



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 2 Warren Place Armonk NY 10504

Section III- DESCRIPTION OF WORK:

New dormer addition to existing single family dwelling. New front portico to existing single family dwelling.

Section III- CONTACT INFORMATION:

APPLICANT: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____ EMAIL: john@resreal.com

PROPERTY OWNER:
Paul Servidio

ADDRESS: 2 Warren Place Armonk NY 10504

PHONE: 914-262-0808 MOBILE: _____ EMAIL: pservidio11@gmail.com

PROFESSIONAL: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____

EMAIL: john@resreal.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 108.02-2-20



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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 Fax: (914) 273-3554
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 2 Warren Place Date: 03/13/2022

Tax Map Designation or Proposed Lot No.: 108.02-2-20

Gross Lot Coverage

- | | | |
|-----|---|---------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>124,445 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 213-22.2C): | <u>16,069.82 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 213-22.2C): | |
| | Distance principal home is beyond minimum front yard setback
<u>56.5</u> x 10 = | <u>565 SF</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>16,634.82 SF</u> |
| 5. | Amount of lot area covered by principal building :
<u>1577</u> existing + <u>0</u> proposed = | <u>1,577 SF</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0 SF</u> |
| 7. | Amount of lot area covered by decks :
<u>260</u> existing + <u>0</u> proposed = | <u>260 SF</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>0</u> proposed = | <u>0 SF</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>3745</u> existing + <u>0</u> proposed = | <u>3745 SF</u> |
| 10. | Amount of lot area covered by terraces :
<u>362</u> existing + <u>0</u> proposed = | <u>362 SF</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>8</u> existing + <u>0</u> proposed = | <u>8 SF</u> |
| 12. | Amount of lot area covered by all other structures :
<u>139</u> existing + <u>0</u> proposed = | <u>139 SF</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>6,091 SF</u> |

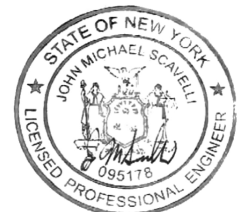
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

John M. Scavelli

4/5/2022

Signature and Seal of Professional Preparing Worksheet

Date





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 2 Warren Place Date: 03/13/2022

Tax Map Designation or Proposed Lot No.: 108.02-2-20

Floor Area

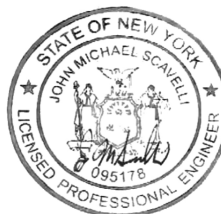
- | | | |
|-----|---|-------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>124,445 SF</u> |
| 2. | Maximum permitted floor area (per Section 213-22.2B): | <u>11,615 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>1452</u> existing + <u>0</u> proposed = | <u>1452 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>1081.2</u> existing + <u>367.4</u> proposed = | <u>1448.6 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>705.2</u> existing + <u>0</u> proposed = | <u>705.2 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>60</u> existing + <u>7.2</u> proposed = | <u>67.2 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>746.7</u> existing + <u>0</u> proposed = | <u>746.7 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>4420 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

John M. Scavelli

 Signature and Seal of Professional Preparing Worksheet

4/5/2022
 Date



MR. PAUL SERVIDIO
JAIMIE SERVIDIO
2 WARREN PL.
ARMONK, NY 10504-2641
UNITED STATES

Morgan Stanley

1130

PREMIER

25-80/440

3/30/22

Date

Pay to the

Order of TOWN OF NORTH CASTLE

\$ 750.00

Seven Hundred Fifty + 00/100

Dollars



Photo Safe Deposit
Details on back

UMB Bank, N.A.
Kansas City, MO 64106
1-800-688-3462



Expense Analyzer

For RPRC Filing Fee

Paul Servidio MP

⑆044000804⑆8902056628582⑆ 1130

MR. PAUL SERVIDIO
JAIMIE SERVIDIO
2 WARREN PL.
ARMONK, NY 10504-2641
UNITED STATES

Morgan Stanley

1131

PREMIER

25-80/440

3/30/22

Date

Pay to the

Order of TOWN OF NORTH CASTLE

\$ 3,815.00

Three Thousand Eight Hundred Fifteen + 00/100

Dollars



Photo Safe Deposit
Details on back

UMB Bank, N.A.
Kansas City, MO 64106
1-800-688-3462



Expense Analyzer

For Building Permit

Paul Servidio MP

⑆044000804⑆8902056628582⑆ 1131

ADDITION & ALTERATION PERMIT PLANS FOR: 2 Warren Place Armonk 10504

BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

DETAILS SCOPE OF WORK DESCRIPTION

EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:

- 1. NEW 2ND LEVEL ADDITION TO EXISTING RESIDENTIAL DWELLING.

CLASSIFICATION OF WORK- ALTERATION LEVEL 2

- THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN **ALTERATION - LEVEL 2 (A)301.5**, WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL **GROUP R3 WITH CONSTRUCTION TYPE V**, EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
2. ALL DIMENSIONS ARE TO ROUGH FRAMING
3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
9. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION NOTES:

1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH DESIGN PROFESSIONAL.
2. PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE AS REQUIRED BY THE LOCAL LAW.
3. ALL WORK SHALL BE CONSTRUCTED AND INSTALLED IN A PLUMB, LEVEL, SQUARE, TRUE AND PROPER ALIGNMENT.
4. ALL MATERIALS AND ASSEMBLIES TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFBC "FIRE RESISTANCE RATINGS" AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARDS METHODS OF FIRE TESTS"
5. WHERE PIPES OR CABLES PENETRATE WALL OR FLOOR OPENINGS PROVIDE FIRE STOP MATERIAL AS REQUIRED TO ENSURE CONTINUITY OF RATING PER LOCAL LAW.
6. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 PSF.
7. ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
8. ALL REINFORCEMENT BAR SHALL BE MADE OF STEEL CONFORMING TO ASTM A615, GRADE 60.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
10. INSTALL ALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT AS PER MANUFACTURER'S SPECIFICATIONS.
11. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS ACCEPTABLE TO THE MANUFACTURER'S SPECIFICATIONS.
12. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGE BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THEIR EXPENSE.
14. ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
15. ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING.
16. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITIES SERVICE ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO MATCH EXISTING.
17. "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK. IT DOES NOT EXCLUDE WORK THAT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING OR OTHER TRADES.
18. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING UNLESS OTHERWISE NOTED.
19. ALL DOORS SHALL AVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2". UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.
21. TEMPORARY SHORING SHALL BE PROVIDE PRIOR TO THE DEMOLITION OF LOAD BEARING WALLS.
22. EXISTING STRUCTURAL ELEMENTS SHALL REMAIN IN PLACE UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.

DEMOLITION NOTES:

1. DEMOLITION SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER AND IS RESPONSIBILITY OF CONTRACTOR TO ENSURE SAFE WORKING CONDITIONS.
2. PRIOR TO ANY DEMOLITION THE JOBSITE SHALL BE VISITED BY DEMOLITION CONTRACTOR TO EXAMINE THE EXTENTS OF DEMOLITION. ANY AREAS OF DEMOLITION NOT DESCRIBED UNDER THIS DRAWING PACKAGE SHALL BE VERIFIED BY OWNER AND DESIGN PROFESSIONAL PRIOR TO ANY ADDITIONAL DEMOLITION.
3. ALL BUILDING MATERIAL AND DEBRIS SHALL BE REMOVED FROM SITE IN AN ORDERLY AND TIMELY FASHION.
4. EXCESSIVE QUANTITIES OF DEBRIS SHALL NOT BE PILED TOGETHER INSIDE THE STRUCTURE OR ON THE SURROUNDING PREMISES.
5. ALL DEMOLITION WORK SHALL CONFORM TO THE CURRENT LOCAL CODES.
6. PRIOR TO ANY DEMOLITION OF BUILDING SERVICES, THE PROPER UTILITIES SHOULD BE DISCONNECTED. COORDINATE WITH LOCAL UTILITY PROVIDERS AS REQUIRED.
7. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
8. ALL PLUMBING WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED PLUMBING CONTRACTOR.
9. ALL SURFACES DAMAGED DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AS NECESSARY.

TEMPORARY SHORING PROCEDURE NOTES:

1. TEMPORARY SHORING SHALL BE PROVIDED FOR REMOVAL OF LOAD BEARING WALLS.
2. SHORING SHALL CONSISTS OF 2x4 LUMBER AND SHORING SHALL BEAR DIRECTLY ONTO SOLID GROUND.
3. EXISTING SUPPORT COLUMNS SHALL NOT BE REMOVED UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.

LUMBER NOTES:

1. ALL NOMINAL STRUCTURALLY GRADED LUMBER SHALL BE DOUGLAS FIR NO. 2, E - 1,600,000 PSI OR AN APPROVED EQUIVALENT.
2. LVL MEMBERS SHALL BE "MICRO-LAM LVL" AS MANUFACTURED BY TRUSS JOIST CORPORATION, Fb = 2,600 PSI, E = 1,900,000 PSI OR AN APPROVED EQUIVALENT, U.N.O.
3. PSL MEMBERS SHALL BE "PARALLAM PSL" AS MANUFACTURED BY TRUSS JOIST CORPORATION, Fb = 2900 PSI, Fv = 2900 PSI OR AN APPROVED EQUIVALENT.
4. FLUSH FRAMED WOOD CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS OF THE WIDTH AND DEPTH REQUIRED FOR THE SUPPORTED MEMBER. HANGERS SHALL BE SECURED WITH THE QUANTITY AND TYPE OF FASTENERS RECOMMENDED BY THE MANUFACTURER. (APPLIES TO EXISTING & NEW MEMBERS)
5. BUILT-UP FRAMING MEMBERS SHALL HAVE ADJACENT PLYS NAILED TOGETHER WITH 1" ROWS OF NAILS AT 12" O.C. LUMBER SHALL BE NAILED WITH ROWS OF 10D COMMON NAILS WITH (2) NAILS PER ROW FOR 2x6 AND 2x8 AND (3) NAILS PER ROW FOR 2x10 AND 2x12. LVL MEMBERS SHALL BE NAILED WITH ROWS OF 16D COMMON NAILS WITH (2) NAILS PER ROW FOR 7" AND SHALLOWER MEMBERS, (3) NAILS PER ROW FOR 9 3/4" TO 11 W DEPTH MEMBERS, AND (4) NAILS PER ROW FOR 14" TO 16" DEPTH MEMBERS. U.N.O.
6. PROVIDE TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN. PROVIDE A JACK STUD AND A KING STUD AT EACH END OF ALL DROPPED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN.
7. FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS, UNLESS OTHERWISE NOTED IN PLAN. FLOOR JOISTS WHICH SUPPORT NON-LOAD BEARING PARTITIONS WHICH SPAN PARALLEL TO THE JOISTS SHALL BE DOUBLED AND BRIDGING SHALL BE PROVIDED AT A MAXIMUM SPACING OF 8'-0" O.C. IN ALL FLOOR FRAMING.
8. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
9. PLYWOOD SHALL CONFORM TO THE U.S. DEPT. OF COMMERCE DOC PS-1 AND BEAR THE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD SHEATHING FOR FLOORS, ROOFS, & WALLS SHALL BE OF THICKNESS INDICATED, EXPOSURE 1.
10. HEADERS AT EXTERIOR WALLS SHALL BE MINIMUM (2) 2x10, U.N.O.
11. ALL WOOD PLACED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
12. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE A TRUSS IDENTIFICATION SIGN SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS STRUCTURE UTILIZES TRUSS TYPE, PRE-ENGINEERED WOOD AND/OR TIMBER CONSTRUCTION. SIGN SHALL BE A PERMANENT, NON-FADING WEATHER RESISTANT STICKER OR DECAL.

FIRE BLOCKING NOTES:

1. FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH R302.11
2. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES.
3. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - 3.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - 3.2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - 3.3. AT OPENINGS AROUND VENTS, PIPES, DUCTS CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED FIRE RESISTANT MATERIAL.
- 3.4. ONE HALF INCH SHEETROCK OR TWO INCH NOMINAL LUMBER SHALL BE USED FOR FIRE BLOCKING MATERIAL. ADDITIONAL MATERIALS MAY BE USED WHERE APPROVED UNDER R302.11.1

INTERIOR FINISH NOTES:

1. ANY DAMAGED WALL SURFACES SURFACES ARE TO BE PROVIDED WITH NEW GYPSUM WALL BOARD INSTALLATION. REFER TO WALL DETAILS FOR ADDITIONAL INFORMATION.
2. ALL WALL SURFACES ARE TO BE PAINTED WITH MINIMUM ONE COAT OF PRIMER AND TWO FINISH COATS. COLORS AS APPROVED BY OWNER
3. ALL NEW INTERIOR AND EXTERIOR WALL OPENINGS TO BE PROVIDED WITH INTERIOR TRIM. PROVIDE BASE, DOOR, WINDOW AND CROWN MOLDINGS AS APPROVED BY OWNERS. ALL TRIM TO BE PREPPED AND PAINTED.
4. ALL FRAMING IN CONTACT WITH CONCRETE OR MASONRY SURFACES SHALL BE PRESSURE TREATED TYPE LUMBER.

RENOVATIONS NOTES:

1. NEW WALL, BASE CABINETS AND VANITIES TO BE INSTALLED. REFER TO PLANS.
2. NEW PLUMBING FIXTURES AND ASSOCIATED PIPING AND TRIM WORKS SHALL BE INSTALLED. ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS.
3. NEW TILE SHALL BE INSTALLED IN BATHROOM AREAS. TILE FINISH AND LOCATIONS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.

ENERGY CONSERVATION CODE OF NEW YORK

1. 2020 RESIDENTIAL CODE OF NY STATE CHAPTER 11 SECTION N1101 GENERAL AND [NY] SECTION AJ104 ENERGY EFFICIENCY.
 - a. NEW YORK STATE CLIMATE ZONES BY COUNTY (TABLE N.1 101.4)
 - b. CLIMATE ZONE 4 INSULATION AND FENESTRATION BY COMPONENT (TABLE N 1102.1(1))

ENERGY STATEMENT:

I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE. CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.

CLIMATE ZONE: ZONE (4) WESTCHESTER

BUILDING TYPE: 1- FAMILY RESIDENTIAL.

ENERGY CONSERVATION CODE:

DESIGN DATA: TABLE 301.1
CLIMATE ZONE: 4
CODE DESIGN APPROACH: CHAPTER 4 (TABLE 402.1.1)
FENESTRATIONS:
FENESTRATION U FACTOR: REQ = 0.32
GLAZED FENESTRATION SHGC: REQ = 0.40
WINDOWS, SKYLIGHTS, SLIDING GLASS DOORS AIR INFILTRATION: <= 0.3CFM PER SF
SWINGING DOORS AIR INFILTRATION: <= 0.5 CFM PER SF
PROPOSED ANDERSEN LOW-E TYPE GLASS

R-VALUE CHART

DESCRIPTION	PROPOSED
CEILING	49
WALL	21
FLOOR	19
BASEMENT WALL	13

ANY EXPOSED EXTERIOR WALLS, FLOORS ADJACENT TO UNCONDITIONED SPACES, AND CEILINGS ADJACENT TO UNCONDITIONED SPACES SHALL BE UPDATED WITH NEW INSULATION.

ELECTRICAL NOTES:

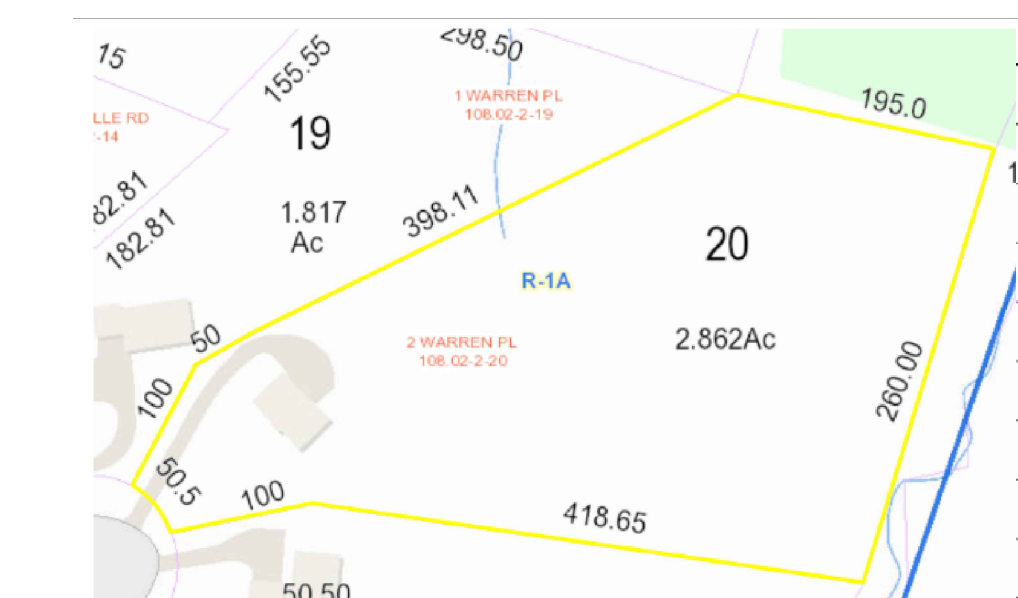
1. THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE ELECTRICAL SYSTEM.
2. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
3. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES
4. ELECTRICAL OUTLET PLACEMENT IS FOR LOCATION ONLY, COORDINATE INSTALLATION WITH ALL TRADE WORK.
5. INSTALL ALL OUTLETS AT 15" AFF EXCEPT OTHERWISE NOTED, OR TO MATCH HEIGHTS OF EXISTING OUTLETS WITHIN THE SAME SPACE.
6. ALL FLOOR OUTLETS SHALL BE INSTALLED AS CLOSE TO THE DIMENSIONED LOCATIONS AS POSSIBLE, WITHIN A TOLERANCE OF 2" BUT NOT TO EXCEED PLACEMENT DISALLOWED BY LOCAL CODE.
7. ELECTRICAL PANELS SHALL BE FULLY LABELED WITH CIRCUIT NUMBERS AND IDENTIFICATIONS FOR ALL SPACES SERVED BY EACH CIRCUIT.
8. ALL NEW SWITCHES SHALL BE GANGED TOGETHER WHENEVER MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION.
9. ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED.
10. ALL WIRING SHALL BE PROVIDED AND INSTALLED PER NFPA 70 NATIONAL ELECTRICAL CODE REQUIREMENTS.
11. ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE W/ NFPA 70 NATIONAL ELECTRICAL CODE.
12. CONTRACTOR SHALL FIXTURE SELECTIONS, SWITCHES AND OUTLETS AND GAIN OWNER APPROVAL PRIOR TO INSTALLATION.
13. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

PLUMBING

1. PLUMBING COMPONENTS, EQUIPMENTS AND SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLUMBING CODE.
2. THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE PLUMBING SYSTEM.
3. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED TRADE PROFESSIONAL CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	HEATING DEGREE DAYS	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARD
30 PSF	120 MPH	C	SEVERE	42"	MODERATE/ HEAVY	SLIGHT/ MODERATE	5750 DEGREE-DAYS (CLIMATE ZONE 4)	YES	NO



G GIS VIEW

SCALE: NTS



A1 AERIAL VIEW

SCALE: NTS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST INTERIOR WALL		EXHAUST FAN
	EXST EXTERIOR WALL		EXHAUST FAN AND LIGHT
	NEW EXTERIOR WALL		LIGHT FIXTURE
	NEW INTERIOR WALL		WALL MOUNTED LIGHT FIXTURE
	CONCRETE WALL		REFRIGERATOR OUTLET
	BLOCK WALL		GFCI OUTLET
	BRICK EXST WALL		OUTLET
	2 LAYERED INT WALL		DISHWASHER OUTLET
	BASEMENT INSULATED WALL		LAUNDRY HOOKUP
	BASEBOARD HEATER		SMOKE DETECTOR
	DOOR TAG		ELECTRICAL PANEL
	WINDOW TAG		SHUT OFF VALVE
	CEILING FAN		WATER METER/ SHUTOFF
	STRUCTURAL ELEMENT		GAS METER
	WATER FILTER		MECHANICAL
	OIL TANK		WATER HEATER
	CONCRETE ELEMENT		

NOTE: NOT ALL SYMBOLS LISTED MAY BE USED UNDER THIS DRAWING PACKAGE.

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

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PROJECT:

**2 Warren Place
Armonk, NY 10504**

DRAWING TITLE:

**GENERAL NOTES
SHEET 1**

G-101

NOTES:

AIR BARRIER & INSULATION NOTES

1. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO COMPLY WITH R402.4.1.1 AND R402.4.1.2
2. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS AND JOINTS IN THE BARRIER SHALL BE SEALED.
3. ACCESS OPENINGS, DROP DOWN STAIRS OR ACCESS DOORS TO UNCONDITIONED SPACES SHALL BE SEALED.
4. JUNCTION BETWEEN FOUNDATION AND SILL PLATE SHALL BE SEALED.
5. SPACES BETWEEN FENESTRATION ELEMENTS SUCH AS WINDOWS, DOORS, SKYLIGHTS (IF APPLICABLE) SHALL BE SEALED.
6. RIM JOISTS SHALL BE INSULATED AND PROVIDED WITH AIR BARRIER.
7. UTILITY SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFTS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
8. AIR SEALING SHALL AND INSULATION SHALL BE PROVIDED BETWEEN GARAGE AND CONDITIONED SPACE.
9. RECESSED LIGHT FIXTURES SHALL BE SEALED TO DRYWALL.
10. AIR BARRIER AND INSULATION SHALL BE PROVIDED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS.
11. HVAC REGISTERS THAT PENETRATE THE THERMAL ENVELOPE SHALL BE SEALED.
12. SPRINKLER PENETRATIONS IF APPLICABLE SHALL BE SEALED ONLY IN ACCORDANCE WITH THE SPRINKLERS MANUFACTURERS' RECOMMENDATIONS. CAULKING OR ADHESIVES SHALL NOT BE APPLIED TO ANY SPRINKLER COVER PLATES.

ROOF AND FLASHING NOTES

1. ROOFING AND ROOF FLASHING SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R902 AND R903.
2. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER ROOF PENETRATIONS AS APPLICABLE.
3. FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
4. FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDE WALL.
5. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH.
6. ROOFS SHALL BE COVERED WITH MATERIALS AS SET FORTH IN SECTION R904 AND R905.
7. CLASS A B OR C ROOFING SHALL BE INSTALL IN JURSDICTIONS DESIGNATED BY LAW AS REQUIRING THEIR USE OF WHERE THE EDGE OF THE ROOF IS LESS THAN 3 FEET FROM A LOT LINE.
8. CLASS A, B, C ROOFING REQUIRED TO BE LISTED AND TESTED IN ACCORDANCE WITH UL 790 OR ASTM E 108

MECHANICAL NOTES

1. THE HVAC SYSTEMS DESIGN AND INSTALLATIONS, OR MODIFICATIONS TO SUCH SYSTEMS, SHALL MEET OR EXCEED THE DESIGN CRITERIA AND QUALITY STANDARDS ESTABLISHED FOR THE BASE BUILDING CONSTRUCTION.
2. AT THE COMPLETION OF THE INSTALLATION, TEST AND BALANCE ALL CONTROLS AND SYSTEMS ACCORDING TO MANUFACTURER OR ASHRAE STANDARDS. ANY DEFICIENCIES OR INCONSISTENCIES SHALL BE CORRECTED, AND A BALANCING REPORT BY AN INDEPENDENT ACCREDITED TESTING FIRM SHALL BE SUBMITTED.
3. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR HVAC SYSTEM PERFORMANCE AND CODE COMPLIANCE.
4. THE MECHANICAL SUBCONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS FOR ALL PURCHASED EQUIPMENT AND OFF SITE MANUFACTURED SYSTEM COMPONENTS TO THE OWNER PRIOR TO ORDERING, FABRICATION OR INSTALLATION.
5. THE OWNER SHALL REVIEW SUBMITTALS FOR GENERAL CONFORMANCE TO DESIGN CRITERIA AND AESTHETIC CONSIDERATIONS ONLY. THE GC SHALL BE RESPONSIBLE FOR THE OVERALL MEP SYSTEM PERFORMANCE.
6. ALL MECHANICAL, ELECTRICAL, PLUMBING AND LIFE SAFETY DESIGN AND INSTALLATION WORK SHALL CONFORM TO APPLICABLE INDUSTRY STANDARDS AND SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REVIEW AND REGULATORY AGENCIES HAVING JURISDICTION. (REFERENCE HIGHEST STANDARD, LOWEST TOLERANCE).
7. REFER TO MECHANICAL CONTRACTOR FOR ADDITIONAL MECHANICAL PLANS, DETAILS, DIAGRAMS AND SPECIFICATIONS.
8. MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE WITH INTERNATIONAL MECHANICAL CODE.

NAILING SCHEDULE:

1. JOIST TO SILL OR GIRDER - (3) 8D
2. BRIDGING TO JOIST, TOE NAIL EACH END - (2) 8D
3. LEDGER STRIP - THREE 16d AT EACH JOIST
4. SUB-FLOORING, SIX INCHES WIDE OR LESS TO EACH JOIST FACE NAIL - (2) 8D
5. SOLE PLATE TO JOIST OR BLOCKING, FACENAIL - 16D AT 16" O.C.
6. TOP PLATE TO STUD, END NAIL - (2) 16D
7. STUD TO SOLE PLATE, TOE NAIL - (4) 8D OR (3) 16D
8. DOUBLE STUDS, FACENAIL - 10D AT 16" O.C.
9. DOUBLE TOP PLATES, FACENAIL - 10D AT 16" O.C.
10. TOP PLATES, LAP AND INTERSECTIONS, FACENAIL - (2) 10D
11. ROOF RAFTERS TO RIDGE, VALLEYS OR HIP RAFTERS, TOE NAIL (3) 16 FACE NAIL THREE 16D
12. RIM JOIST TO TOP PLATE, TOE NAIL 8D AT 6" O.C.
13. CONTINUOUS HEADER, 16D AT 16" O.C.
14. CEILING JOISTS TO PLATE, TOENAIL - (3) 16D
15. CONTINUOUS HEAD TO STUD, TOENAIL - (4) 8D
16. CEILING JOISTS, LAPS OVER PARTITIONS, FACENAIL - (3) 10D
17. CEILING JOISTS TO PARALLEL RAFTERS, FACENAIL - (3) 10D
18. RAFTER TO PLATE, TOENAIL - (3) 16D
19. BRACE ONE INCH TO EACH STUD AND PLATE, FACENAIL - (3) 8D
20. SHEATHING AND SUB-FLOORING, 1 INCH BY UP TO 8 INCH, EACH BEARING FACENAIL - (3) 8D
21. SHEATHING AND SUB-FLOORING, WIDER THAN ONE INCH B MORE THAN 8 INCH EACH BEARING FACENAIL (3) 8D
22. BUILT-UP CORNER STUDS - 16(D) AT 16" O.C.
23. BUILT-UP GIRDERS AND BEAMS - 10D, NAIL EACH 2" LUMBER LAYER AT 24" O.C. ALONG EACH EDGE AND STAGGERED.
24. COLLAR TIES TO RAFTERS FACE NAIL (4) 8D

GLAZING NOTES:

1. GLAZING INSTALLED IN HAZARD LOCATIONS AS DEFINED BY SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID, ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR BE A TYPE OF THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.

FINISH NOTES:

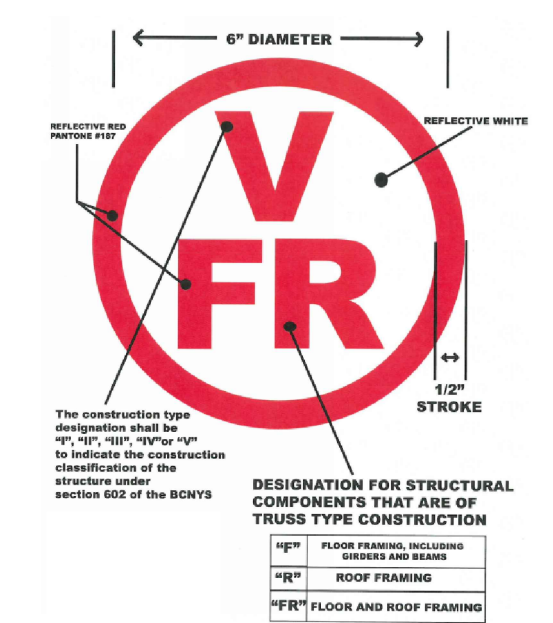
1. BATHROOM FLOORING TO BE CERAMIC TILE AND APPROVED EQUAL.
2. BATHROOM WALLS <48" ABOVE FINISHED FLOORS SHALL BE CERAMIC TILE OR APPROVED EQUAL.
3. BATHROOM CEILINGS AND WALLS >48" ABOVE FINISHED FLOORS SHALL BE MOISTURE RESISTANT ½" GYPSUM BOARD WITH LEVEL 4 FINISH. ALL FINAL PAINT COLORS SHALL BE APPROVED BY OWNER.
4. ANY INFILL WALL CONSTRUCTION OR DAMAGED WALLS DURING CONSTRUCTION SHALL BE PREPPED AND FINISHED TO MATCH EXISTING. EXISTING PLASTER OR GYPSUM BOARD SHALL BE PREPPED AND PREPARED FOR FINISH COAT OF PAINT.
5. ALL NEW ½" GYPSUM BOARD USED SHALL BE PREPPED WITH LEVEL 4 FINISH PRIOR TO PAINTING.
6. ALL BASE BOARD AND DOOR MOLDINGS AND CASINGS SHALL BE WOOD AND SHALL MATCH EXISTING BASEBOARD AND DOOR CASING STYLE AND SIZE. ALL NEW CASINGS AND MOULDINGS SHALL BE PAINTED WITH SEMI-GLOSS PAINT. COLOR AS APPROVED BY OWNER
7. PROVIDE NEW ½" OAK SADDLES WITH ¼" BEVEL AT FLOOR TRANSITIONS AT NEW DOORWAY OPENINGS. SADDLES SHALL BE STAINED AND FINISHED TO MATCH EXISTING FLOORING.

EXTERIOR SIDING RENOVATIONS:

1. MATCH NEW SIDING WITH EXISTING WITH LIKE KIND AND COLOR. INSTALL IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.
2. ALL COLORS AND FINISHES SHALL BE MOCKED UP AND APPROVED BY OWNER PRIOR TO INSTALLATION.

LIGHTING REQUIREMENTS

1. LIGHTING SHALL BE INSTALLED IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
3. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A 1.57 PSF PRESSURE DIFFERENTIAL.
4. ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
5. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.
6. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.



ENGINEERED WOOD CONSTRUCTION NOTES:
 PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, A TRUSS IDENTIFICATION SIGN (AS SHOWN) SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS PROPERTY'S STRUCTURE UTILIZES TRUSS, TYPE, PRE-ENGINEERED WOOD AND OR TIMBER CONSTRUCTION. SIGN SHALL BE PERMANENT, NON-FADING, WEATHER RESISTANT STICKER OR DECAL.

WINDOW SCHEDULE				
NO.	MANUFACTURER	DESCRIPTION	SIZE (W x H)	NOTES
W-1	ANDERSEN 200 SERIES OR EQUAL	DOUBLE HUNG	35" x 49" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE
W-2	ANDERSEN 200 SERIES OR EQUAL	HOPPER	35" x 24" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE

1. WINDOWS TO BE INSTALLED AS PER DETAILS AND SPECIFICATIONS ON WINDOW SCHEDULE AND PLANS
2. ALL UNITS SHALL HAVE CODE COMPLIANT INSULATION AND AIR INFILTRATION REQUIREMENTS.
3. EXISTING AND/OR NEW WINDOW FRAME OPENINGS SHALL BE VERIFIED IN FIELD BY INSTALLING CONTRACTOR PRIOR TO PURCHASE AND INSTALLATION.
4. WINDOWS INDICATED ON PLANS AS EGRESS TYPE WINDOWS SHALL MEET MINIMUM EMERGENCY EGRESS REQUIREMENTS AS PER SECTION R310 OF THE RESIDENTIAL BUILDING CODE.

DOOR SCHEDULE				
NO.	MANUFACTURER	DESCRIPTION	SIZE (W x H)	NOTES
D14	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	1'-4" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
D26	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	2'-6" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
PD40	JELD WEN OR EQUAL	PRIMED SOLID CORE POCKET	4'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
SD40	JELD WEN OR EQUAL	PRIMED SOLID CORE SLIDING	4'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
SD50	JELD WEN OR EQUAL	PRIMED SOLID CORE SLIDING	5'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE

LIGHT & VENTILATION CALCULATIONS					
ROOM	AREA (SF)	REQUIRED VENTILATION (SF -4%)	REQUIRED LIGHT (SF- 8%)	PROPOSED VENTILATION (SF)	PROPOSED LIGHT (SF)
MASTER BEDROOM 1	305	12.2	24.4	17.53	35.07
OFFICE	143	5.72	11.44	11.25	22.50
BEDROOM 2	198	7.92	15.84	16.88	33.75
BEDROOM 3	136	5.44	10.88	11.91	23.82
MASTER BATHROOM	74	2.96	5.92	4.27	8.54
BATHROOM	91	3.64	7.28	11.50	11.50
MASTER CLOSET	73	2.92	5.84	11.25	22.50

ROOM FINISH SCHEDULE															
ROOM NAME	FLOOR				WALL				CELL'G		DR. TRIM		WIND. TRIM		
	CARPET	WOOD	FINISH	PAINTED	MAT'L	FINISH	MAT'L	FINISH	M	FIN	MAT	FIN	MAT	FIN	
MASTER BEDROOM	X	X			X	X			X	X	X	X		X	X
OFFICE	X	X			X	X			X	X	X	X		X	X
BEDROOM 2	X	X			X	X			X	X	X	X		X	X
BEDROOM 3	X	X			X	X			X	X	X	X		X	X
MASTER BATHROOM		X			X	X			X	X	X	X		X	X
BATHROOM		X			X	X			X	X	X	X		X	X
HALLWAY	X	X			X	X			X	X	X	X			
MASTER CLOSET	X	X			X	X			X	X	X	X		X	X
CLOSETS	X	X			X	X			X	X	X	X			



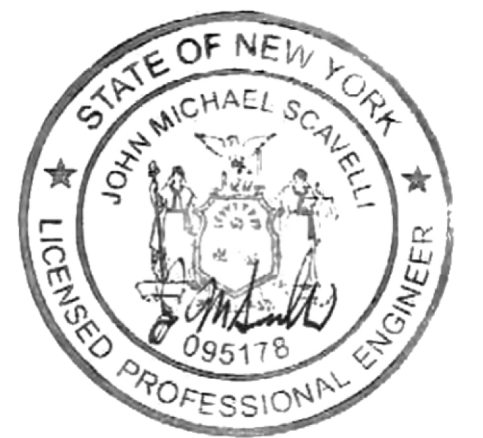
www.ResReal.com
 (914)-330-7712

361 Route 202 - Suite #7
 Somers, NY 10589

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 2 WARREN PLACE
 PROJECT TOWN: ARMONK, NY
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 108.02.2-20
 OCCUPANCY: SINGLE FAMILY DWELLING
 ZONING CODE: R-1A

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



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 Armonk, NY 10504

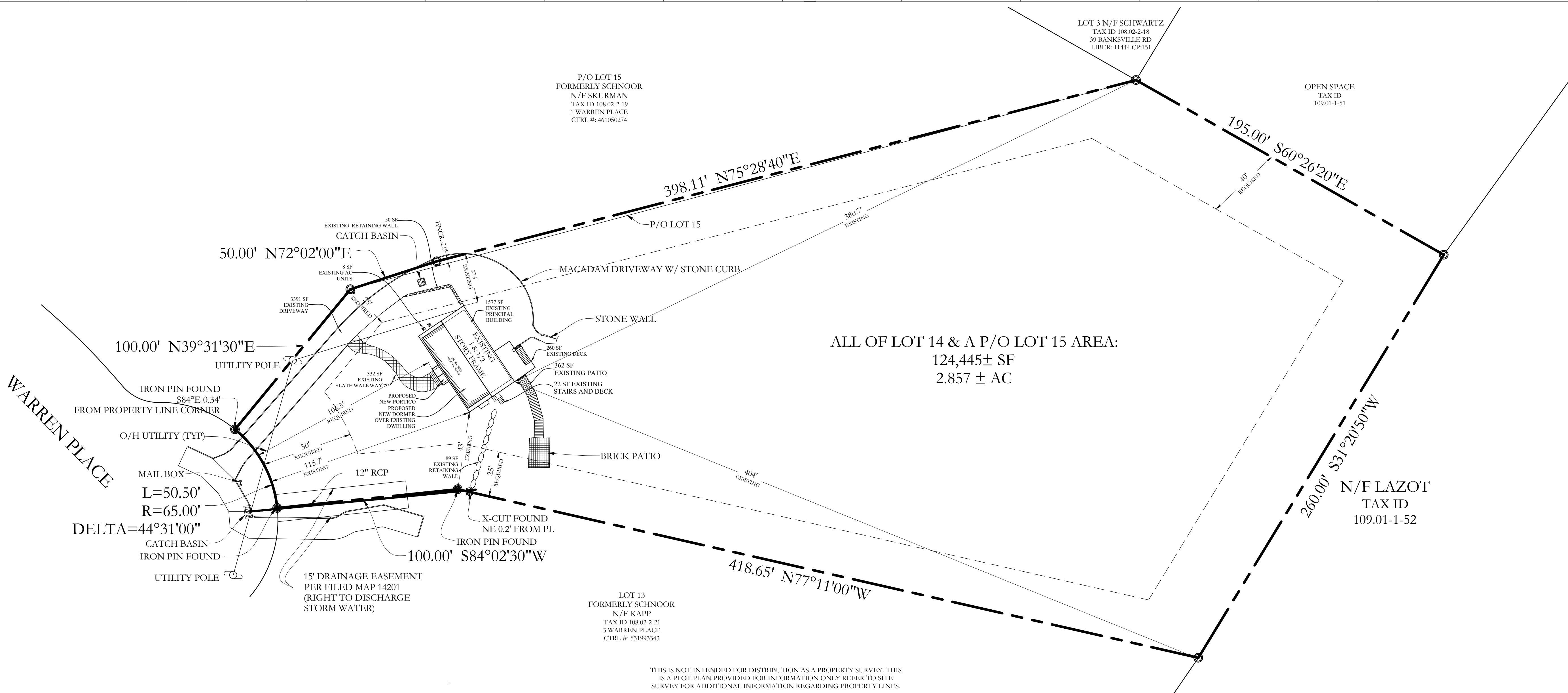
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 GENERAL NOTES
 SHEET 2

G-102

NOTES:

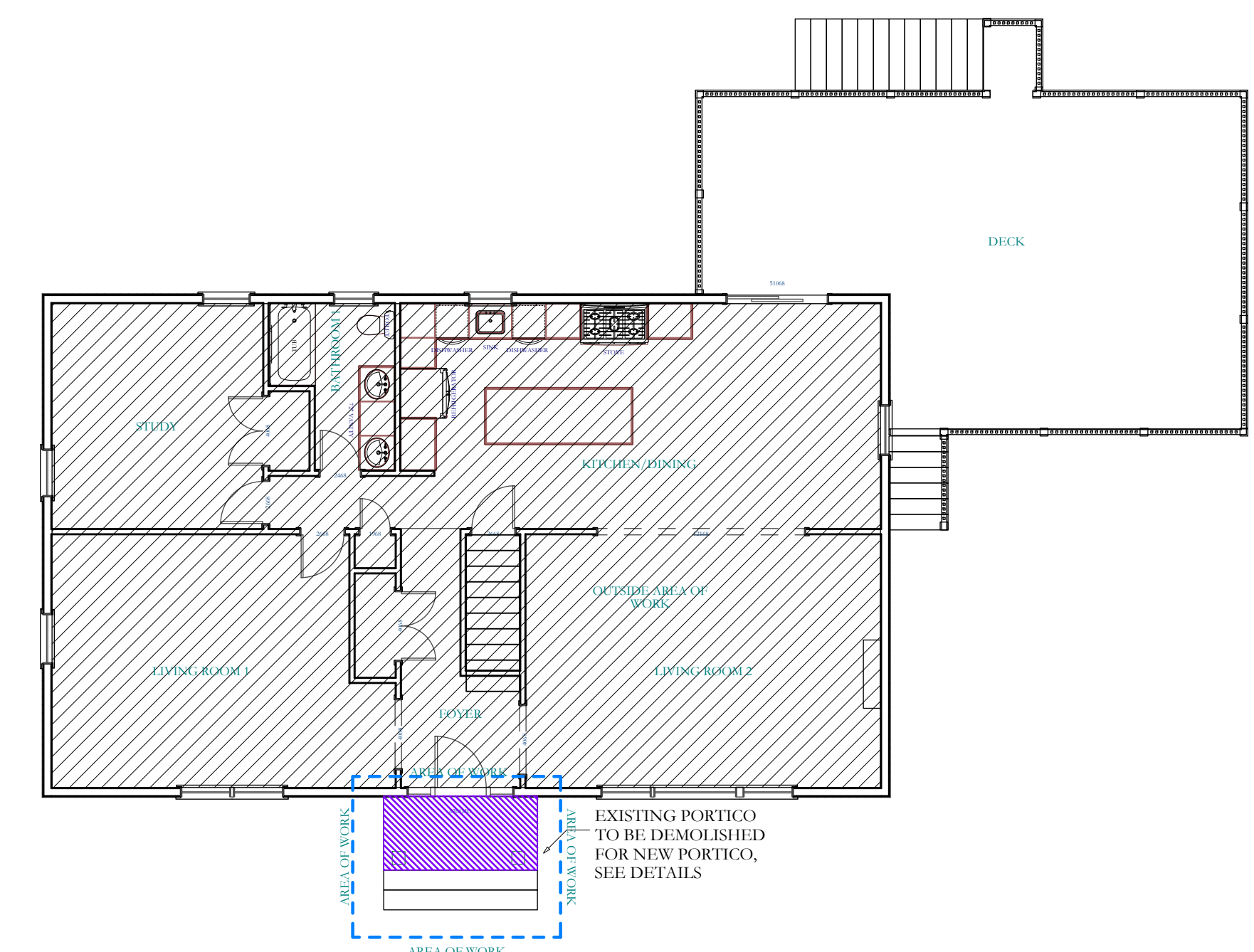
PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 2 WARREN PLACE
 PROJECT TOWN: ARMONK, NY
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 108.02.2.20
 OCCUPANCY: SINGLE FAMILY DWELLING
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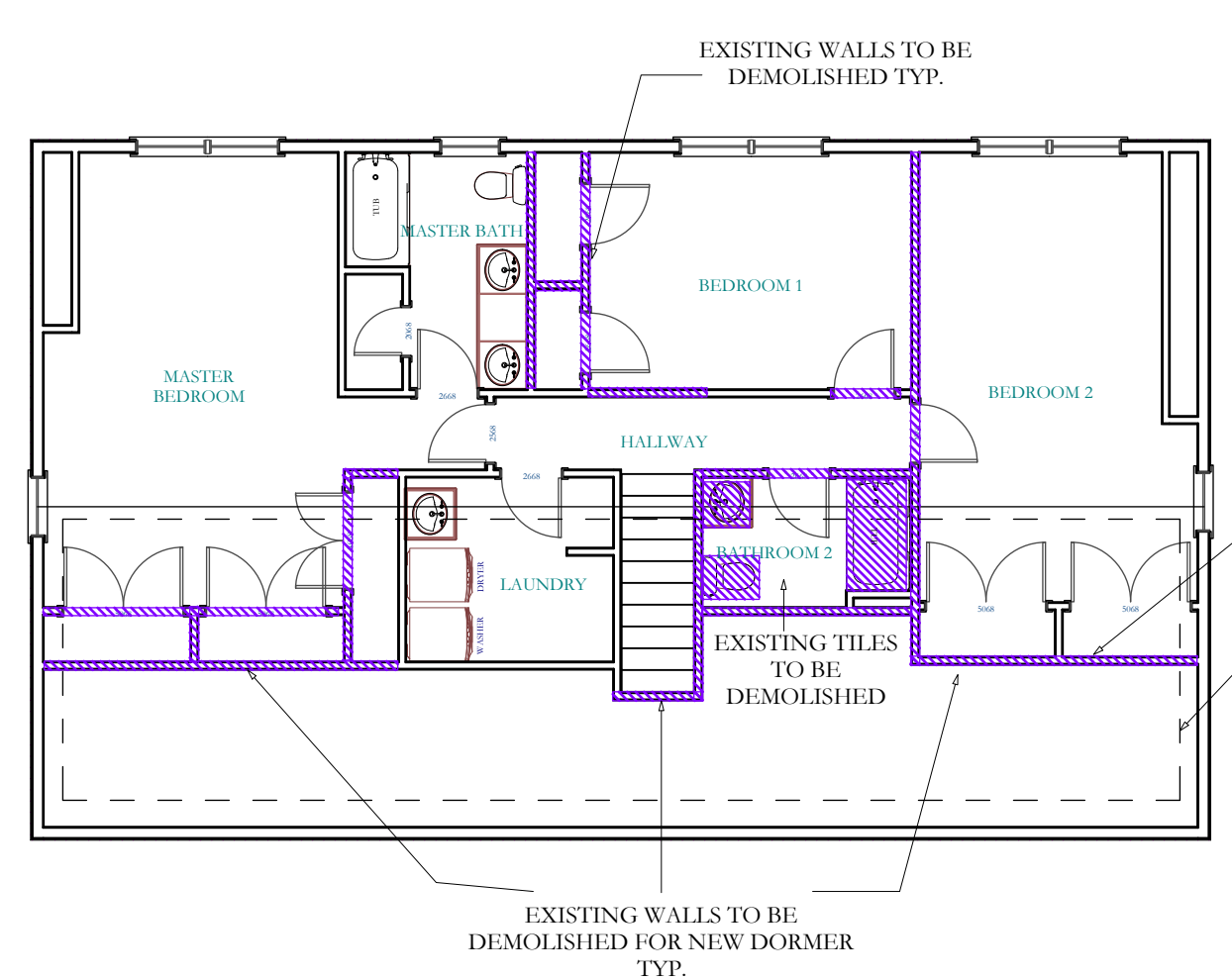


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S-1 SITE PLAN
 1"=50'-0"



1 1st FLOOR EXISTING/DEMO PLAN
 SCALE: 1/8"=1'-0"



2 2ND FLOOR EXISTING/DEMO PLAN
 SCALE: 1/8"=1'-0"

- BATHROOM DEMO NOTES:**
- EXISTING BATHROOM TOILET TO BE DEMOLISHED.
 - EXISTING BATHROOM VANITY TO BE DEMOLISHED.
 - EXISTING BATHROOM TUB TO BE DEMOLISHED.
 - EXISTING TILE FLOORING AND WALL TILE TO BE DEMOLISHED.
 - ALL PLUMBING TO BE CAPPED DURING DEMOLITION PHASE BY LICENSED PLUMBING CONTRACTOR.
 - PLUMBING PIPING TO BE PREPPED FOR RECONNECTION TO NEW PLUMBING FIXTURES.

SEAL & SIGNATURE:



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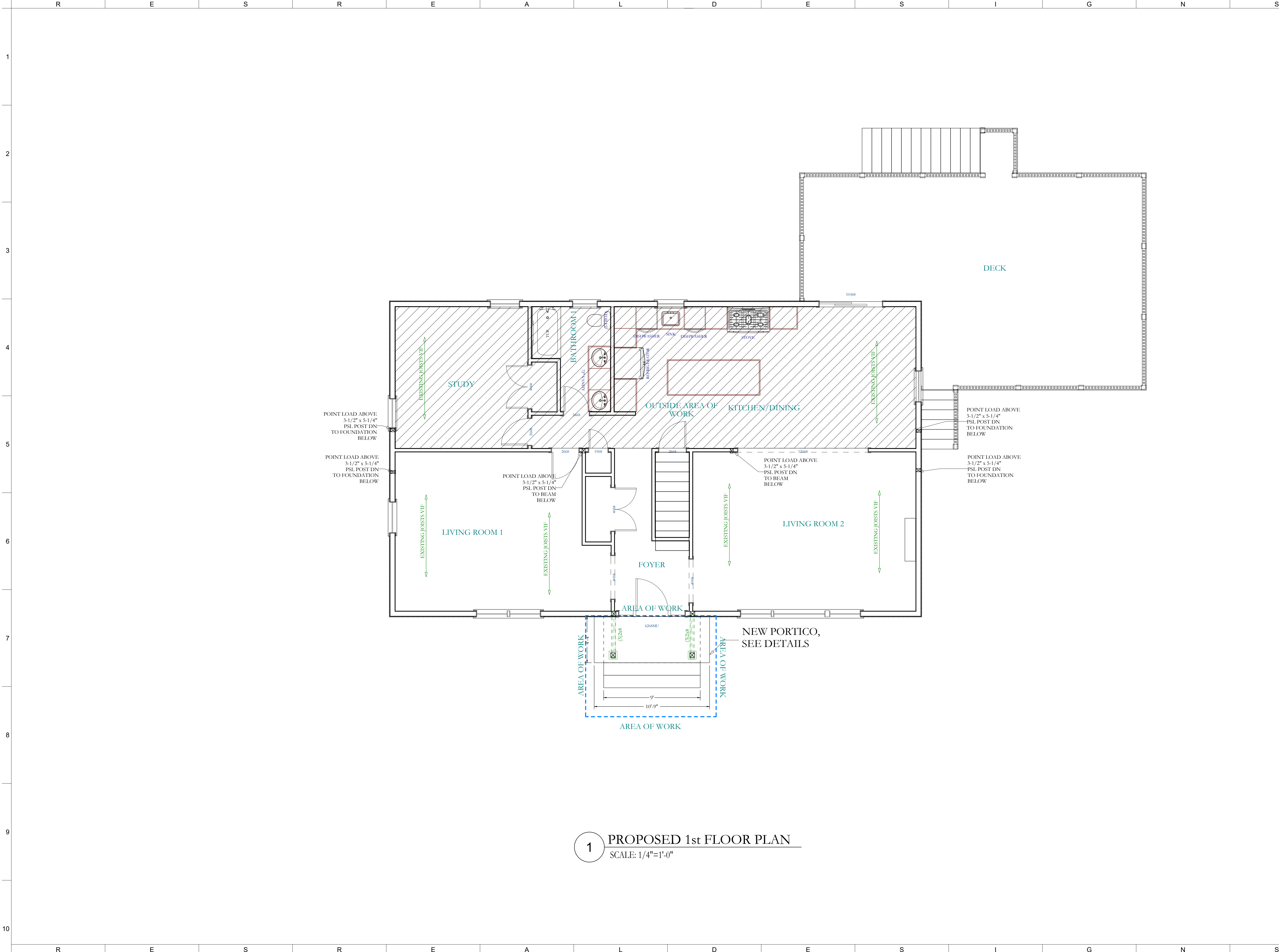
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PROJECT:
 2 Warren Place
 Armonk, NY 10504

DRAWING TITLE:
 GENERAL NOTES
 SHEET 3
G-103

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02.2-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A



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PROJECT:
**2 Warren Place
Armonk, NY 10504**

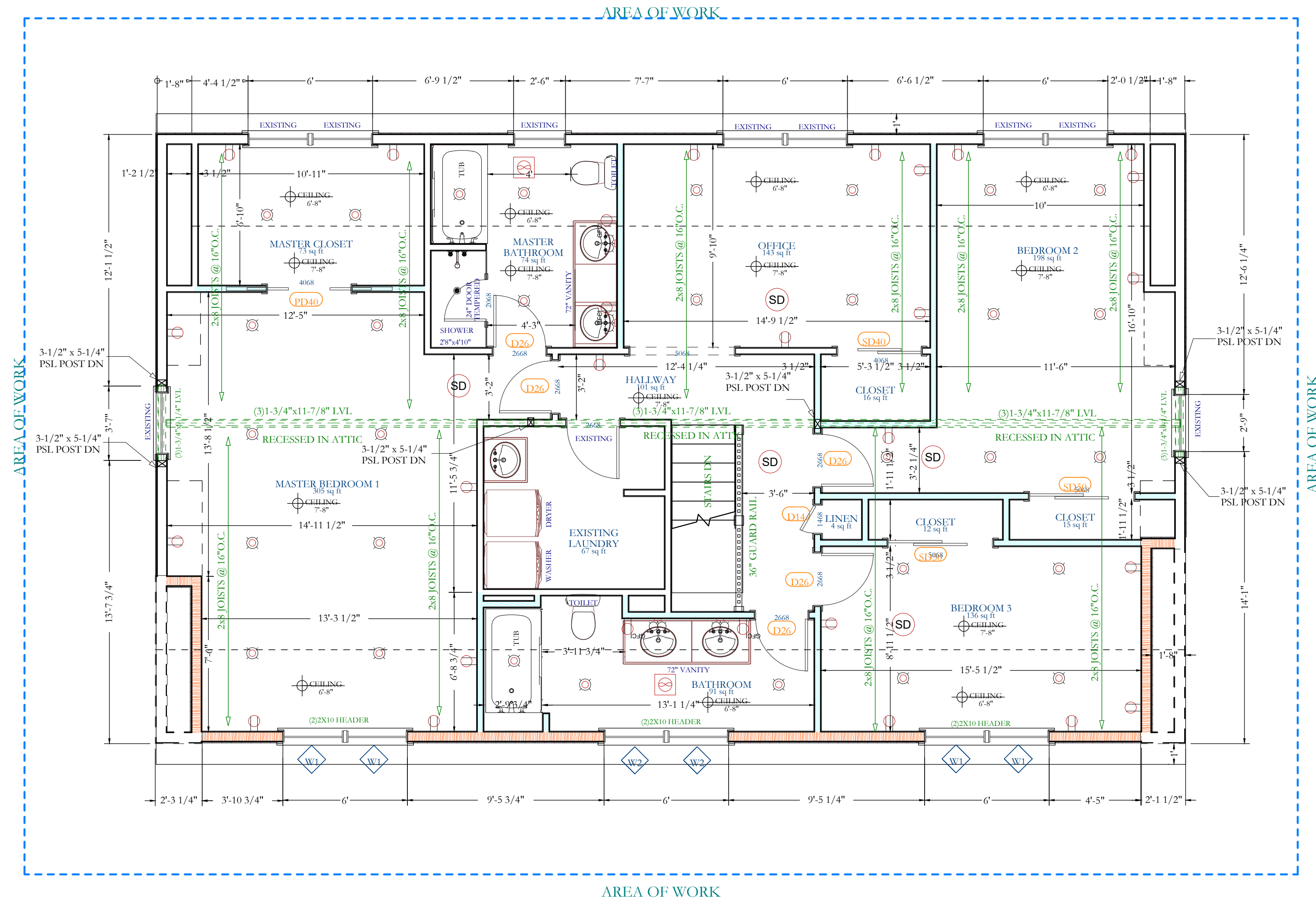
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**FLOOR PLANS
SHEET 1**

A-101

NOTES:

1 PROPOSED 1st FLOOR PLAN
SCALE: 1/4"=1'-0"

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02.2-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A



2 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

- PATCH AND REPAIR ANY DAMAGED EXISTING GYPSUM BOARD WALL AND CEILING ASSEMBLIES AS REQUIRED DURING CONSTRUCTION
- ALL PLUMBING AND/OR ELECTRICAL WORK BY LICENSED CONTRACTORS. PLUMBING AND ELECTRICAL PERMITS SHALL BE OBTAINED AS REQUIRED BY LOCAL JURISDICTION
- COORDINATE FINAL OUTLET, LIGHTING AND THERMOSTAT LOCATIONS WITH OWNER PRIOR TO FINAL INSTALLATION
- SMOKE ALARM TO BE INSTALLED THROUGHOUT RESIDENCE IN COMPLIANCE WITH R313
- FINISH NOTES:
STUD FRAMING WITH INSULATED GYPSUM WALL BOARD ASSEMBLY AT ALL EXTERIOR WALLS.
- 1/2" GYPSUM BOARD CEILING ASSEMBLY TYPICAL THROUGHOUT
- NEW HVAC DESIGN AND INSTALLED BY LICENSED MECHANICAL CONTRACTOR
- EXHAUST FAN VENT TO EXTERIOR EXHAUST DUCT SHALL BE DUCTED TO EXTERIOR WITH RIGID OR 1" VENT PIPE OR APPROVED EQUAL
- ALL EXHAUST FAN TERMINATION POINTS SHALL HAVE MINIMUM 3FT REQUIRED FROM ANY OPENING AS REQUIRED M1504.3

ISSUE	DATE	BY	CHECKED	APPROVED
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PROJECT:
**2 Warren Place
Armonk, NY 10504**

DRAWING TITLE:
**FLOOR PLANS
SHEET 2
A-102**

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02.2-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	03/13/2022	JMS	JMS	JMS

SEAL &
SIGNATURE:



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PROJECT:

**2 Warren Place
Armonk, NY 10504**

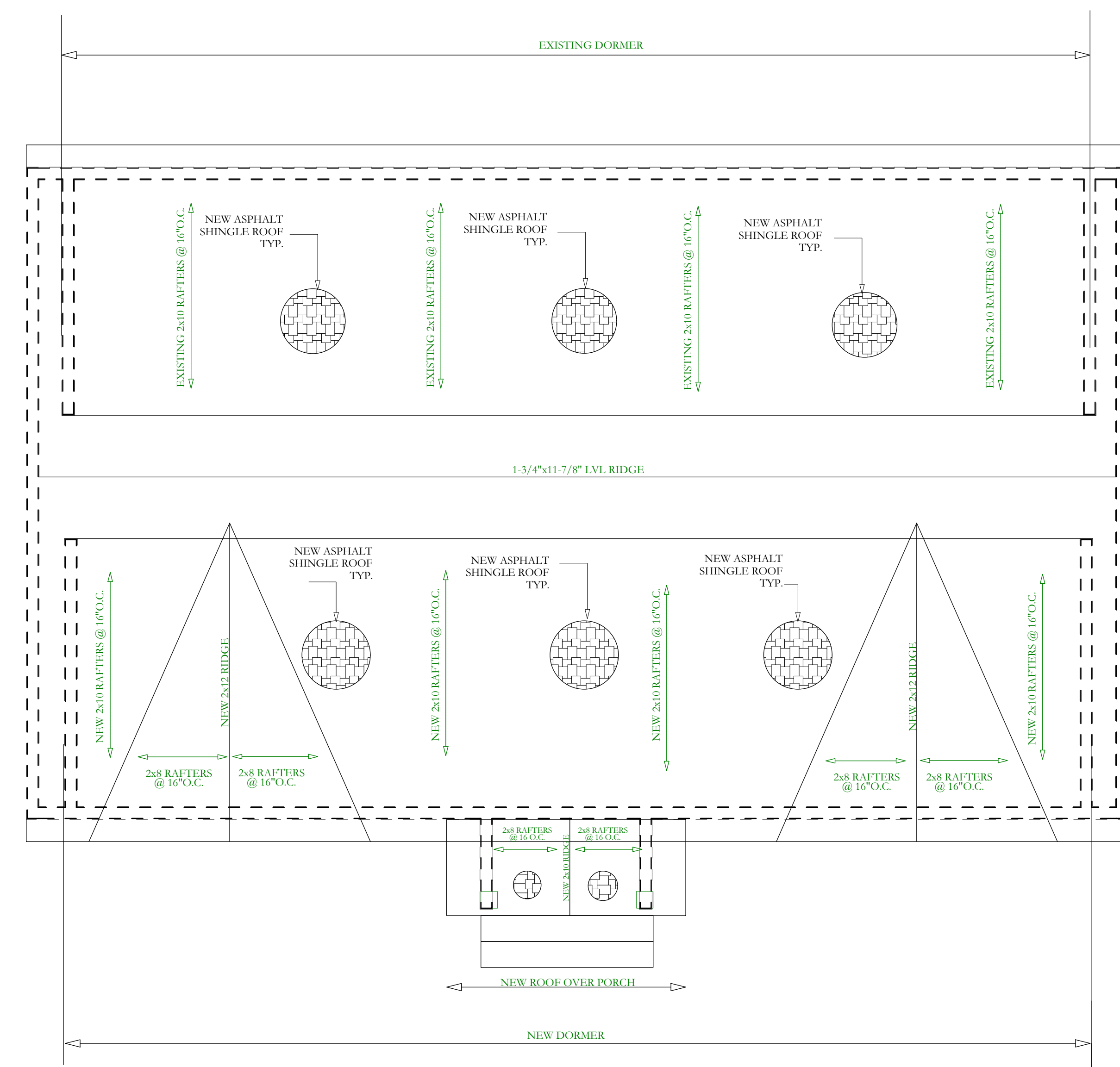
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**FLOOR PLANS
SHEET 3**

A-103

NOTES:

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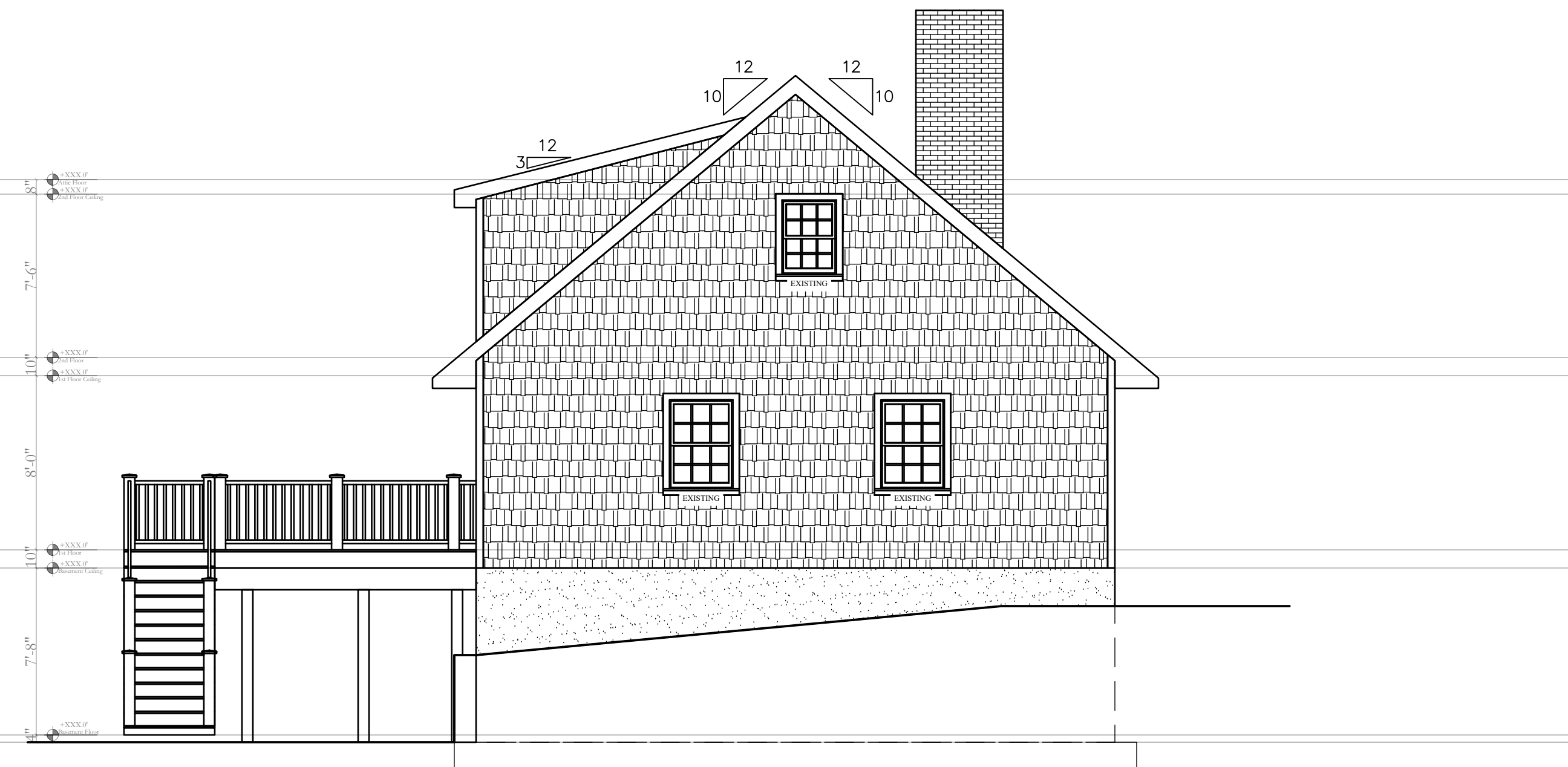
R ROOF PLAN
SCALE: 1/4"=1'-0"

PROPERTY INFORMATION:
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PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
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ISSUE	DATE	BY	CHECKED	APPROVED
0	05/13/2022	JMS	JMS	JMS



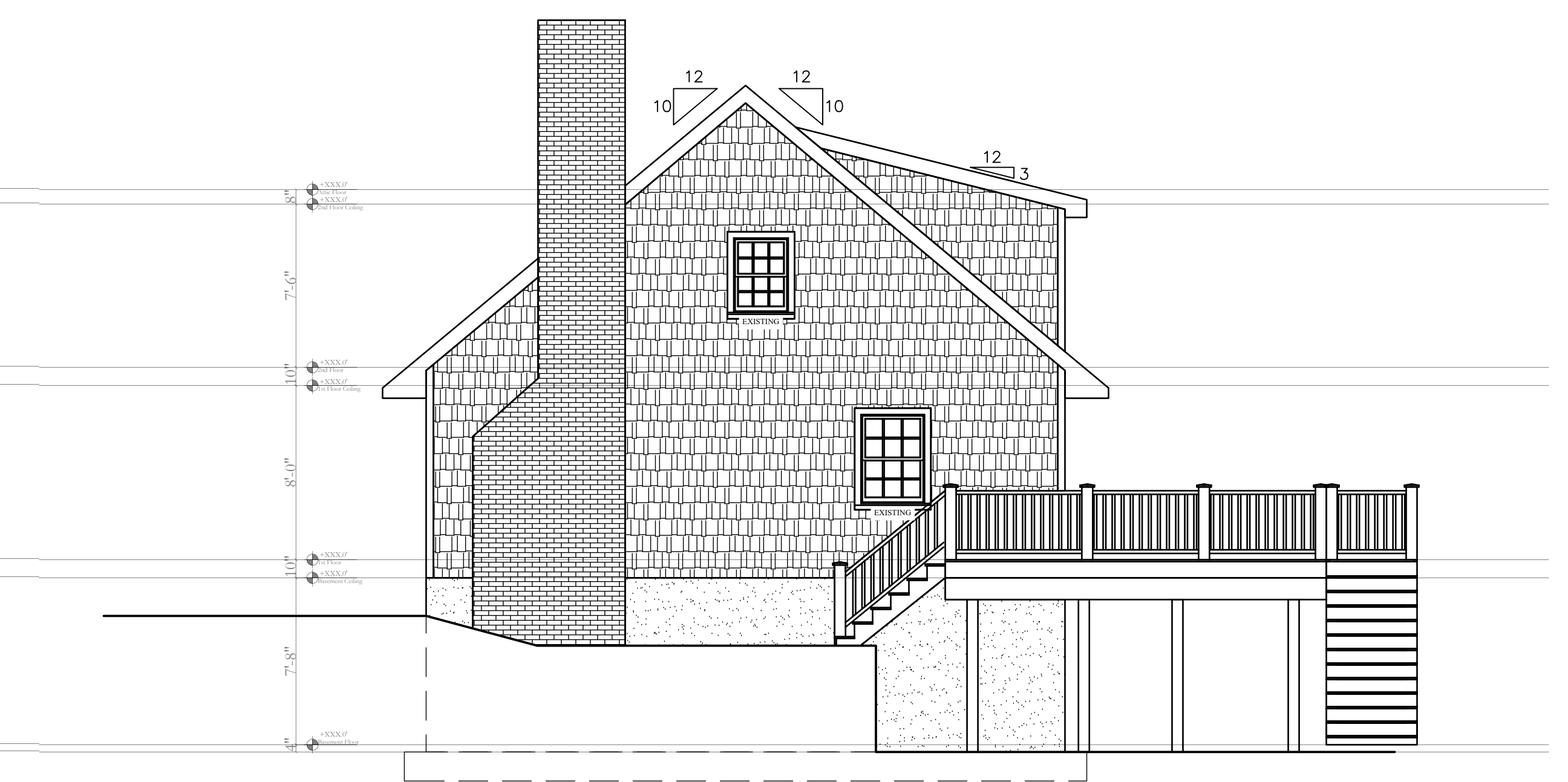
1 EXISTING FRONT ELEVATION
SCALE: 3/16"=1'-0"



2 EXISTING LEFT ELEVATION
SCALE: 3/16"=1'-0"



3 EXISTING REAR ELEVATION
SCALE: 3/16"=1'-0"



4 EXISTING RIGHT ELEVATION
SCALE: 3/16"=1'-0"

SEAL &
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON
UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

PROJECT:
**2 Warren Place
Armonk, NY 10504**

DRAWING TITLE:
**EXISTING
ELEVATIONS**

A-200

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02-2-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/13/2022	JMS	JMS	JMS

SEAL &
SIGNATURE:



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IN ANY WAY.

PROJECT:
**2 Warren Place
Armonk, NY 10504**

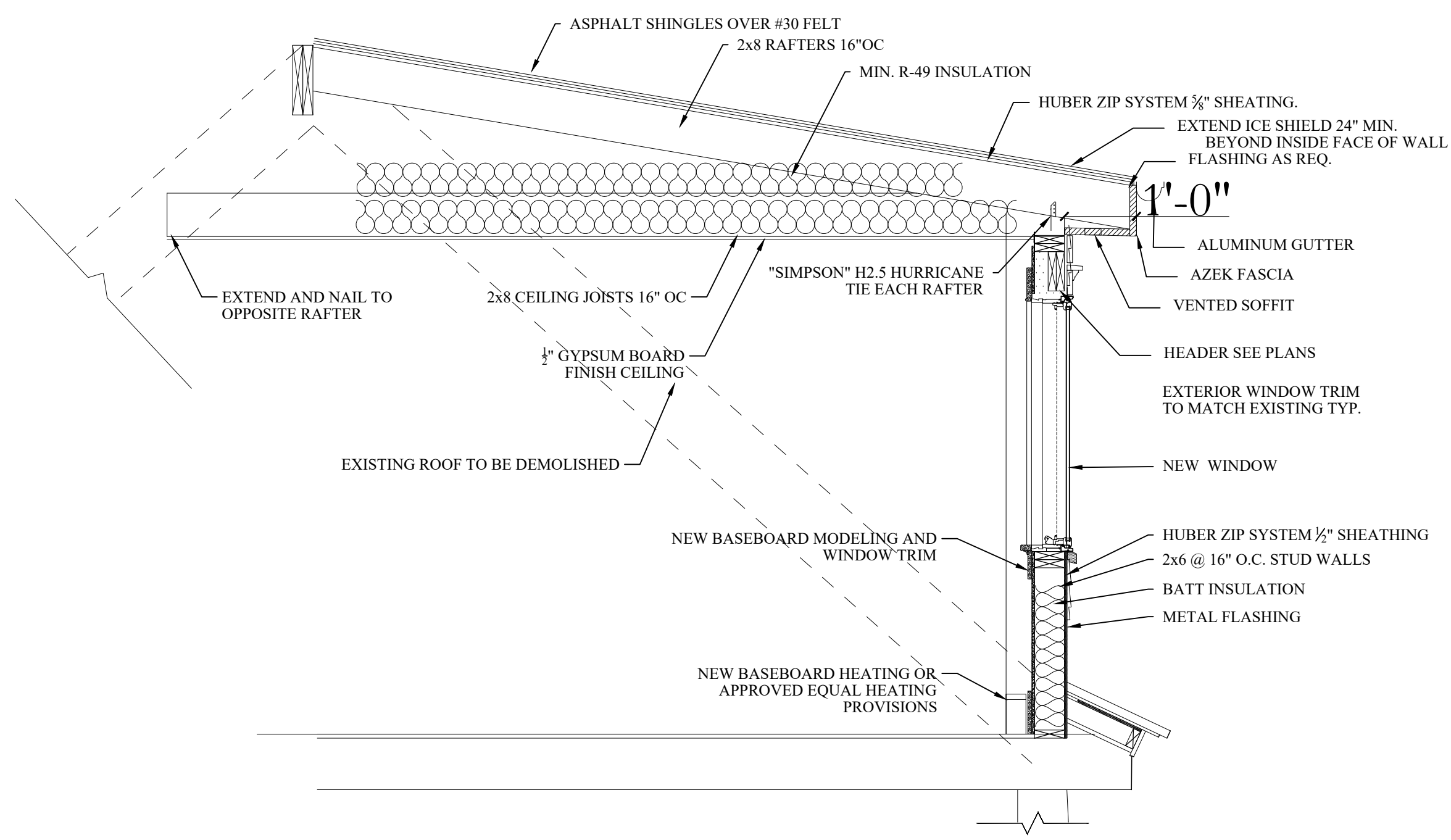
DRAWING TITLE:
**ELEVATIONS
SHEET 1**

A-201

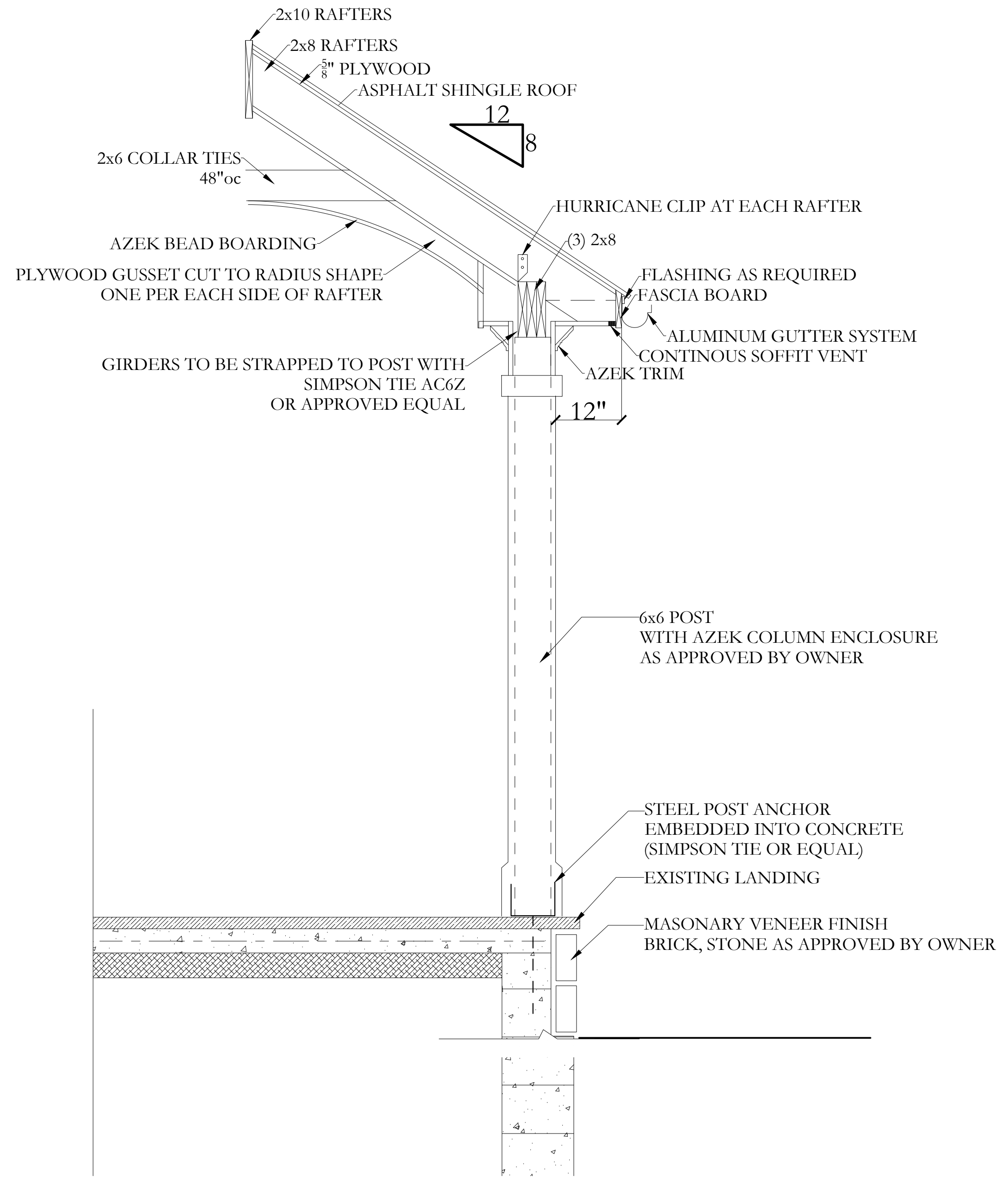
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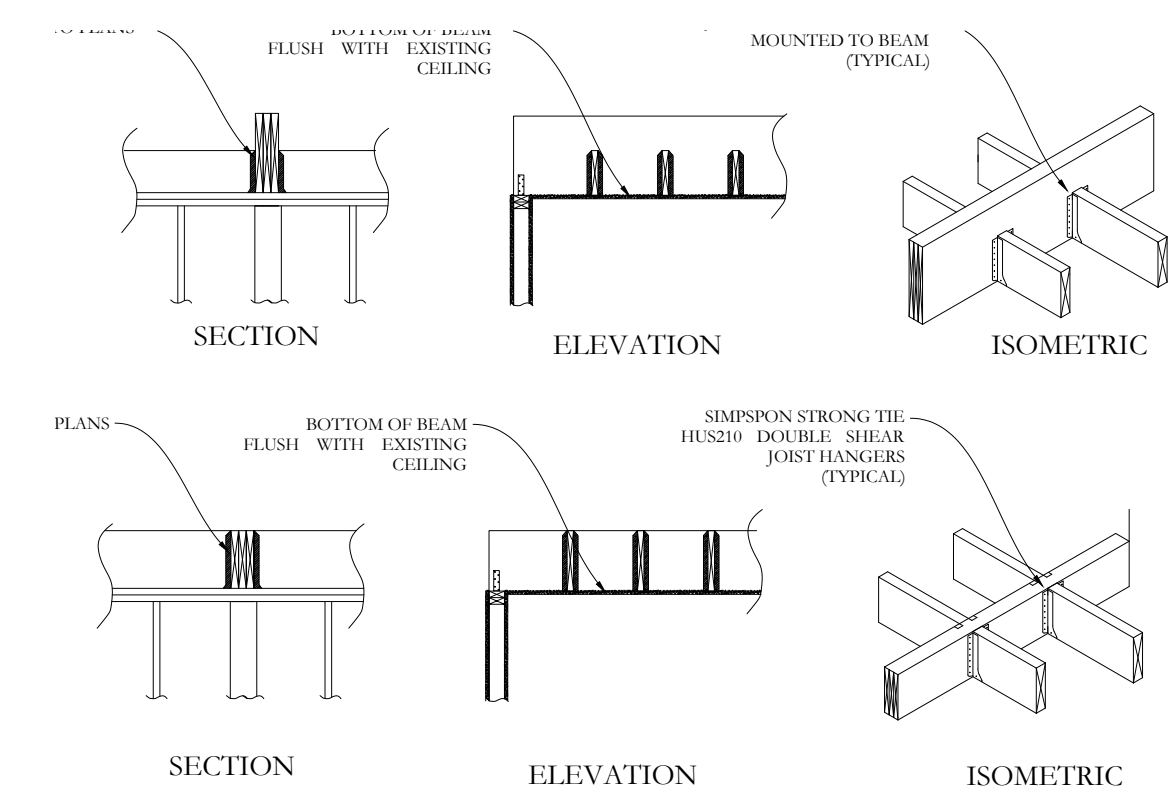
PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02.2.20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A



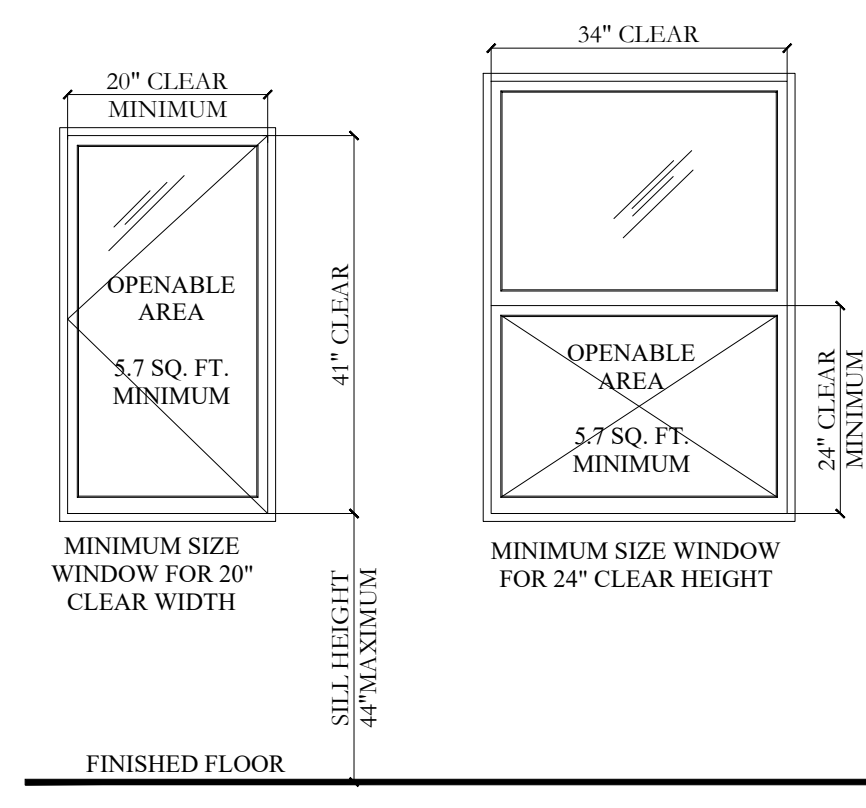
DORMER DETAIL
SCALE: NTS



PORTICO DETAIL
SCALE: NTS

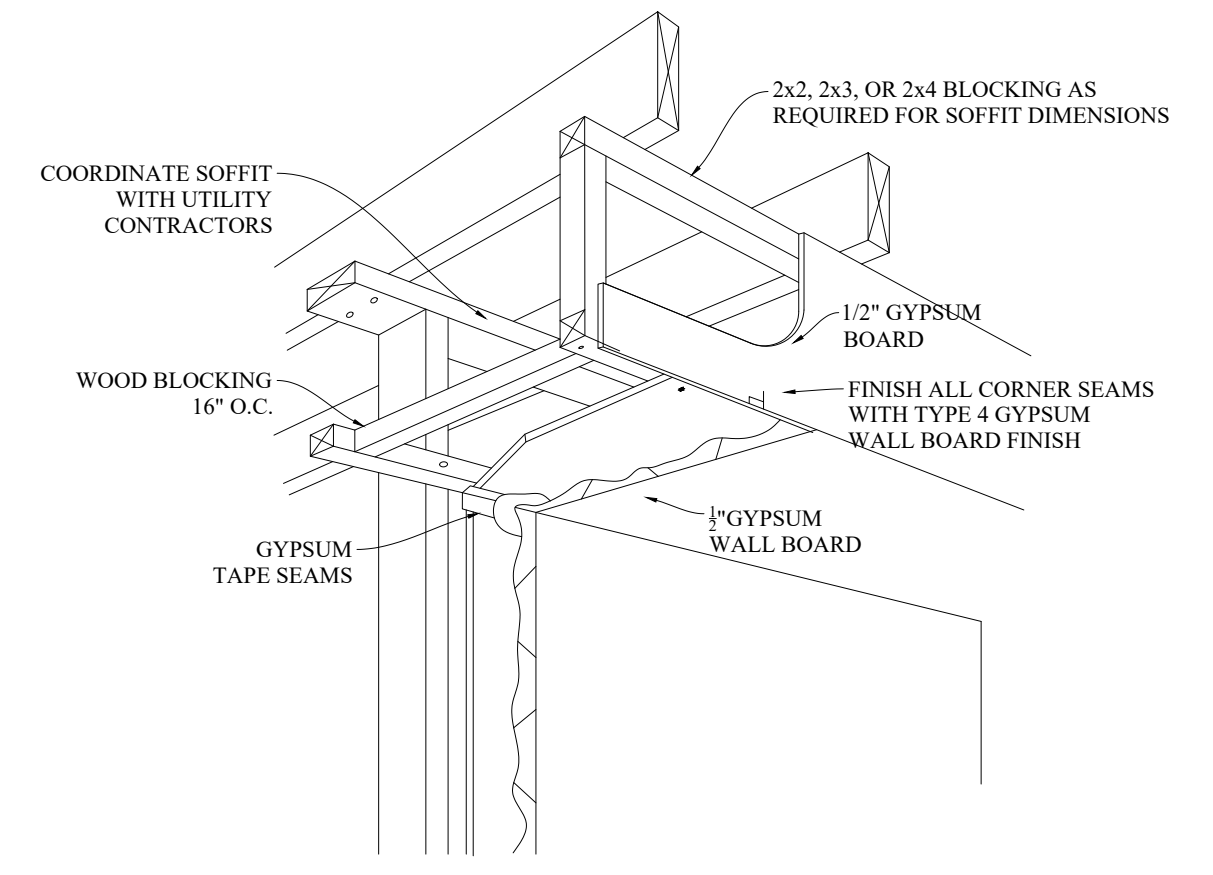


JOIST HANGER DETAIL
SCALE: NTS

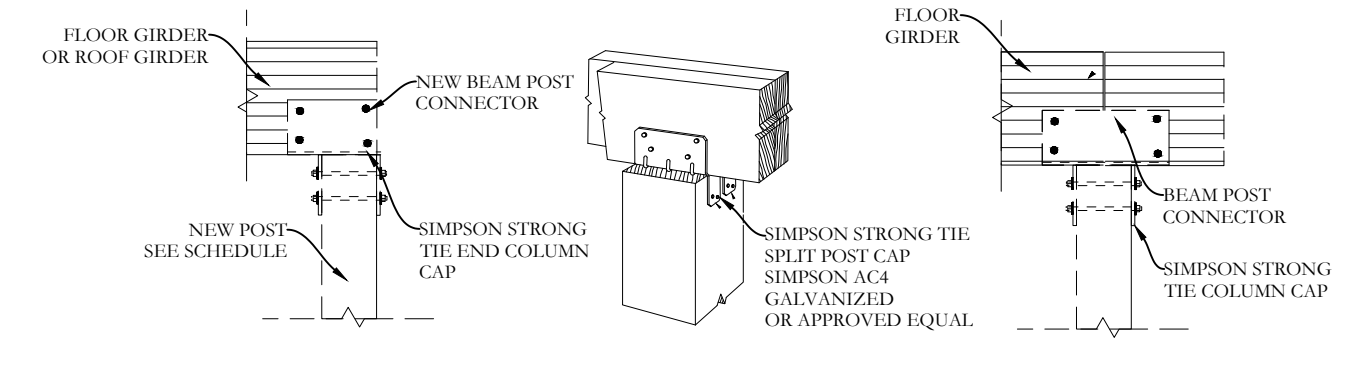


EGRESS WINDOW
SCALE: NTS

EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES
R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED. BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.
R310.1.1 MINIMUM OPENING AREA. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
R310.1.2 MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24".
R310.1.3 MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
R310.1.4 OPERATIONAL CONSTRAINTS. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
R310.2 WINDOW WELLS. THE MINIMUM HORIZONTAL AREA OF THE WINDOW SHALL BE 9 SQUARE FEET, WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 16". THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPEN.



SOFFIT DETAIL
SCALE: NTS



POST/GIRDER TIE DETAIL
SCALE: NTS

SEAL & SIGNATURE:



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JMS ENGINEERING SERVICES, PC

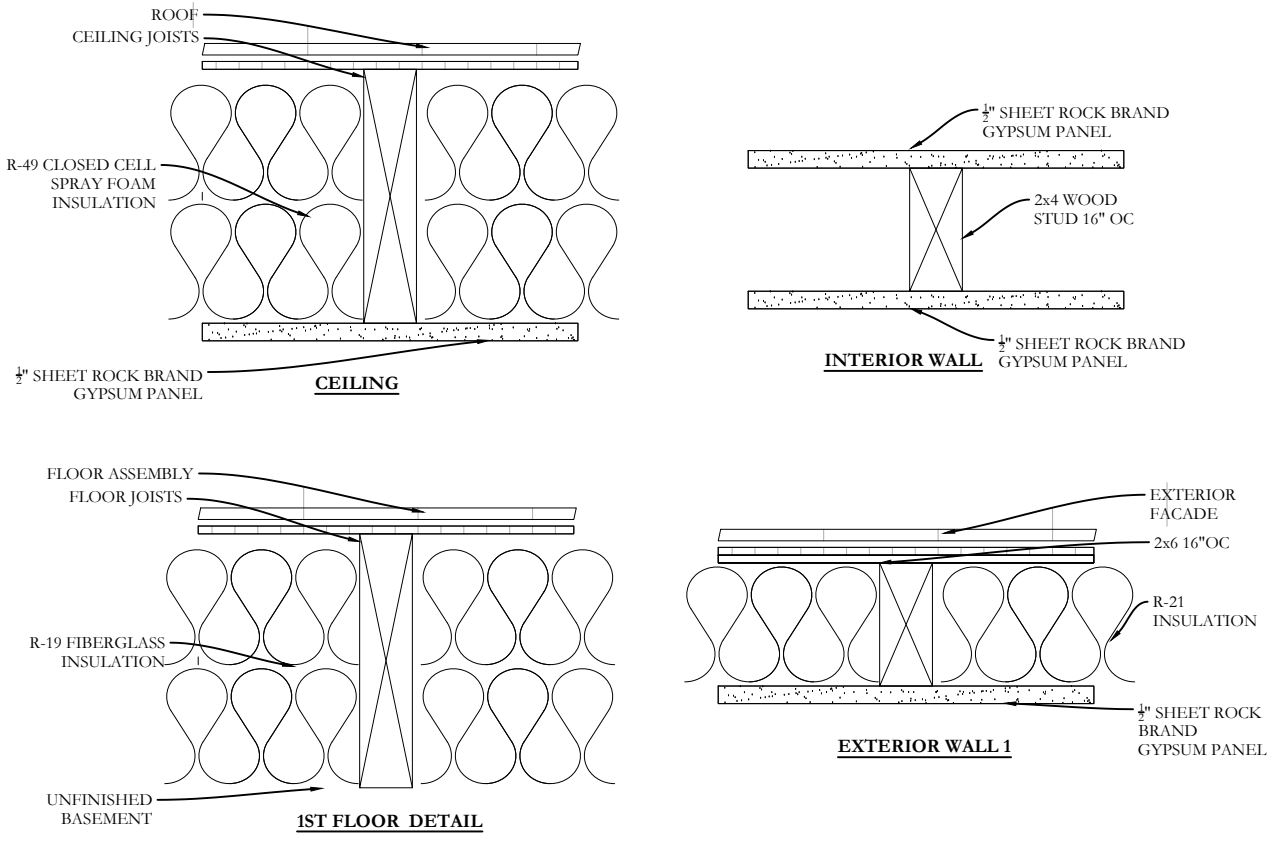
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PROJECT:
**2 Warren Place
Armonk, NY 10504**

DRAWING TITLE:
**DETAILS
SHEET 1
D-101**

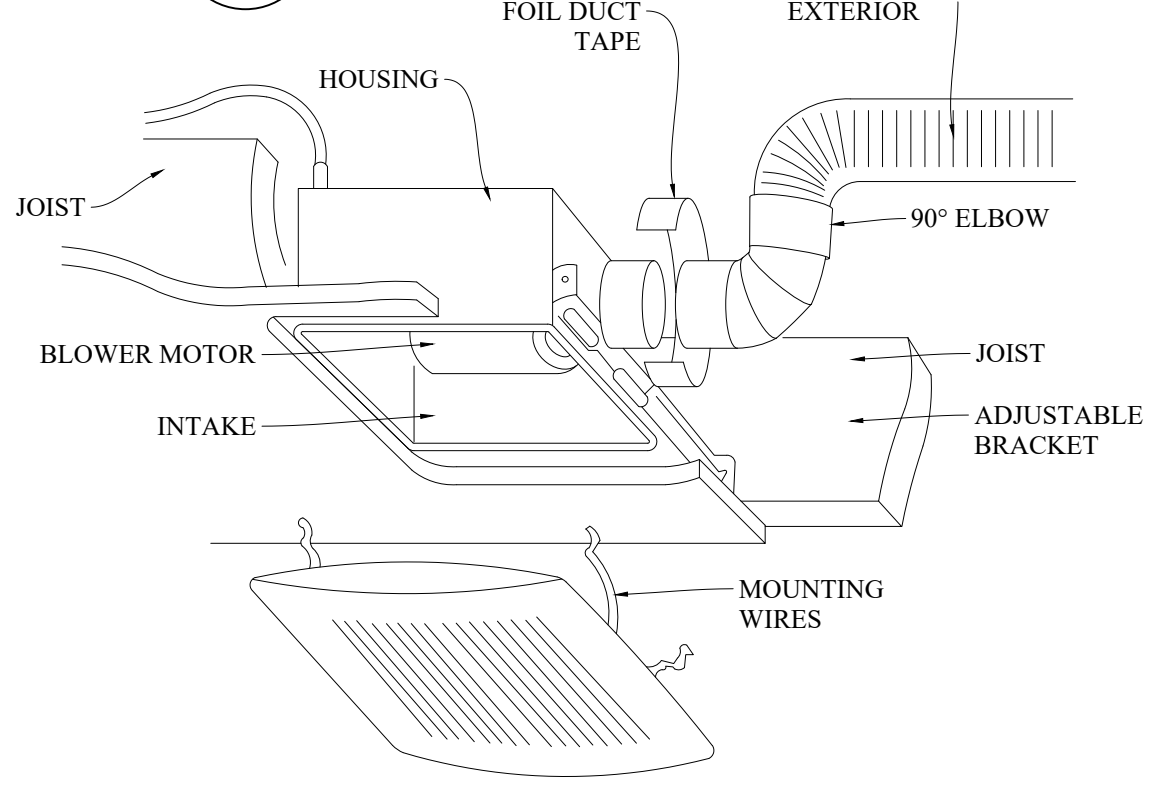
NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 WARREN PLACE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108.02.2-20
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-1A



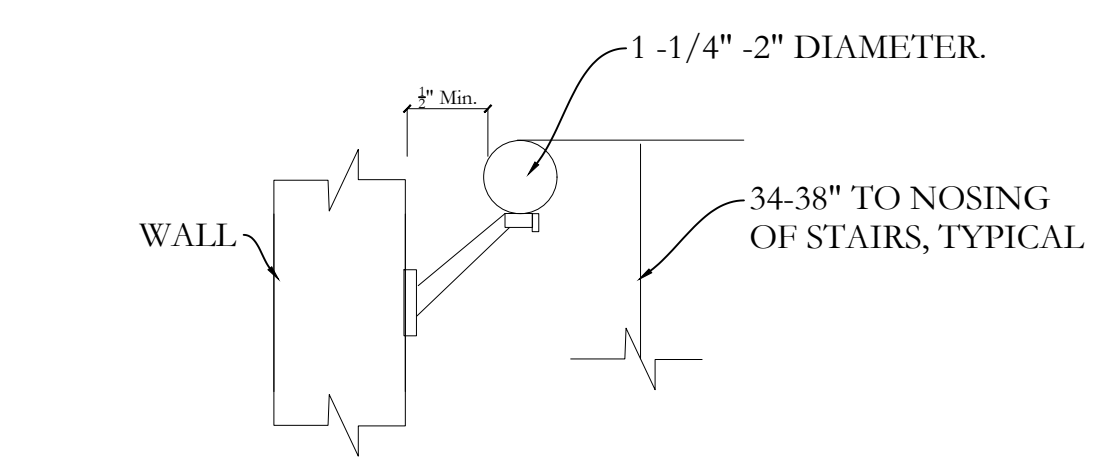
WALL/CEILING DETAILS

SCALE: NTS



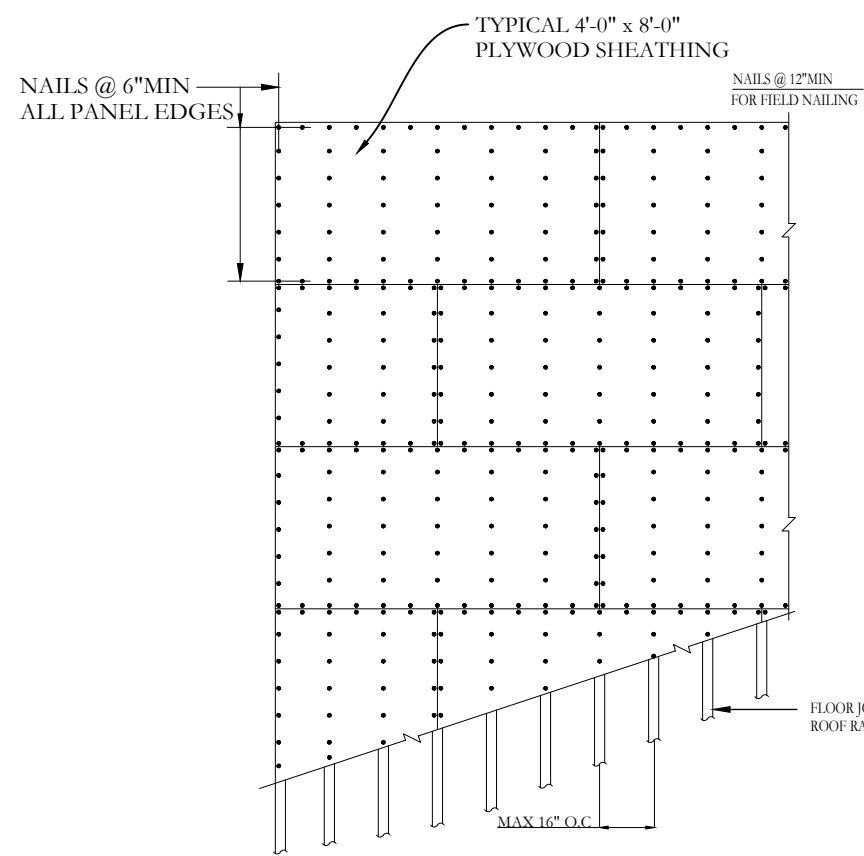
BATHROOM EXHAUST

SCALE: NTS



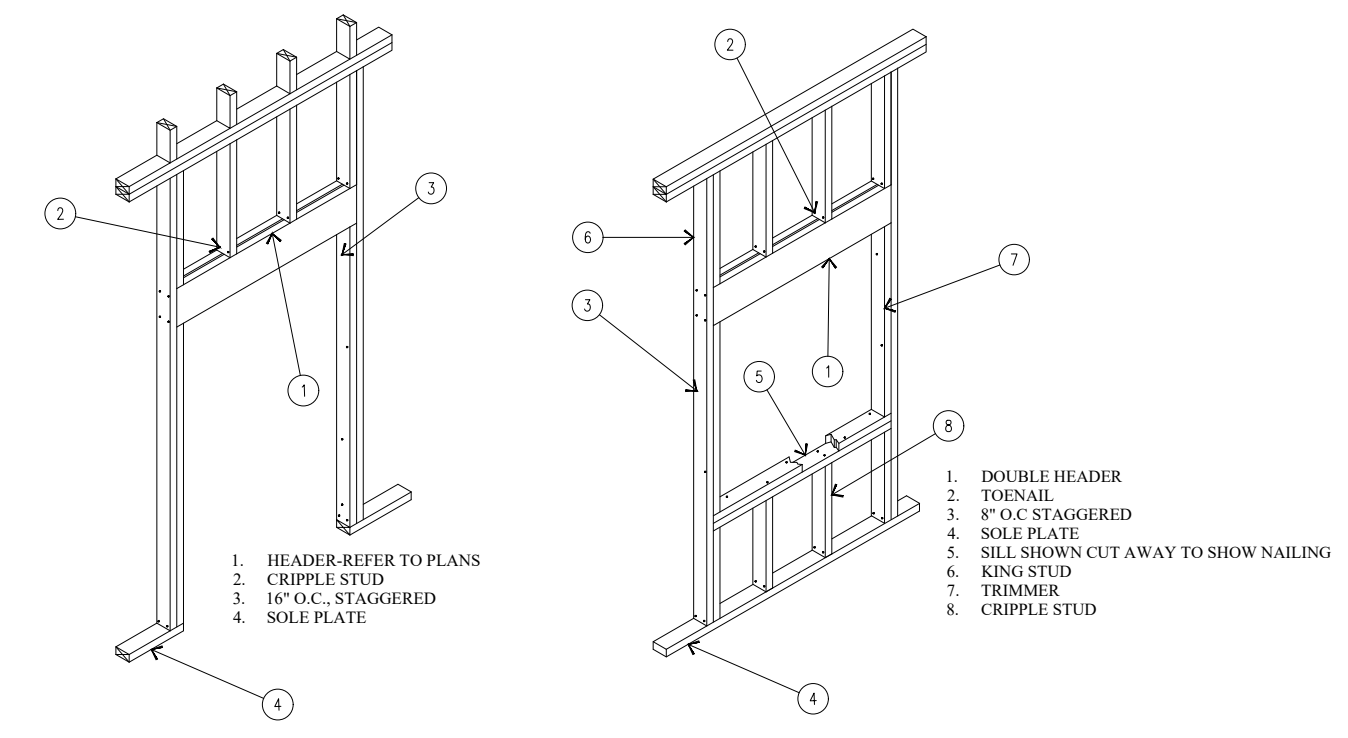
HANDRAIL DETAIL

SCALE: NTS



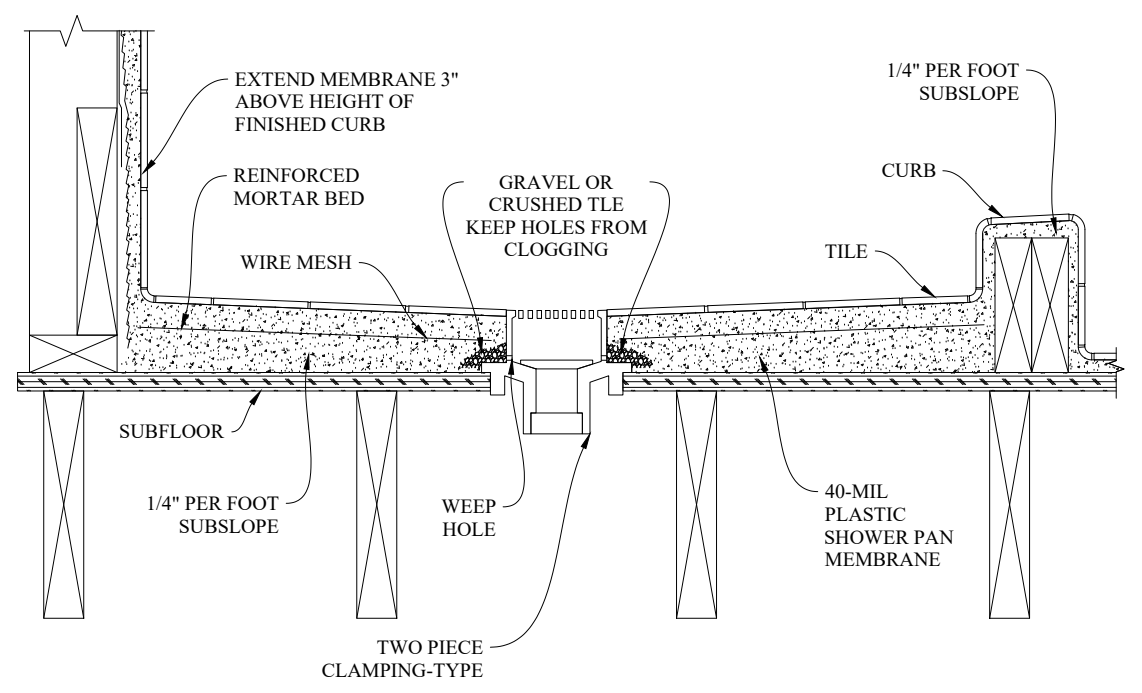
SHEATHING DETAIL

SCALE: NTS



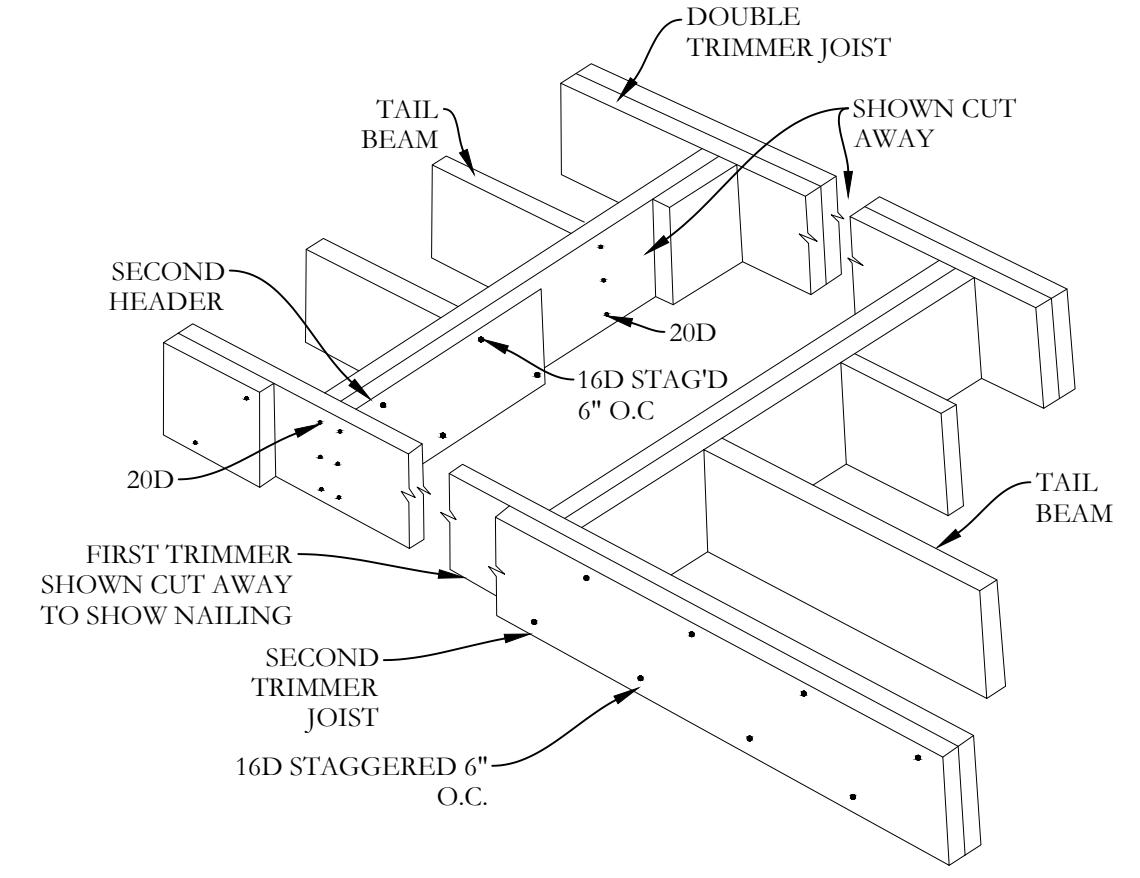
DOOR/WINDOW FRAMING

SCALE: NTS



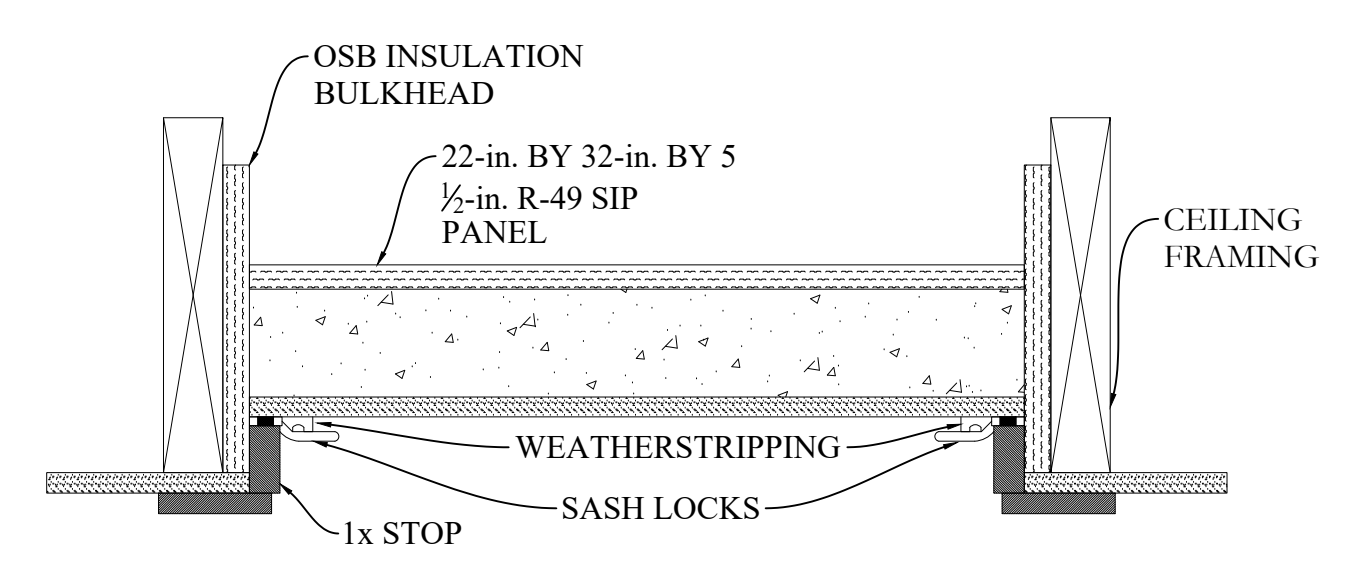
SHOWER DRAIN

SCALE: NTS



FRAMED OPENING

SCALE: NTS

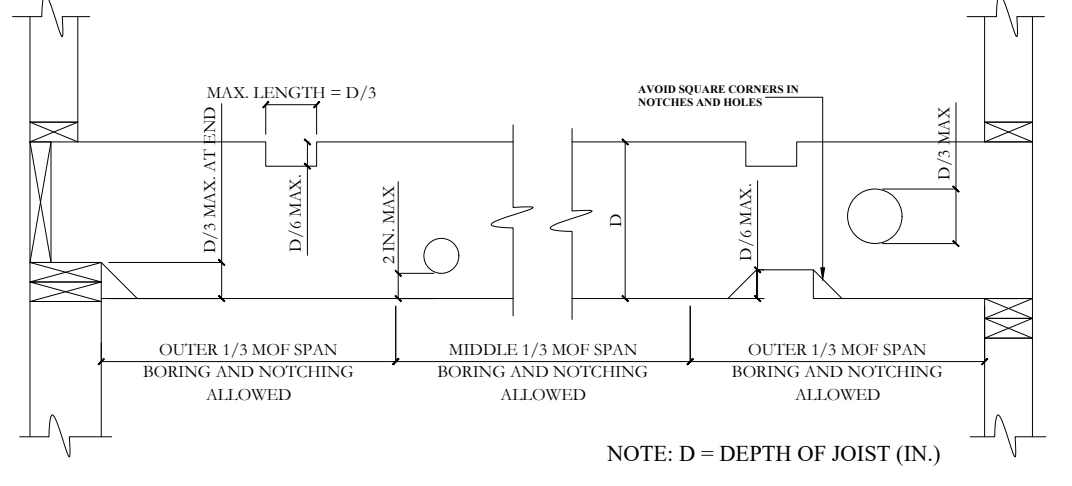


ATTIC HATCH DETAIL

SCALE: NTS

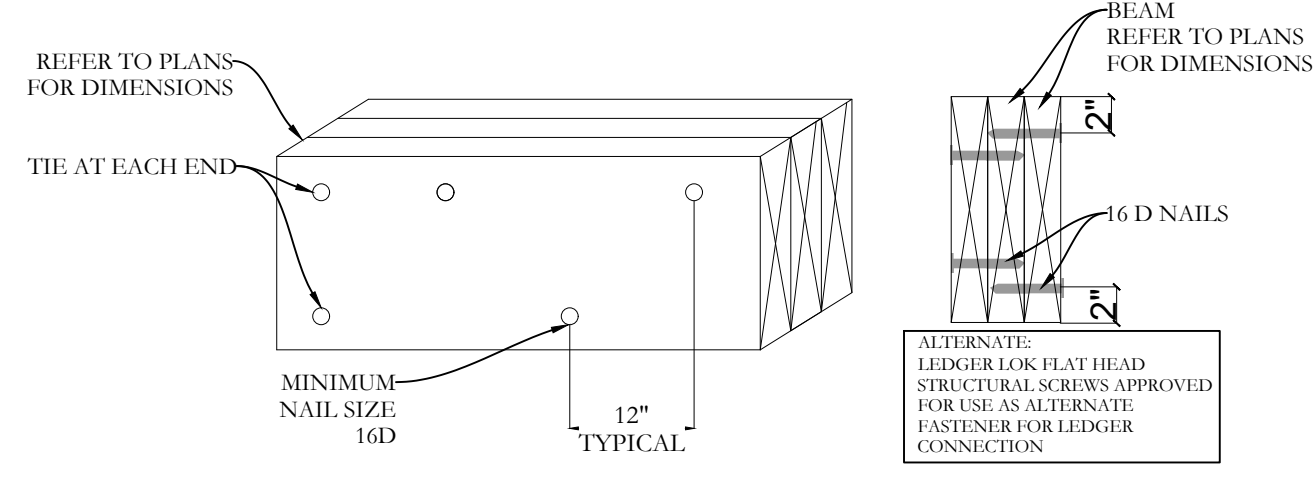
GUIDE TO NOTCHING AND BORING JOISTS

JOIST SIZE	MAX. HOLE	MAX. NOTCH DEPTH	MAX. END NOTCH
2x4	NONE	NONE	NONE
2x6	1-1/2	7/8	1-3/8
2x8	2-3/8	1-1/4	1-7/8
2x10	3	1-1/2	2-3/8
2x12	3-3/4	1-7/8	2-7/8



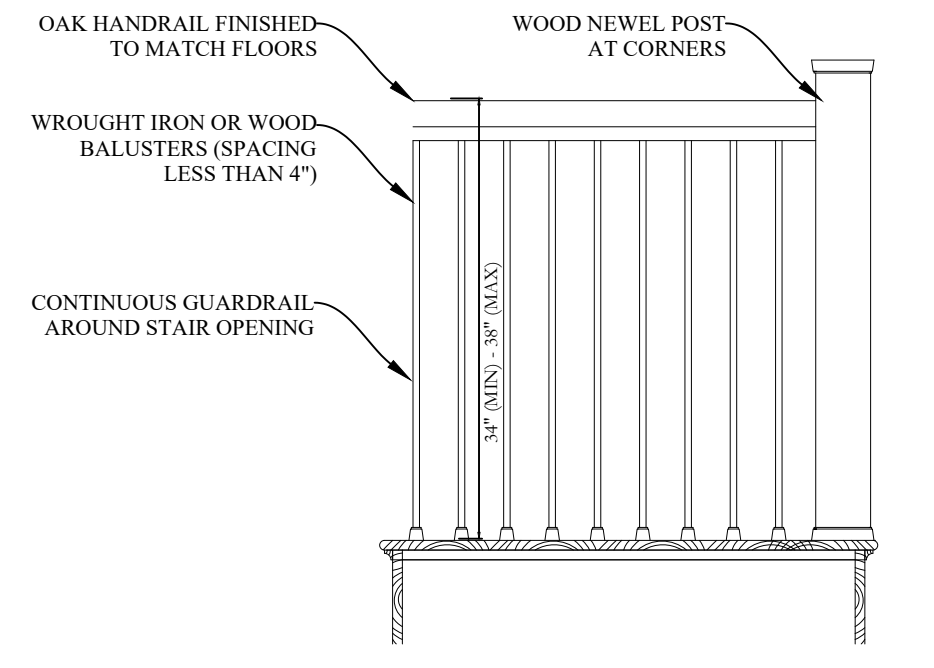
PENETRATIONS

SCALE: NTS



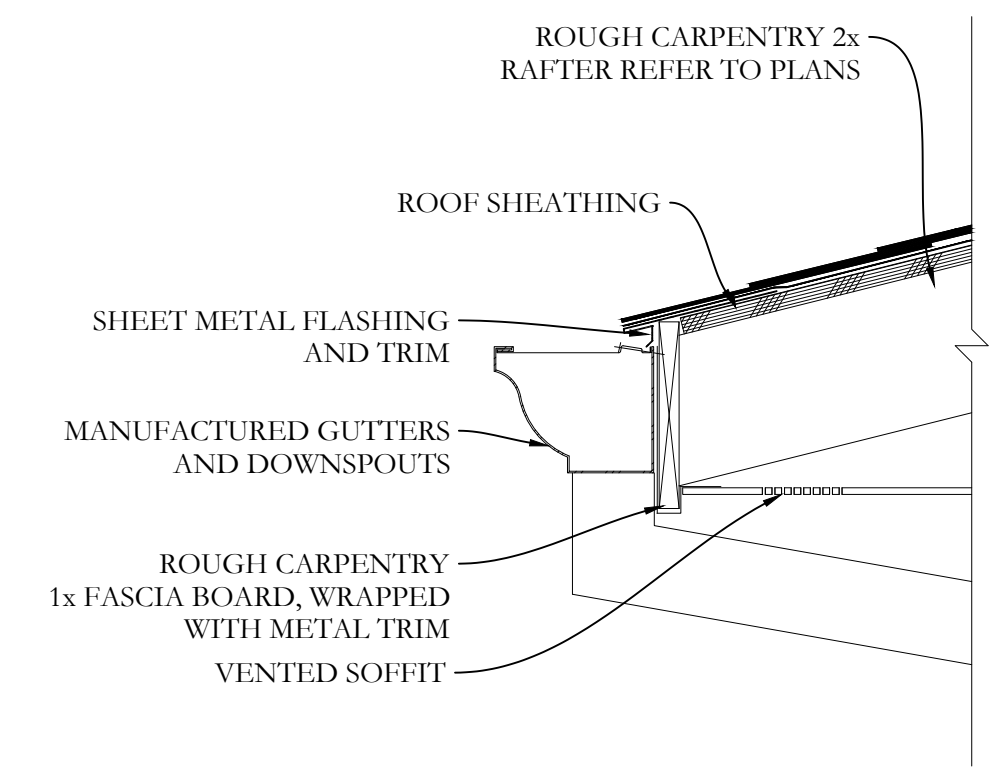
BEAM NAILING DETAIL

SCALE: NTS



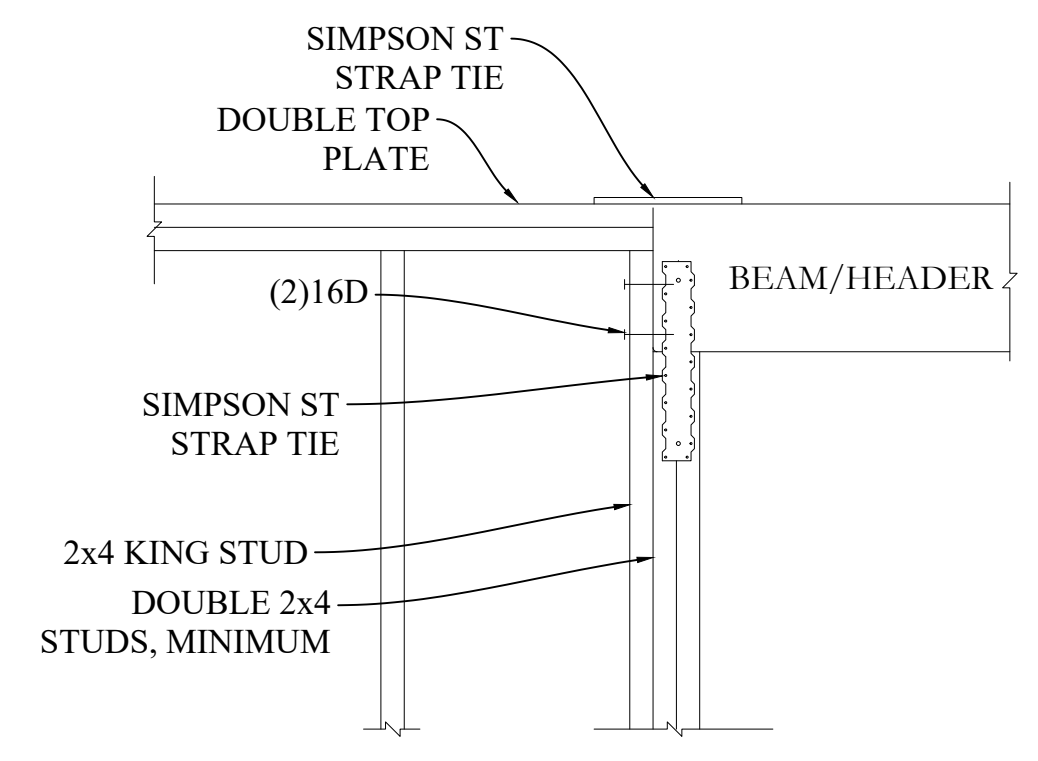
GUARD RAIL DETAIL

SCALE: NTS



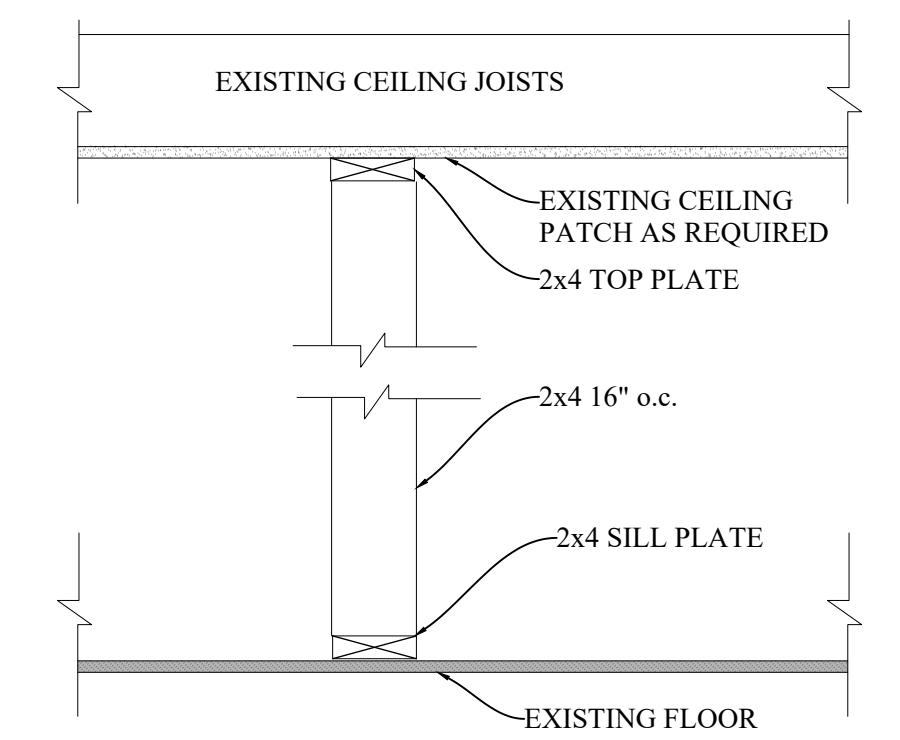
GUTTER DETAIL

SCALE: NTS



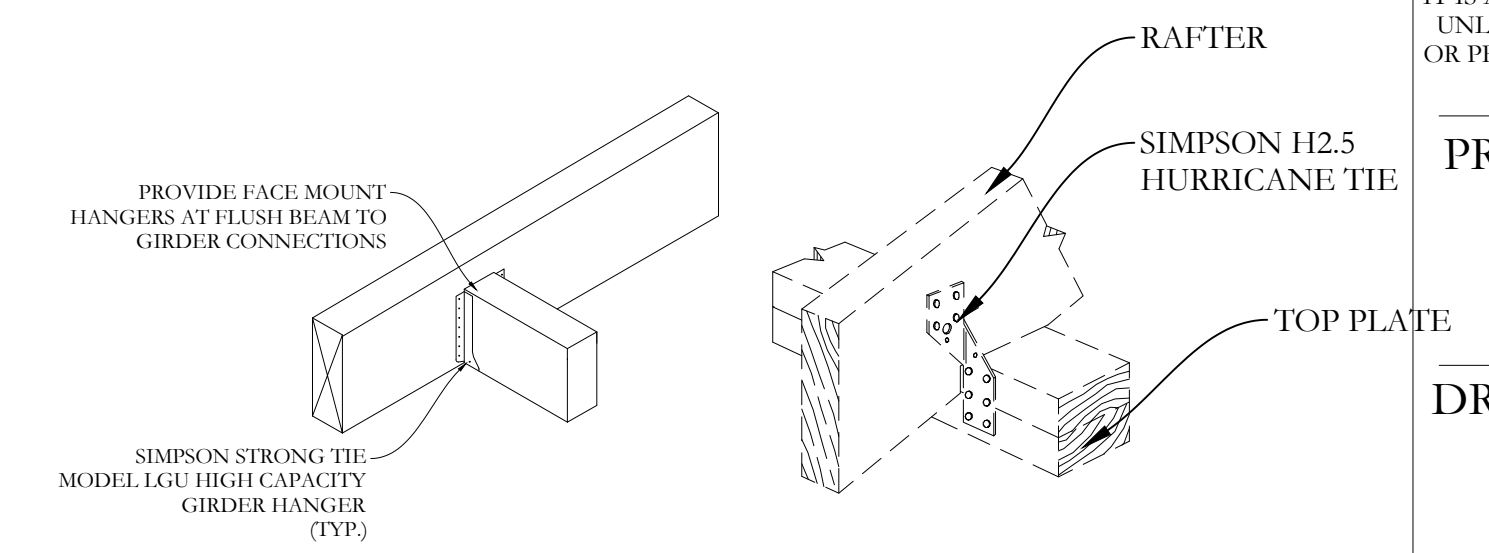
HEADER DETAIL

SCALE: NTS



TEMPORARY SHORING

SCALE: NTS



HANGERS & RAFTER TIES

SCALE: NTS

ISSUE DATE BY CHECKED APPROVED

0	05/13/2022	JMS	JMS	JMS
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SEAL & SIGNATURE:



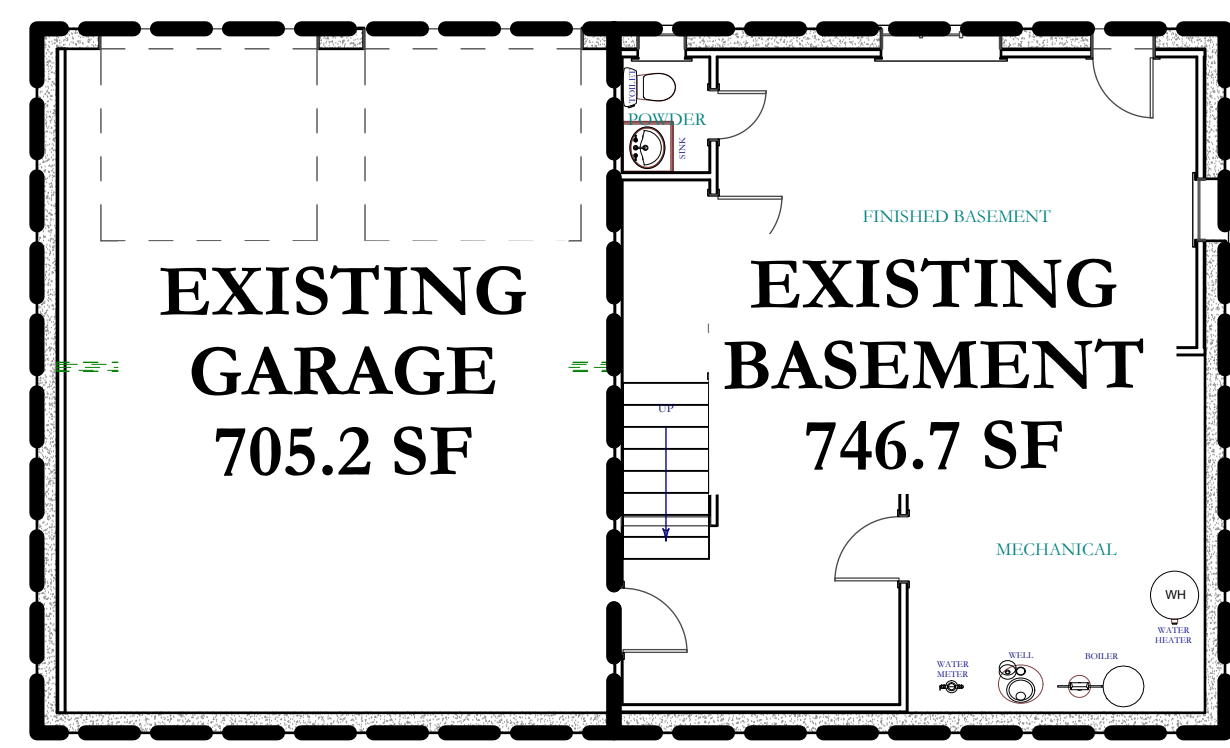
JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

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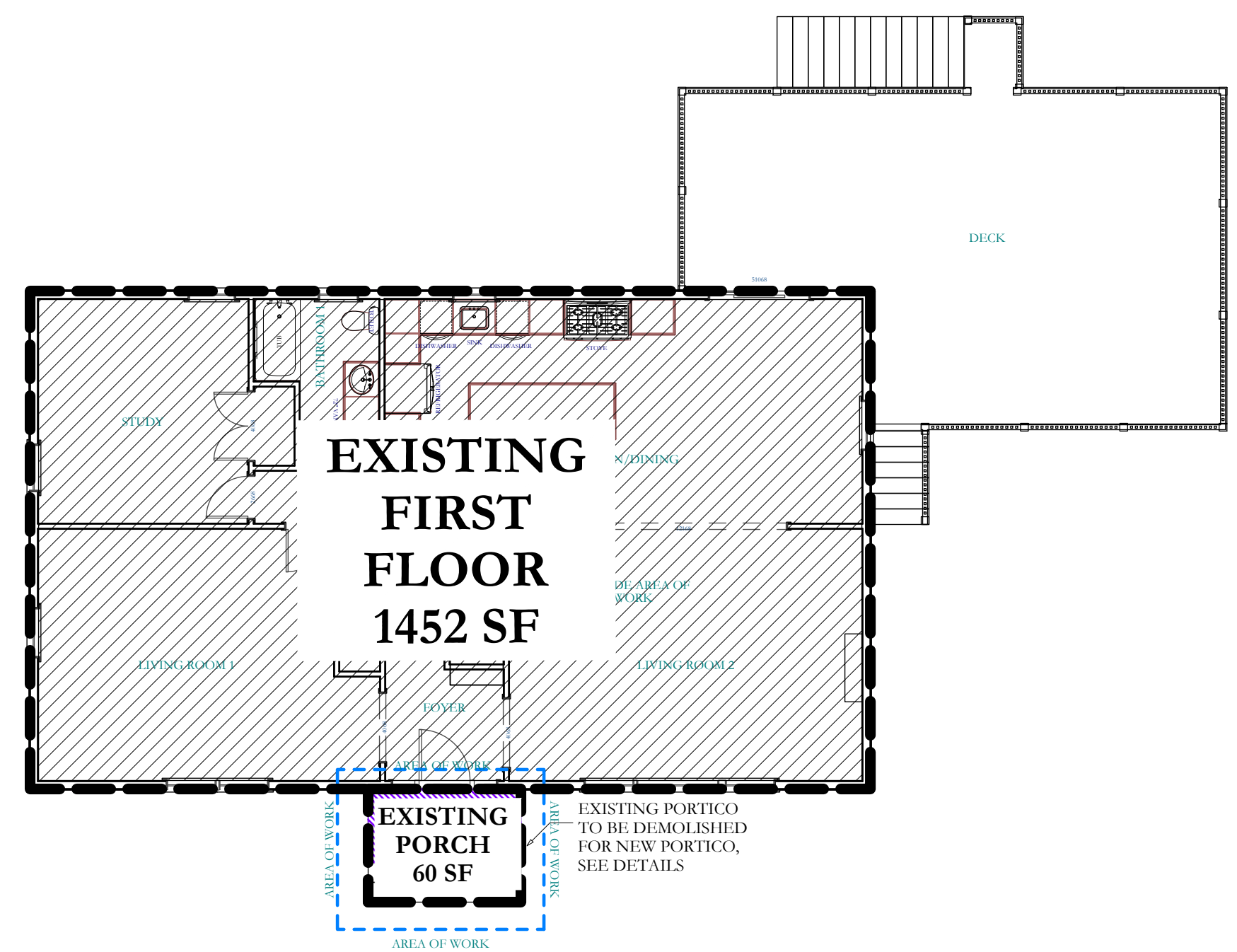
PROJECT:
2 Warren Place
Armonk, NY 10504

DRAWING TITLE:
DETAILS
SHEET 2
D-102

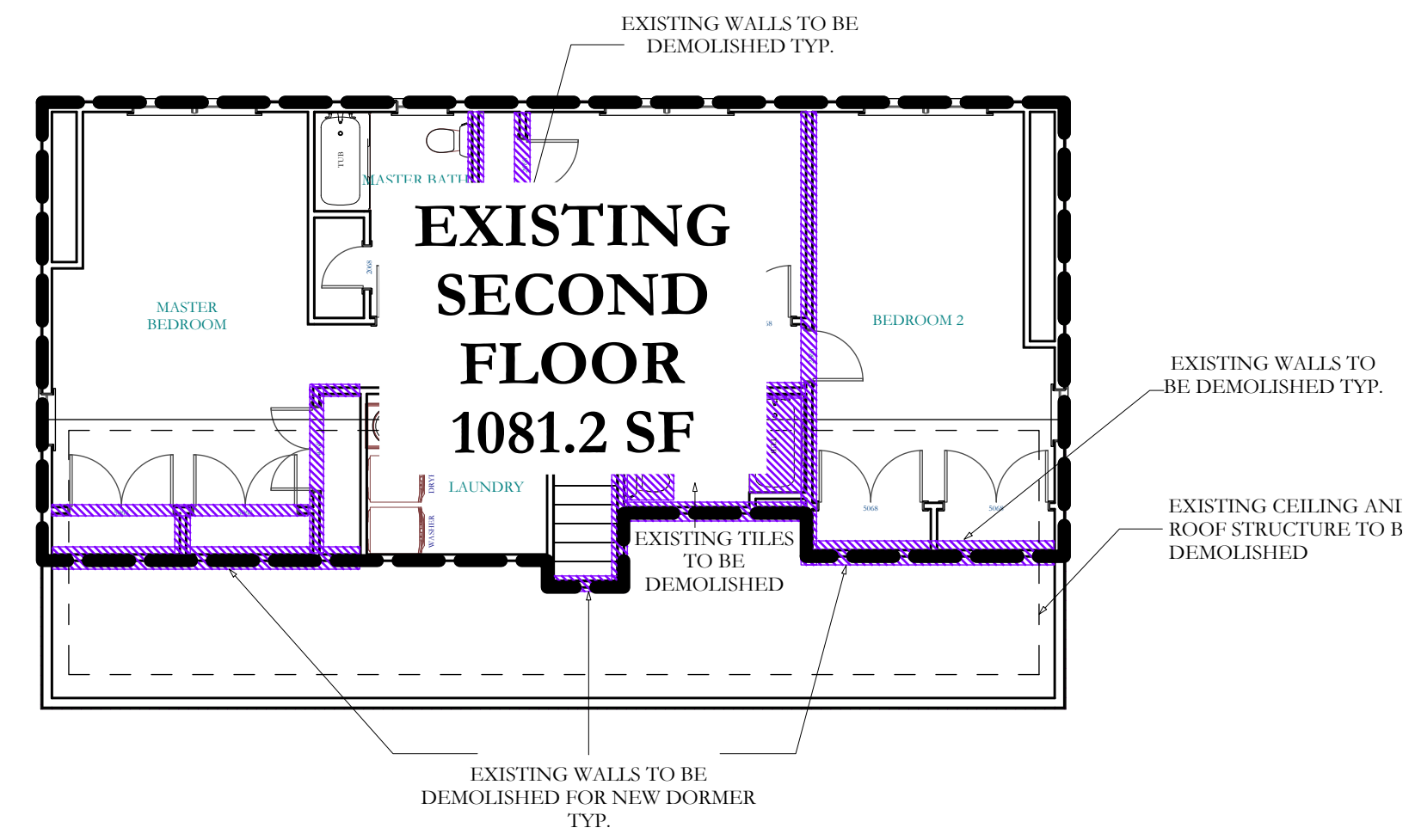
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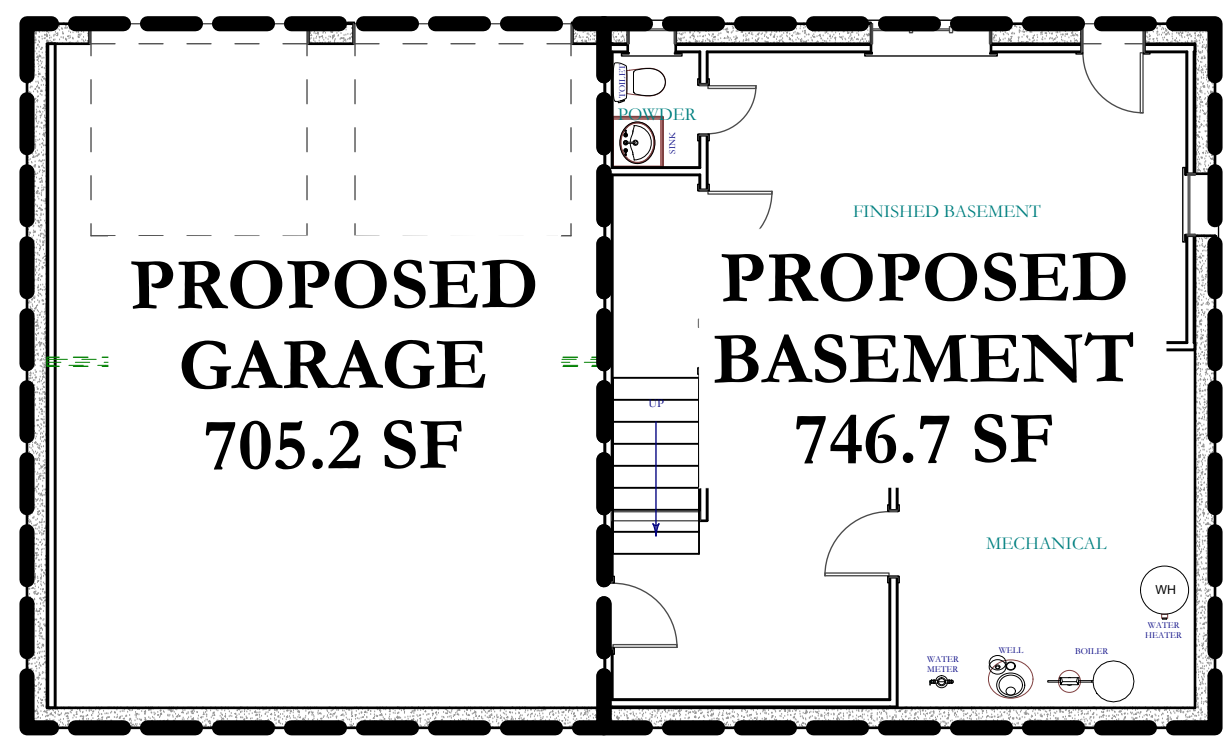
B-EX EXISTING BASEMENT FLOOR AREA
SCALE: 1/8"=1'-0"



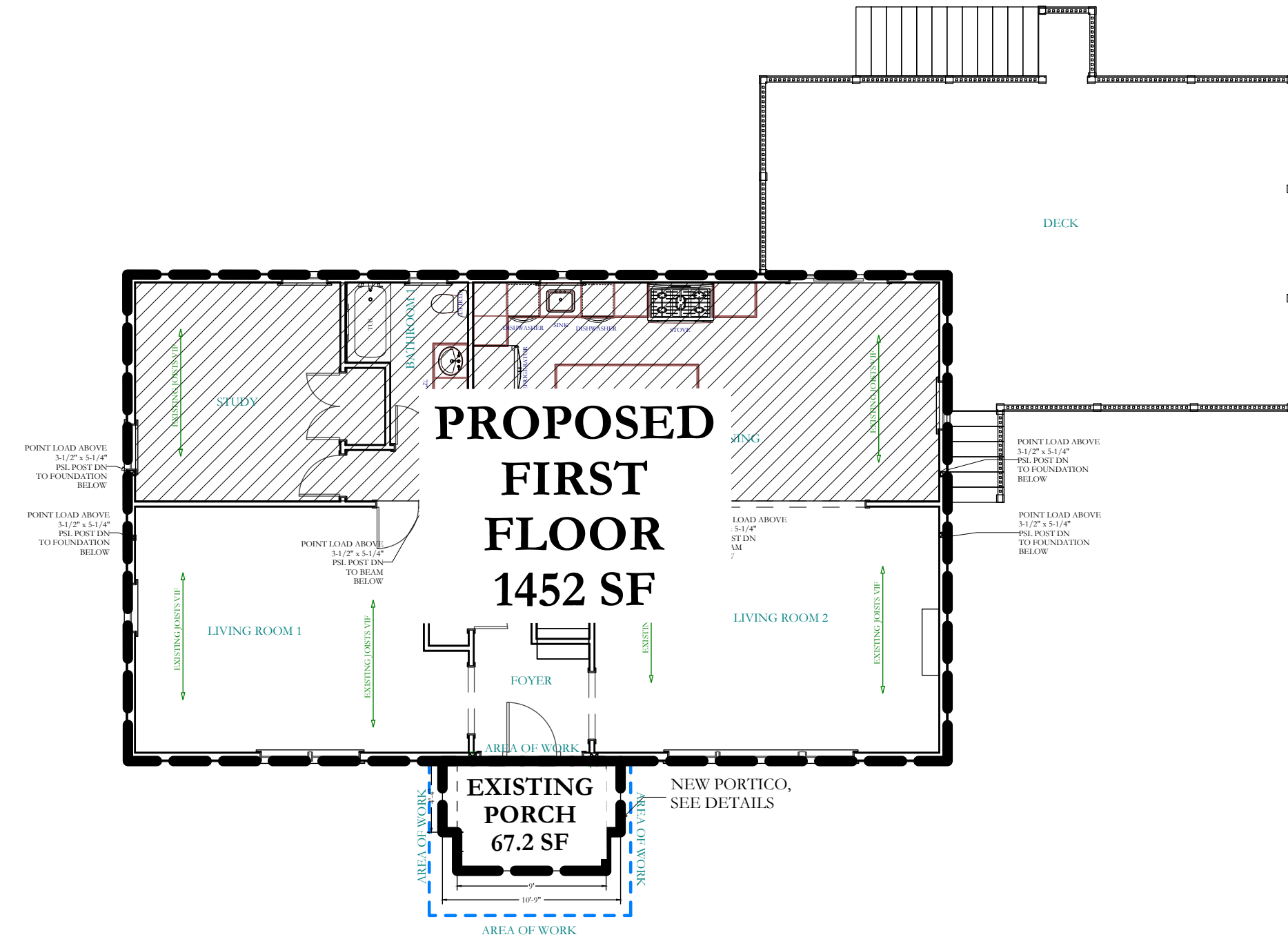
1-EX EXISTING 1ST FLOOR AREA
SCALE: 1/8"=1'-0"



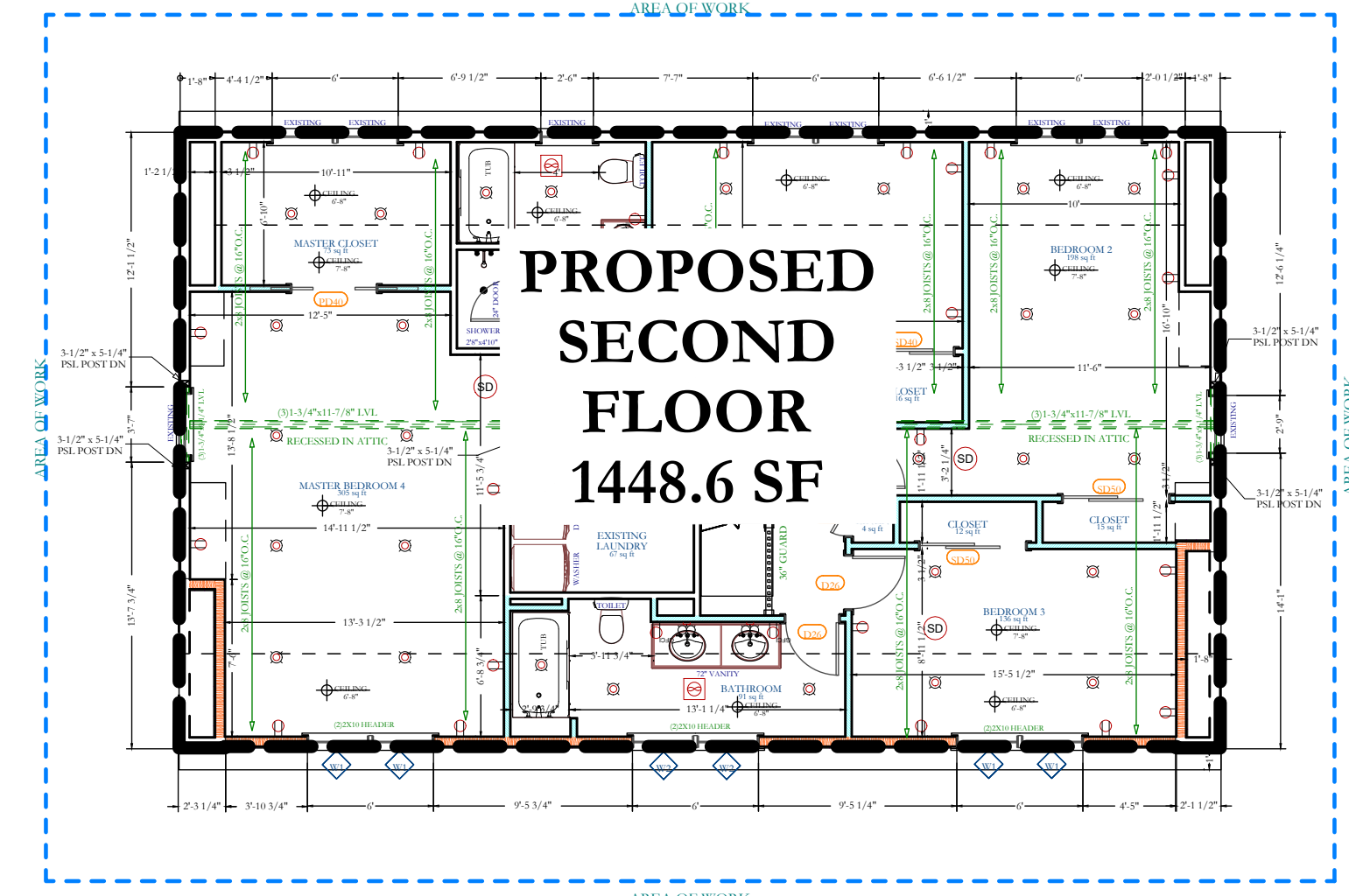
2-EX EXISTING 2ND FLOOR AREA
SCALE: 1/8"=1'-0"



B PROPOSED BASEMENT FLOOR AREA
SCALE: 1/8"=1'-0"



1 PROPOSED 1ST FLOOR AREA
SCALE: 1/8"=1'-0"



2 PROPOSED 2ND FLOOR AREA
SCALE: 1/8"=1'-0"

ISSUE	DATE	BY	CHECKED	APPROVED
0	03/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



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2 Warren Place
Armonk, NY 10504

DRAWING TITLE:
FLOOR AREA SHEET
FAR-101

NOTES: