



RESREAL DESIGNS

Architecture & Engineering Services
For Homes

Town of North Castle
Building Dept.
17 Bedford Road
Armonk, NY 10504

SUBJECT: 10 Piping Brook Lane Bedford NY 10506 – OWNER AUTHORIZATION

To whom it may concern,

I, David Klausner, as the owner of 10 Piping Brook Lane Bedford NY 10506, authorize John M. Scavelli, PE of ResReal Designs to serve as the agent/applicant in submitting the Residential Project Review Committee (RPRC) and Building Permit Applications to the Town of North Castle on my behalf.

Note: It is the responsibility of the homeowner and/or contractor to schedule all required inspections with the Town, and to complete all related Certificate of Occupancy/Compliance paperwork to close out the permits. All related fees required by Authorities Having Jurisdiction are the responsibility of the homeowner.

Very Respectfully,

Owner Signature:  Date: 4/4/22

On behalf of the owner above, thank you.

Sincerely,

John M. Scavelli, PE
JMS Engineering Services, PC
ResReal Designs
John@resreal.com
www.resreal.com
State of New York Professional Engineering License 11095178



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 Piping Brook Lane Bedford 10506

Section III- DESCRIPTION OF WORK:

Existing deck at rear side of dwelling to be demolished.
New deck and screened in porch to be installed at rear side of dwelling.

Section III- CONTACT INFORMATION:

APPLICANT: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____ EMAIL: john@resreal.com

PROPERTY OWNER:

David & Amy Klausner

ADDRESS: 10 Piping Brook Lane Bedford 10506

PHONE: 914-450-0041 MOBILE: _____ EMAIL: Amybklausner@gmail.com

PROFESSIONAL: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____

EMAIL: john@resreal.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 102.02-2-29



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 10 Piping Brook Lane Date: 04/13/2022
Bedford, NY 10506
 Tax Map Designation or Proposed Lot No.: _____

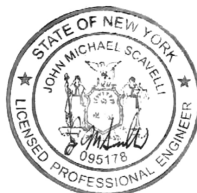
Gross Lot Coverage

- | | | |
|-----|---------------------------------------------------------------------------------------------------------------------------|------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>102333 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 213-22.2C): | <u>14414 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 213-22.2C): | |
| | Distance principal home is beyond minimum front yard setback
_____ x 10 = | <u>502 SF</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14916 SF</u> |
| 5. | Amount of lot area covered by principal building :
<u>2765</u> existing + <u>324</u> proposed = | <u>3089 SF</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | _____ |
| 7. | Amount of lot area covered by decks :
<u>577</u> existing + <u>100</u> proposed = | <u>677 SF</u> |
| 8. | Amount of lot area covered by porches :
<u>61</u> existing + <u>0</u> proposed = | <u>61 SF</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>2175</u> existing + <u>0</u> proposed = | <u>2175 SF</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>6002 SF</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

John M. Scavelli

Signature and Seal of Professional Preparing Worksheet



04/13/2022
 Date

DAVID KLAUSNER
AMY KLAUSNER

4/3/22 Date

3007
1-1367/260
373

Pay to the Order of Town of North Castle \$ 750.00
Seven hundred fifty and ⁰⁰/₁₀₀ Dollars



America's Most Convenient Bank®

For RPRC Filing Fee

[Signature] MP

⑆026013673⑆ 4268119497⑈ 3007

TD Bank, N.A.

DAVID KLAUSNER
AMY KLAUSNER

4/3/22 Date

3006
1-1367/260
373

Pay to the Order of Town of North Castle \$ 1,295.00
One thousand two hundred ninety five and ⁰⁰/₁₀₀ Dollars



America's Most Convenient Bank®

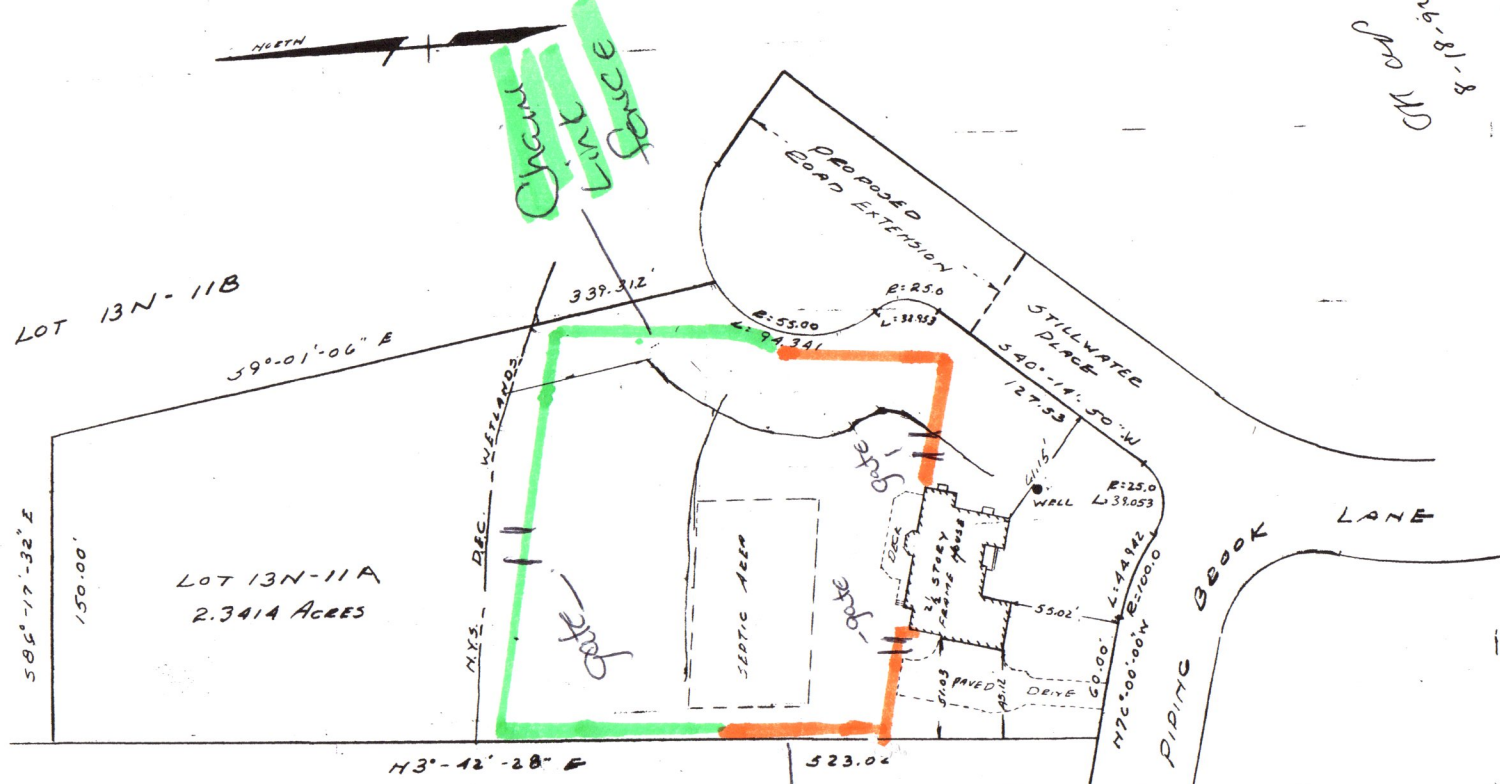
For Building Permit Application

[Signature] MP

⑆026013673⑆ 4268119497⑈ 3006

TD Bank, N.A.

26-81-8
CANCRO



CERTIFIED TO:
 STATEWIDE ABSTRACT CORP. H/F JOHN AND. MOONEY BERGEN
 CHICAGO TITLE INSURANCE COMPANY
 GMAC MORTGAGE CORPORATION OF PA.
 CANCRO CONSTRUCTION CORP.
 DANIEL AND DANLIA MARCUS

LOT No. 12 - FILED MAP No 21232

I, Edward J. Crothers, the surveyor who made this map, do hereby certify that the survey of the property shown hereon is based on a field survey and that said survey is in accordance with the New York State Association of Professional Land Surveyors current standards.

All certifications hereon shall run only to persons named hereon for whom this survey was prepared, and on their behalf to any title company, governmental agency or lending institution named hereon. Said certifications are not transferable to additional institutions or subsequent owners.

Edward J. Crothers N.Y.S. 193474
 FOR: J.A. Kirby Company
 Civil Engineers and Surveyors
 Port Chester, N.Y.

DATE: ~~OCTOBER 2, 1991~~ ~~REVISION 12/15/91 (FOR NOTATION ADDED)~~ BROUGHT TO DATE AUGUST 12, 1992

All certifications hereon are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

Any alteration or addition to this survey is a violation of Section 7209 of the New York State Education Law, except as per Section 7209-Subdivision 2.

PLAN OF LOT NO. 13N-11A
 SUBDIVISION MAP OF LOT 11
 RIDING BROOK MEADOWS
 TOWN OF NORTH CASTLE, N.Y.

FILED MAP No. 24217

PREPARED FOR:
 CANCRO CONSTRUCTION CORP.

SCALE 1/4" = 50 FT.

RECEIVED
 AUG 14 1992
 TOWN OF NORTH CASTLE, N.Y.
 BUILDING DEPARTMENT

NEW DECK & SCREENED IN PORCH PERMIT PLANS FOR: 10 Piping Brook Lane Bedford, NY 10506



www.ResReal.com
(914)-330-7712

361 Route 202 - Suite #7
Somers, NY 10589

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 10 PIPING BROOK LANE
PROJECT TOWN: BEDFORD, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 102.02-2-29
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-2A

BUILDING CODE AND REFERENCE STANDARDS:
THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

DETAILS SCOPE OF WORK DESCRIPTION
EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:
- NEW DECK AND SCREENED IN PORCH AT REAR OF DWELLING

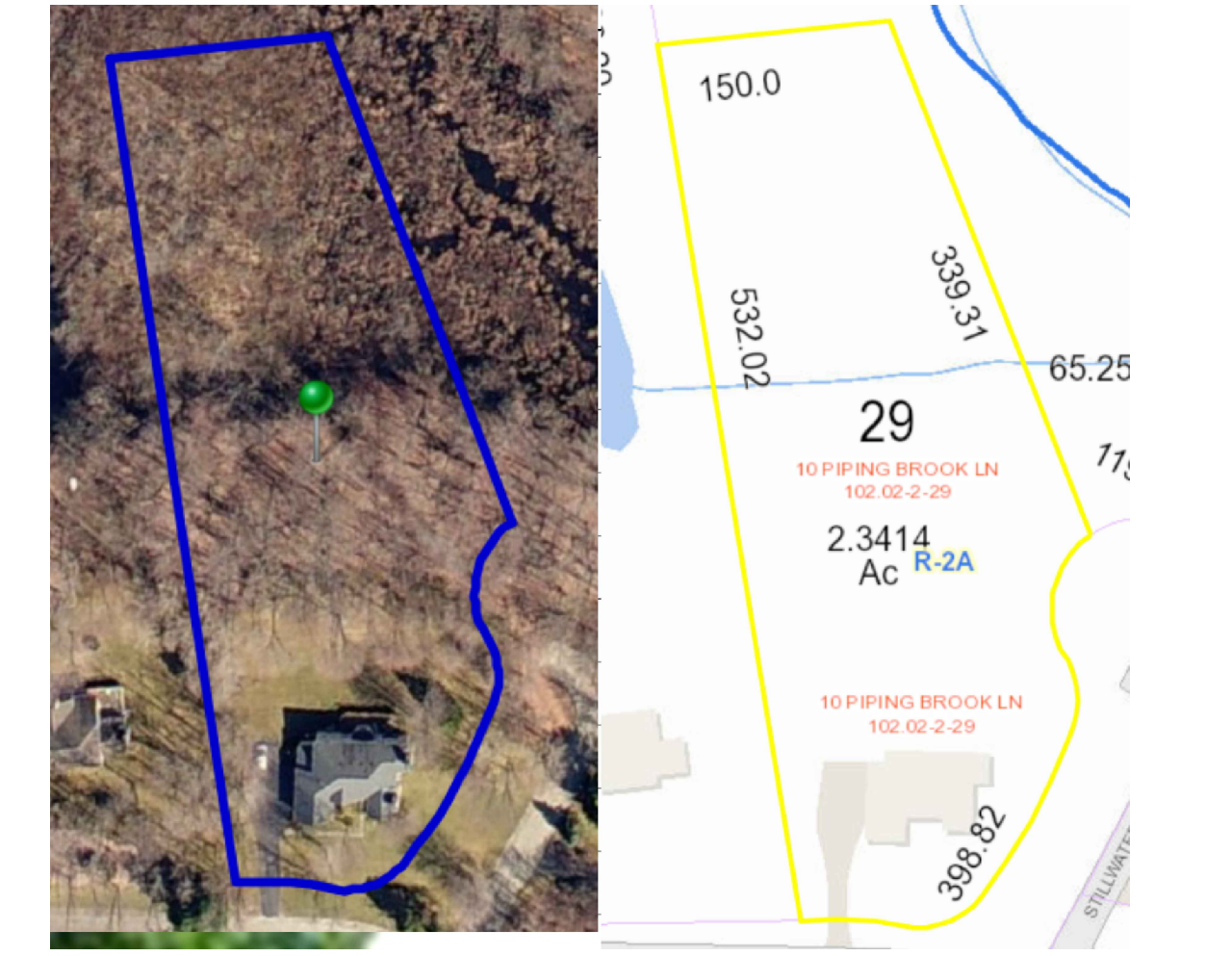
CLASSIFICATION OF WORK- ALTERATION LEVEL 2
- THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN **ALTERATION - LEVEL 2 (A)301.5**, WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL **GROUP R3 WITH CONSTRUCTION TYPE V**, EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
 2. ALL DIMENSIONS ARE TO ROUGH FRAMING
 3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
 4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
 6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
 7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
 8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
 9. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
 10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
 11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

- CONSTRUCTION NOTES:**
1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH DESIGN PROFESSIONAL.
 2. PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE AS REQUIRED BY THE LOCAL LAW.
 3. ALL WORK SHALL BE CONSTRUCTED AND INSTALLED IN A PLUMB, LEVEL, SQUARE, TRUE AND PROPER ALIGNMENT.
 4. ALL MATERIALS AND ASSEMBLIES TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFPA "FIRE RESISTANCE RATINGS" AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARDS METHODS OF FIRE TESTS"
 5. WHERE PIPES OR CABLES PENETRATE WALL OR FLOOR OPENINGS PROVIDE FIRE STOP MATERIAL AS REQUIRED TO ENSURE CONTINUITY OF RATING PER LOCAL LAW.
 6. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 PSF.
 7. ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
 8. ALL REINFORCEMENT BAR SHALL BE MADE OF STEEL CONFORMING TO ASTM A615, GRADE 60.
 9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
 10. INSTALL ALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS.
 11. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS ACCEPTABLE TO THE MANUFACTURERS SPECIFICATIONS.
 12. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
 13. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGE BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THEIR EXPENSE.
 14. ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
 15. ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING.
 16. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITIES SERVICE ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO MATCH EXISTING.
 17. "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK. IT DOES NOT EXCLUDE WORK THAT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING OR OTHER TRADES.
 18. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING UNLESS OTHERWISE NOTED.
 19. ALL DOORS SHALL AVE AN UNDERCUT TO CLEAR FINISH FLOOR BY 1/2". UNLESS OTHERWISE NOTED.
 20. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.
 21. TEMPORARY SHORING SHALL BE PROVIDE PRIOR TO THE DEMOLITION OF LOAD BEARING WALLS.
 22. EXISTING STRUCTURAL ELEMENTS SHALL REMAIN IN PLACE UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.

- DEMOLITION NOTES:**
1. DEMOLITION SHALL BE PERFORMED IN A SAFE AND ORDERLY MANOR AND IS RESPONSIBILITY OF CONTRACTOR TO ENSURE SAFE WORKING CONDITIONS.
 2. PRIOR TO ANY DEMOLITION THE JOBSITE SHALL BE VISITED BY DEMOLITION CONTRACTOR TO EXAMINE THE EXTENTS OF DEMOLITION. ANY AREAS OF DEMOLITION NOT DESCRIBED UNDER THIS DRAWING PACKAGE SHALL BE VERIFIED BY OWNER AND DESIGN PROFESSIONAL PRIOR TO ANY ADDITIONAL DEMOLITION.
 3. ALL BUILDING MATERIAL AND DEBRIS SHALL BE REMOVED FROM SITE IN AN ORDERLY AND TIMELY FASHION.
 4. EXCESSIVE QUANTITIES OF DEBRIS SHALL NOT BE PILED TOGETHER INSIDE THE STRUCTURE OR ON THE SURROUNDING PREMISES.
 5. ALL DEMOLITION WORK SHALL CONFORM TO THE CURRENT LOCAL CODES.
 6. PRIOR TO ANY DEMOLITION OF BUILDING SERVICES, THE PROPER UTILITIES SHOULD BE DISCONNECTED. COORDINATE WITH LOCAL UTILITY PROVIDERS AS REQUIRED.
 7. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
 8. ALL PLUMBING WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED PLUMBING CONTRACTOR.
 9. ALL SURFACES DAMAGED DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AS NECESSARY.

- LUMBER NOTES:**
1. ALL NOMINAL STRUCTURALLY GRADED LUMBER SHALL BE DOUGLAS FIR NO. 2, E - 1,600,000 PSI OR AN APPROVED EQUIVALENT.
 2. LVL MEMBERS SHALL BE "MICRO-LAM LVL" AS MANUFACTURED BY TRUSS JOIST CORPORATION, Fb = 2,600 PSI, E = 1,900,000 PSI OR AN APPROVED EQUIVALENT, U.N.O.
 3. PSL MEMBERS SHALL BE "PARALLAM PSL" AS MANUFACTURED BY TRUSS JOIST CORPORATION, Fb = 2900 PSI, E = 2900 PSI OR AN APPROVED EQUIVALENT.
 4. FLUSH FRAMED WOOD CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS OF THE WIDTH AND DEPTH REQUIRED FOR THE SUPPORTED MEMBER. HANGERS SHALL BE SECURED WITH THE QUANTITY AND TYPE OF FASTENERS RECOMMENDED BY THE MANUFACTURER. (APPLIES TO EXISTING & NEW MEMBERS)
 5. BUILT-UP FRAMING MEMBERS SHALL HAVE ADJACENT PILES NAILED TOGETHER WITH ROWS OF NAILS AT 12" O.C. LUMBER SHALL BE NAILED WITH ROWS OF 10D COMMON NAILS WITH (2) NAILS PER ROW FOR 2x4 AND 2x8 AND (3) NAILS PER ROW FOR 2x10 AND 2x12. LVL MEMBERS SHALL BE NAILED WITH ROWS OF 16d COMMON NAILS WITH (2) NAILS PER ROW FOR 7" AND SMALLER MEMBERS, (3) NAILS PER ROW FOR 934 TO 11 W DEPTH MEMBERS, AND (4) NAILS PER ROW FOR 14" TO 16" DEPTH MEMBERS. U.N.O.
 6. PROVIDE TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN. PROVIDE A JACK STUD AND A KING STUD AT EACH END OF ALL DROPPED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN.
 7. FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS, UNLESS OTHERWISE NOTED IN PLAN. FLOOR JOISTS WHICH SUPPORT NON-LOAD BEARING PARTITIONS WHICH SPAN PARALLEL TO THE JOISTS SHALL BE DOUBLED AND BRIDGING SHALL BE PROVIDED AT A MAXIMUM SPACING OF 8'-0" O.C. IN ALL FLOOR FRAMING.
 8. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
 9. PLYWOOD SHALL CONFORM TO THE U.S. DEPT. OF COMMERCE DOC PS-1 AND BEAR THE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD SHEATHING FOR FLOORS, ROOFS, & WALLS SHALL BE OF THICKNESS INDICATED, EXPOSURE 1.
 10. HEADERS AT EXTERIOR WALLS SHALL BE MINIMUM (2) 2x10, U.N.O.
 11. ALL WOOD PLACED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 12. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE A TRUSS IDENTIFICATION SIGN SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS STRUCTURE UTILIZES TRUSS TYPE, PRE-ENGINEERED WOOD AND/OR TIMBER CONSTRUCTION. SIGN SHALL BE A PERMANENT, NON-FADING WEATHER RESISTANT STICKER OR DECAL.



- ELECTRICAL NOTES:**
1. THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE ELECTRICAL SYSTEM.
 2. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
 3. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES
 4. ELECTRICAL OUTLET PLACEMENT IS FOR LOCATION ONLY, COORDINATE INSTALLATION WITH ALL TRADE WORK.
 5. INSTALL ALL OUTLETS AT 15" AFF EXCEPT OTHERWISE NOTED, OR TO MATCH HEIGHTS OF EXISTING OUTLETS WITHIN THE SAME SPACE.
 6. ALL FLOOR OUTLETS SHALL BE INSTALLED AS CLOSE TO THE DIMENSIONED LOCATIONS AS POSSIBLE, WITHIN A TOLERANCE OF 2" BUT NOT TO EXCEED PLACEMENT DISALLOWED BY LOCAL CODE.
 7. ELECTRICAL PANELS SHALL BE FULLY LABELED WITH CIRCUIT NUMBERS AND IDENTIFICATIONS FOR ALL SPACES SERVED BY EACH CIRCUIT.
 8. ALL NEW SWITCHES SHALL BE GANGED TOGETHER WHENEVER MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION.
 9. ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED.
 10. ALL WIRING SHALL BE PROVIDED AND INSTALLED PER NFPA 70 NATIONAL ELECTRICAL CODE REQUIREMENTS.
 11. ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE W/ NFPA 70 NATIONAL ELECTRICAL CODE.
 12. CONTRACTOR SHALL FIXTURE SELECTIONS, SWITCHES AND OUTLETS AND GAIN OWNER APPROVAL PRIOR TO INSTALLATION.
 13. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

- FRAMING NOTES:**
1. ALL STRUCTURAL PRODUCTS SHALL BE IDENTIFIED BY GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY CERTIFYING AGENCY.
 2. FOR ALL OPENINGS NOT OTHERWISE NOTED, SCHEDULED OR DETAIL ON THE PLANS, HEADER SIZING SHALL FOLLOW THE SIZES LISTED ON HEADER TABLE.
 3. WOOD FRAMING SHALL MAINTAIN 8" CLEARANCE ABOVE GRADE.
 4. UNLESS OTHERWISE NOTED 2x4 COLLAR TIES SHALL BE INSTALLED AT THE TOP THIRD POINT OF EVERY OTHER ROOF RAFTER. CUT ENDS TO FIT SLOPE AND NAIL TO ADJACENT RAFTERS.
 5. NOTCH RAFTERS TO FIT EXTERIOR WALL PLATES AND TOE NAIL OR USE METAL FRAMING ANCHORS.
 6. ANY OPENINGS IN ROOF FRAMING SHALL HAVE 2-PLY RAFTERS TO FORM HEADERS AND TRIMMERS AROUND ROOF OPENING AND SUPPORT WITH METAL HANGERS WHERE REQUIRED.
 7. WHERE RAFTERS ABUT AT RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER.
 8. HIP AND VALLEY RAFTERS SHALL BE 2-PLY AND MINIMUM 2" DEEPER THAN ADJACENT RAFTERS UNLESS SIZE NOTED OTHERWISE. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTER.

DESIGN LOADS:
LIVE LOAD = 40 PSF ,DEAD LOAD = 20 PSF ,ROOF LIVE = 20 PSF ,ROOF (SNOW) = 30 PSF
ALLOWABLE DEFLECTION = L/360

- PLUMBING**
1. THERE IS NO PROPOSED PLUMBING UNDER SCOPE OF WORK

- ROOF AND FLASHING NOTES**
1. ROOFING AND ROOF FLASHING SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R902 AND R903.
 2. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER ROOF PENETRATIONS AS APPLICABLE.
 3. FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
 4. FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDE WALL.
 5. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH.
 6. ROOFS SHALL BE COVERED WITH MATERIALS AS SET FORTH IN SECTION R904 AND R905.
 7. CLASS A, B OR C ROOFING SHALL BE INSTALL IN JURSDICTIONS DESIGNATED BY LAW AS REQUIRING THEIR USE OF WHERE THE EDGE OF THE ROOF IS LESS THAN 3 FEET FROM A LOT LINE.
 8. CLASS A, B, C ROOFING REQUIRED TO BE LISTED AND TESTED IN ACCORDANCE WITH UL 790 OR ASTM E 108

G GIS VIEW
SCALE: NTS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST INTERIOR WALL		EXHAUST FAN
	EXST EXTERIOR WALL		EXHAUST FAN AND LIGHT
	NEW EXTERIOR WALL		LIGHT FIXTURE
	NEW INTERIOR WALL		WALL MOUNTED LIGHT FIXTURE
	CONCRETE WALL		REFRIGERATOR OUTLET
	BLOCK WALL		GFCI OUTLET
	BRICK EXST WALL		OUTLET
	2 LAYERED INT WALL		DISHWASHER OUTLET
	BASEMENT INSULATED WALL		LAUNDRY HOOKUP
	BASEBOARD HEATER		SMOKE DETECTOR
	DOOR TAG		ELECTRICAL PANEL
	WINDOW TAG		SHUT OFF VALVE
	CEILING FAN		WATER METER/ SHUTOFF
	STRUCTURAL ELEMENT		GAS METER
	WATER FILTER		MECHANICAL
	OIL TANK		WATER HEATER
	CONCRETE ELEMENT		

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	HEATING DEGREE DAYS	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARD
30 PSF	120 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	5750 DEGREE DAYS CLIMATE ZONE 6	YES	NO

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/18/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

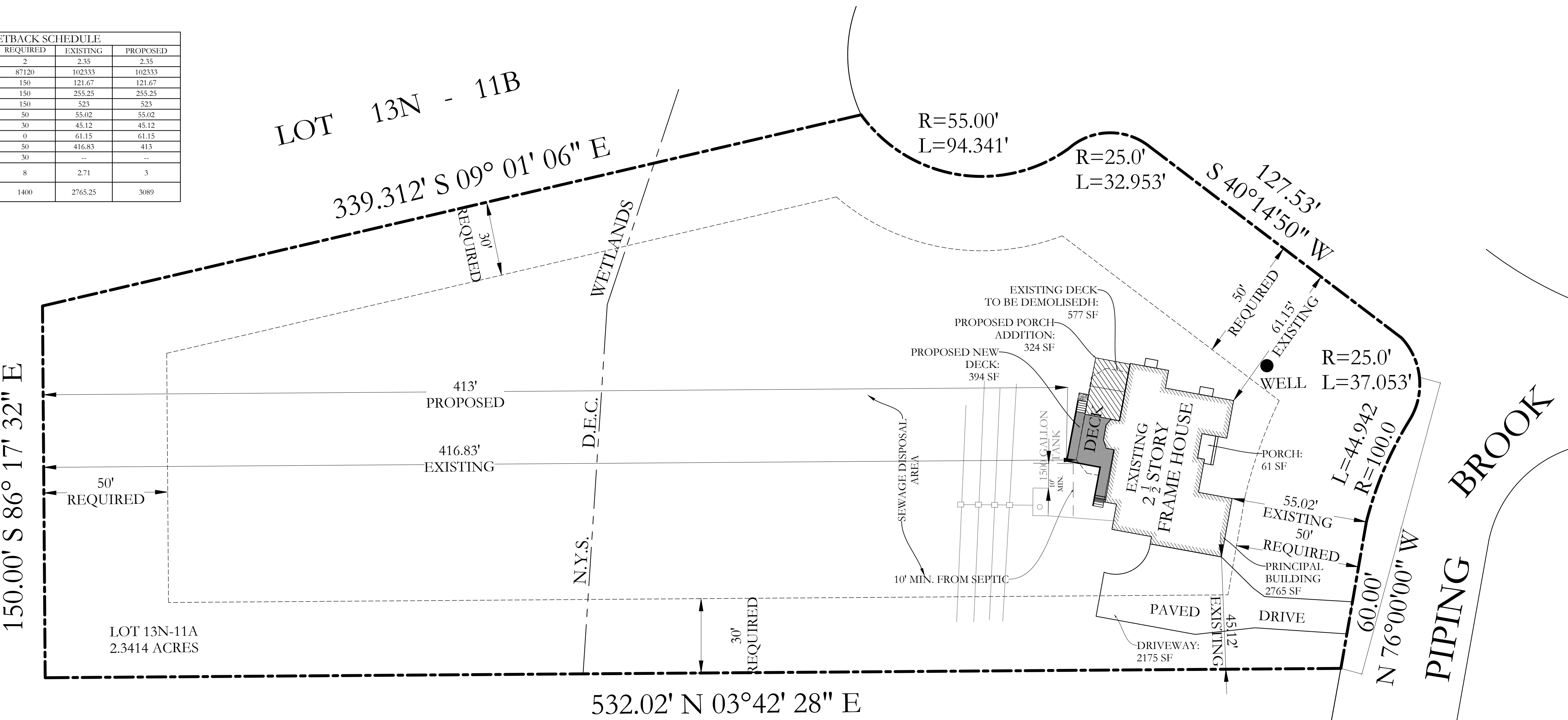
PROJECT:
10 Piping Brook Lane
Bedford, NY 10506

DRAWING TITLE:
GENERAL NOTES
SHEET 1

G-101

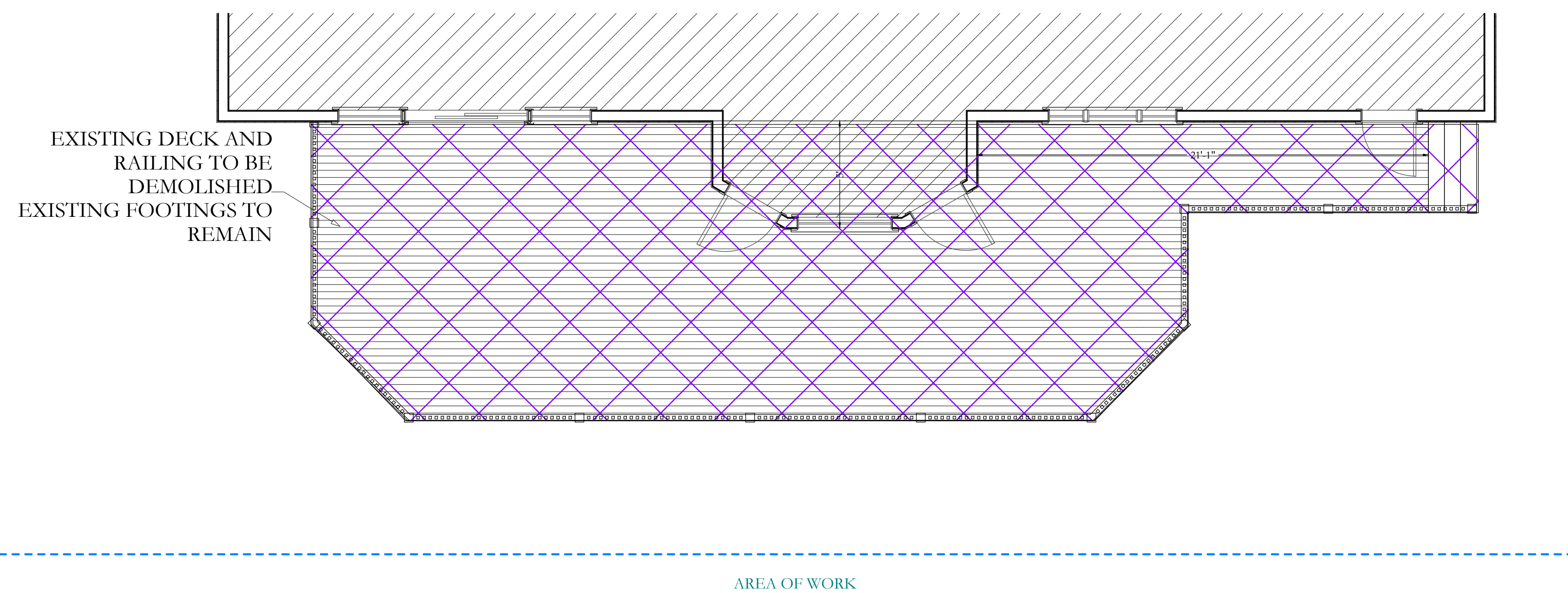
NOTES:

SETBACK SCHEDULE			
	REQUIRED	EXISTING	PROPOSED
LOT AREA [ACRES]	2	2.35	2.35
LOT AREA [SF]	87120	102333	102333
MIN. FRONTAGE [FT]	150	121.67	121.67
MIN. WIDTH [FT]	150	255.25	255.25
MIN. DEPTH [FT]	150	523	523
FRONT YARD [FT]	50	55.02	55.02
SIDE 1 [FT]	30	45.12	45.12
SIDE 2 [FT]	0	61.15	61.15
REAR YARD [FT]	50	416.83	413
MAX HEIGHT [FT]	30	--	--
BUILDING COVERAGE [%]	8	2.71	3
MAX DWELLING UNIT SIZE [SF]	1400	2765.25	3089



P PLOT PLAN
SCALE: 1"=25'-0"

PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION



1 DECK DEMOLITION PLAN
SCALE: 1/4"=1'-0"

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 10 PIPING BROOK LANE
PROJECT TOWN: BEDFORD, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 102.02.2.29
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-2A

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/18/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



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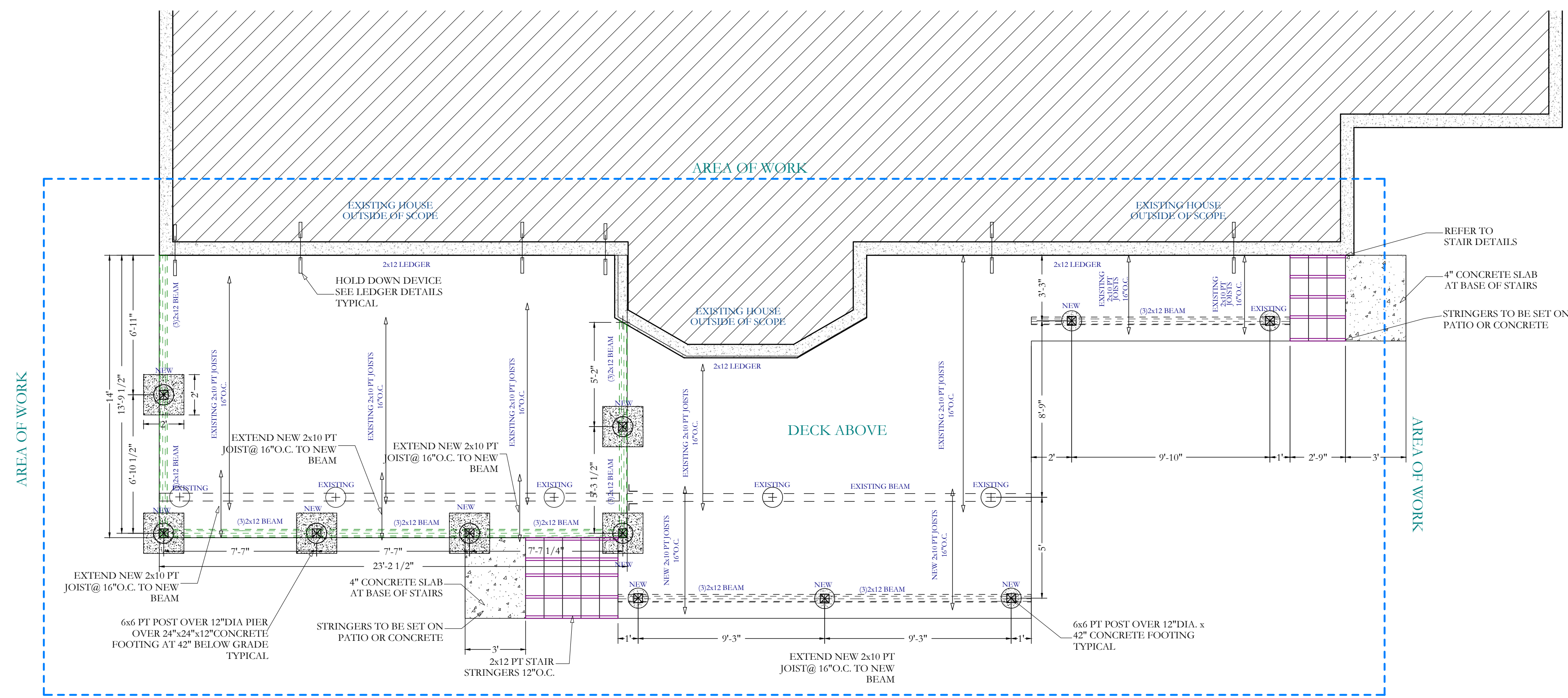
PROJECT:
**10 Piping Brook Lane
Bedford, NY 10506**

DRAWING TITLE:
**GENERAL NOTES
SHEET 2**

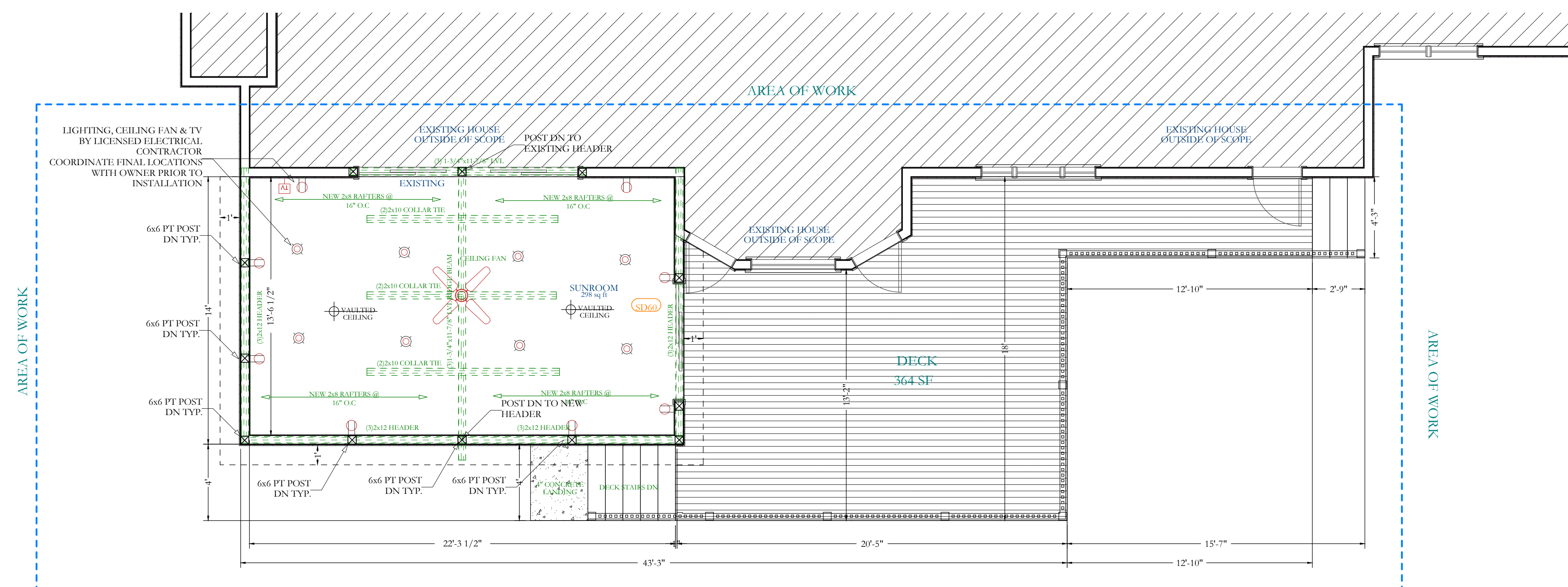
G-102

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 10 PIPING BROOK LANE
PROJECT TOWN: BEDFORD, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 102.02.2.29
OCCUPANCY: SINGLE-FAMILY DWELLING
ZONING CODE: R-2A



1 DECK STRUCTURAL PLAN
SCALE: 1/4"=1'-0"



2 DECK OVERALL PLAN
SCALE: 1/4"=1'-0"

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/18/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



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JMS ENGINEERING SERVICES, PC

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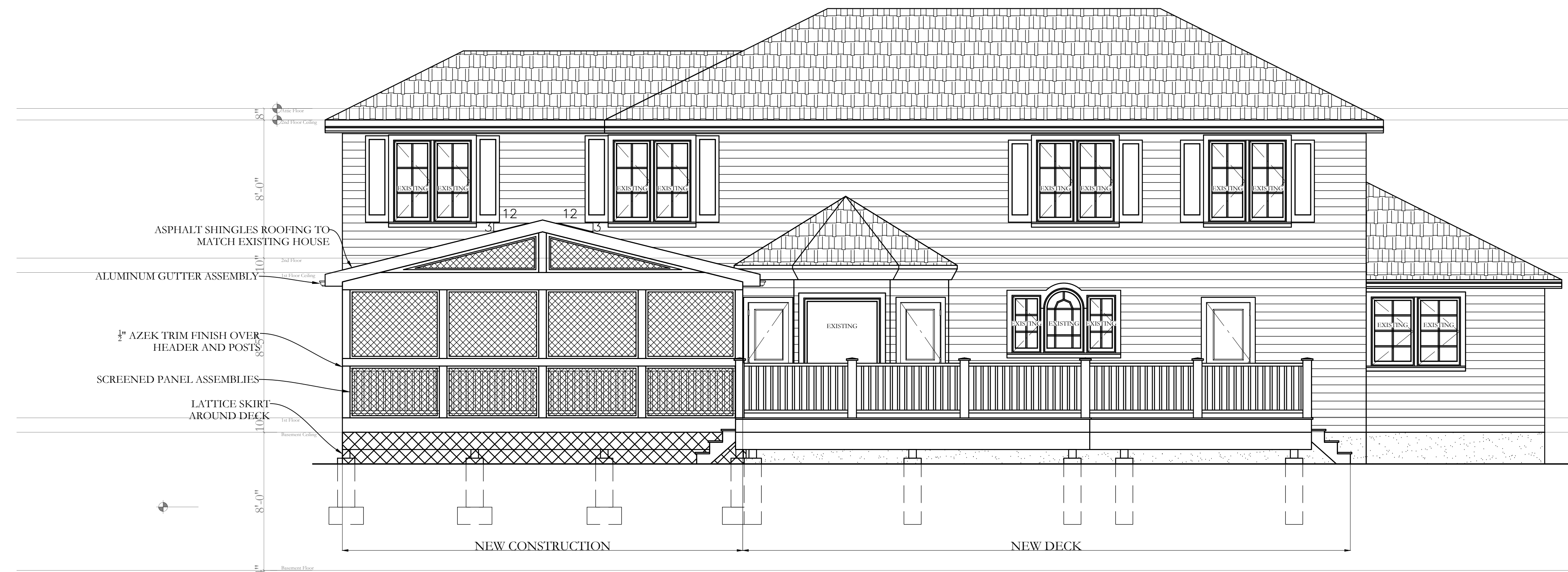
PROJECT:
**10 Piping Brook Lane
Bedford, NY 10506**

DRAWING TITLE:
**PLANS & DETAILS
SHEET 1**

A-101

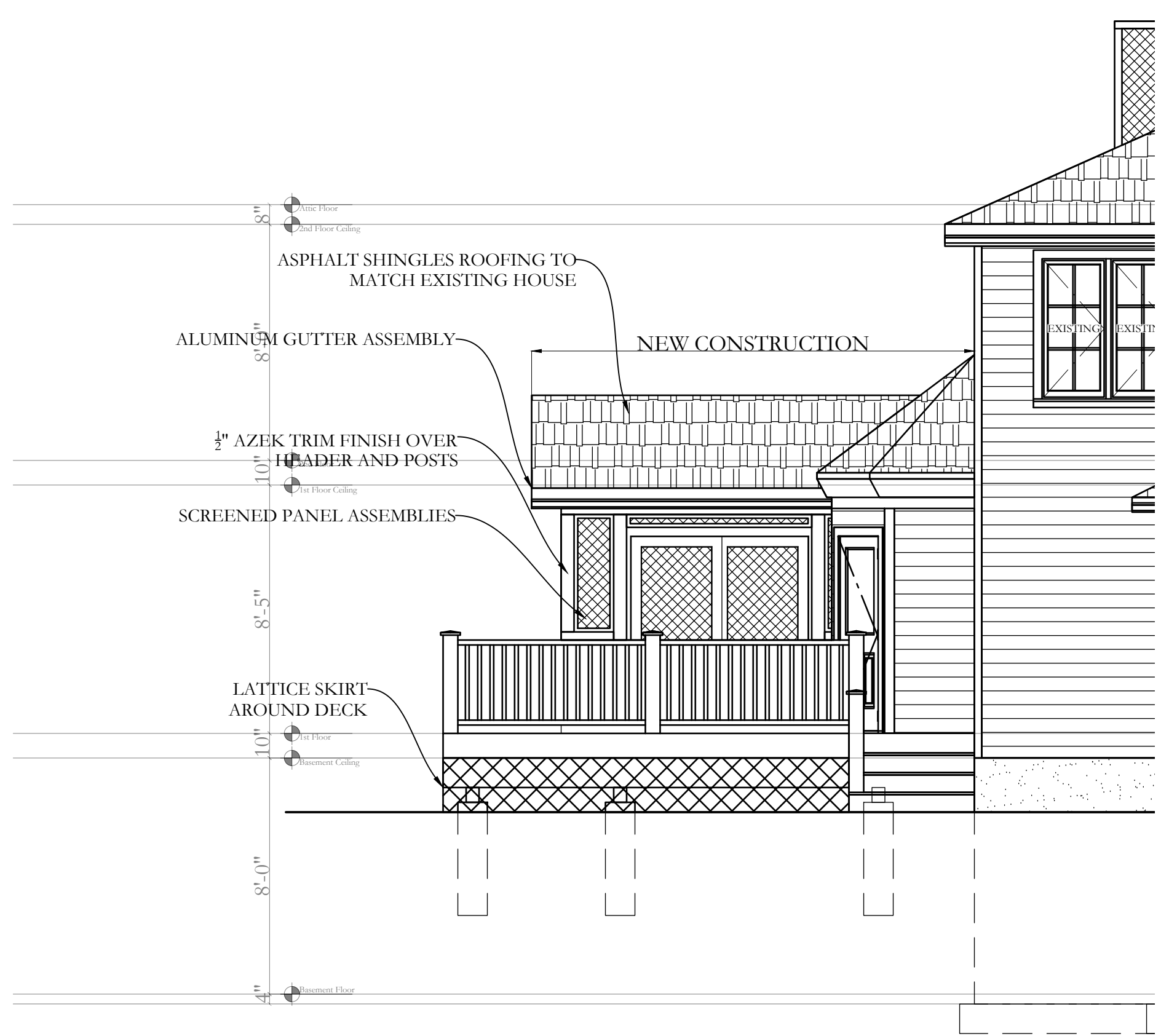
NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 10 PIPING BROOK LANE
PROJECT TOWN: BEDFORD, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 102.02.2.29
OCCUPANCY: SINGLE-FAMILY DWELLING
ZONING CODE: R-2A

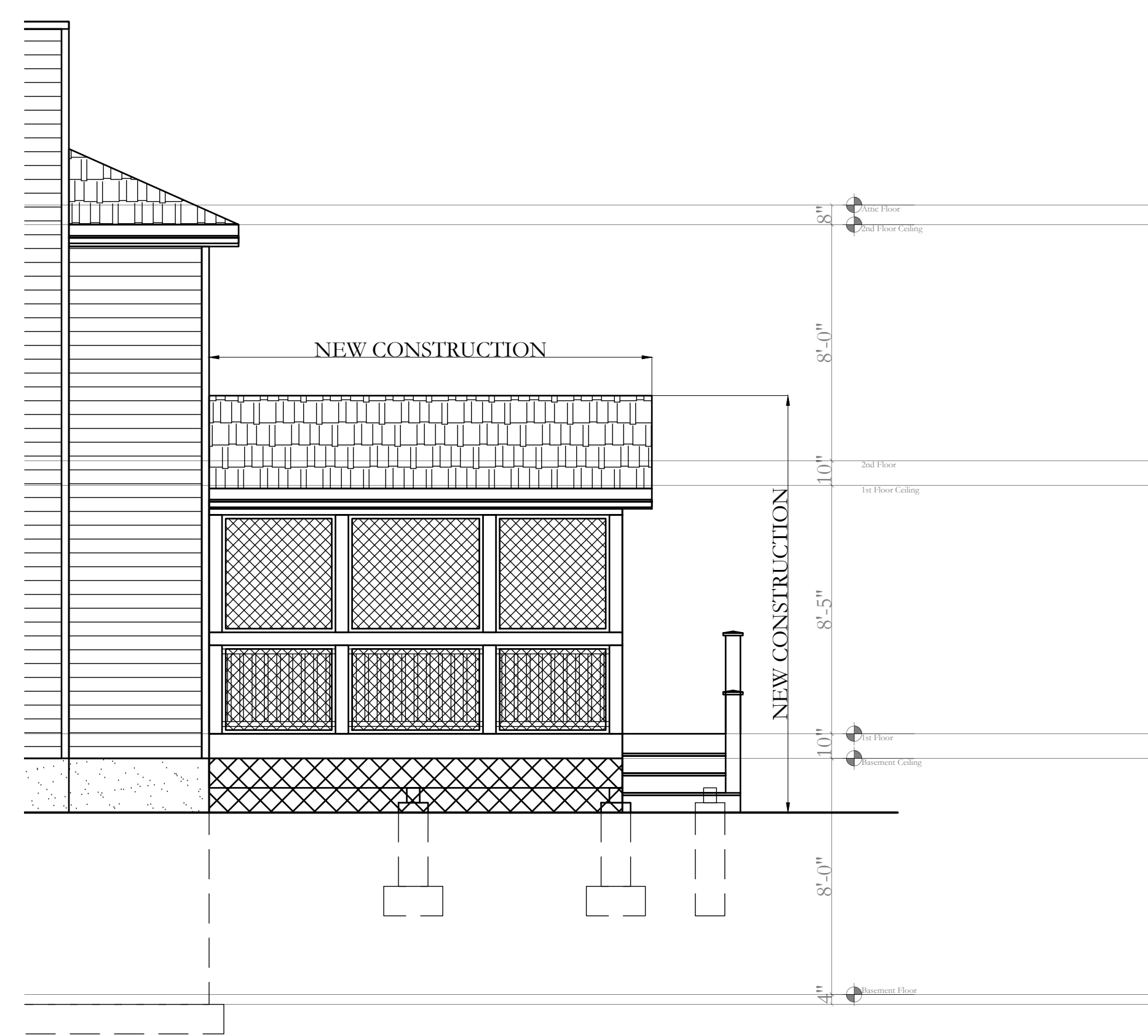


1 REAR ELEVATION
SCALE: 1/4"=1'-0"

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/18/2022	JMS	JMS	JMS



2 LEFT ELEVATION
SCALE: 1/4"=1'-0"



3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

SEAL & SIGNATURE:



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PROJECT:
**10 Piping Brook Lane
Bedford, NY 10506**

DRAWING TITLE:
**PLANS & DETAILS
SHEET 2**

A-102

NOTES:

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 10 PIPING BROOK LANE
PROJECT TOWN: BEDFORD, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 102.02.2.29
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-2A

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/18/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

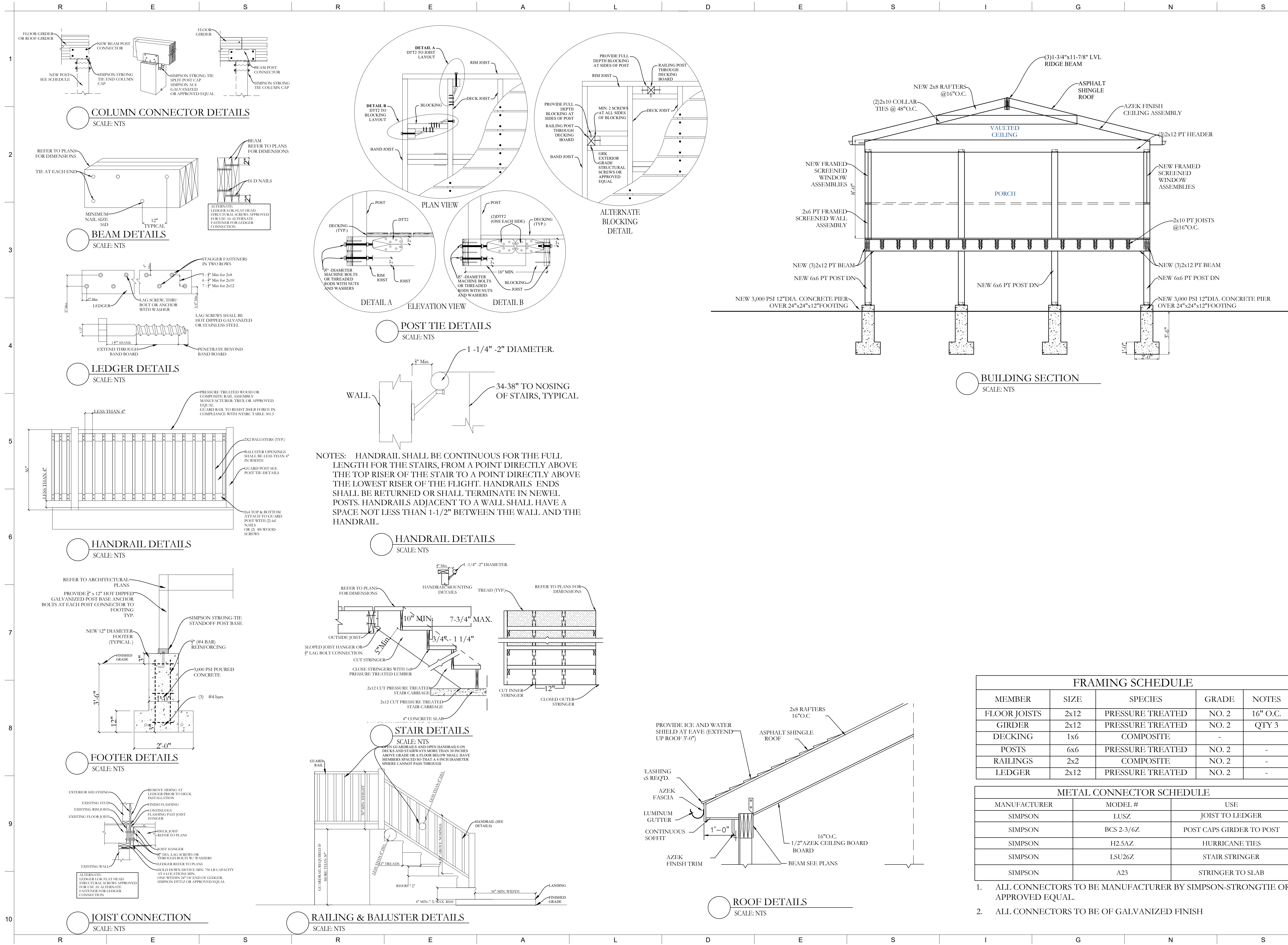
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PROJECT:
**10 Piping Brook Lane
Bedford, NY 10506**

DRAWING TITLE:
**PLANS & DETAILS
SHEET 3**

A-103

NOTES:



FRAMING SCHEDULE

MEMBER	SIZE	SPECIES	GRADE	NOTES
FLOOR JOISTS	2x12	PRESSURE TREATED	NO. 2	16" O.C.
GIRDER	2x12	PRESSURE TREATED	NO. 2	QTY 3
DECKING	1x6	COMPOSITE	-	-
POSTS	6x6	PRESSURE TREATED	NO. 2	-
RAILINGS	2x2	COMPOSITE	NO. 2	-
LEDGER	2x12	PRESSURE TREATED	NO. 2	-

METAL CONNECTOR SCHEDULE

MANUFACTURER	MODEL #	USE
SIMPSON	LUSZ	JOIST TO LEDGER
SIMPSON	BCS 2-3/6Z	POST CAPS GIRDER TO POST
SIMPSON	H2.5AZ	HURRICANE TIES
SIMPSON	LSU26Z	STAIR STRINGER
SIMPSON	A23	STRINGER TO SLAB

- ALL CONNECTORS TO BE MANUFACTURER BY SIMPSON-STRONGTIE OR APPROVED EQUAL.
- ALL CONNECTORS TO BE OF GALVANIZED FINISH