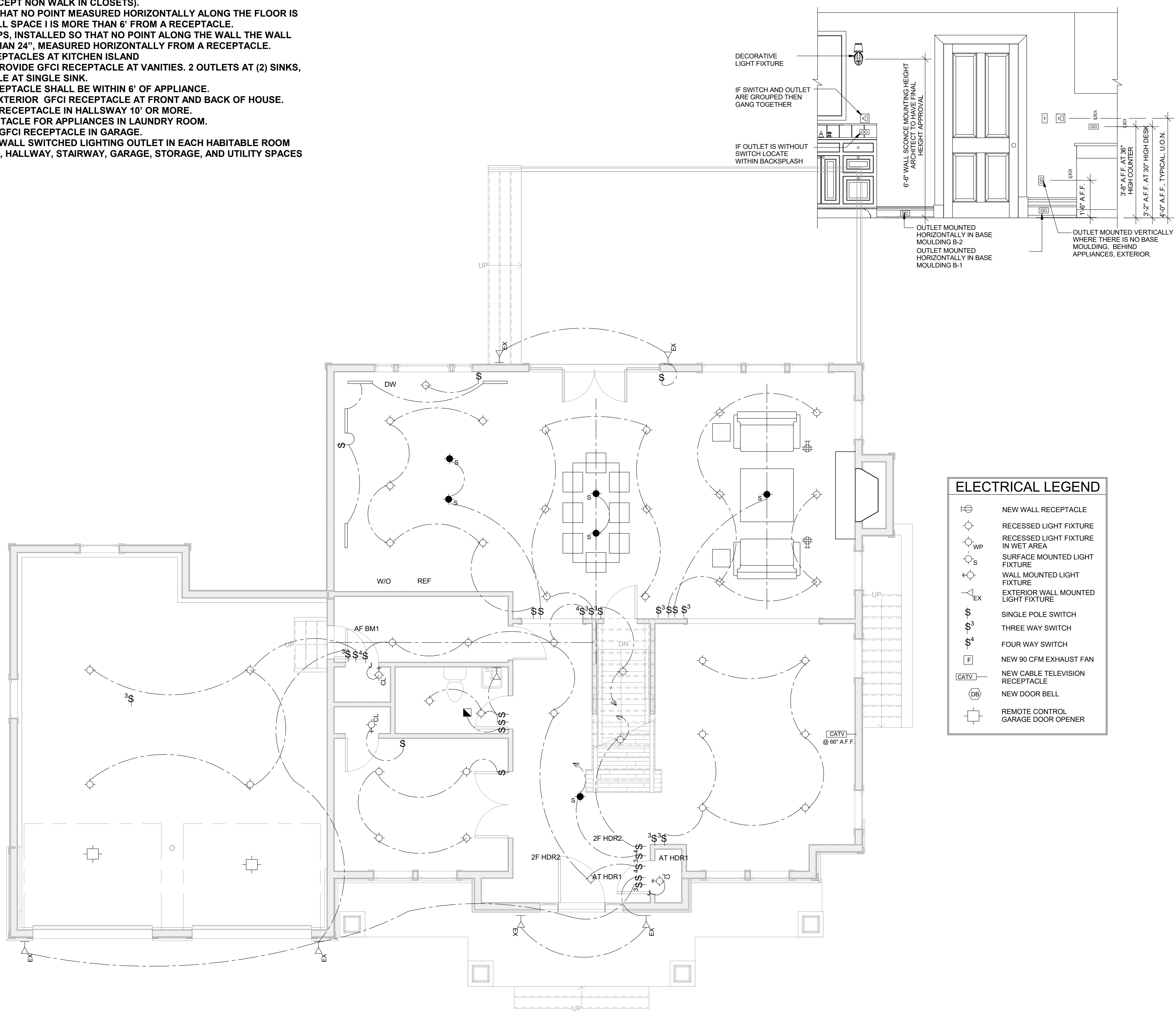
PROJECT ADDRESS:  
25 ORCHARD DRIVE  
ARMONK, NY



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**1ST FLOOR ELECTRICAL PLAN**

Scale 1/4" = 1'-0"	Date	Issue Date
Drawn by Author	E102	
Checked by Checker		
Project number		



**ELECTRICAL LEGEND**

	NEW WALL RECEPTACLE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE IN WET AREA
	SURFACE MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	NEW 90 CFM EXHAUST FAN
	NEW CABLE TELEVISION RECEPTACLE
	NEW DOOR BELL
	REMOTE CONTROL GARAGE DOOR OPENER

**FIRST FLOOR ELECTRICAL PLAN**  
1/4" = 1'-0"



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No.	DATE	ISSUE
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**SINGLE FAMILY HOUSE**

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ARMONK, NY



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**SECOND FLOOR ELECTRICAL PLAN**

Scale 1/4" = 1'-0"	Date Issue Date
Drawn by Author	<b>E103</b>
Checked by Checker	
Project number	

**DIVISION 16 ELECTRICAL**

General Requirements: G.C. shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures and control at existing house, new addition and alterations. Subcontractor shall coordinate work with all other trades.

NOTE: PRIOR TO COMMENCING ANY WORK UNDER THIS SECTION THE GENERAL CONTRACTOR SHALL ARRANGE A SITE MEETING WITH THE ELECTRICAL SUB-CONTRACTOR, THE ARCHITECT AND THE OWNER. A COMPLETE WALK-THRU SHALL TAKE PLACE TO REVIEW SWITCHING, LIGHTING ETC. ON A ROOM-BY-ROOM BASIS. THIS SHALL BE DONE WELL ENOUGH IN ADVANCE OF THE WORK TO ALLOW FOR CHANGES TO MATERIAL ORDERS.

**A. SCOPE OF WORK:**

1. Provide 200-ampere underground service.
2. Intent is to provide a complete and proper system of electric wiring, conforming to the latest edition of the National Electric Code. At completion, furnish Certificate of Inspection of National Board of Fire Underwriters.
3. G.C. shall obtain all required permits, inspections, and underwriter approvals, certificates, etc., and all items necessary for the completion of the work specified under this Section.
4. **THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL SERVICE EQUIPMENT REQUIRED BY THE POWER COMPANY**, but not limited to, C.T. closets, meters, transformers, primary and secondary lines, etc.
5. Wire for and connect all power equipment including but not limited to the following: Lighting fixture, appliances, receptacles, HVAC equipment, exhaust fans, heat and smoke detectors, Etc.
6. Provide outlet boxes, receptacles, switches, plates, and connections to equipment and appliances herein specified.
7. Provide all disconnects and switches for generator.
8. Provide and install all recessed light fixtures as shown on drawing; trim kit color and style to be selected, submit catalog cut for approval.
9. Provide I.C. housings where required.
10. Provide proper housings, lenses, etc. at wet locations.
11. Provide dimmer units as indicated on electrical drawings. Dimmers shall be slide type w/preset.
12. Provide and install door chime at main entry foyer door, with push buttons at both main entry and Mudroom door.
13. Provide 4 exterior spot lights. Location to be determined in field with owner
14. Provide and install all automatic garage door openers.
  - 14.1. Openers shall be 3/4 HP, BELT DRIVE TYPE. Light shall turn on during garage door operation. Submit catalog cut to architect for approval. Provide exterior and internal keypad for each door.
15. Provide smoke detectors, heat detectors, and carbon monoxide detectors per code and as indicated on plans.
  - 15.1. The smoke detectors shall be a part of the electrical system and be hard wired (line voltage) and interconnected such that if one unit is activated, all units will sound.

**B. Submittals**

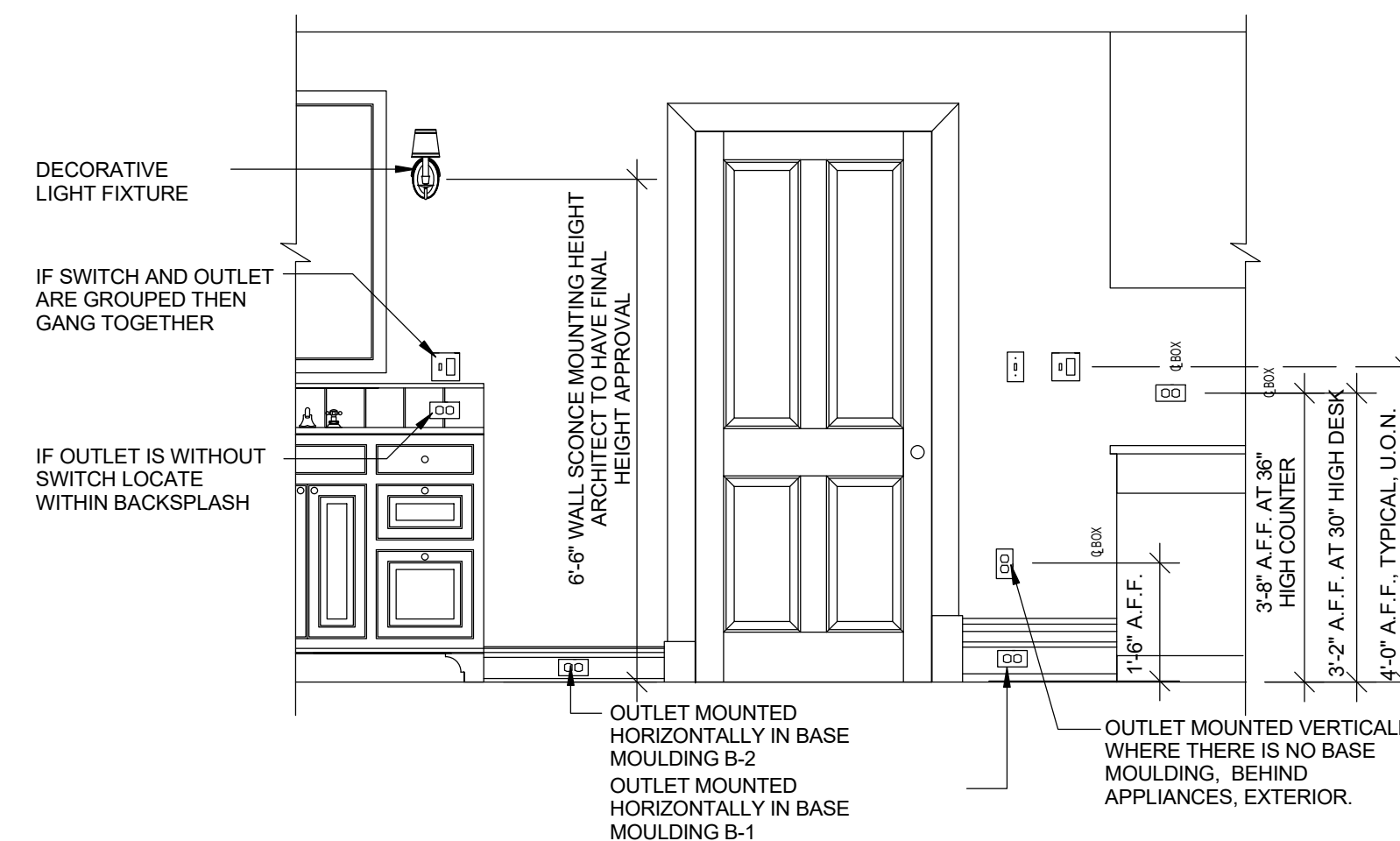
1. Submit 1 switch, dimmer, receptacle, and cover plate of each type to be used, to the Architect for approval prior to purchasing.

**C. MATERIALS**

1. Circuits shall be BX or Romex cable installed according to Underwriter's Code. Wire for maximum voltage drop of 2 percent, but no wire to be smaller than #12. Circuits designed for 15-ampere load but sufficient in number so that initial load shall not exceed 1000 Watts.
2. Smoke detectors, heat detectors, and carbon monoxide detectors shall be manufactured by Simplex or equal.
3. Switches - shall be paddle type, quiet type by leviton or equal, color to be selected.
4. Dimmers to be lutron divi or equal, color to be selected.
5. Receptacles - shall be leviton decora line or equal duplex grounded, color to be selected. height to be as shown or as directed by architect or shown on plans. special receptacles for equipment as shown on the drawings. exterior receptacles shall be waterproof type with gasketed spring covers equal to the leviton 6196.
6. Undercabinet lights shall be loox led 3006, manufactured by hafele.
7. Under counter power strip shall be wiremold plugmold, hardwired
8. **RECESSED LIGHTING FIXTURES** - shall be lightolier lycaster led 4" dia. round recessed fixtures, 1000 lumens, 3500k, with clear trim.
  - 8.1. Provide sloped frame in kit for sloped ceilings.
  - 8.2. For wet locations provide appropriate trim

**D. Execution**

1. Obtain all required permits, pay all fees required, and provide all necessary temporary light and power during construction. All work shall be in strict compliance with governing codes and requirements.
2. Furnish the Owner with all required certificates upon completion of work. The entire system shall be properly grounded. Circuiting shall be provided as required to all switches, light fixtures, receptacles, appliances, equipment, etc. shown on the plans or specified herein.
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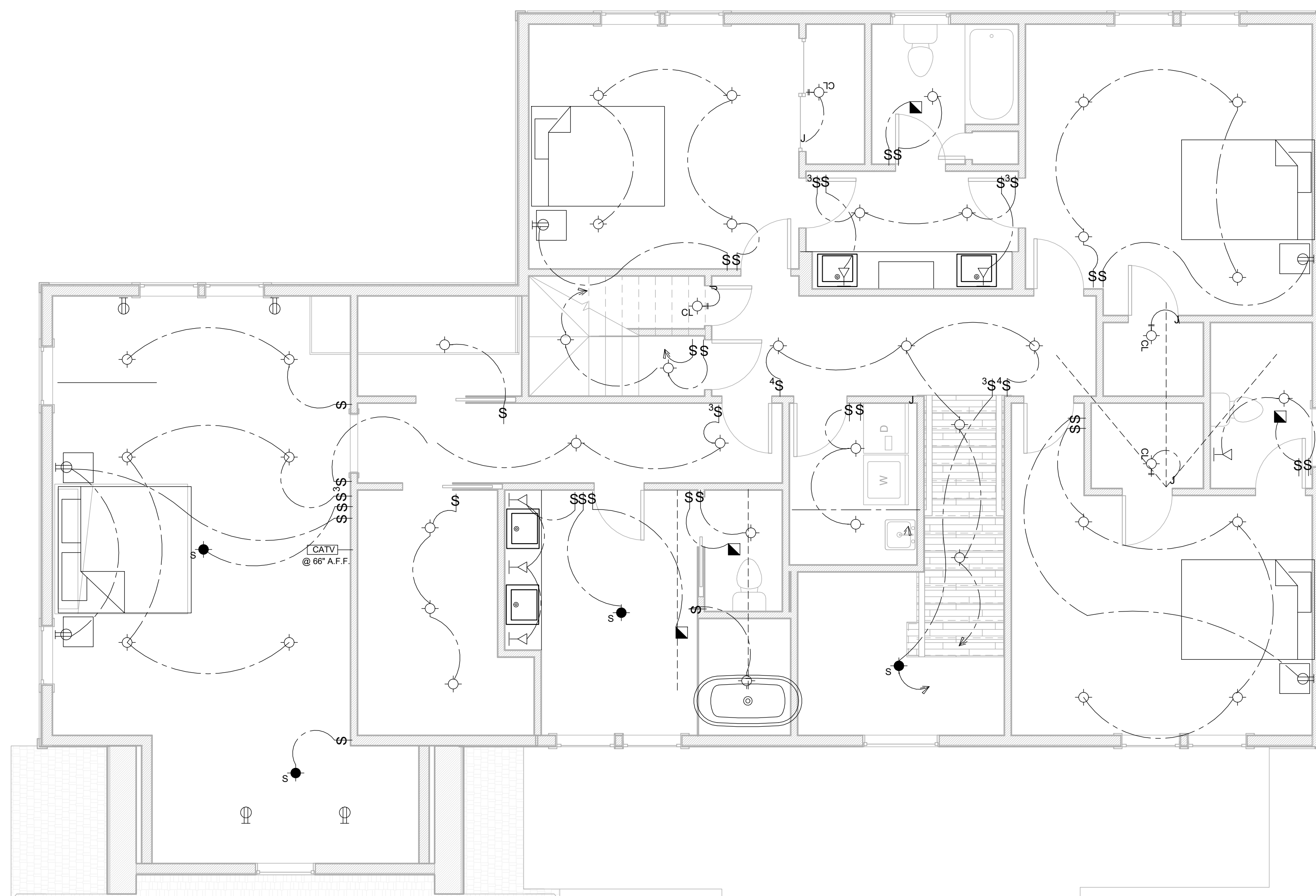


**RECEPTACLE LOCATIONS:**

1. ALL ROOMS (EXCEPT NON WALK IN CLOSETS).
2. INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IS LINE IN ANY WALL SPACE 1 IS MORE THAN 6' FROM A RECEPTACLE.
3. AT COUNTERTOPS, INSTALLED SO THAT NO POINT ALONG THE WALL THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE.
4. PROVIDE 2 RECEPTACLES AT KITCHEN ISLAND
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**ELECTRICAL LEGEND**

	NEW WALL RECEPTACLE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE IN WET AREA
	SURFACE MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	NEW 90 CFM EXHAUST FAN
	NEW CABLE TELEVISION RECEPTACLE
	NEW DOOR BELL
	REMOTE CONTROL GARAGE DOOR OPENER



**SECOND FLOOR ELECTRICAL PLAN**  
1/4" = 1'-0"



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No.	DATE	ISSUE
1	2/28/22	ISSUED

PROJECT NAME:  
**SINGLE FAMILY HOUSE**

PROJECT ADDRESS:  
**25 ORCHARD DRIVE  
ARMONK, NY**



**MICHAEL A. PICCIRILLO, AIA**  
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## ATTIC ELECTRICAL PLAN

Scale 1/4" = 1'-0"	Date	Issue Date
Drawn by Author	<b>E104</b>	
Checked by Checker		
Project number		

### DIVISION 16 ELECTRICAL

General Requirements: G.C. shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures and control at existing house, new addition and alterations. Subcontractor shall coordinate work with all other trades.  
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#### B. Submittals

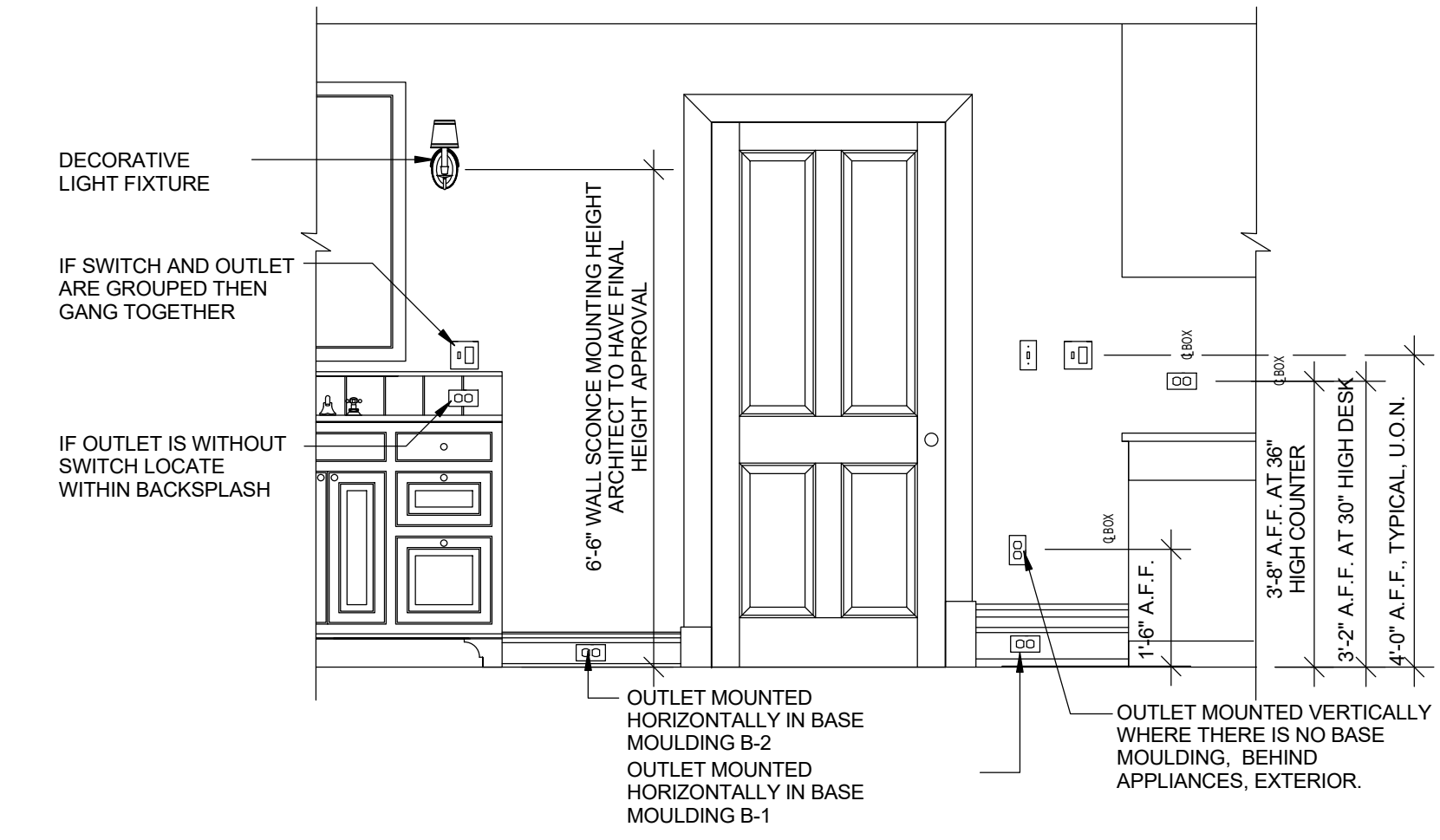
1. Submit 1 switch, dimmer, receptacle, and cover plate of each type to be used, to the Architect for approval prior to purchasing.

#### C. MATERIALS

1. Circuits shall be BX or Romex cable installed according to Underwriter's Code. Wire for maximum voltage drop of 2 percent, but no wire to be smaller than #12. Circuits designed for 15-ampere load but sufficient in number so that initial load shall not exceed 1000 Watts.
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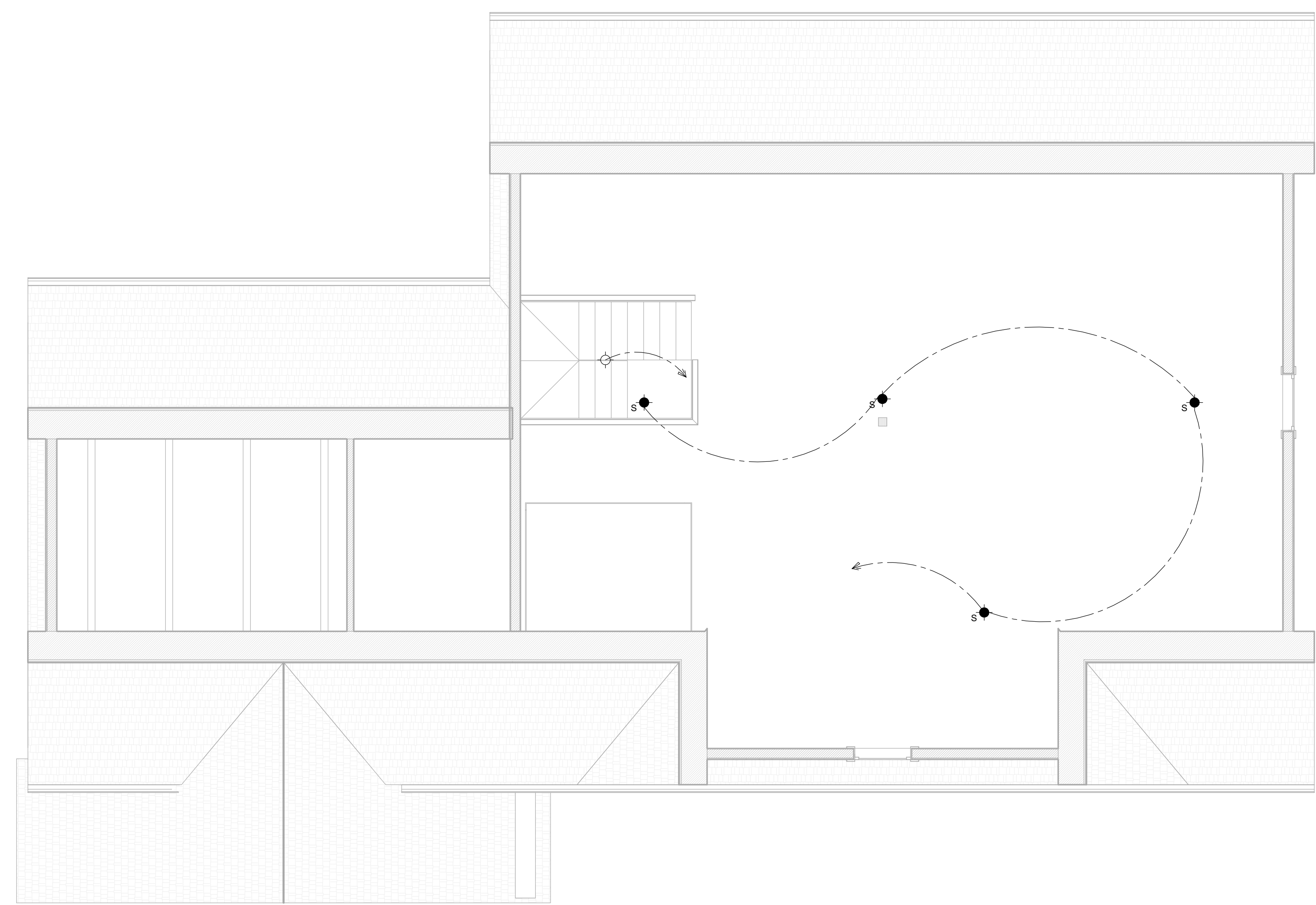


### ELECTRICAL LEGEND

	NEW WALL RECEPTACLE
	RECESSED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE IN WET AREA
	SURFACE MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	NEW 90 CFM EXHAUST FAN
	NEW CABLE TELEVISION RECEPTACLE
	NEW DOOR BELL
	REMOTE CONTROL GARAGE DOOR OPENER

### RECEPTACLE LOCATIONS:

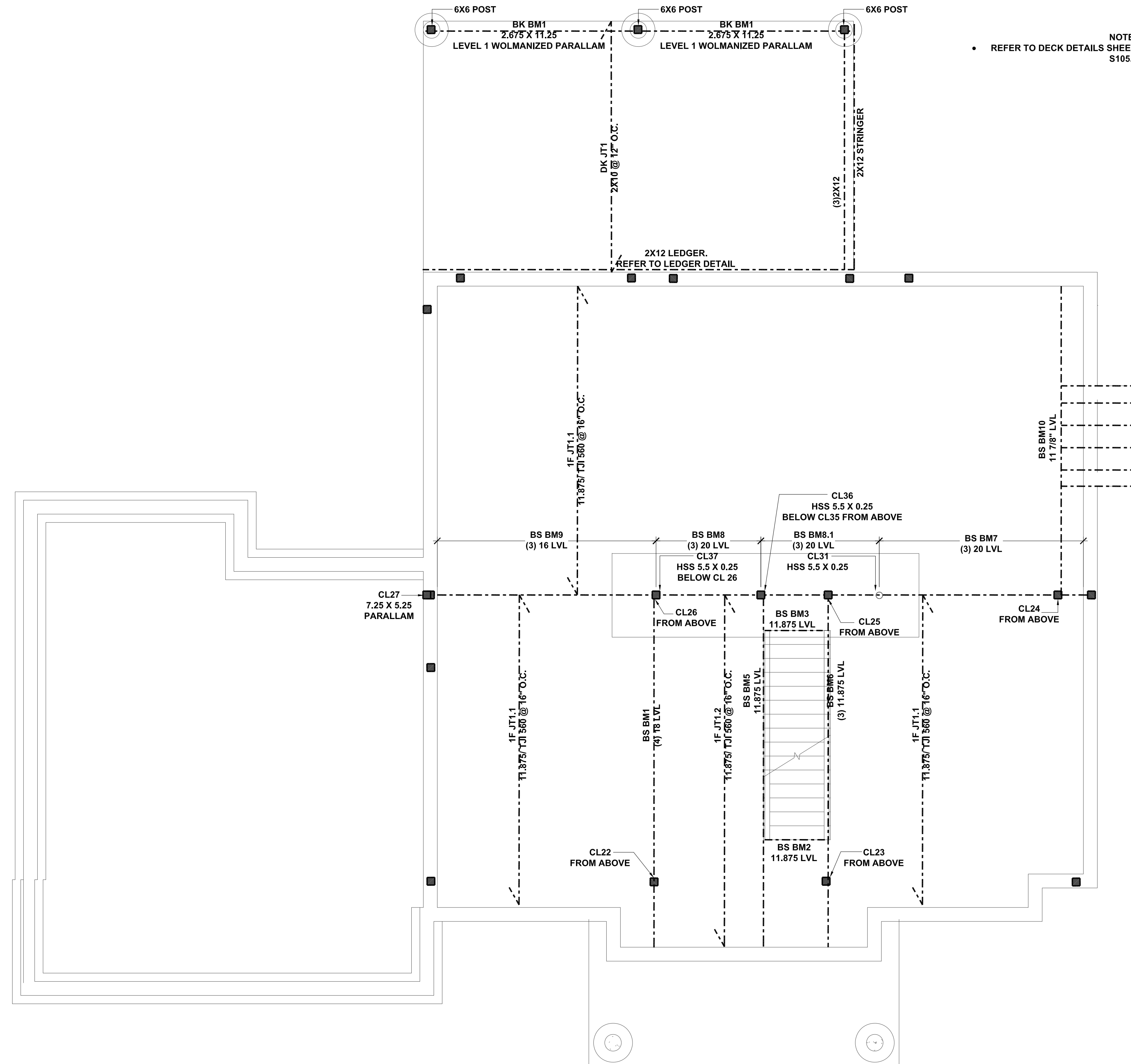
1. ALL ROOMS (EXCEPT NON WALK IN CLOSETS).
2. INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IS LINE IN ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE.
3. AT COUNTERTOPS, INSTALLED SO THAT NO POINT ALONG THE WALL THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE.
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11. PROVIDE MIN. 1 WALL SWITCHED LIGHTING OUTLET IN EACH HABITABLE ROOM AND BATHROOM, HALLWAY, STAIRWAY, GARAGE, STORAGE, AND UTILITY SPACES



**ATTIC FLOOR  
ELECTRICAL PLAN**  
1/4" = 1'-0"



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**A** FIRST FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

1. ALL MULTI-MEMBER BEAMS SHALL FASTENED TOGETHER WITH FLATLOK STRUCTURAL WOOD SCREW.
2. ALL MULTI MEMBER STUD POSTS SHALL BE NAILED TOGETHER.
3. REFER TO DECK DETAILS FOR DECK AND PORCH LEDGER ATTACHMENT TO HOUSE.
4. ALL FRAMING MEMBERS SHALL BE CONNECTED WITH METAL CONNECTORS, MANUFACTURED BY SIMPSON.

No.	DATE:	ISSUE:
1	6/16/21	ISSUED

PROJECT NAME:  
**Project Name**

PROJECT ADDRESS:  
**25 ORCHARD DRIVE  
ARMONK, NY**

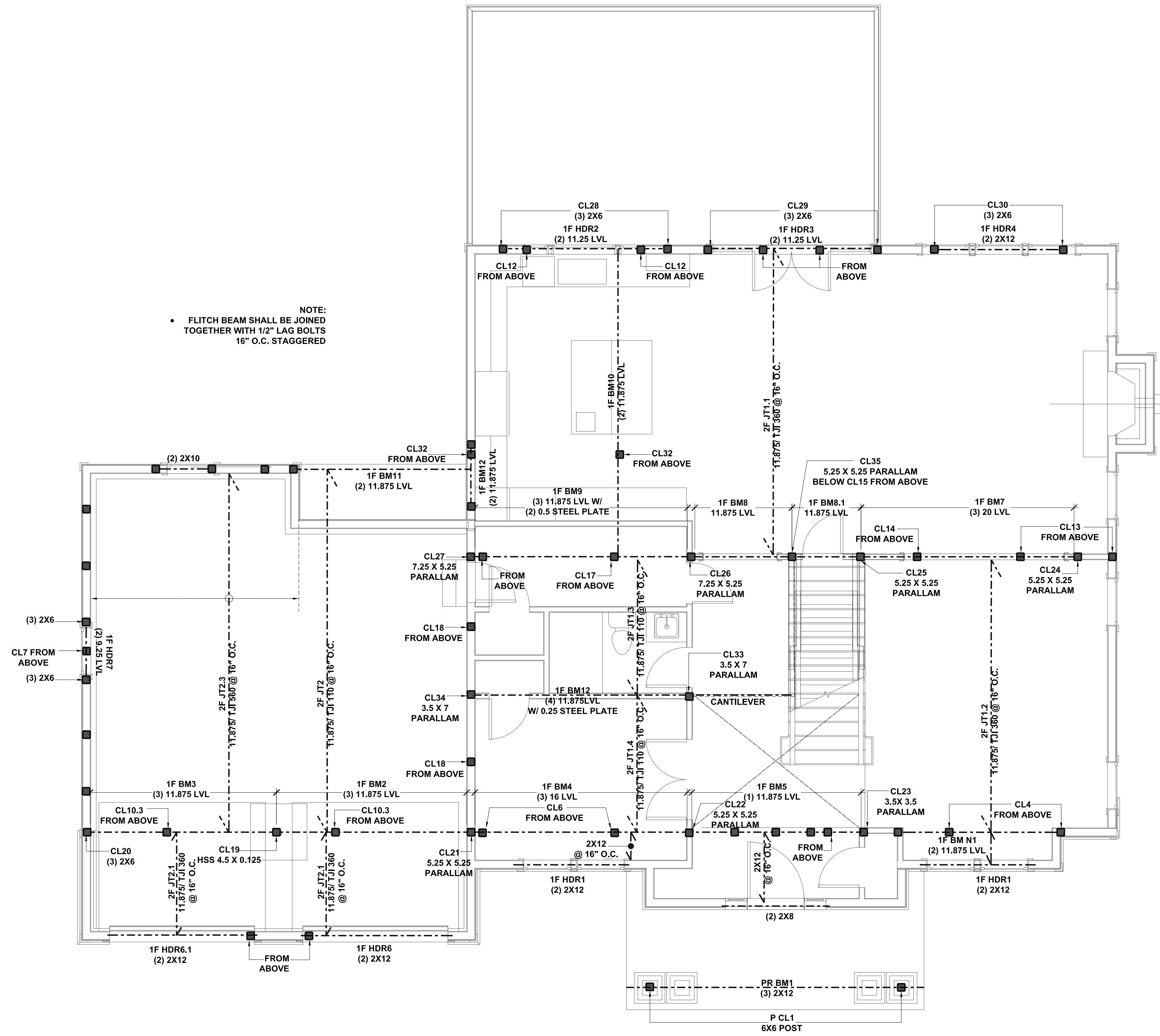


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**FRAMING  
PLANS**



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PROJECT ADDRESS:  
25 ORCHARD DRIVE  
ARMONK, NY



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FRAMING  
PLANS

**B SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

1. ALL MULTI-MEMBER BEAMS SHALL FASTENED TOGETHER WITH FLATLOK STRUCTURAL WOOD SCREW.
2. ALL MULTI MEMBER STUD POSTS SHALL BE NAILED TOGETHER.
3. REFER TO DECK DETAILS FOR DECK AND PORCH LEDGER ATTACHMENT TO HOUSE.
4. ALL FRAMING MEMBERS SHALL BE CONNECTED WITH METAL CONNECTORS, MANUFACTURED BY SIMPSON.



NOTE:  
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.  
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No.	DATE:	ISSUE:
1	6/16/21	ISSUED

PROJECT NAME:

Project Name

PROJECT ADDRESS:

25 ORCHARD DRIVE  
ARMONK, NY



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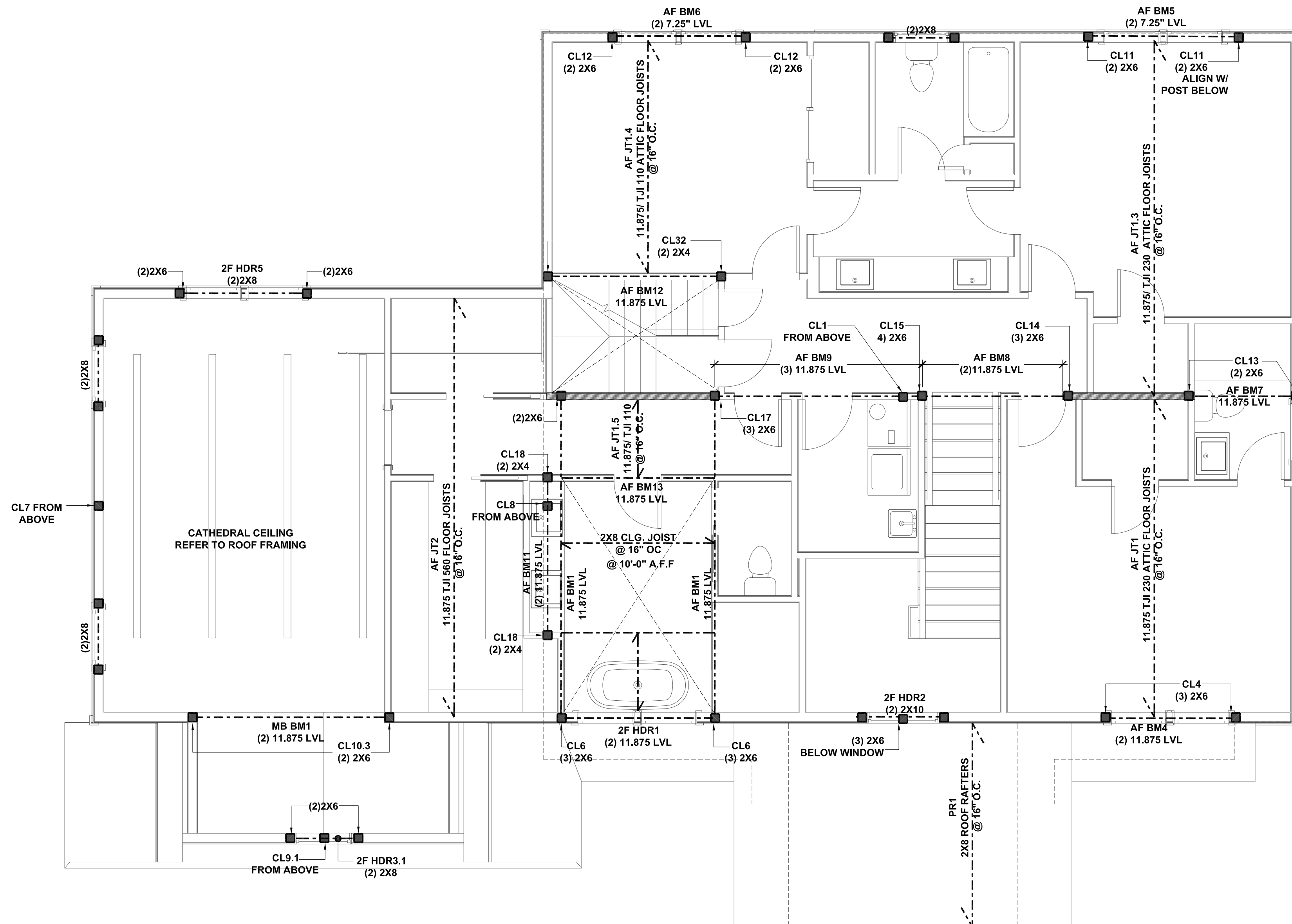
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FRAMING  
PLANS

S102

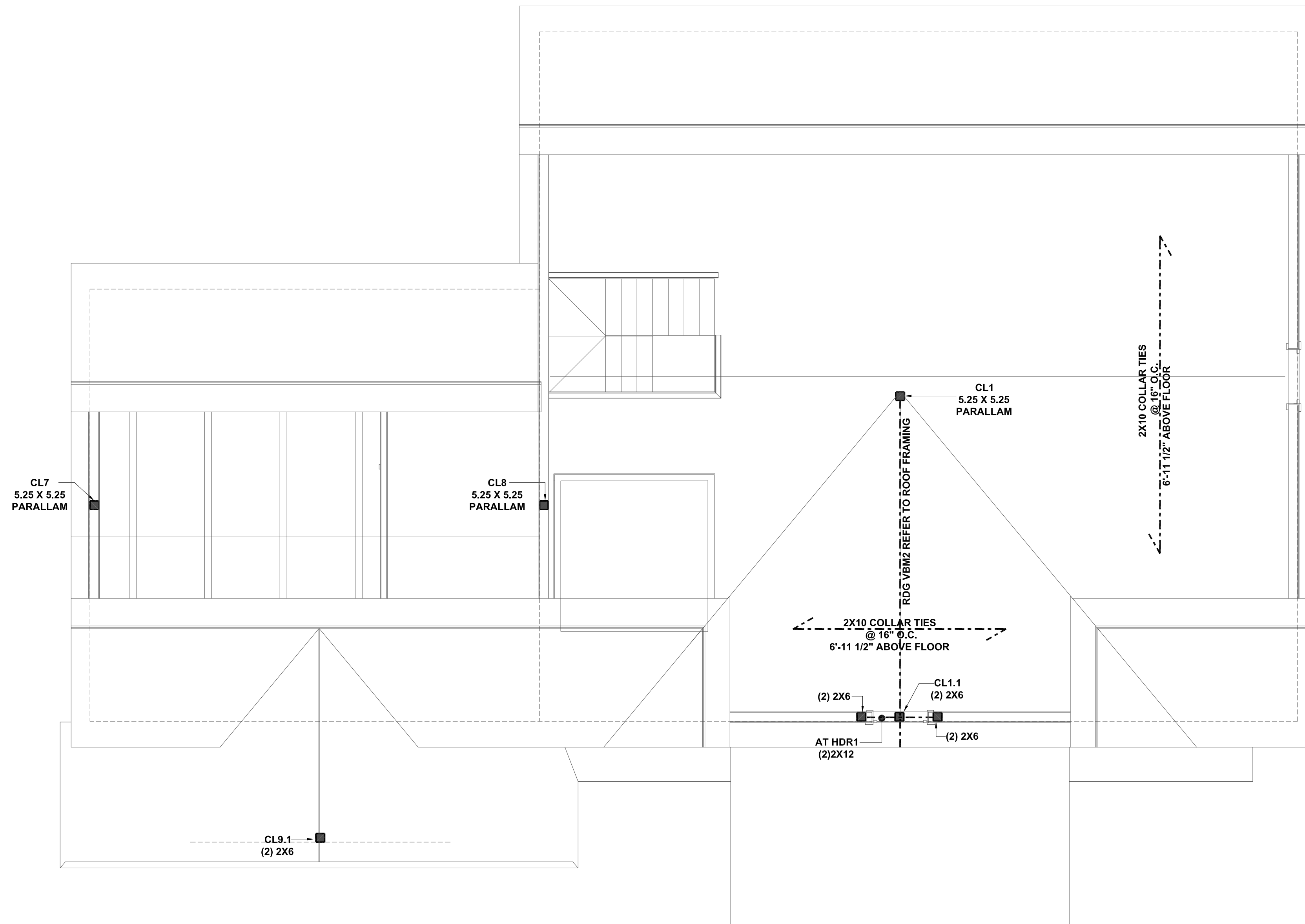


**C ATTIC FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

1. ALL MULTI-MEMBER BEAMS SHALL FASTENED TOGETHER WITH FLATLOK STRUCTURAL WOOD SCREW.
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**D** ATTIC CEILING FRAMING PLAN  
SCALE: 1/4" = 1'-0"

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No.	DATE:	ISSUE:
1	6/16/21	ISSUED

PROJECT NAME:  
**Project Name**

PROJECT ADDRESS:  
**25 ORCHARD DRIVE  
ARMONK, NY**



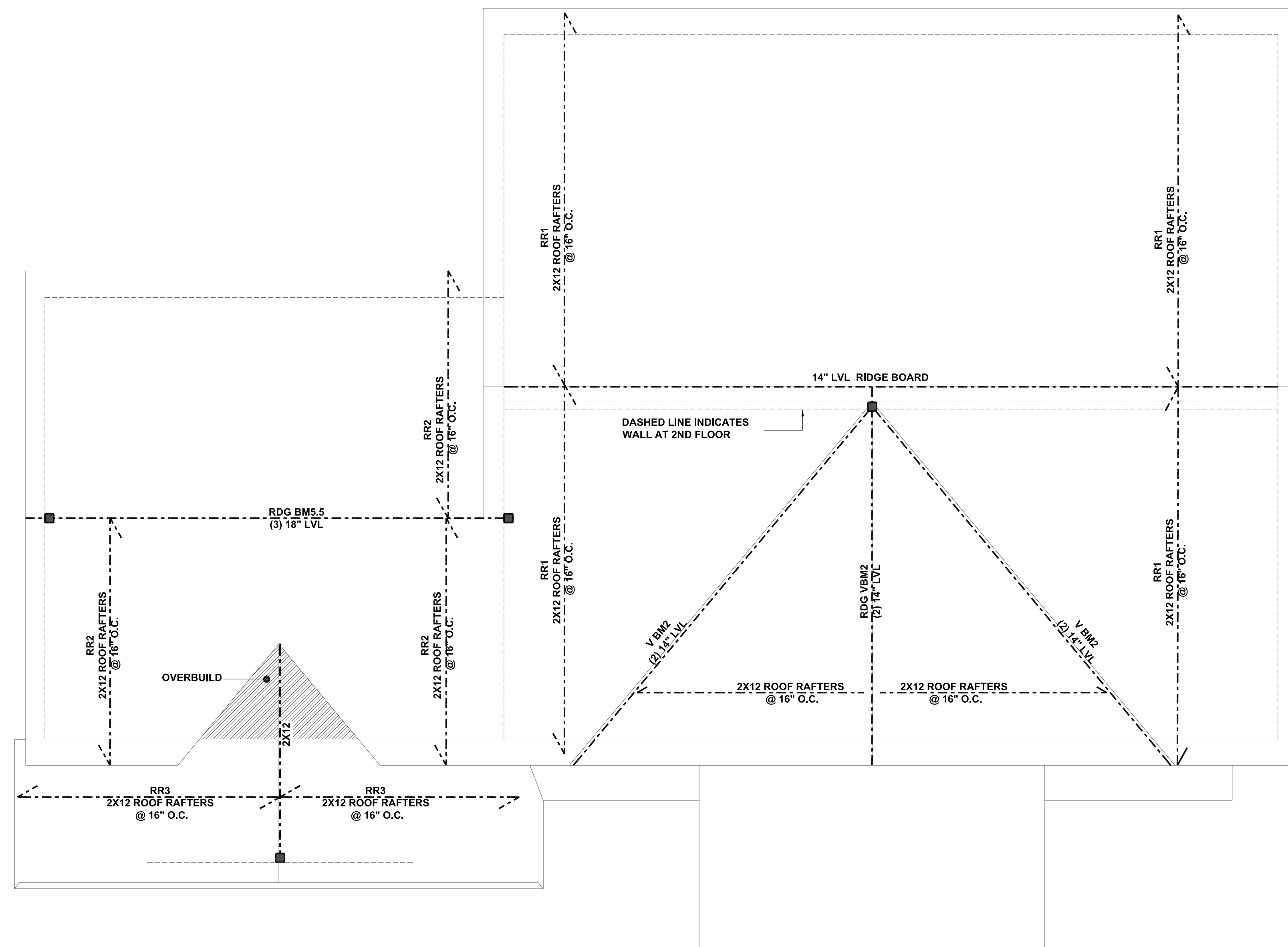
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**FRAMING  
PLANS**

**S103**



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**E ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

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No.	DATE:	ISSUE:
1	6/16/21	ISSUED

PROJECT NAME:  
**Project Name**

PROJECT ADDRESS:  
**25 ORCHARD DRIVE  
ARMONK, NY**



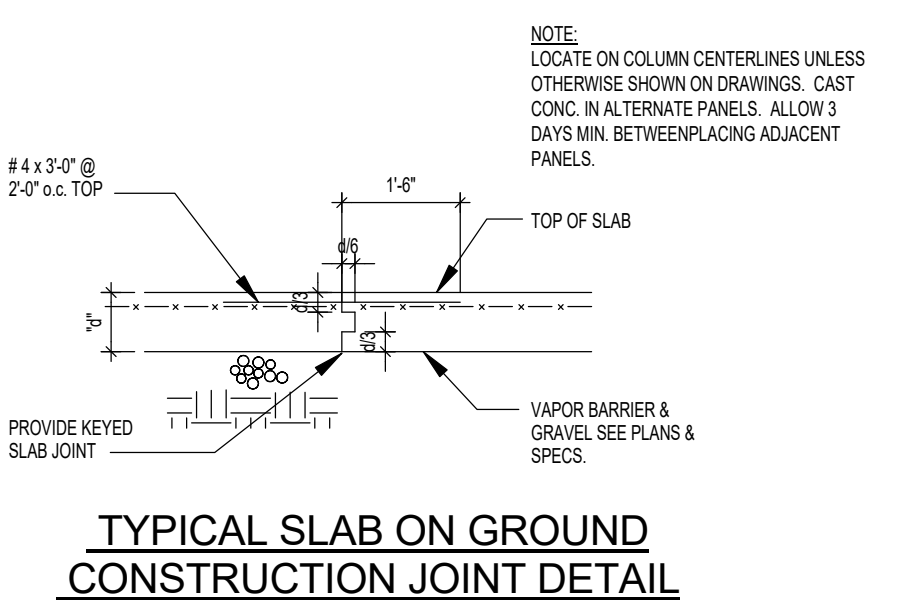
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**FRAMING  
PLANS**

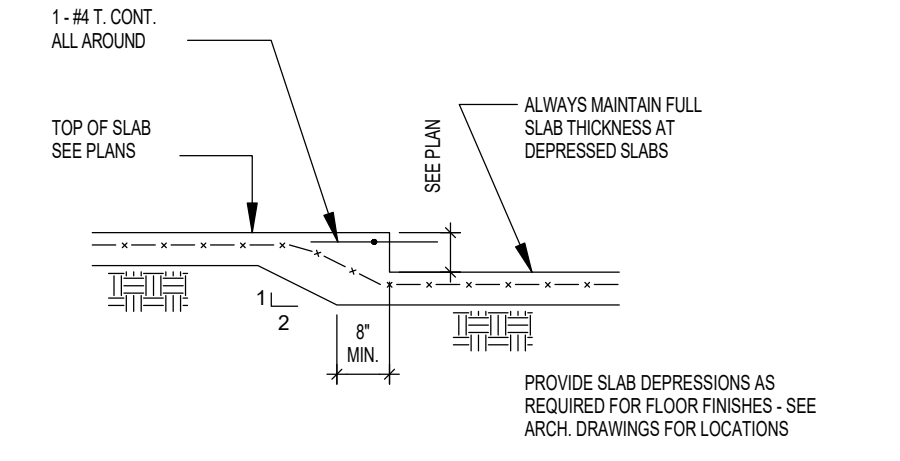
**S104**



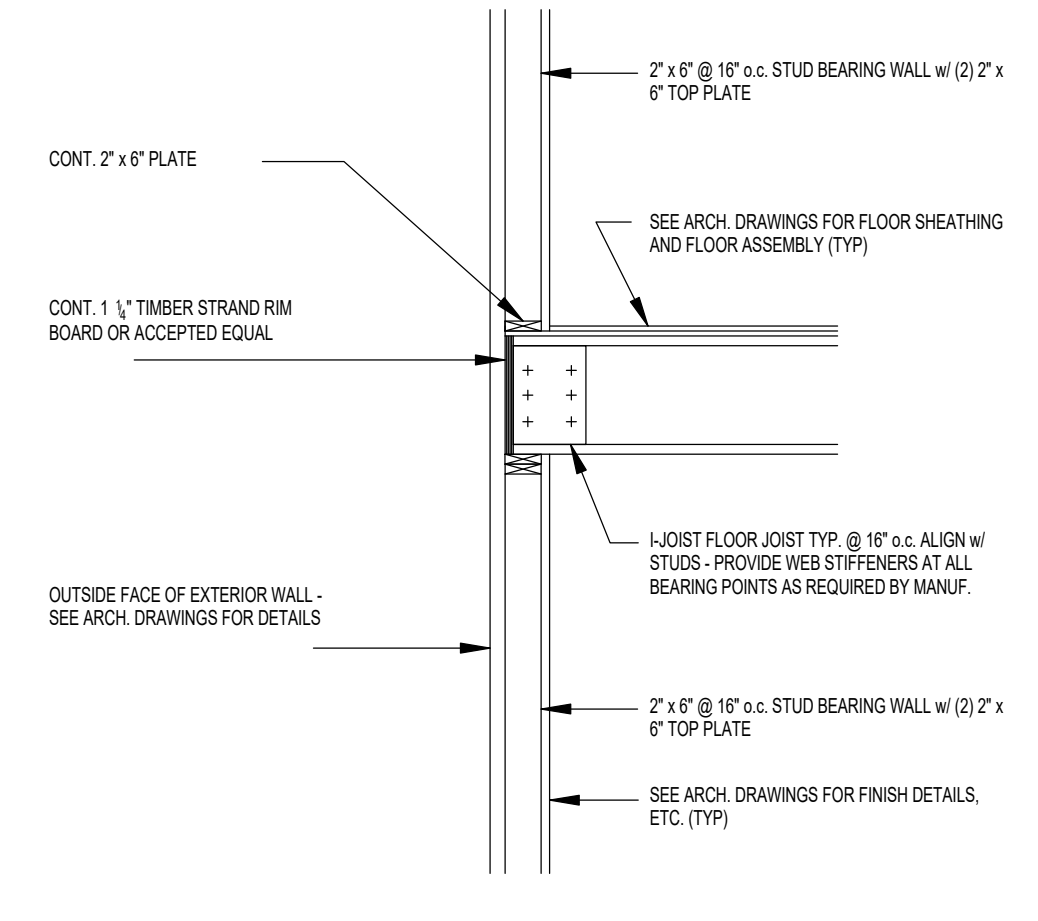
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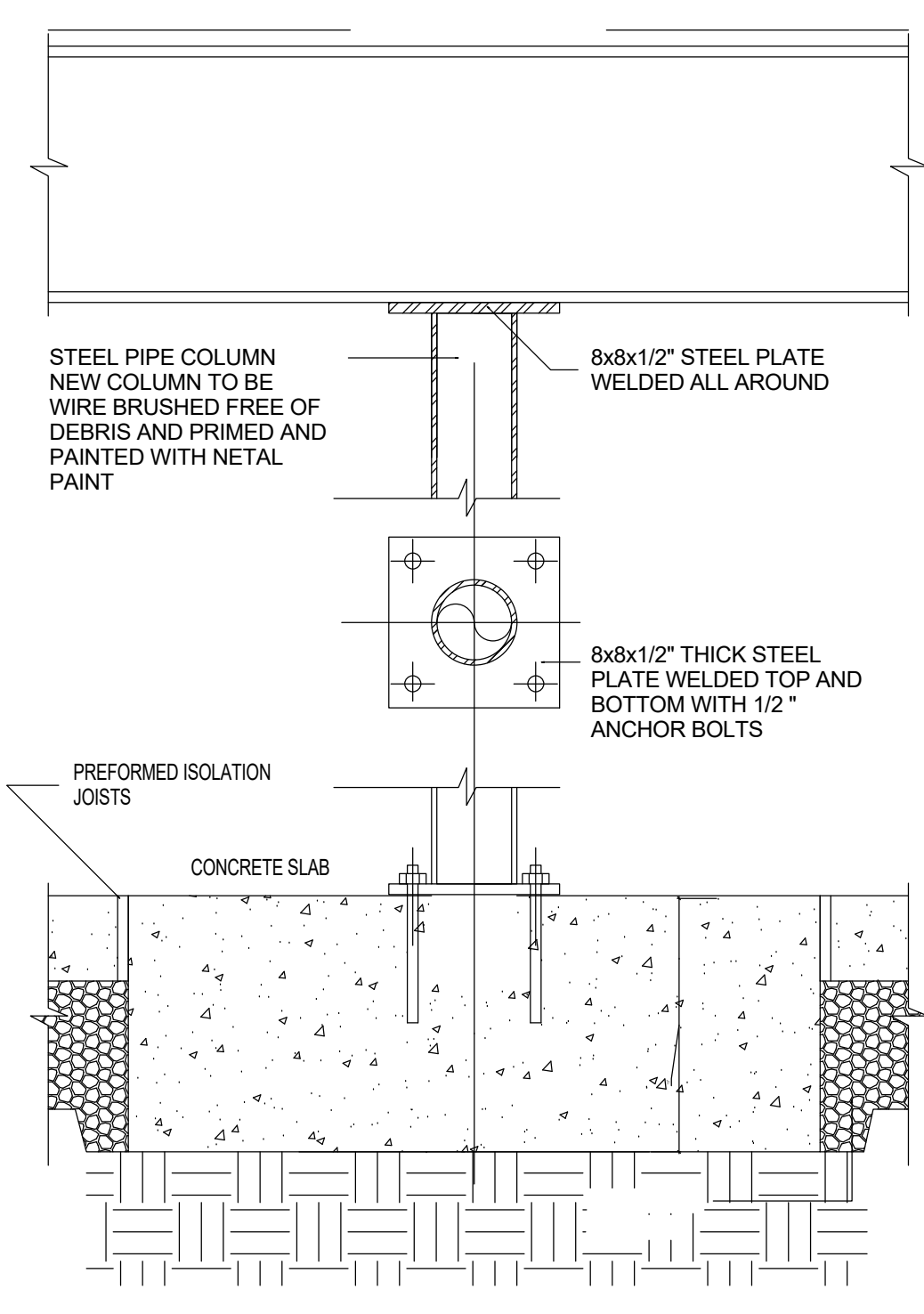
**TYPICAL SLAB ON GROUND CONSTRUCTION JOINT DETAIL**



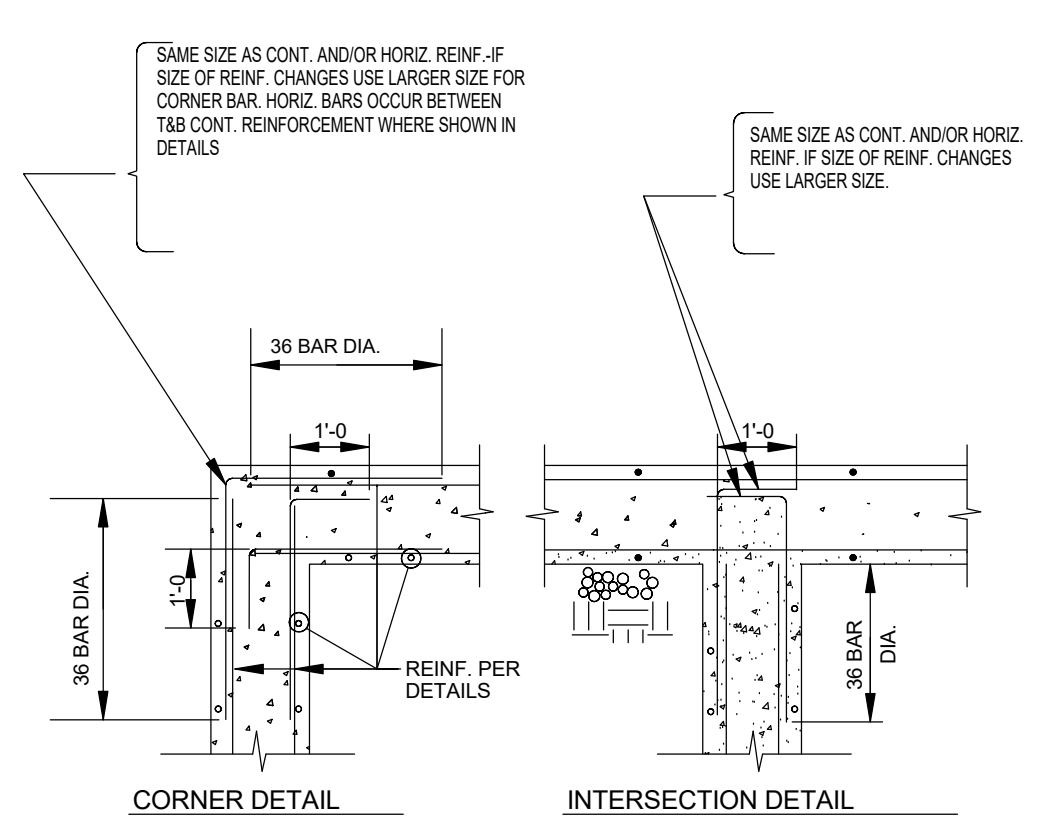
**TYPICAL SLAB DEPRESSION SLAB ON GROUND**



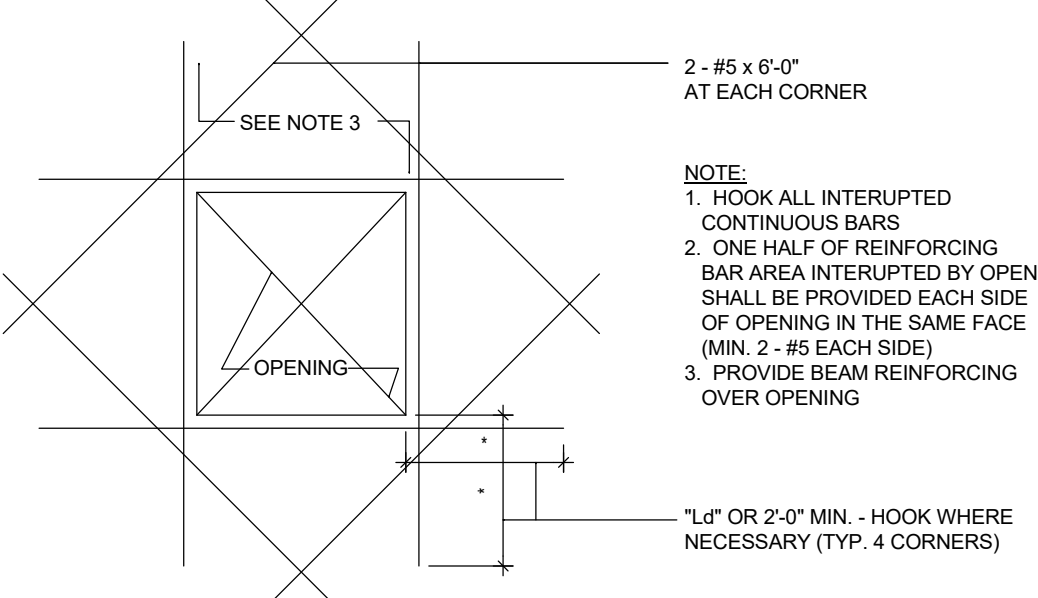
**TYPICAL EXTERIOR BEARING WALL DETAIL AT FLOOR**



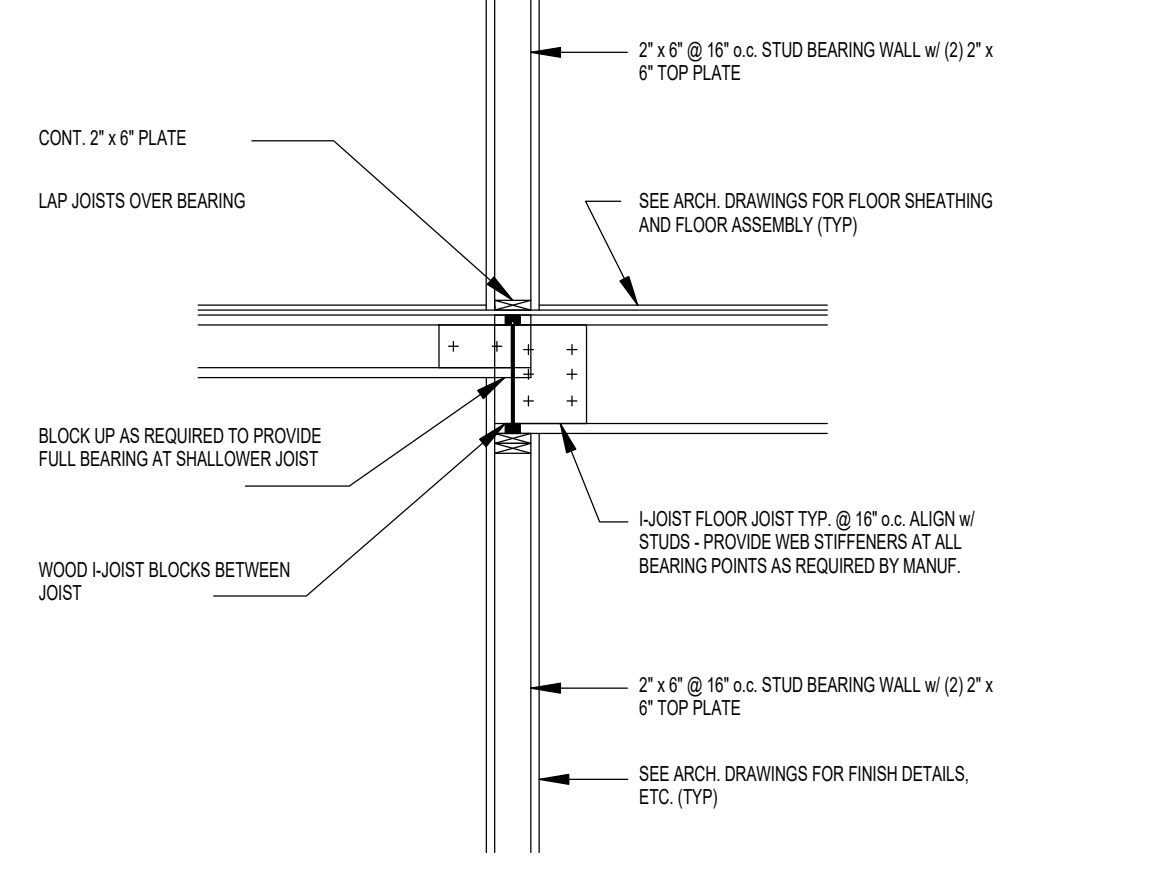
**PIPE COLUMN DETAIL**



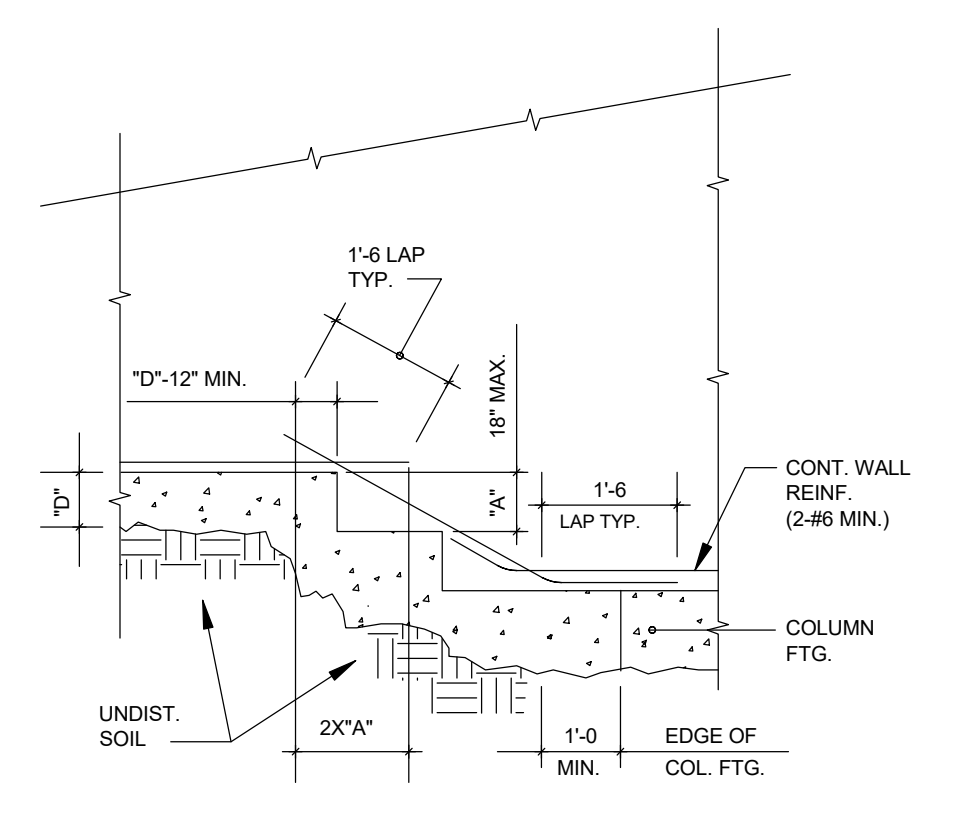
**REINFORCEMENT LAPPING DETAILS**



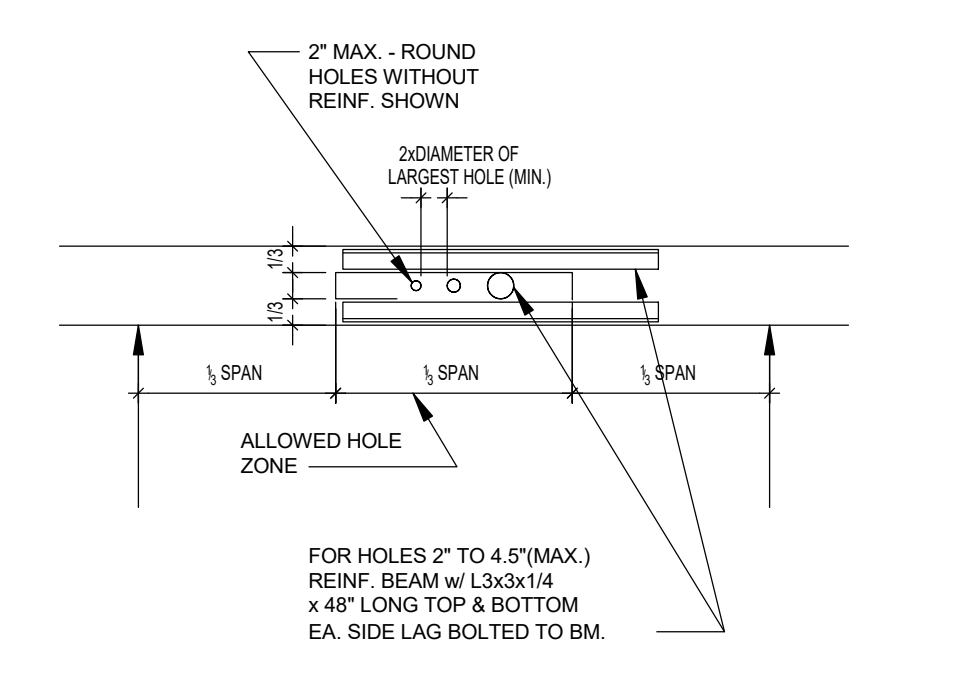
**TYPICAL DETAIL OF OPENING IN CONCRETE WALLS DETAIL**



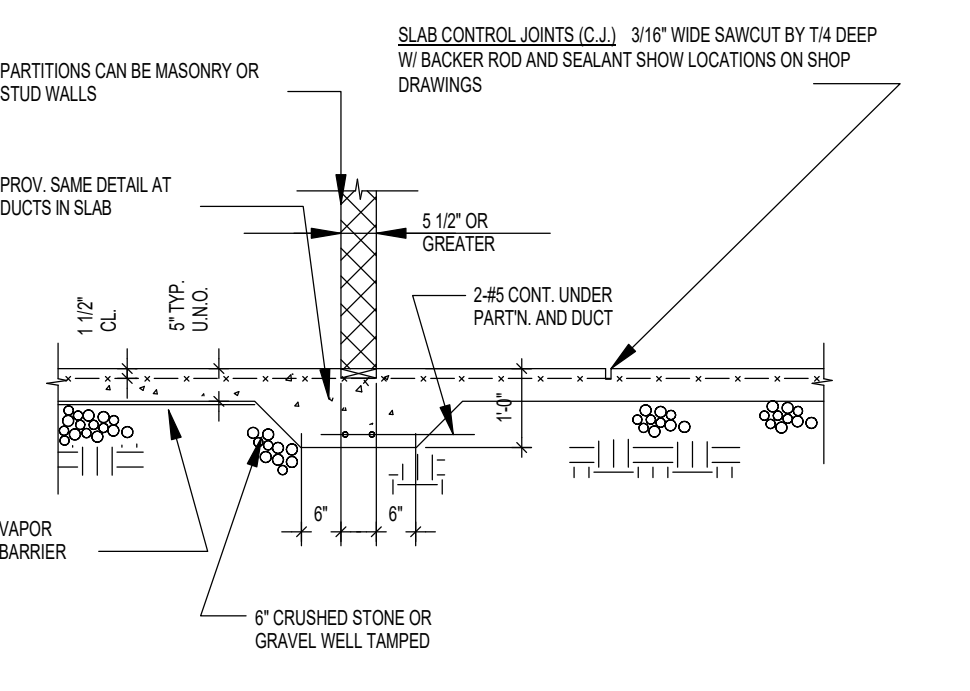
**TYPICAL INTERIOR BEARING WALL DETAIL AT FLOOR**



**STEPPED FOOTING DETAIL**



**ALLOWABLE HOLES IN BEAMS**

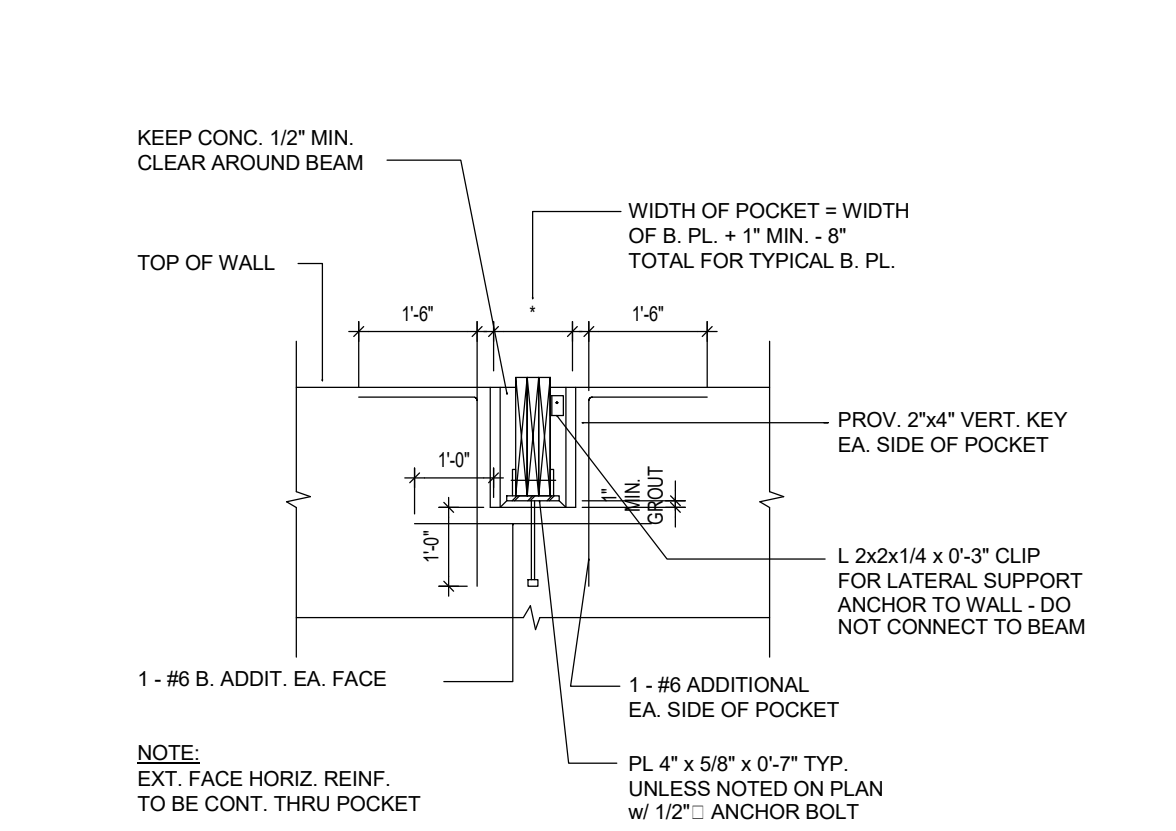


**SLAB ON GROUND DETAIL**

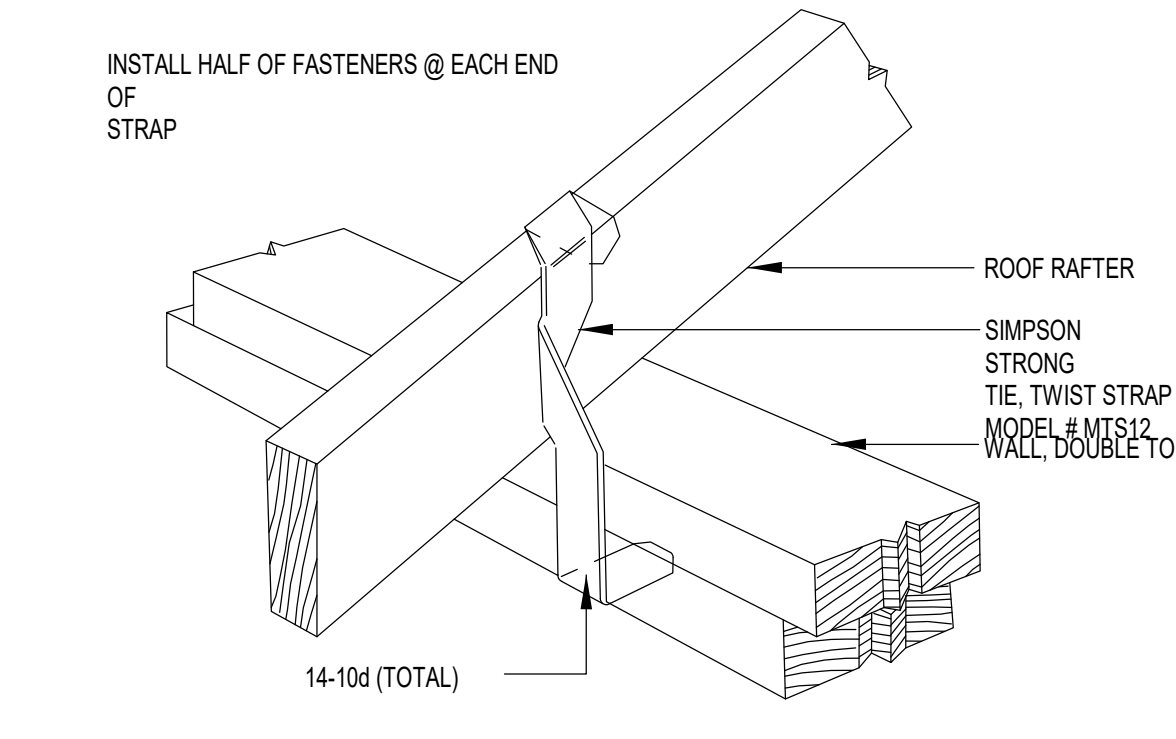
- FOUNDATIONS**
- Foundations have been designed to bear on undisturbed medium dense to very dense native sand soils. Assumed maximum bearing values are 4,000 pounds per square foot.
  - Should it be necessary to lower footings, elevations of adjacent footings shall be adjusted to limit stepping to 1 vertical to 2 horizontal. Place lowest footing first. See "STEPPED FOOTING DETAIL."
  - Keep footing bottoms well drained until footings are in place. Pump as required.
  - Do not backfill against retaining walls unless walls are shored or until concrete has attained specified 28 day strength.
  - Construction joints in walls shall be no more than 50 feet apart and no less than 4 feet from any pier. Reinforcement shall be continuous through construction joints. Do not use horizontal construction joints. See "CONCRETE" note #6.
  - Slabs on ground shall be placed in alternative strip fashion to minimize shrinkage. Maximum place dimensions shall not exceed 20 feet.
  - Provide all necessary shoring, sheeting and bracing for deep footing excavations.
  - All retaining walls shall have 12" of free-draining granular backfill behind wall full height. Provide control joints in retaining walls evenly spaced no more than 30 feet o.c.
  - See "CONCRETE" notes for additional requirements.

- CONCRETE**
- All concrete design and placement shall comply with the latest edition of the ACI 301, "Specification for Structural Concrete for Buildings". Hot weather concreting shall be in accordance with ACI 305. Cold weather concreting shall be in accordance with ACI 306. All other applicable codes shall also be followed.
  - Concrete shall be normal weight concrete except light weight concrete shall be used for slabs on steel deck unless noted otherwise. Concrete shall develop a minimum compressive strength of 3,000 psi at 28 days for foundations and 4,000 psi with a minimum of 4% air entrainment for all other concrete, (including slabs on ground).
  - Reinforcement shall be deformed intermediate grade round steel conforming to ASTM Designation A615, Grade 60. Welded wire fabric shall conform to ASTM A-185. The use of polypropylene fibers may only be used in addition to mesh and reinforcement called out for slabs.
  - Follow ACI rules as to ties, anchorage, splices, concrete coverage and reinforcement supports.
  - Reinforcement marked "CONTINUOUS" (CONT) shall be lapped 36 bar diameters at splices and corners, and hooked at non-continuous ends or extended 36 bar diameters unless otherwise noted.
  - Construction joints shall be located at points of zero shear. No construction joints shall be located in members carrying a concentrated load. Provide shear bars as directed by the Engineer. Locations of construction joints shall be accepted by the Engineer.
  - Provide sleeves and box out for openings for mechanical trades. For size and location of all openings, see architectural and mechanical drawings in addition to structural drawings. Openings shall be placed so as not to affect the strength of the structural members.
  - Contractor shall verify dimensions and locations of all openings, pipe sleeves, anchor bolts, etc., as required by all trades, before concrete is placed.
  - See Concrete specifications for additional requirements.

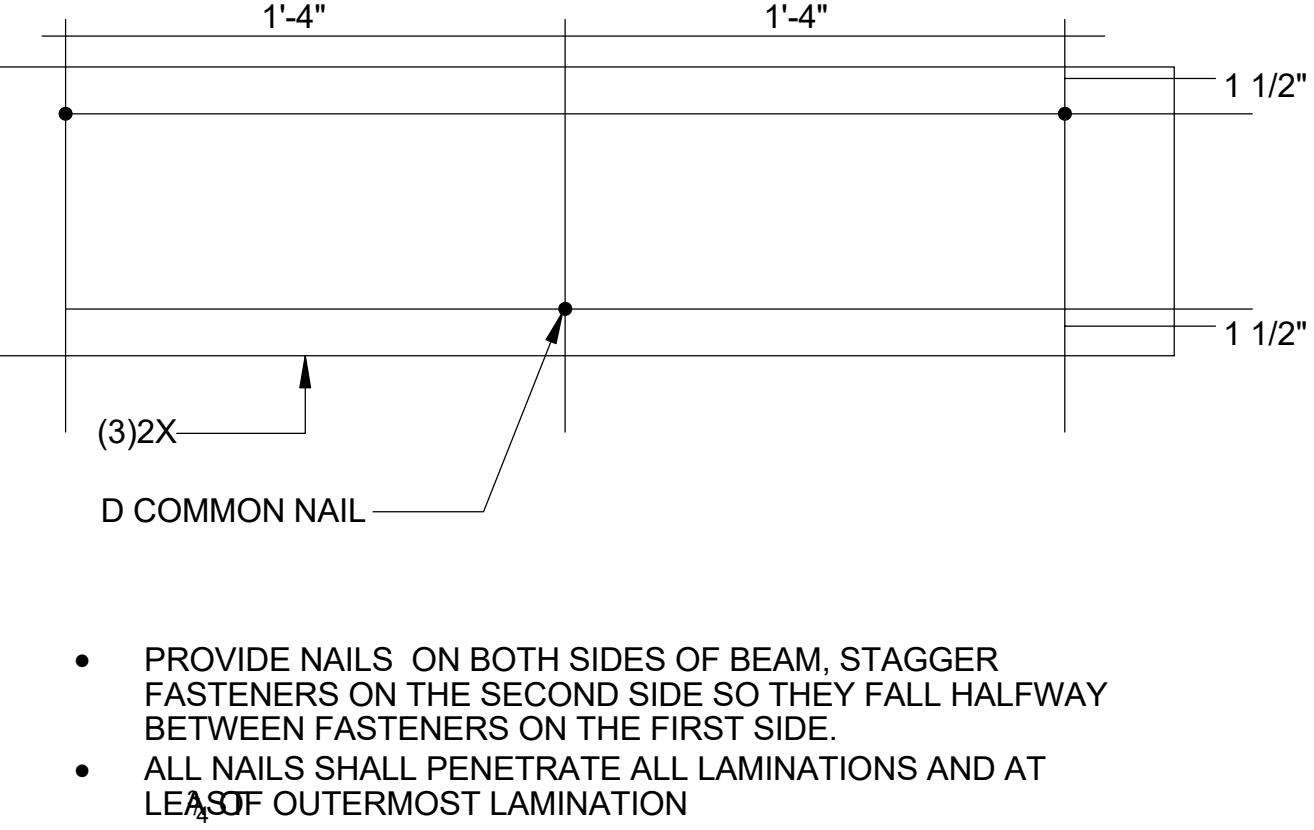
- PLYWOOD/GYP BOARD SHEATHING NOTES**
- All plywood construction shall be in accordance with the American Plywood Association (APA) specifications.
  - All roof panel sheathing shall be 1/2" (NOM.) type CDX, exp. I APA rated sheathing. Suitable edge support shall be provided by use of panel clips or blocking between framing. Unless otherwise noted connect roof sheathing with 8d common nails at 6" o.c. at supported panel edges and 6" o.c. at intermediate supports.
  - All floor sheathing shall be 1/2" (NOM.) APA rated sturd-I-floor, exp. I, with tongue and groove edge. Unless otherwise noted connect floor sheathing with 10d common nails spaced 6" o.c. at supported edges and 12" o.c. at intermediate supports. Field-glue using adhesives meeting APA specification AFG-01, applied in accordance with the manufacturer's recommendations.
  - All wall panel sheathing shall be 1/2" (NOM.) type CDX, exp. I APA rated sheathing. Unless otherwise indicated, connect wall sheathing with 10d common nails spaced 6" o.c. at supported panel edges and 12" o.c. at intermediate supports.
  - Install all plywood sheathing with the long dimension of the panel across supports and with panel continuous over two or more spans. Stagger panel end joints. Sheathing at panel ends and edges unless otherwise recommended by the sheathing manufacturer.
  - All nailing shall be carefully driven and not overdriven. The use of staples and pneumatic nail guns are prohibited from use.
  - All ext. walls shall be sheathed on exterior side with 1/2" plywood fastened with 6d common nails 6" o.c. at edges and 12" o.c. at intermediate support.
  - Provide 2x blocking at unsupported panel edges as follows:
    - roofs and floors - only where indicated on plan
    - walls - per the shearnail schedule



**BEAM POCKET DETAIL**



**ROOF UPLIFT DETAIL**



**NAILED BUILT-UP BEAM/HEADER DETAIL**

- PREFABRICATED WOOD JOIST NOTES**
- Prefabricated wood joists shall be designed and furnished in accordance with a current code-accepted evaluation report. Structural capacities and design provisions shall be established and monitored in accordance with ASTM D 5055.
  - Wood joists shall be designed by the manufacturer to support the loads indicated per the joist loading diagrams. Unless otherwise indicated, joists shall be designed for the following:
    - Top chord loading
    - live load - 40 psf
    - dead load - 15 psf
    - Bottom chord loading
    - dead load - 5 psf
    - Wind load - 35 psf net uplift pressure (roof joists only)
  - Wood I-joists shall be erected in accordance with the manufacturer's requirements. The contractor shall provide all temporary and permanent bracing as required for safe erection and performance of the joists.
  - Wood I-joists shall not be cut, notched, coped, drilled nor otherwise altered in any way unless specifically condoned in accordance with the manufacturer's written requirements. Do not cut flanges.
  - Wood I-joists shall be produced by a code accepted fabricator with a minimum of five (5) years experience producing prefabricated wood joists. Quality control shall be audited by an agency acceptor by the "Building Officials & Code Administrators, Inc."
  - Web panels must be joined with a machined and glued web joint to form a continuous member. All joints shall be glued using an exterior type adhesive per ASTM 2559.
  - Wood I-joists shall be stored in bundles in an upright position and away from ground contact. Any damage to joists shall be brought to the immediate attention of the joist supplier. Field repair or modification of joists must not be made without the written approval by the supplier, except for trimming to correct length.
  - Wood I-joists shall be carefully handled to prevent damage and distortion. Each joist shall be anchored and braced, as it is erected, using blocking panels and anchorage indicated (and per the supplier's requirements). Erectors shall provide supplemental lateral bracing of the top flange until sheathing is properly nailed.
  - All roof joists shall be positioned with the natural camber turned up.

- WOOD FRAMING NOTES**
- All wood framing material shall be surfaced dry and used at 19% maximum moisture content. Allowable stress requirements of all material shall be in accordance with the "schedule of required stress values", on sheet S-7.
  - All stud and wall framing shall be A. No 2 grade Douglas fir ("stud" grade material is strictly prohibited from use.)
  - All joist, rafter & misc. framing shall be No. 1 grade, Douglas Fir-L. Provide full-depth (or metal) bracing at midspan and at a maximum spacing of 8'-0" o.c. in between.
  - All framing exposed to the weather or in contact with masonry or concrete shall be pressure-treated in accordance with the American Wood Preservers Association specifications. Where possible, all cuts and holes due to on-site fabrication shall be brushed with 2 coats of copper naphthenate solution containing a minimum of 2% metallic copper in solution (per AWPA Std. M4).
  - The contractor shall carefully select lumber to be used in loadbearing applications. The length of split on the wide face of 2" nominal loadbearing framing shall be limited to less than the wide face dimension. The length of split on the wide face of 3" (nominal) and thicker lumber shall be limited to the narrow face dimension.
  - All nailing not otherwise indicated shall be in accordance with Table R602.3(1) of the RCNYS2010
  - Provide double joists under all partitions which run parallel with joists and under all concentrated loads from framing above.
  - Provide header beams of the same size as joists of rafters to frame around openings in the plywood deck unless otherwise indicated.
  - Structural steel plate connectors shall conform to ASTM A-36 specifications and be 1/2" thick unless otherwise indicated. Bolts connecting wood members shall be per ASTM A-307 1/2" diameter unless otherwise indicated. Provide washers for all bolt heads and nuts in contact with wood surfaces.
  - Bolt holes shall be carefully centered and drilled not more than 1/8" larger than the bolt diameter. Bolted connection shall be snugged tight but not to the extent of crushing wood under washers.
  - Prefabricated "Micro-Lam" Lumber headers and beams shall be as manufactured by "Truss Joist MacMillan Corp.", Boise, Idaho of approved equal. Micro-lam material shall be 1.8E, southern pine. Do not cut or notch micro-lam material without the manufacturer's approval.
  - Prefabricated metal joist hangers, hurricane clips, hold-down anchors and other accessories shall be a manufacturer by "Simpson Strong-Tie Company", Tel. 800.999.5099, or approved equal. Install all accessories per the manufacturer's requirements. All steel shall have a minimum thickness of 0.04" (per ASTM A446, Grade A) and be galvanized (coating G60).
  - Holes and notches drilled or cut into wood framing shall conform to section R602.6 and section R502.8 of the RCNYS 2010
  - All plates, anchors, nails, bolts, nuts, washers, and other miscellaneous hardware shall be hot dip galvanized.

- MISCELLANEOUS**
- The Structural drawings shall be used in conjunction with the drawings of all other disciplines and the specifications. All structural work shall be coordinated with architectural, mechanical and electrical requirements. Any discrepancies and/or interferences shall be reported immediately to the Architect so that corrective measures can be taken.
  - The contractor shall be responsible for complying with all safety precautions and regulations during the work. The Engineer will not advise nor direct as to safety precautions.
  - The Engineer shall not be responsible for methods, techniques and sequences of procedures to perform the work.
  - Drawings indicate general and typical details of construction. Where conditions are not specifically shown, similar details shall be used, subject to acceptance by the Engineer.
  - Loads applied to the structure during construction shall not exceed the safe load-carrying capacity of the structure as indicated by the scheduled live loadings shown on the drawings.
  - Contractor shall be responsible for all required shoring. This structure has been designed to be self-supporting and stable after construction of the structure has been completed. The stability of the structure prior to completion is the sole responsibility of the Contractor. Job safety and construction procedures are also the sole responsibility of the Contractor. Lack of comment by the Architect/Engineer is not to be interpreted as acceptance of those aspects of the work.
  - No equipment shall be hung from bracing or steel deck.

SIMPSON STRONG TIE CONNECTORS:	
STRUCTURAL MEMBERS	CONNECTOR MODEL NO.
<b>EXTERIOR DECK</b>	
GUARDRAIL POST TO DECK	DTT2Z
DECK TO HOUSE LATERAL LOAD, AND REFER TO S105, LEDGER DETAIL	DTT1Z
STAIR STRINGER	LSCZ
STAIR TREAD	TA TREAD ANGLE
POST BASE	ABA66Z
POST CAP	CCT, ECCL, CCC
<b>FLOOR/DECK JOISTS</b>	
JOIST HANGER (DIMENSIONAL LUMBER)	LUC 210Z
JOIST HANGER (TJI)	ITT
MULTI LVL HANGER	EGG
<b>RAFTER RAFTERS</b>	
RAFTER TO PLATE	REFER TO ROOF UPLIFT DETAIL
HIP BEAM TO PLATE	HCP
HIP BEAM TO RIDGE	HHRC
BEAM/POST	PCZ

No.	DATE	ISSUE
1	2/28/22	ISSUED

**PROJECT NAME:**  
SINGLE FAMILY HOUSE

**PROJECT ADDRESS:**  
25 ORCHARD DRIVE  
ARMONK, NY



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**FRAMING NOTES DETAILS**

Scale	Date	Issue Date
Drawn by Author		
Checked by Checker		
Project number		
		<b>S105</b>



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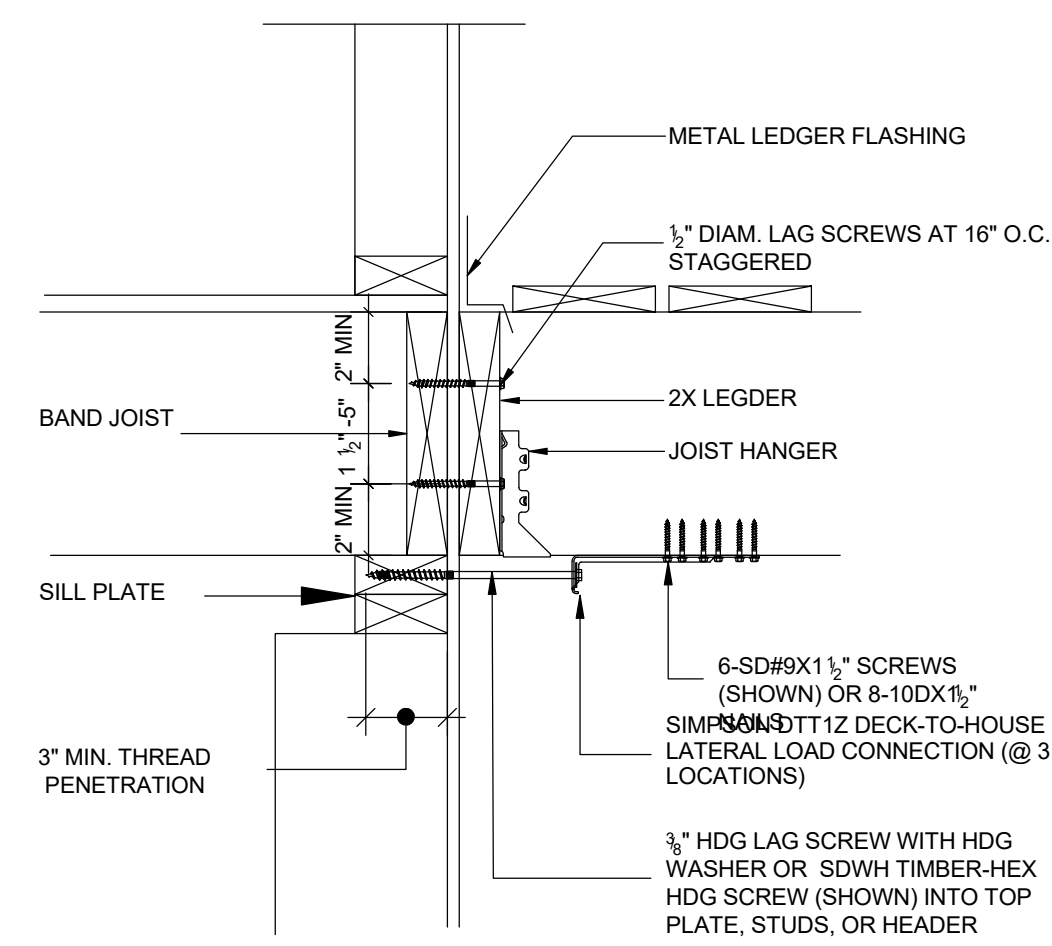
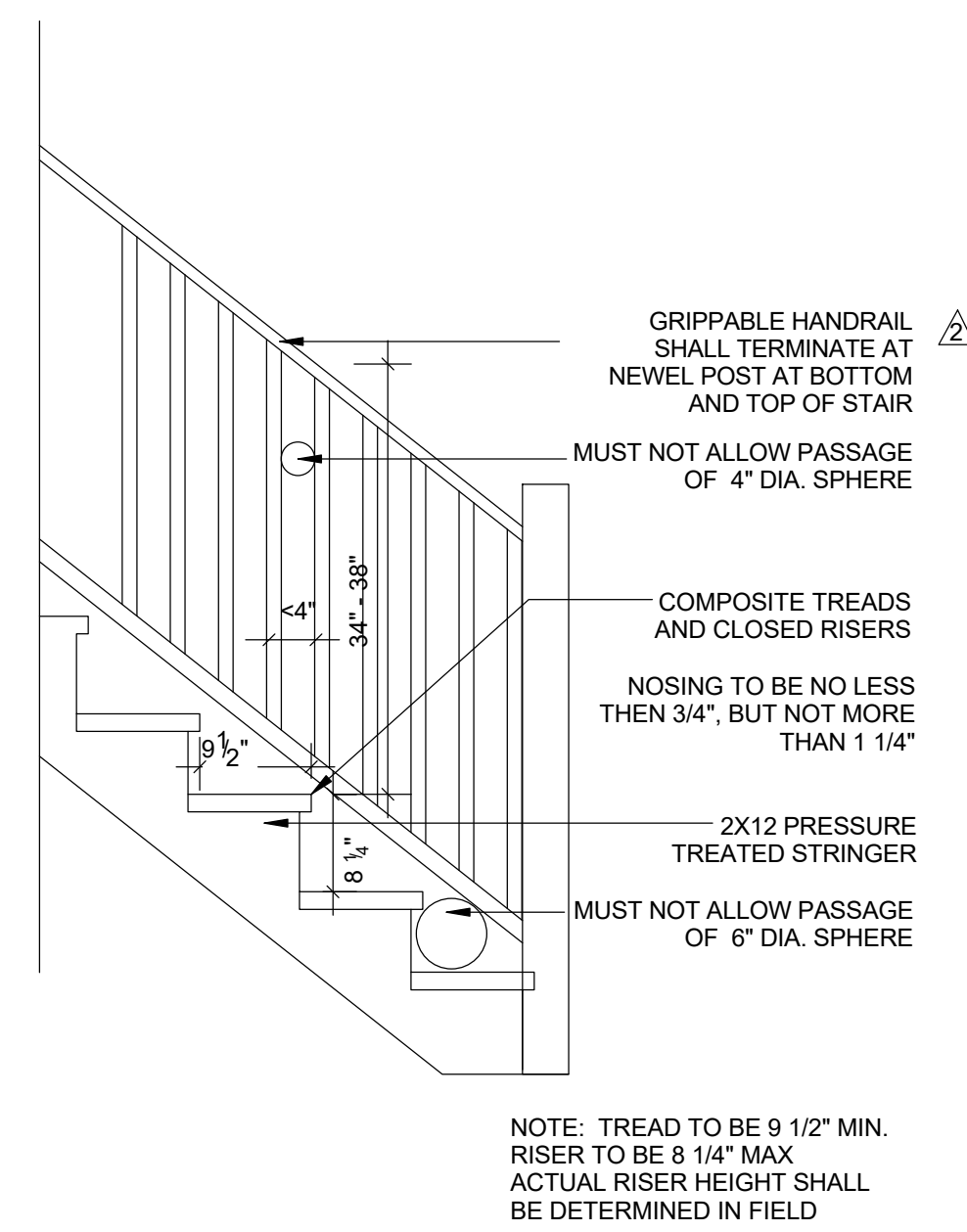
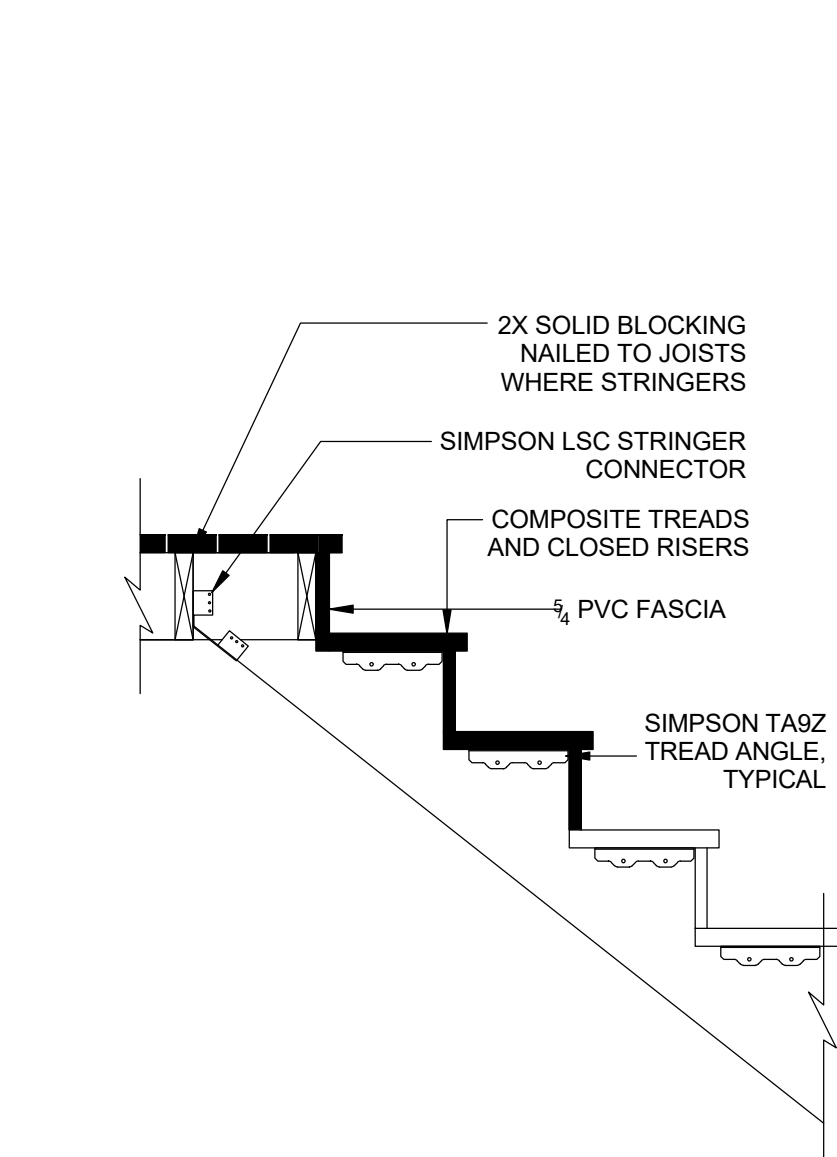
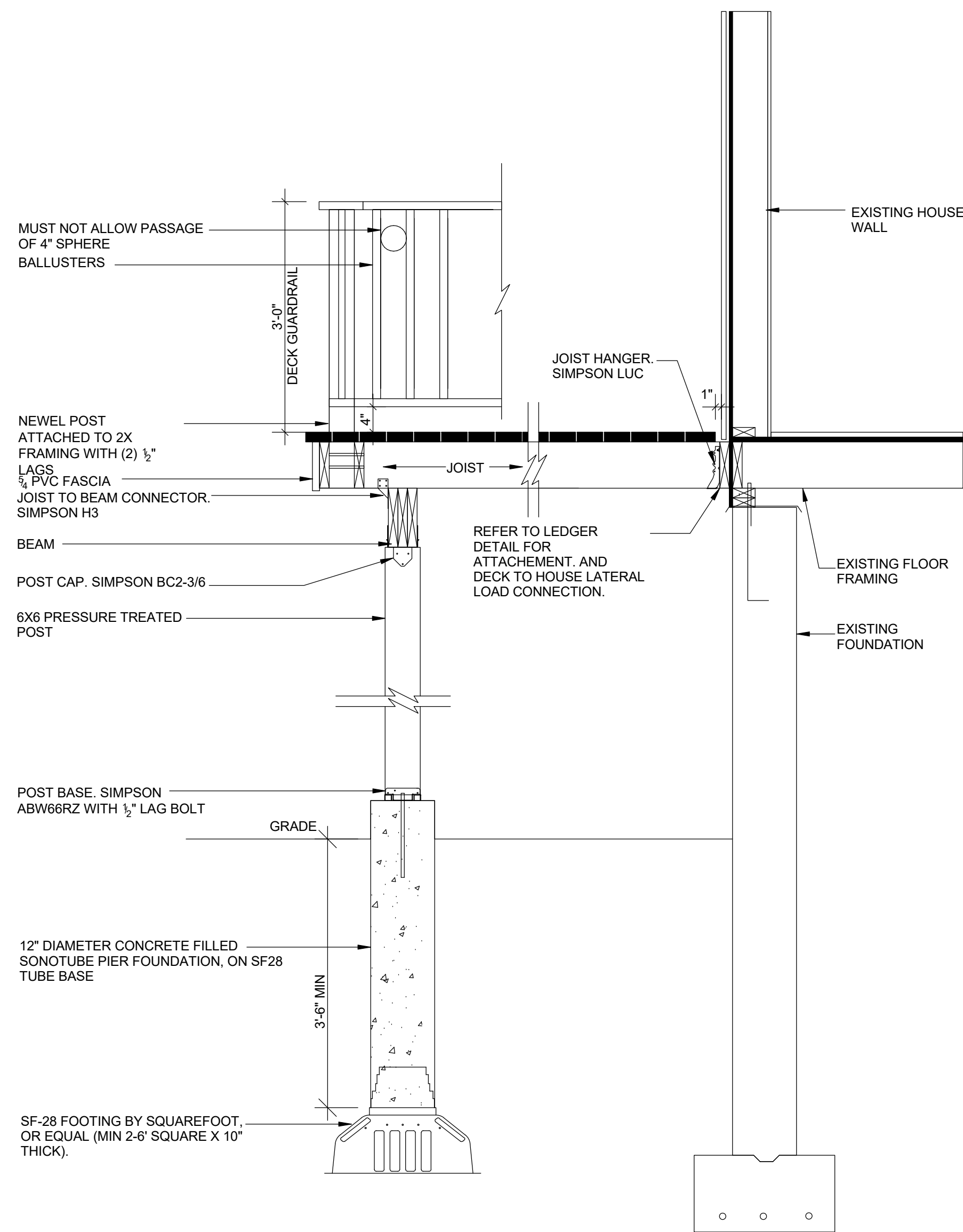


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## DECK DETAILS

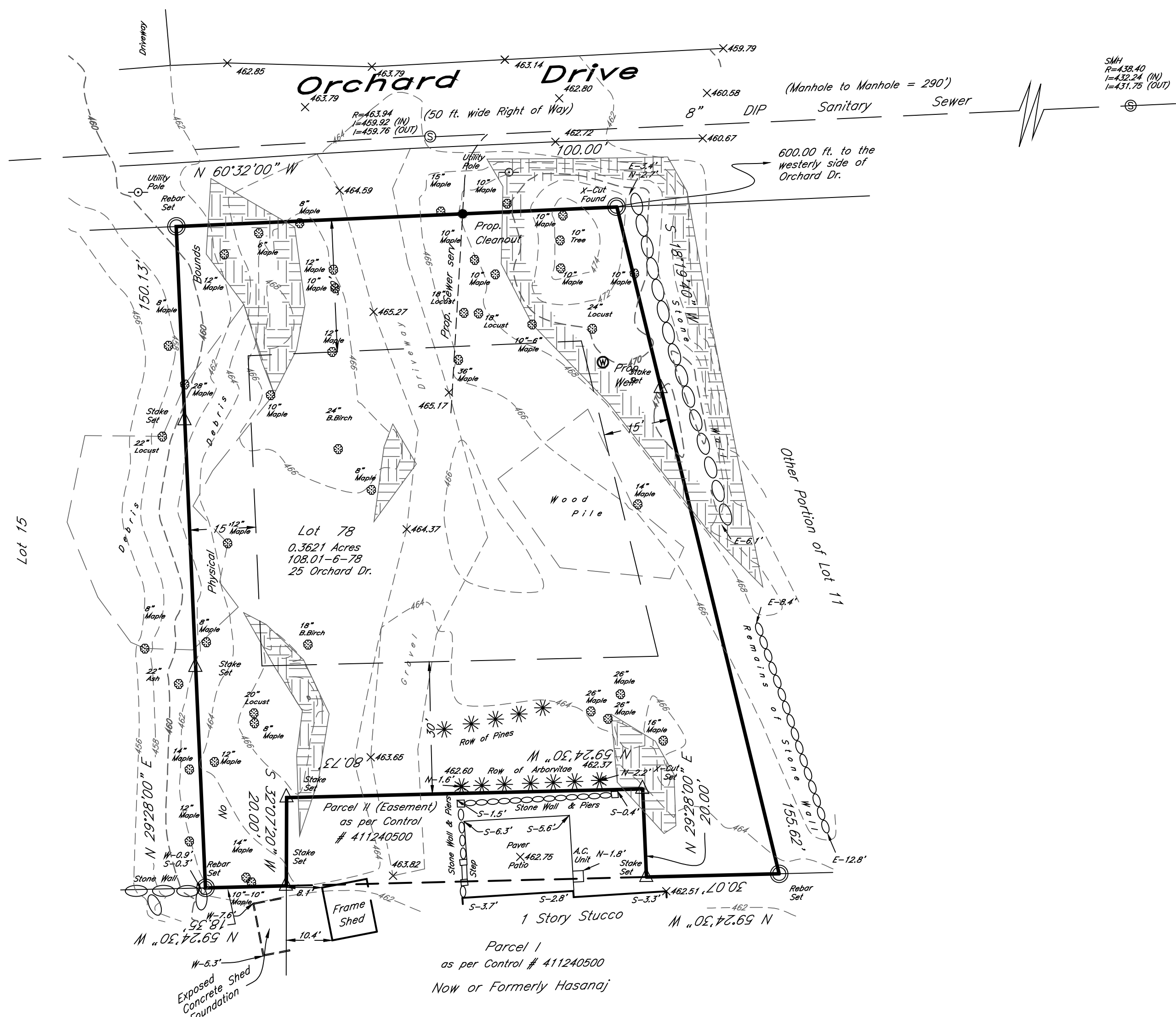
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Drawn by Author		
Checked by Checker		
Project number		<b>S105.1</b>











Survey of Property  
prepared for  
**Damien Development LLC**  
in the Town of  
**North Castle**  
Westchester County, N.Y.  
Scale 1"=20'  
Aug. 23, 2018

Revised lot area and rear property line Feb. 28, 2022.

The premises being Lot 13 and a portion of Lot 11 as shown on a map entitled  
"Subdivision Map of the Oak Tree Farm Development at Armonk" dated Nov. 29, 1929  
and filed Dec. 13, 1929 as County Clerk Map No. 3542.

Area (Before) = 17,397 sq. ft.  
or 0.3994 acres  
Area (After) = 15,774 sq. ft.  
or 0.3621 acres

Vertical Datum: NAVD88

Subsurface structures and their encroachments, if any exist, are not shown hereon.

"Unauthorized alterations or additions to a survey map is a violation of section 7209,  
sub-division 2, of the New York State Education Law."

"Only copies of the original survey marked with the land surveyor's inked or embossed  
seal shall be considered a true and valid copy."

"Certifications indicated hereon signify that this survey was prepared in accordance with the  
existing code of practice for Land Surveys adopted by the New York State Association of  
Professional Land Surveyors. Said certifications shall run to the person for whom the survey  
is prepared only, and on his behalf to the Title Company, governmental agency and lending  
institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS  
ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

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*Ward Carpenter Engineers, Inc.*  
76 Mamaroneck Avenue  
White Plains, N.Y. 10601





**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

January 29, 2019  
Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**FLOOR AREA CALCULATIONS WORKSHEET**

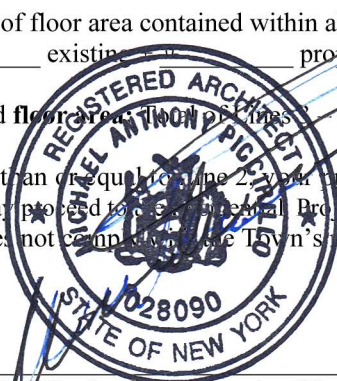
Application Name or Identifying Title: \_\_\_\_\_ Date: \_\_\_\_\_

Tax Map Designation or Proposed Lot No.: \_\_\_\_\_

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	15,774
2.	<b>Maximum</b> permitted floor area (per Section 355-26.B(4)):	4,866.1
3.	Amount of floor area contained within first floor: 0 _____ existing + 1600 _____ proposed = _____	1,600
4.	Amount of floor area contained within second floor: 0 _____ existing + 2097 _____ proposed = _____	2,097
5.	Amount of floor area contained within garage: _____ existing + 667 _____ proposed = _____	667
6.	Amount of floor area contained within porches capable of being enclosed: _____ existing + 191.5 _____ proposed = _____	191.5
7.	Amount of floor area contained within basement (if applicable – see definition): _____ existing + NA _____ proposed = _____	0
8.	Amount of floor area contained within attic (if applicable – see definition): _____ existing + NA _____ proposed = _____	0
9.	Amount of floor area contained within all accessory buildings: 0 _____ existing + _____ proposed = _____	0
10.	Proposed floor area = _____	4,555.5

If Line 10 is less than or equal to line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Planning Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.



\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

**2-28-22**

\_\_\_\_\_  
Date





TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

BUILDING DEPARTMENT  
 Robert Melillo  
 Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

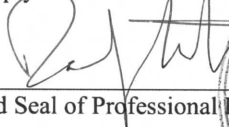
Application Name or Identifying Title: DAMIAN DEVELOPMENT LLC Date: 2-28-2022

Tax Map Designation or Proposed Lot No.: 108.01-6-78

Gross Lot Coverage

- |     |   |               |
|-----|---|---------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>15,774</u> |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):  | <u>5,339</u>  |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):   |               |
|     | Distance principal home is beyond minimum front yard setback<br><u>0</u> x 10 =   | <u>0</u>      |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3   | <u>5,339</u>  |
| 5.  | Amount of lot area covered by <b>principal building</b> :<br><u>0</u> existing + <u>2296</u> proposed =                     | <u>2,296</u>  |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :<br><u>0</u> existing + <u>0</u> proposed =                       | <u>0</u>      |
| 7.  | Amount of lot area covered by <b>decks</b> :<br><u>0</u> existing + <u>423</u> proposed =                                   | <u>423</u>    |
| 8.  | Amount of lot area covered by <b>porches</b> :<br><u>0</u> existing + <u>274</u> proposed =                                 | <u>274</u>    |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :<br><u>0</u> existing + <u>1,508</u> proposed =  | <u>1,508</u>  |
| 10. | Amount of lot area covered by <b>terraces</b> :<br><u>0</u> existing + <u>0</u> proposed =                                  | <u>0</u>      |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> :<br><u>0</u> existing + <u>736</u> proposed = | <u>736</u>    |
| 12. | Amount of lot area covered by <b>all other structures</b> :<br><u>0</u> existing + <u>92</u> proposed =                     | <u>92</u>     |
| 13. | <b>Proposed gross land coverage</b> : Total of Lines 5 – 12 =   | <u>5,329</u>  |

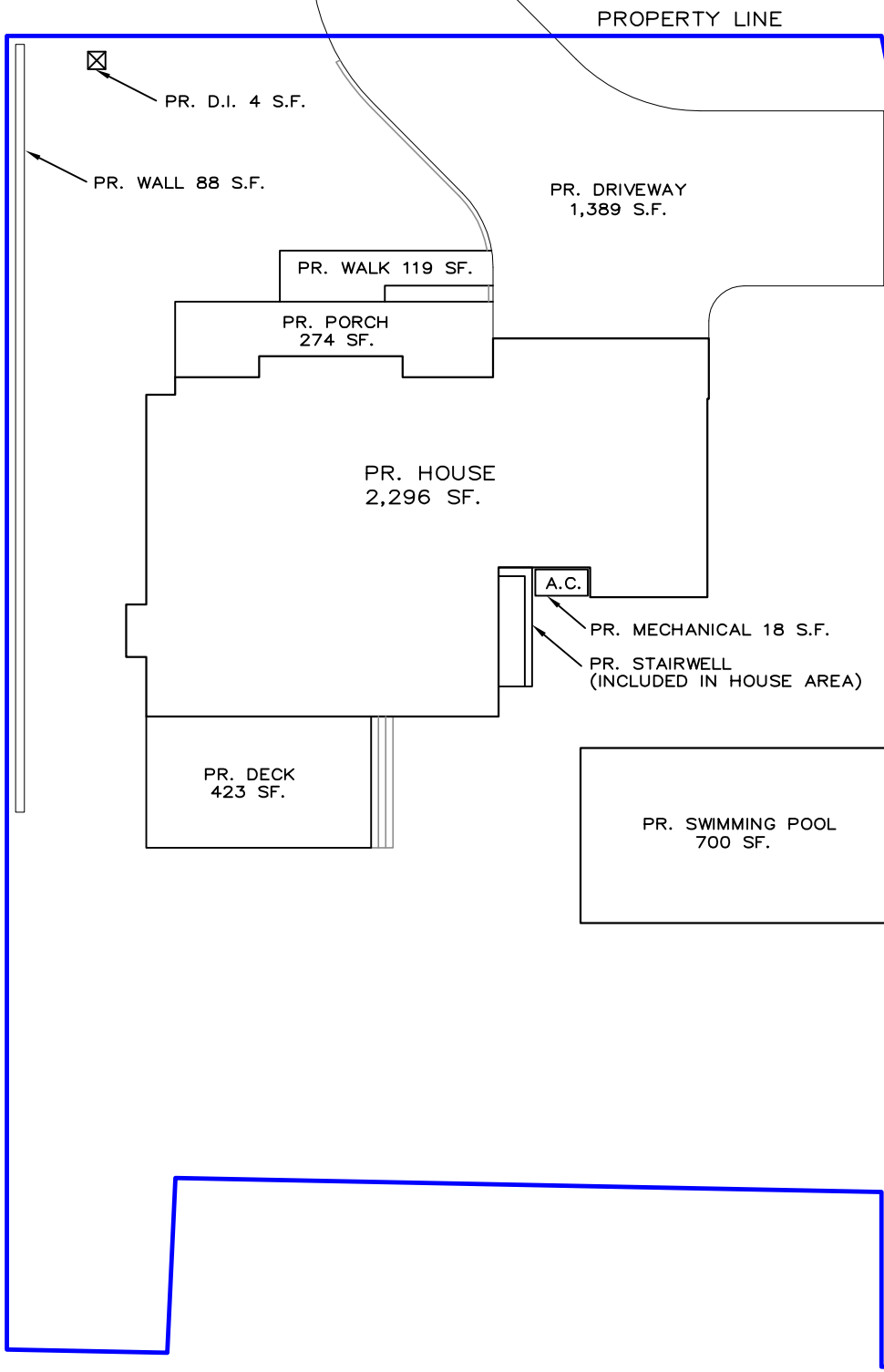
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet



2-28-2022  
 Date





GROSS LAND  
 COVERAGE AREAS

HOUSE:	2296 s.f.
DRIVE:	1389 s.f.
DECK:	423 s.f.
PORCH:	274 s.f.
POOL:	700 s.f.
WALK:	119 s.f.
WALL:	88 s.f.
OTHER:	40 s.f.
<b>TOTAL:</b>	<b>5,329 s.f.</b>

PR. POOL  
 EQUIPMENT  
 18 SF.

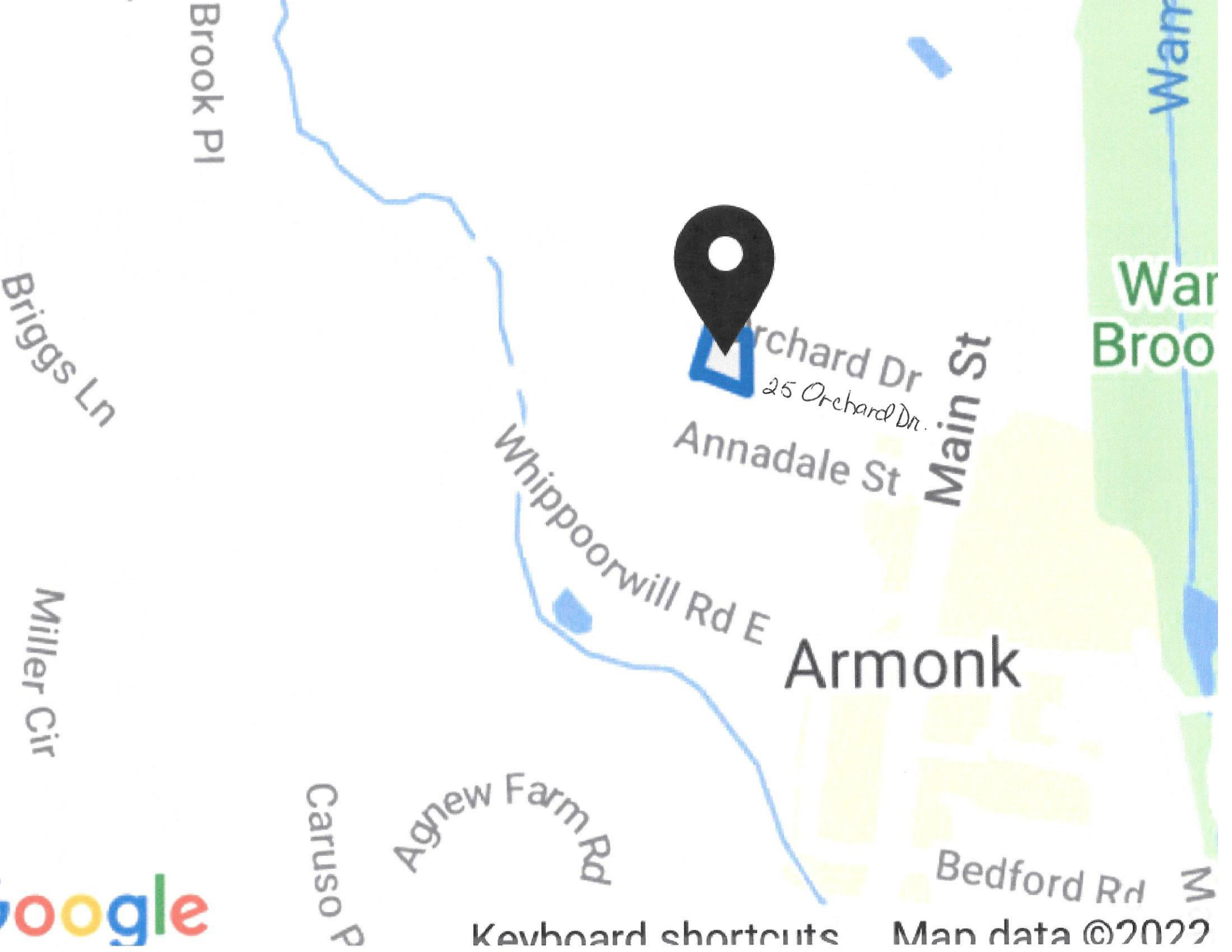
*Ralph Mastromonaco*



GROSS LAND COVERAGE SCHEMATIC  
 PREPARED FOR  
 DAMIAN DEVELOPMENT LLC  
 25 ORCHARD DRIVE ARMONK, NY  
 FEBRUARY 28, 2022

RALPH G. MASTROMONACO, P.E., P.C.  
 Consulting Engineers  
 13 Dove Court, Croton-on-Hudson, New York 10520  
 (914) 271-4762 (914) 271-2820 Fax





Brook Pl

Briggs Ln

Miller Cir

Caruso P

Agnew Farm Rd

Whippoorwill Rd E

Orchard Dr  
25 Orchard Dr.  
Annadale St

Main St

Armonk

Bedford Rd

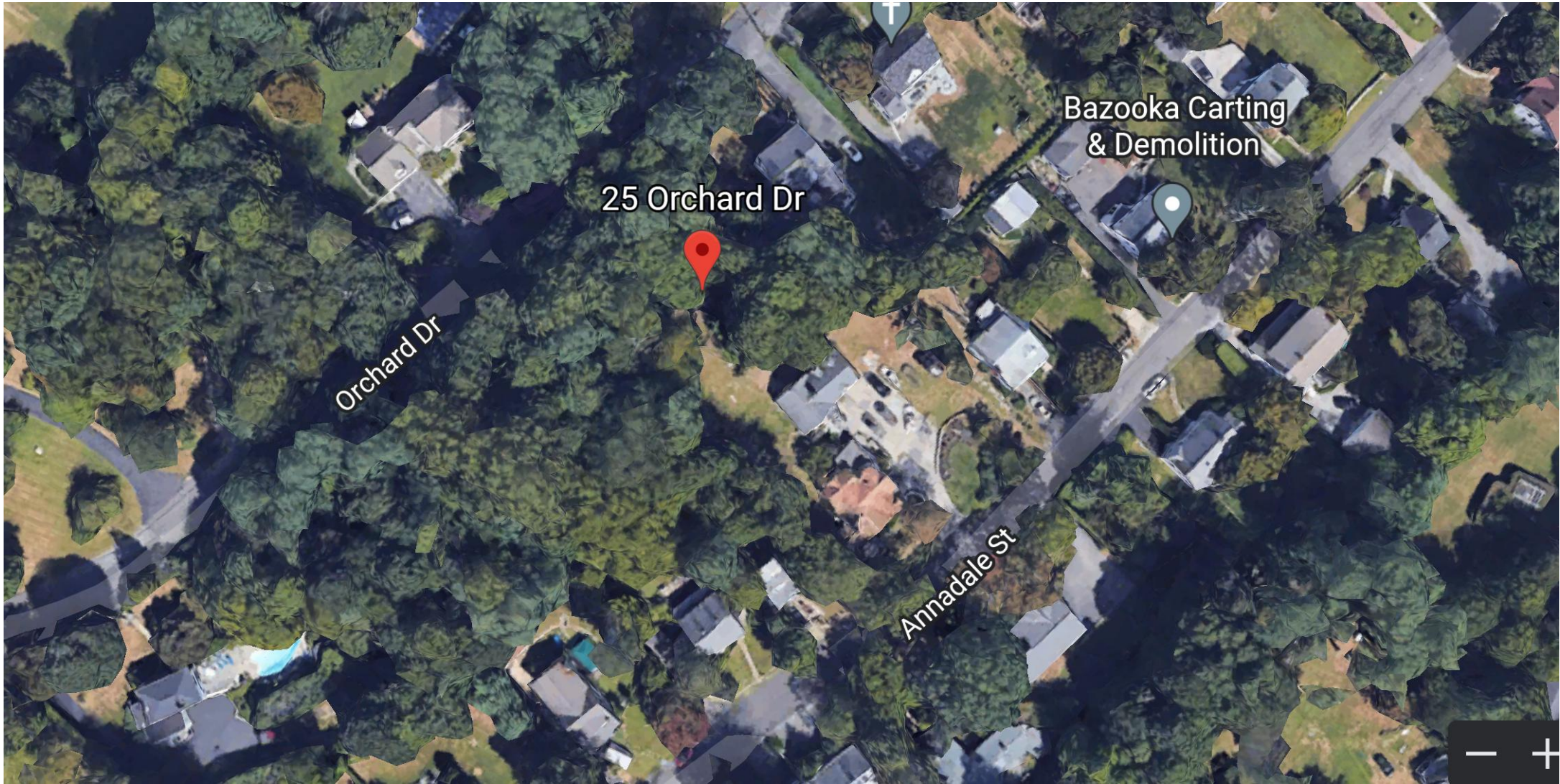
War Brook

Google

Keyboard shortcuts

Map data ©2022





25 Orchard Dr

Orchard Dr

Annadale St

Bazooka Carting  
& Demolition

