



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 14 Kingdom Ridge Road, Bedford, NY 10506

Section III- DESCRIPTION OF WORK:

Addition of 370SF to 2nd floor of existing single family residence over existing ground floor family room. - space to house a private golf simulator, bathroom and open office.
Ground floor modification to existing kitchen and family room.
Modification to railing on existing rear wood deck, convert parapet wall railing to cable rail.

Section III- CONTACT INFORMATION:

APPLICANT: Bruce Wilson

ADDRESS: 14 Kingdom Ridge Road, Bedford, NY 10506

PHONE: MOBILE: 914-980-7875 EMAIL: bwilson.ny@gmail.com

PROPERTY OWNER:
SAME

ADDRESS: SAME

PHONE: MOBILE: SAME EMAIL: SAME

PROFESSIONAL.: SJB Architecture + Design, Steven Basini, RA

ADDRESS: 18 Lakeview Avenue East, Cortlandt Manor, NY 10567

PHONE: 914.402.1701 MOBILE: 914.486.7187

EMAIL: steven@sjbarchdesign.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 95.04 / 1 / 33



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 14 Kingdom Ridge - Wilson Residence

Initial Submittal Revised Preliminary

Street Location: 14 Kingdom Ridge Road, Bedford, NY 10506

Zoning District: R-2A Property Acreage: 3.09 Tax Map Parcel ID: 95.04/1/33

Date: 04/04/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 14 Kingdom Ridge Road Date: 04.04.22

Tax Map Designation or Proposed Lot No.: 95.04 / 1 / 33

Floor Area

- | | | |
|-----|--|-----------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>134,600 SF (3.09 AC)</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>12,021.22 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>1,820.75 SF</u> existing + <u>0.0 SF</u> proposed = | <u>1,820.75 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>1,524.6 SF</u> existing + <u>370.5</u> proposed = | <u>1,895.1 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>868.9 SF</u> existing + <u>0.0 SF</u> proposed = | <u>868.9 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0.0 SF</u> existing + <u>0.0 SF</u> proposed = | <u>0.0 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>N/A</u> existing + <u>0.0 SF</u> proposed = | <u>N/A</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u> </u> existing + <u> </u> proposed = | <u>N/A</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>906.3 SF</u> existing + <u>0.0 SF</u> proposed = SWIMMING POOL | <u>906.3 SF</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>5,491.05 SF</u> |

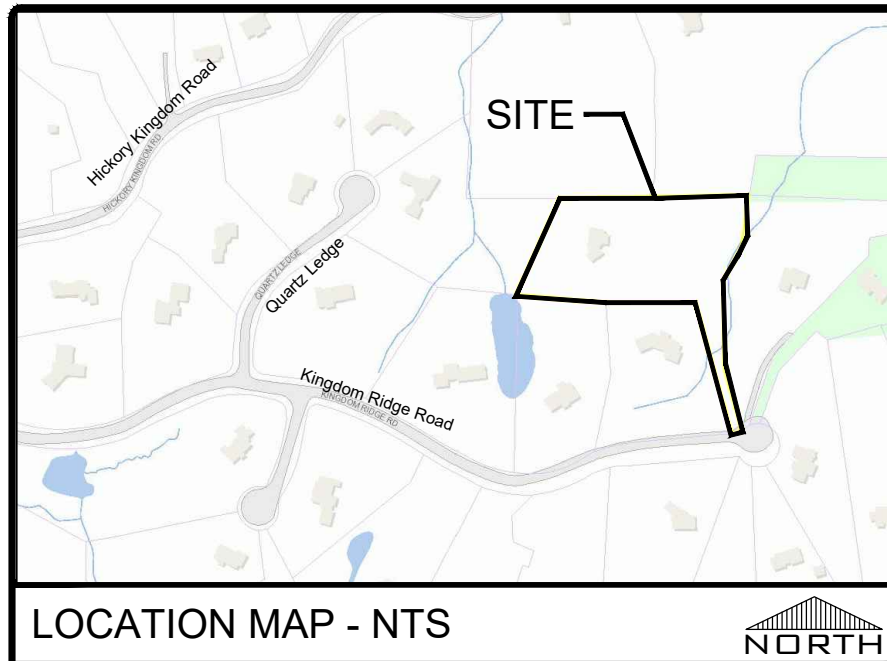
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

04.04.22

Date





LOCATION MAP - NTS

MISC. NOTES:

- MUNICIPALITY: NORTH CASTLE (BEDFORD ADDRESS)
- OWNER: BRUCE & SHARON WILSON
- SITE LOCATION: 14 KINGDOM RIDGE ROAD
BEDFORD, NY 10506
- SECTION 95.4, BLOCK 1, LOT 33
- LOT SIZE: 3.09 ACRES



1 AREAL VIEW
SCALE - N.T.S.

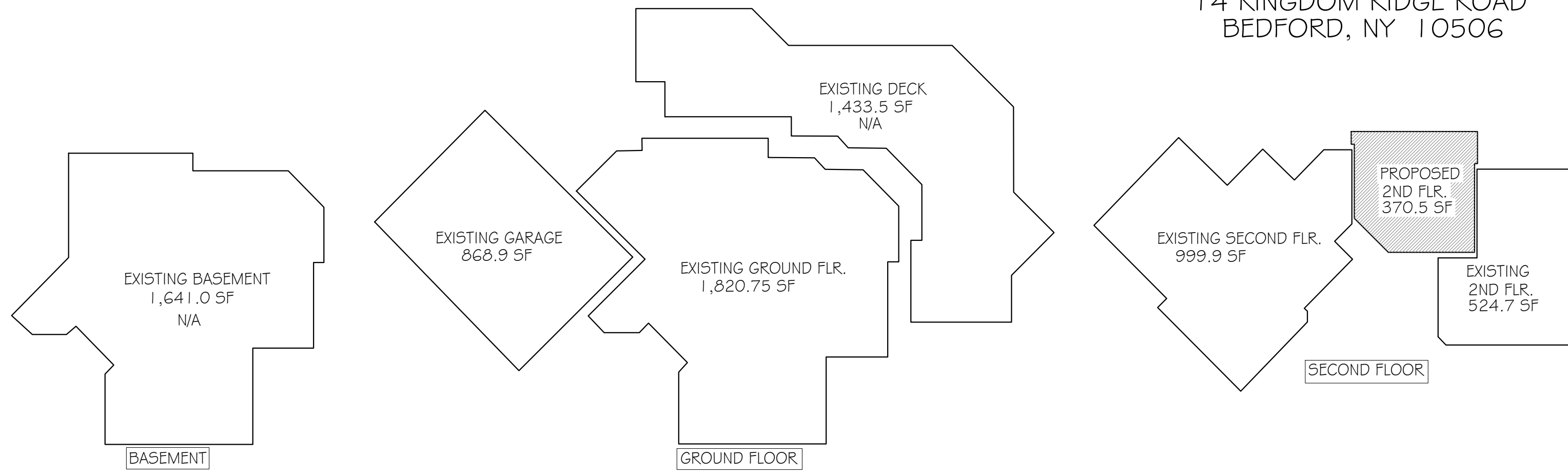


2 EXIST. WEST FACADE
SCALE - N.T.S.

TABLE OF DIMENSIONAL REGULATIONS FOR R-2A ZONE			
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 acre	134,600 S.F.	134,600 S.F.
MINIMUM LOT FRONTAGE	150 FT.	25.0 FT. *	25.0 FT. *
MINIMUM LOT WIDTH	150 FT.	527.9 FT.	527.9 FT.
MINIMUM LOT DEPTH	150 FT.	285.7 FT.	285.7 FT.
MINIMUM YARD SETBACKS			
FRONT	50 FT.	327.6 FT.	327.6 FT.
SIDE 1	30 FT.	63.2 FT.	63.2 FT.
REAR	50 FT.	91.5 FT.	91.5 FT.
MAX. BUILDING COVERAGE **	8% (10,768 SF)	3% (4,123 SF)	N/A
MAX. BUILDING HEIGHT	30 FT	26.5 FT	28.5 FT
MIN. DWELLING SIZE	1,400 SF	N/A	N/A

* PRE-EXISTING NON-CONFORMING - NO CHANGE
 ** MAX. BUILDING COVERAGE WORKSHEET NOT APPLICABLE AS EXISTING BUILDING COVERAGE IS BELOW ALLOWABLE AND ADDITION DOES NOT INCREASE COVERAGE.
 (FLOOR AREA CALCULATION WORKSHEET SUBMITTED WITH APPLICATION TO RPRC - SCALED SUPPORTING DRAWINGS ON THIS SHEET A-100)

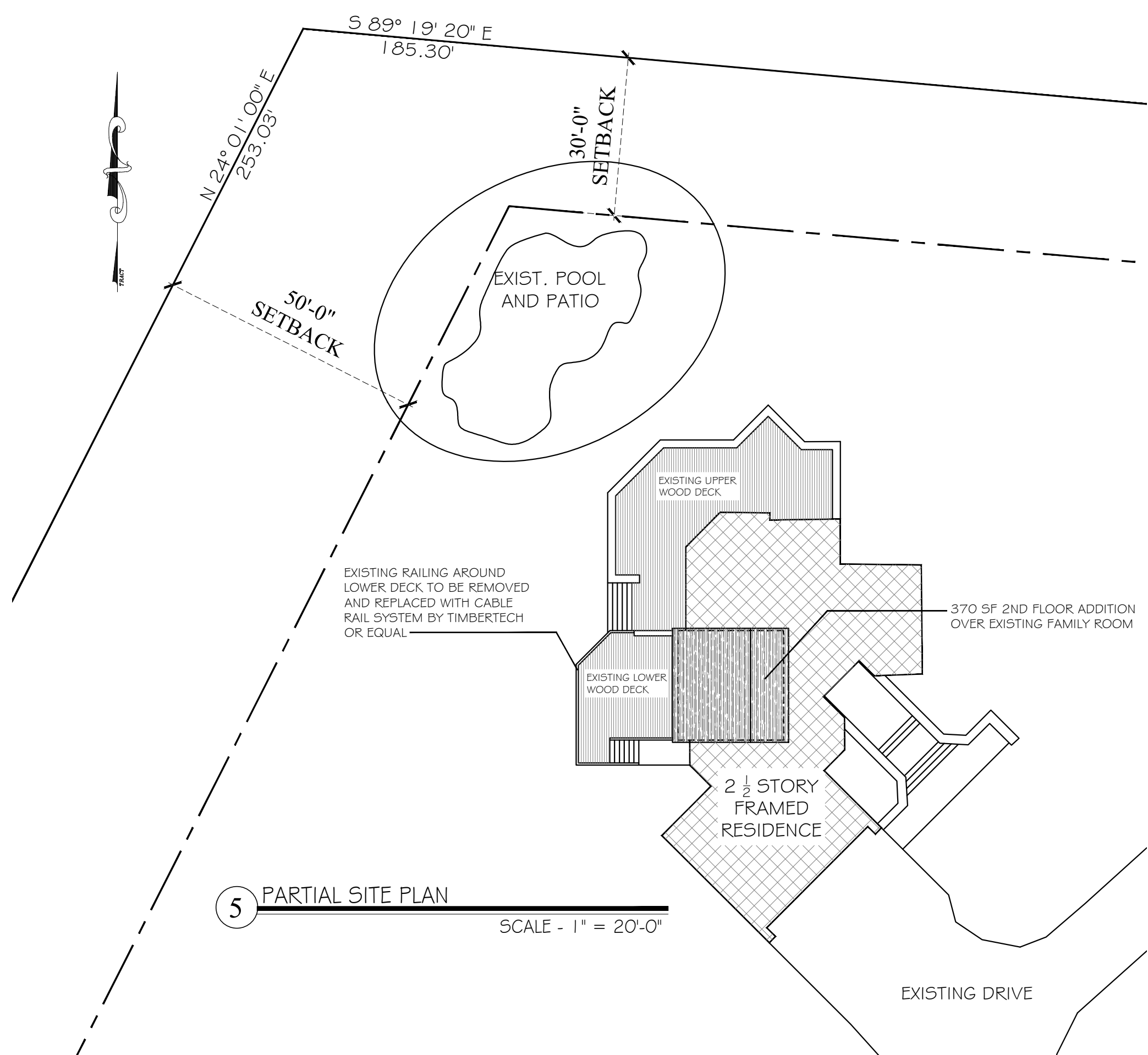
WILSON RESIDENCE
14 KINGDOM RIDGE ROAD
BEDFORD, NY 10506



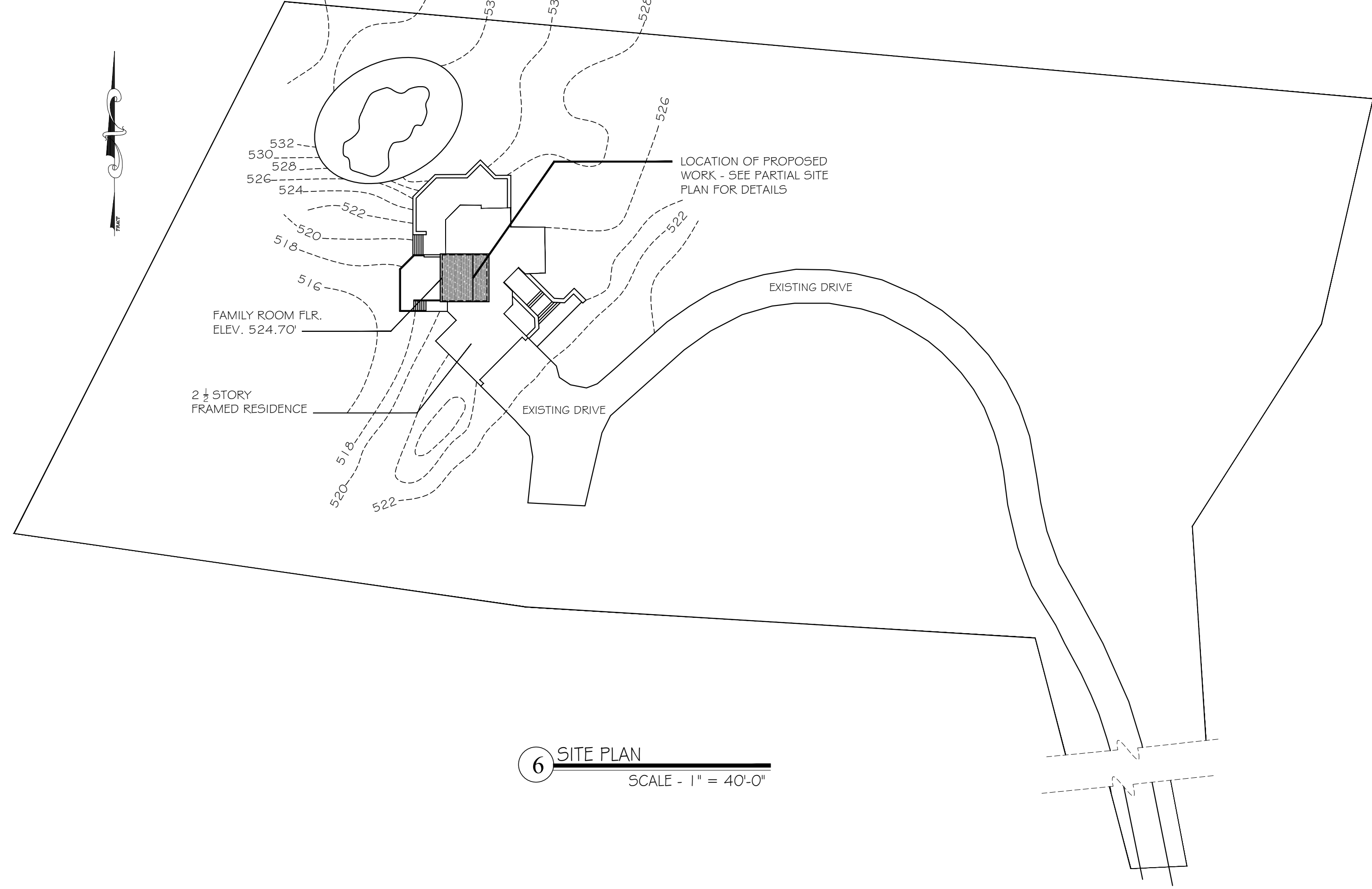
3 SCALED GROSS FLOOR AREA WORKSHEET
SCALE - 1/16" = 1'-0"



4 AERIAL SITE MAP
SCALE - N.T.S.



5 PARTIAL SITE PLAN
SCALE - 1" = 20'-0"



6 SITE PLAN
SCALE - 1" = 40'-0"

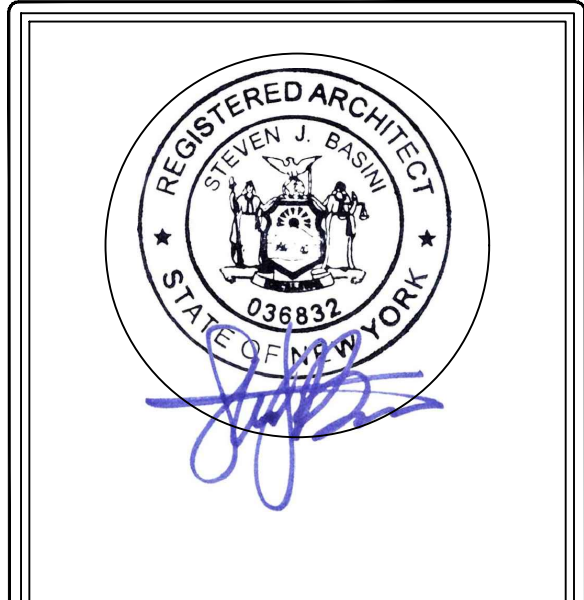
UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF PART 69.5 (B) OF THE N.Y.S. EDUCATION LAW.

THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ARCHITECT.

Drawn by: SJB
Checked by: SJB

Project #
Dwg. Date

Revisions



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF N.Y.S.

SJB
Architecture + Design
sjbarchdesign.com
914.402.1701
Cortlandt Manor, NY

Client:
BRUCE & SHARON WILSON

Project:
**2ND FLOOR ADDITION
INTERIOR ALTERATION**

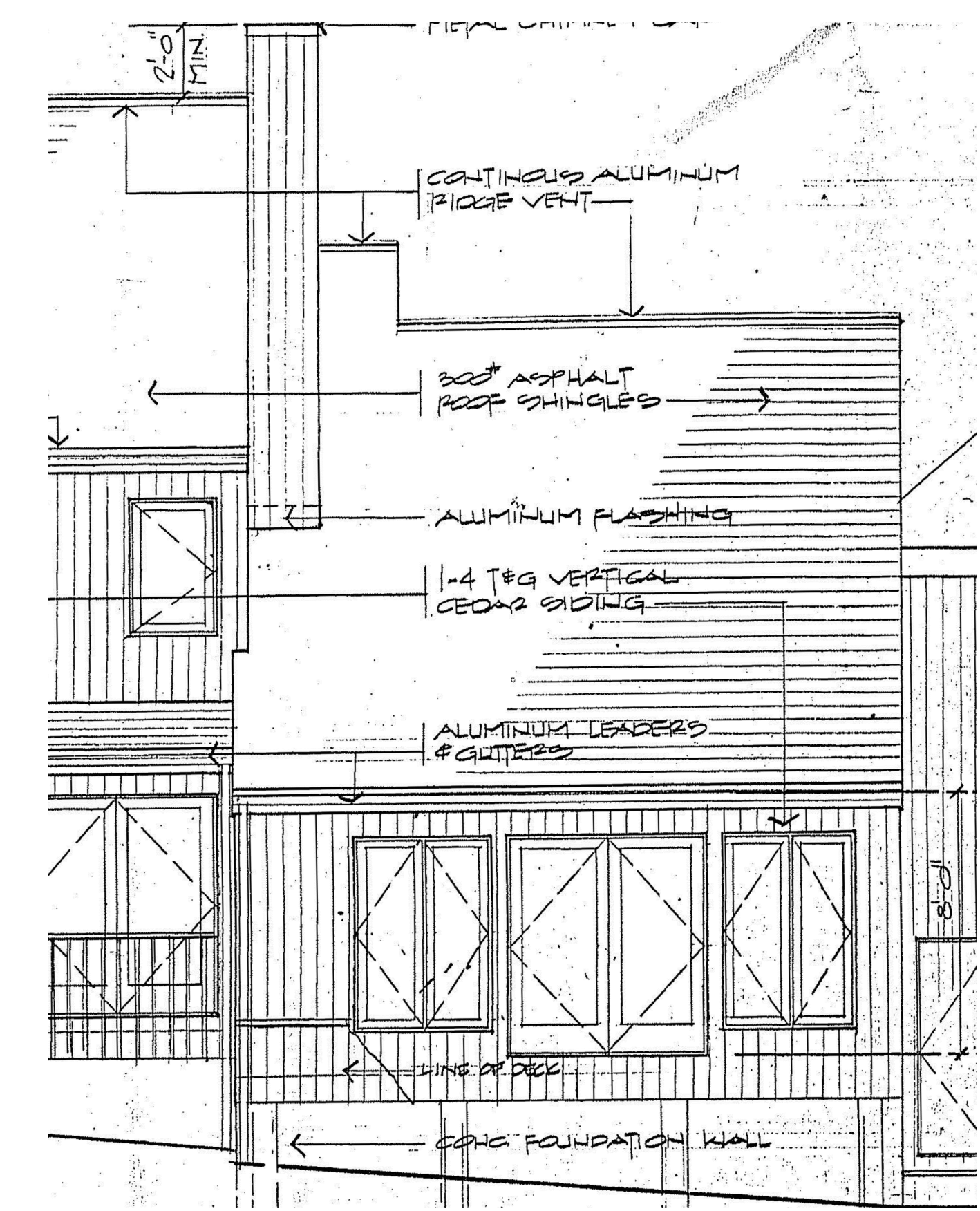
14 Kingdom Ridge Road
Bedford, NY 10506

Dwg. Name:
LOC MAP
SITE PLAN
AERIAL VIEWS
ZONING TABLE, NOTES

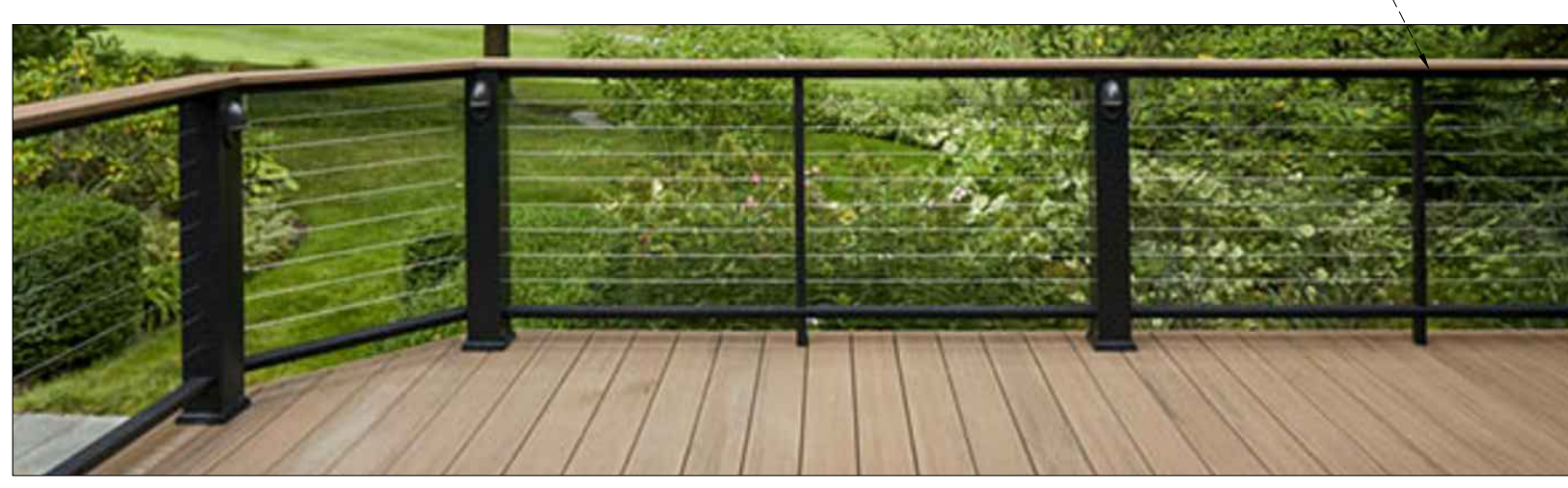
Sheet #
A-100



1 PROPOSED WEST ELEVATION
SCALE - 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
SCALE - 1/4" = 1'-0"



A TIMBERTECH CABLE RAIL EXAMPLE
SCALE - N.T.S.



3 PROPOSED SOUTHWEST ELEVATION
SCALE - 1/4" = 1'-0"



4 EXISTING SOUTHWEST ELEVATION
SCALE - 1/4" = 1'-0"

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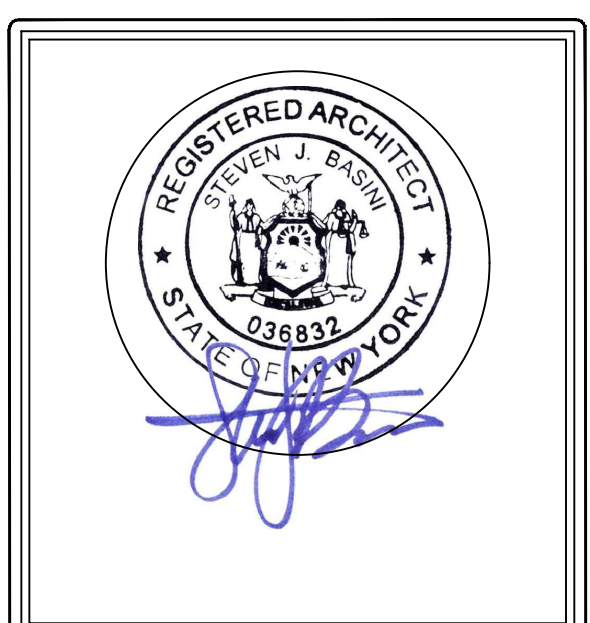
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Project #
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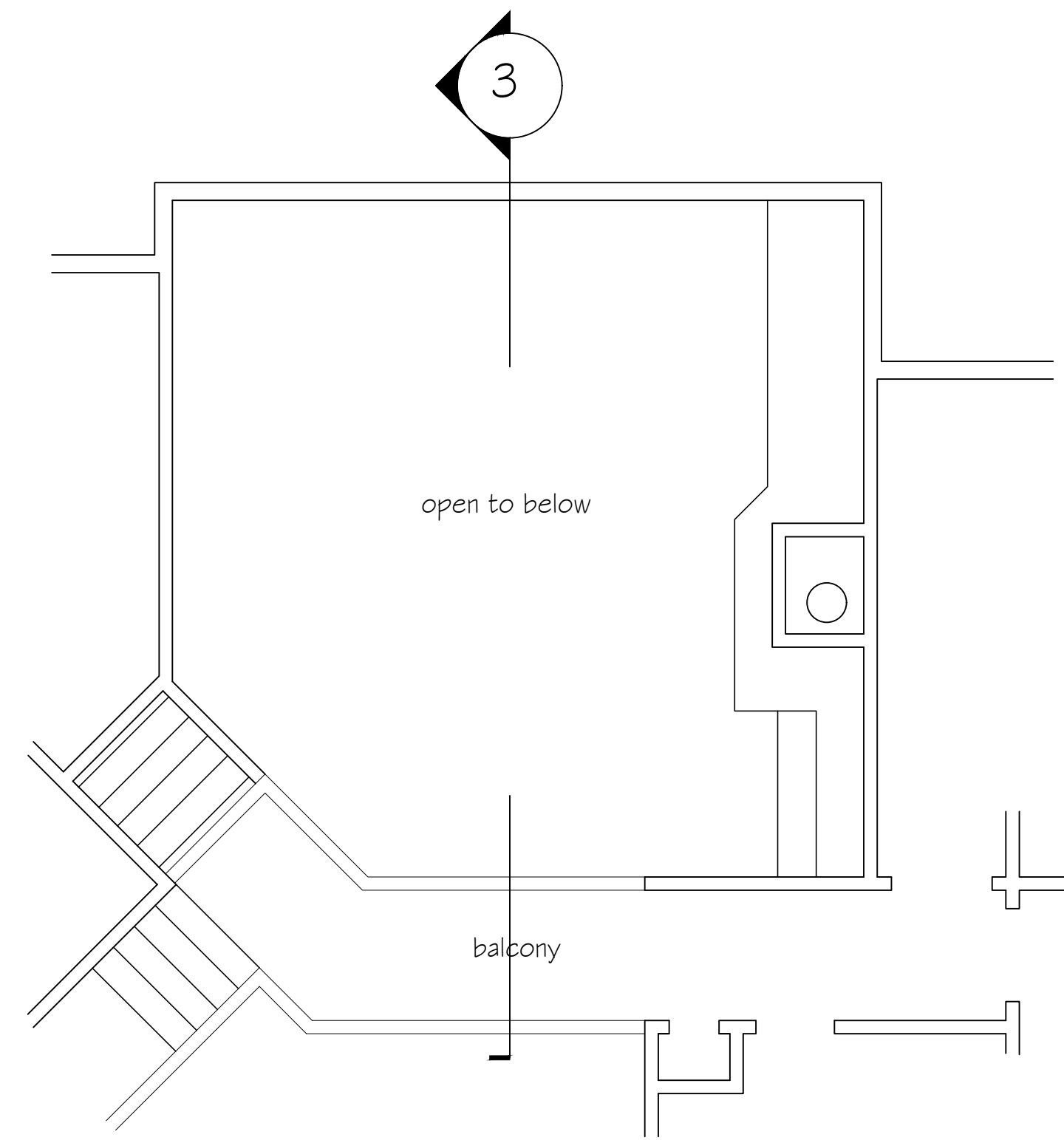
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BRUCE & SHARON WILSON

Project:
**2ND FLOOR ADDITION
INTERIOR ALTERATION**

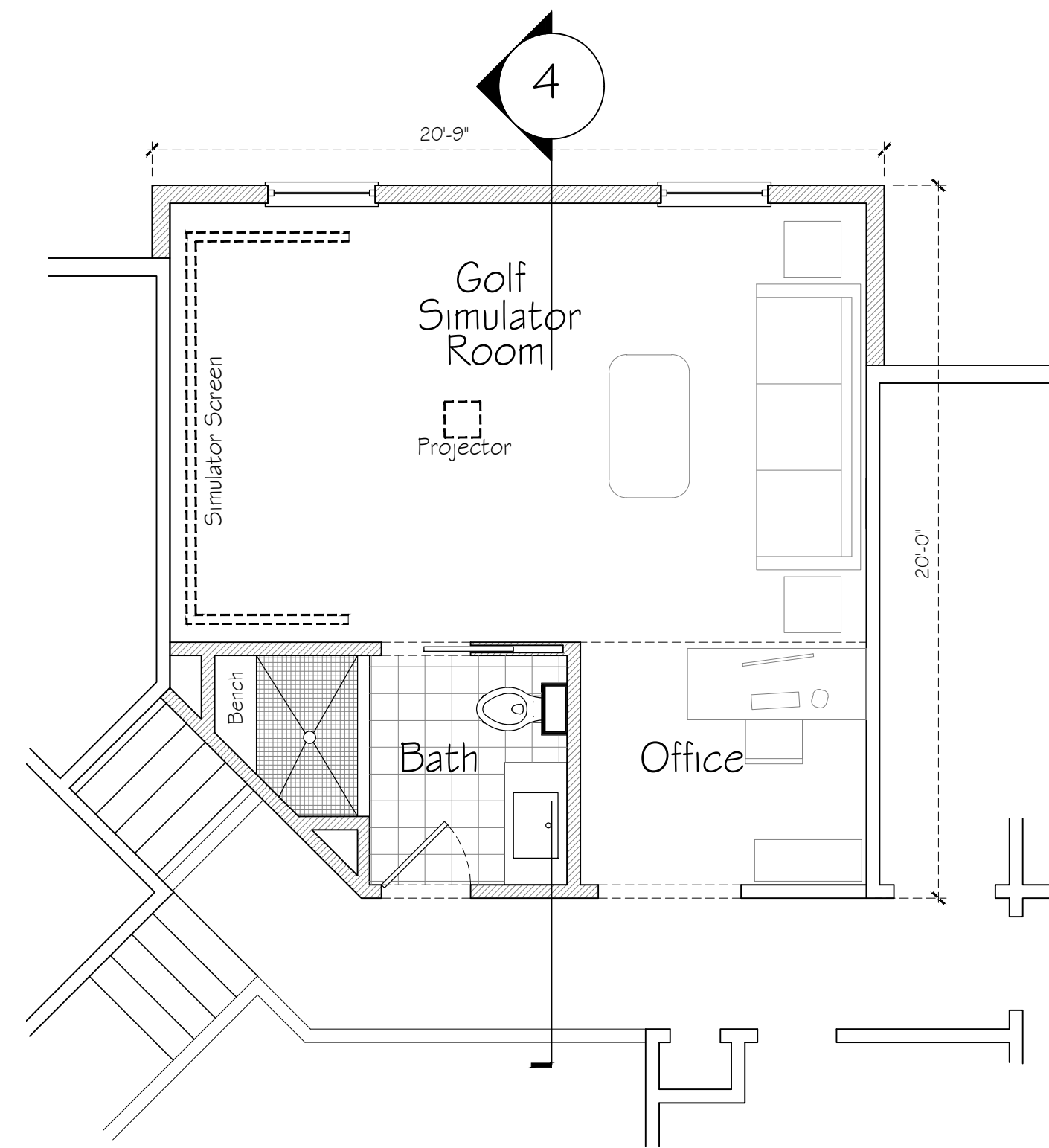
14 Kingdom Ridge Road
Bedford, NY 10506

Dwg. Name:
ELEVATIONS

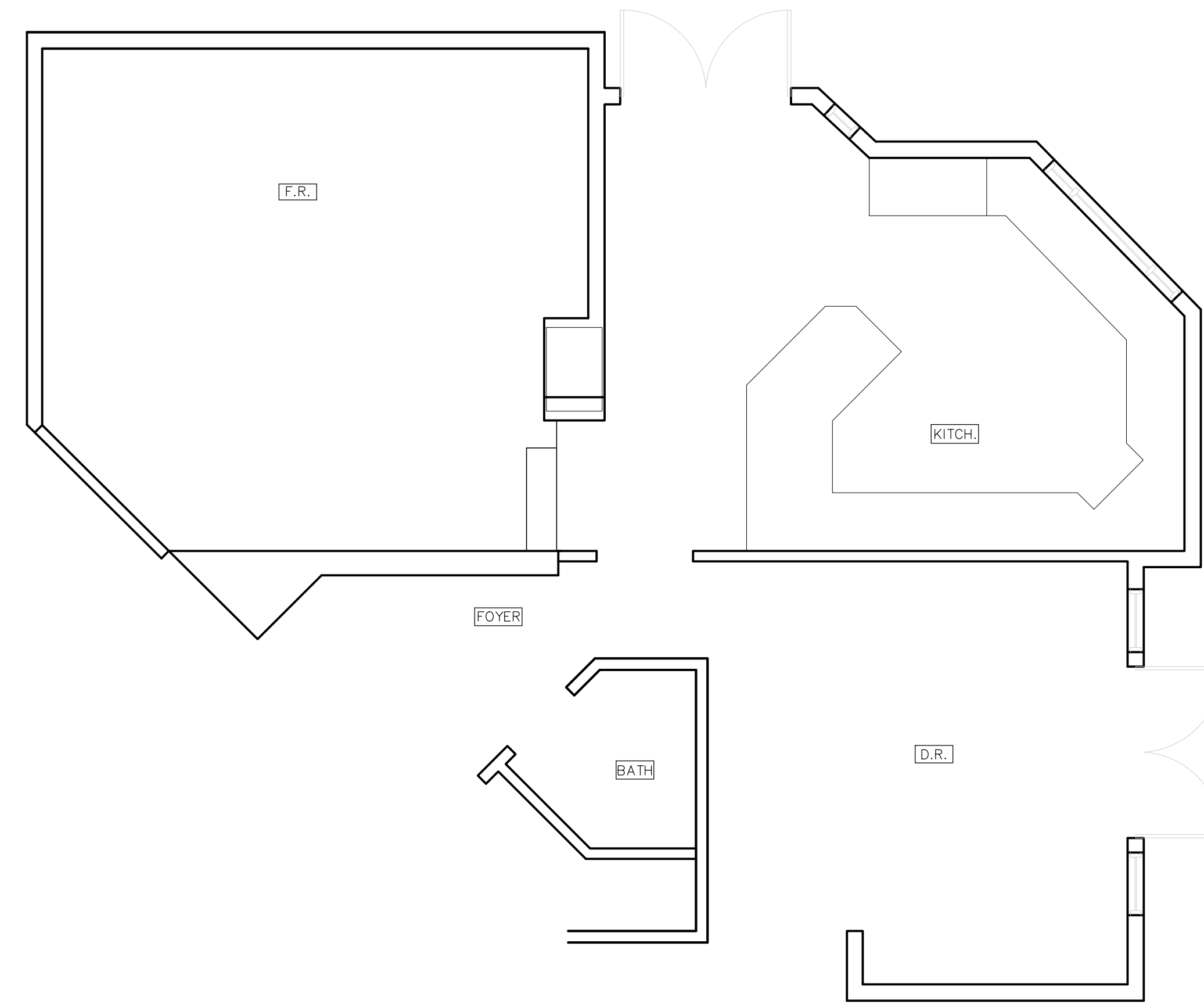
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A-101



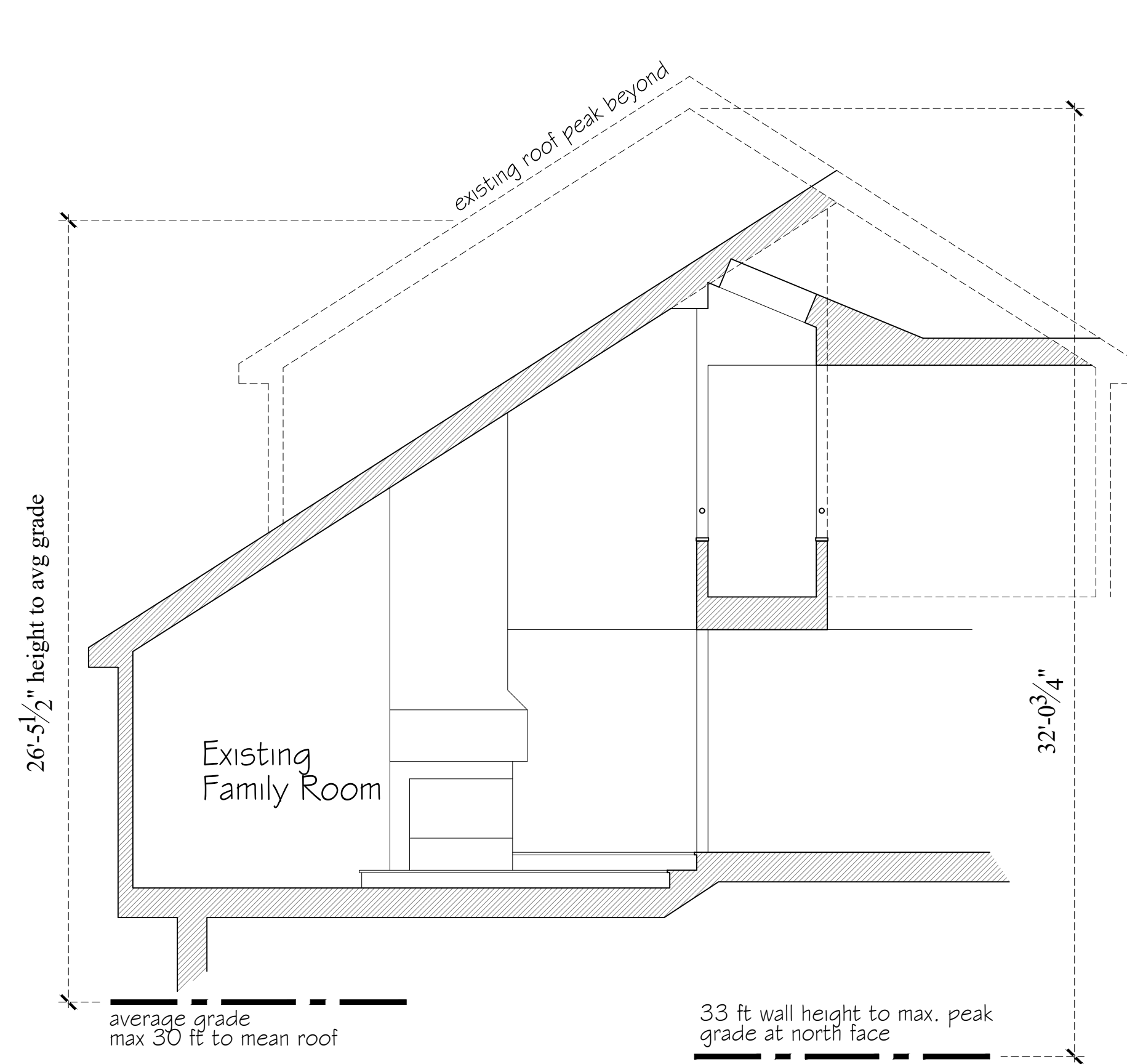
1 EXISTING 2ND FLOOR PLAN ABOVE FAMILY ROOM
SCALE - 1/4" = 1'-0"



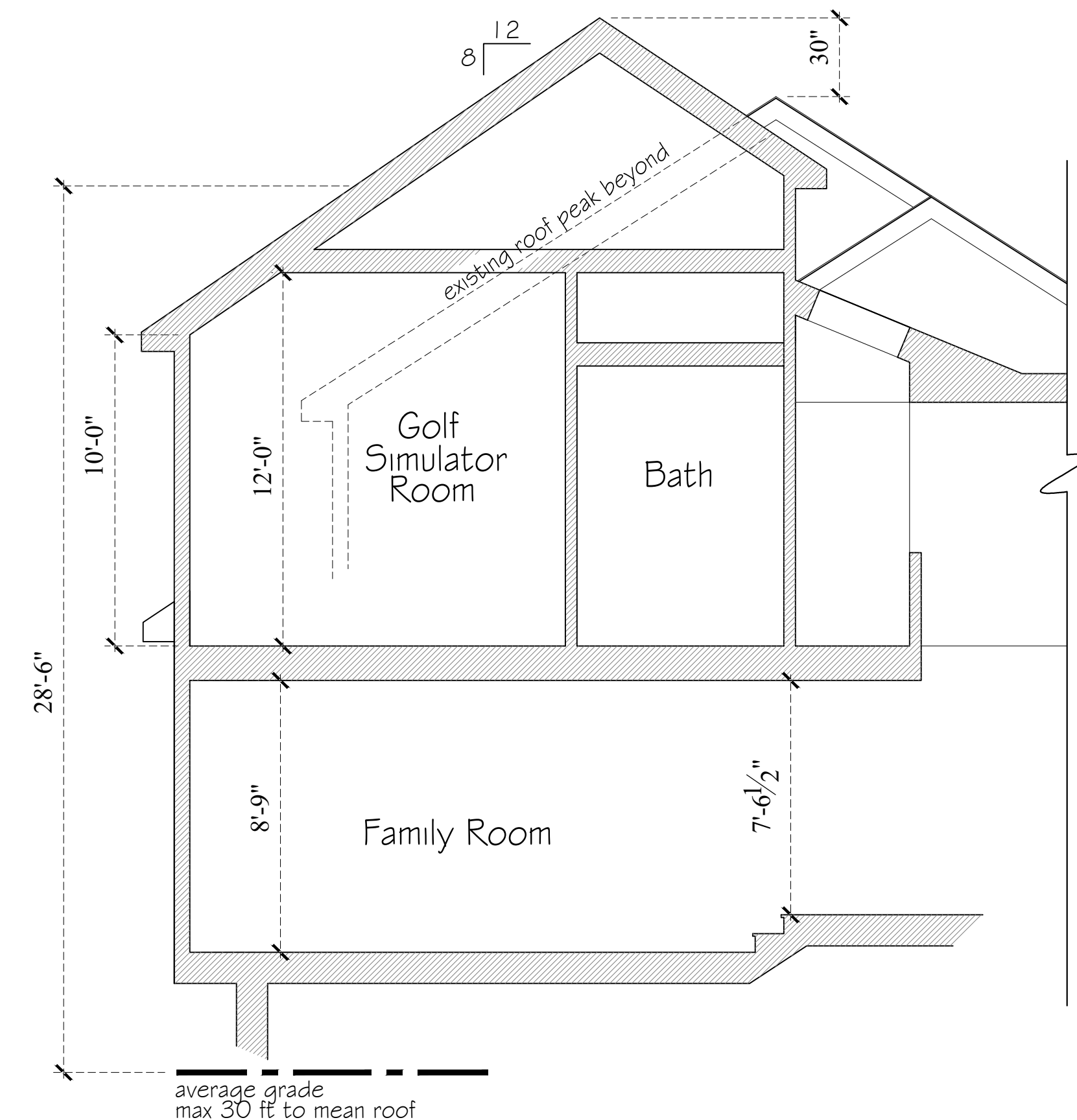
2 PROPOSED 2ND FLOOR ADDITION PLAN
SCALE - 1/4" = 1'-0"



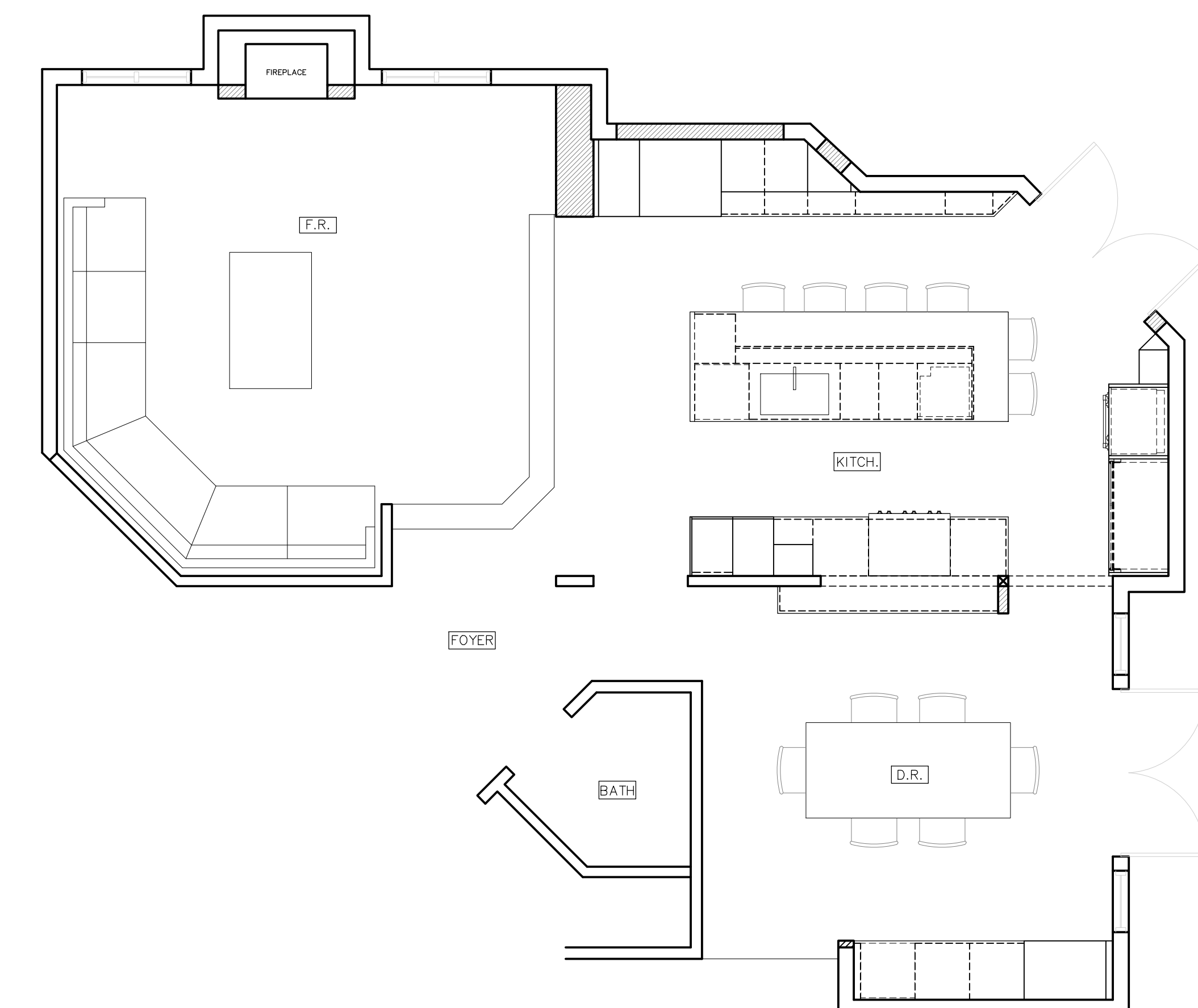
5 EXISTING PARTIAL GROUND FLOOR PLAN
SCALE - 1/4" = 1'-0"



3 EXISTING BUILDING SECTION THRU FAMILY ROOM
SCALE - 1/4" = 1'-0"



4 PROPOSED BUILDING SECTION
SCALE - 1/4" = 1'-0"



6 PROPOSED GRND. FLR. INTERIOR ALTERATION PLAN
SCALE - 1/4" = 1'-0"

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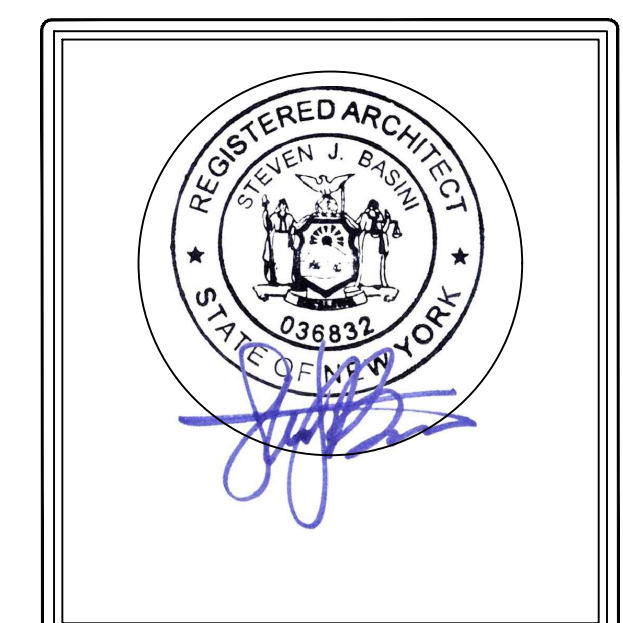
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Drawn by: SJB
Checked by: SJB

Project #
Dwg. Date

Revisions

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Dwg. Name:
**PLANS
SECTIONS**

Sheet #
A-102