


GORDON RESIDENCE

NEW TWO-CAR GARAGE

10 WAGO AVENUE

ARMONK, NEW YORK 10504

July 12, 2022 - Building Issue 2




John M. Knoetgen Architects PC
Better Living by Design

46 LOCUST AVENUE
RYE, NY 10580
914 967-6309

john@knoetgenarchitects.com

NEW GARAGE @ 10 WAGO AV
ARMONK, NEW YORK 10504
12 July 2022

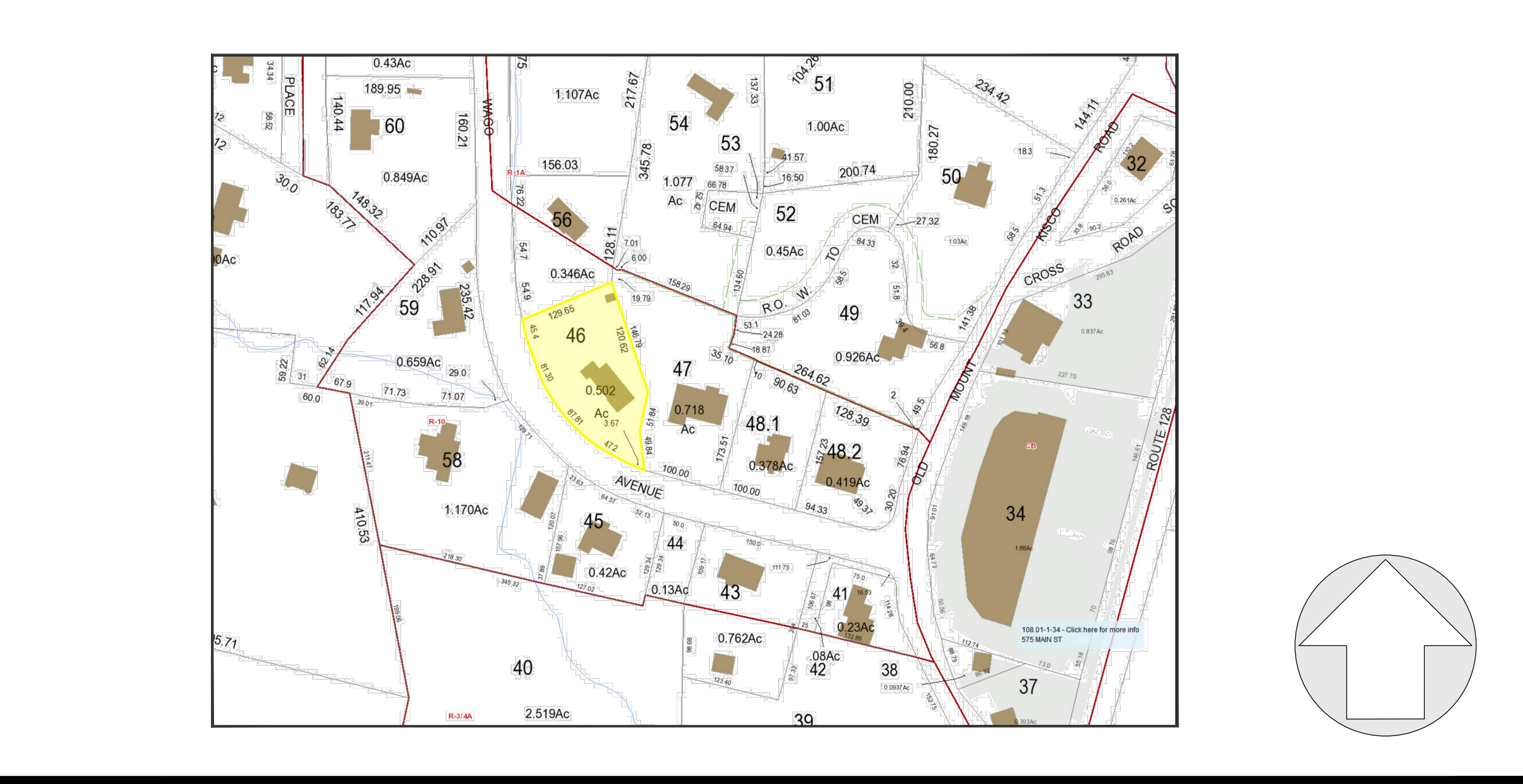
SUBMISSIONS		SEAL
Date	Description	
05/14/21	BLDG DEPT ISSUE	
07/12/22	BLDG DEPT ISSUE 2	

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	DIA	DIAMETER	MECH	MECHANICAL	SECT.	SECTION
AC	AIR CONDITIONING	DET	DETAIL	MAX	MAXIMUM	SIM.	SIMILAR
ALUM	ALUMINUM	ELEC	ELECTRIC	MTL	METAL	SQ.	SQUARE
APPROX.	APPROXIMATELY	ELEV	ELEVATION	MO	MASONRY OPENING	S.F.	SQUARE FEET
ARCH.	ARCHITECTURAL	EQ	EQUAL	NIC	NOT IN CONTRACT	STD	STANDARD
@	AT	EXIST	EXISTING	NTS	NOT TO SCALE	S.S.	STAINLESS STEEL
BLK	BLOCK	FL	FLOOR	NO OR #	NUMBER	STL	STEEL
BD	BOARD	FIN	FINISH	NSM	NON STRUCTURAL MEMBER	ST	STREET
BOT.	BOTTOM	FIXT.	FIXTURE	OC	ON CENTER	STRUCT	STRUCTURAL
B/O	BOTTOM OF	FTG	FOOTING	OPG	OPENING	TEL	TELEPHONE
BLDG	BUILDING	FDN	FOUNDATION	PTD	PAINTED	TYP.	TYPICAL
		GWB	GYPSUM WALLBOARD	PL	PLATE	T.O.	TRIMMED OPENING
C.H.	Ceilings Height	HVAC	HEATING/VENTILATING AIR CONDITIONING	PSI	POUNDS PER SQUARE INCH	T.O.W.	TOP OF WALL
CL.	CLOSET	HGT	HEIGHT	RAD.	RADIATOR	TV	TELEVISION
CLG	Ceiling	IN OR "	INCH OR INCHES	REIN.F.	REINFORCE OR REINFORCING	U.O.N.	UNLESS OTHERWISE NOTED
CHU	CONC. MASONRY UNIT(S)	LAV	LAVATORY	REQ'D	REQUIRED	VCT	VINYL COMPOSITION TILE
COL	COLUMN			REV.	REVISION	V.F.	VERIFY IN FIELD
CONC.	CONCRETE			RM	ROOM	W/	WITH
CONT.	CONTINUOUS						
DIM.	DIMENSION						
DN	DOWN						
DWG	DRAWING						

ZONE: R-10 SEC: 108.01 BLOCK: 1 LOT: 496

LOCATION MAP



SYMBOLS

	SUPPLY REGISTER - FLOOR (MATCH FLOOR U.O.N.)		ELEVATION MARK
	SUPPLY REGISTER - WALL		INTERIOR ELEVATION MARK
	SUPPLY REGISTER - CEILING		DETAIL OR SECTION MARK
	RETURN REGISTER		ROOM TAG
	INDICATES DROP IN FLOOR LEVEL		Ceiling Height
	FROST FREE HOSE BIB		CENTERLINE
	DOOR SIZE		BREAK MARK
	EXTERIOR DOOR TYPES		AREA OF NO WORK
	EXTERIOR WINDOW TYPES		
	REVISION TAG		
	SMOKE DETECTOR		
	SMOKE & CARBON MONOXIDE DETECTOR		
	CARBON MONOXIDE DETECTOR		
	HEAT DETECTOR		
	STRUCTURAL SYMBOLS		
	FLOOR JOISTS		WOOD POST (UP)
	FLOOR MEMBER		PSL POST (UP)
	WOOD POST (DN) (ALL POSTS)		3 1/2" O x 3/8" STEEL COLUMN W/ 5/8" STEEL CAP AND BASE (TYP.)
	5x5x3/8" STEEL TUBE COLUMN W/ 5/8" STEEL CAP AND BASE (TYP.) UON		BEAM POCKET
	TOP FLANGE HANGER		

NOTE: ALL FLOOR & CEILING FRAMING MEMBERS ARE TO BE FLUSH MOUNTED UNLESS OTHERWISE NOTED.

SAFETY DETECTOR REQUIREMENTS

INSTALL AS PER SECTION R314.2.2, SECTION R314.3 & SECTION R315.1 OF 2020 NEW YORK STATE RESIDENTIAL CODE REQUIRED A MINIMUM OF THE FOLLOWING:

PROVIDE BATTERY OPERATED SMOKE DETECTORS IN EACH SLEEPING ROOM, OUTSIDE THE IMMEDIATE VICINITY OF THE BEDROOMS, ONE SMOKE/CARBON MONOXIDE DETECTOR AT EACH LEVEL INCLUDING THE ATTIC & BASEMENT. ALSO PROVIDE ONE HEAT DETECTOR AND ONE CARBON MONOXIDE DETECTOR WITHIN SIX FEET OF THE BOILER UNIT.

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB R-VALUE & DEPTH	CRAWLSPACE WALL R-VALUE
4A	0.32	0.55	0.40	49°	20 or 13 + 5"	8/13	R-19	10/13°	10/2FT	10/13°

a. Where section R402.1.2 would require R-49 insulation in the ceiling, installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves.

b. The first value is cavity insulation, the second value is continuous insulation, so 13+5 means R-13 cavity insulation at the interior of the basement wall.

c. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirements.

STATEMENT OF COMPLIANCE:

The proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the New York State Energy Conservation Code, 2020

Architect: John M. Knoetgen, RA Date

GROUND SNOW LOAD (psf)	WIND SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH (IN.)	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
30	115-120	NO	YES	ZONE 1	C	SEVERE	42"	MODERATE/HEAVY	0-10°F	YES	NO	1500 OR LESS	52.2°F

INTERIOR HEADER SCHEDULE

SIZE OF OPENING MEMBER REQUIRED

0' - 4"	(2) 2x10
4' - 6"	(2) 1 1/2" x 9 1/2" LVL

EXTERIOR HEADER SCHEDULE

SIZE OF OPENING MEMBER REQUIRED

0' - 4"	(2) 1 1/2" x 9 1/2" LVL
4' - 8"	(2) 1 1/2" x 11 1/8" LVL

STEEL LINTEL SCHEDULE

SIZE OF OPENING ANGLE REQUIRED

0' - 4"	L4" x 3 1/2" x 3/8"
4' - 6"	L5" x 3 1/2" x 3/8"
6' - 9"	L6" x 3 1/2" x 3/8"

DESIGN LOADS

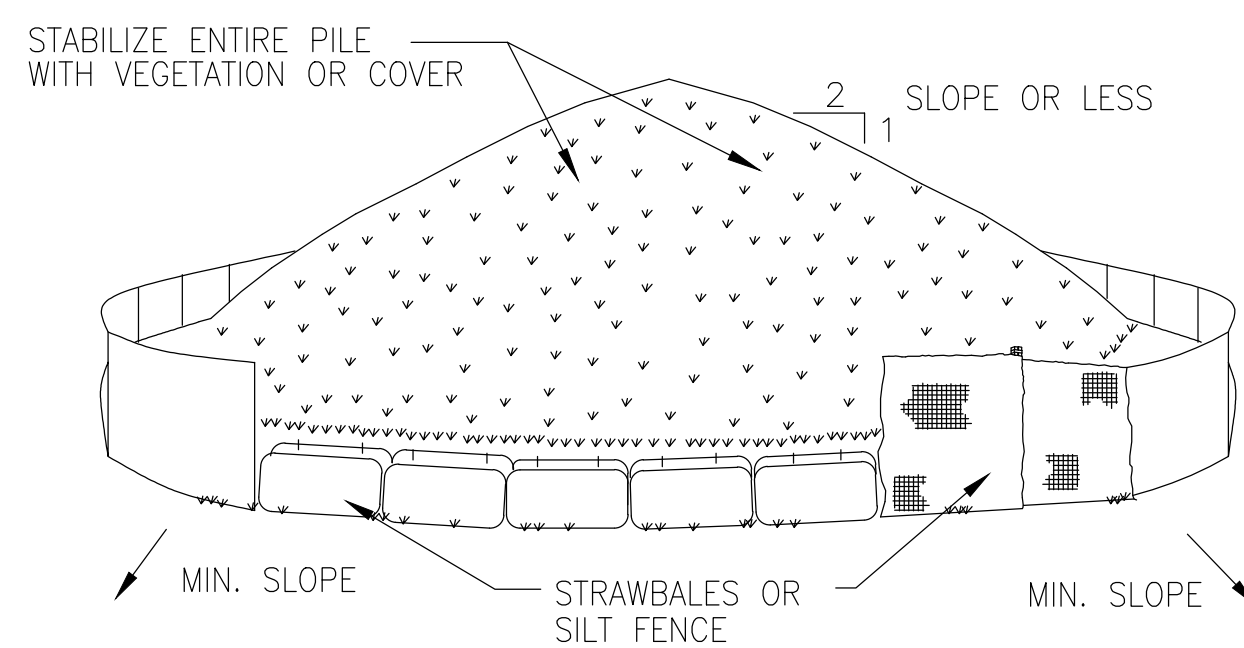
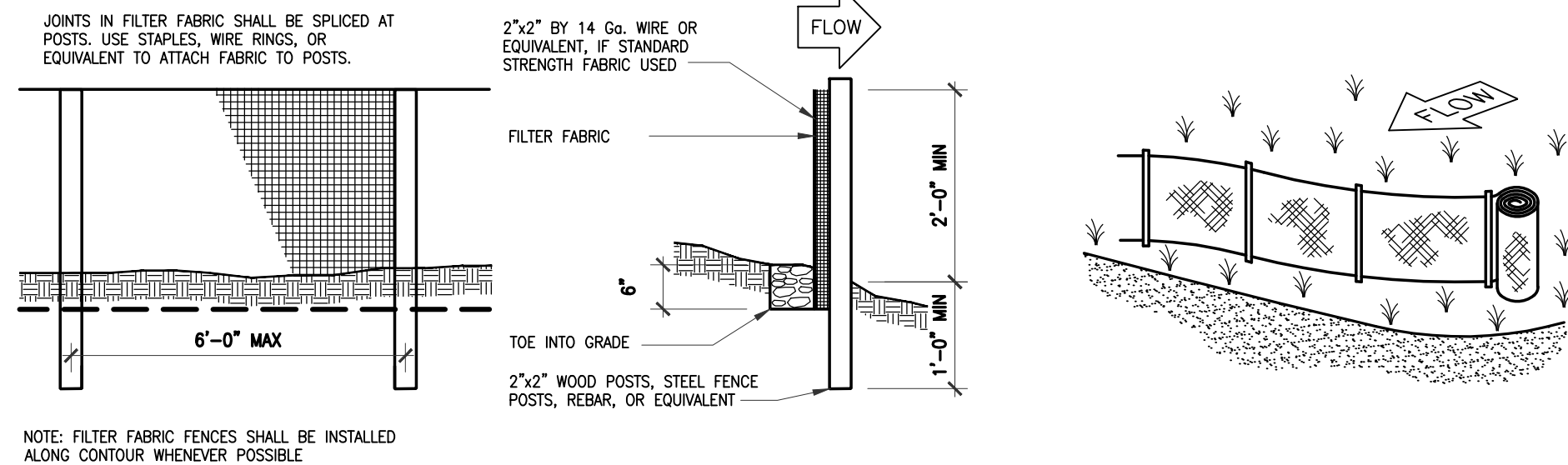
ROOF	LIVE: 30 LBS/SF
	DEAD: 30 LBS/SF
	TOTAL LOAD: 60 LBS/SF
ATTIC	LIVE: 20 LBS/SF
	DEAD (no storage): 20 LBS/SF
	DEAD (w/storage): 30 LBS/SF
	TOTAL LOAD: 40-50 LBS/SF
INTERIOR PARTITIONS	LIVE: 0 LBS/SF
	DEAD: 20 LBS/SF
	TOTAL LOAD: 20 LBS/SF
EXTERIOR WALLS	LIVE: 0 LBS/SF
	DEAD: 40 LBS/SF
	TOTAL LOAD: 40 LBS/SF
FLOORS	LIVE: 40 LBS/SF
	DEAD: 20 LBS/SF
	TOTAL LOAD: 60 LBS/SF

PROJECT CONTACTS

General Contractor	Architects
	John Knoetgen for John M Knoetgen Architects, PC 46 Locust Avenue, N.Y. 10580 T 914-967-6309 john@knoetgenarchitects.com
Storm Water Engineer	Owner

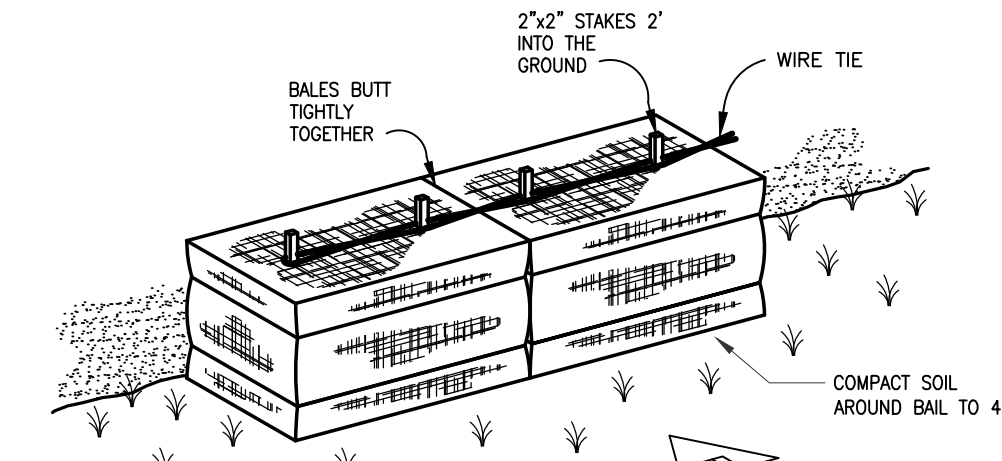
DRAWING LIST

A0.0	SPECIFICATION
A1.1	SITE PLAN AND ZONING TABLE
A2.0	SITE AREA DIAGRAMS
A3.0	EXIST HOUSE AREA DIAGRAMS

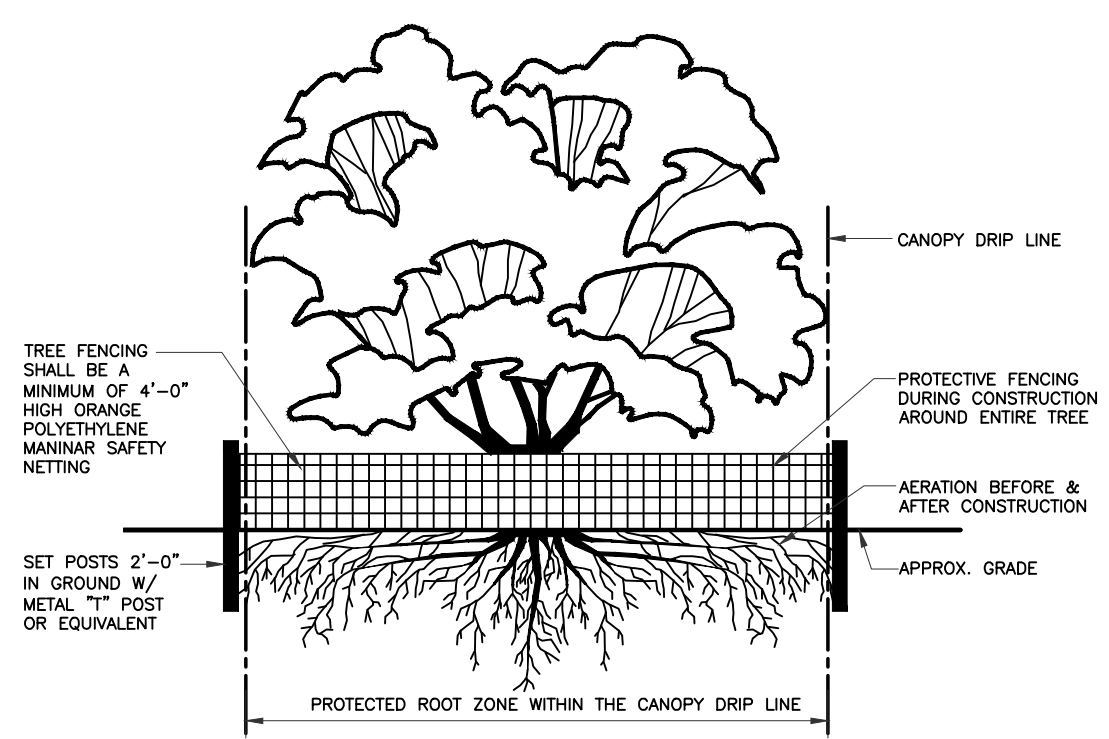


- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
 3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
 6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

6 Silt Fence
nts



3 Strawbale Silt Barrier
nts



4 Tree Protection Detail
nts

5 Soil Stockpile Detail
nts

10 WAGO AVENUE ZONING

ZONING AS PERMITTED	ZONING AS EXISTING	ZONING AS PROPOSED
DISTRICT: R-10, SINGLE FAM. RESIDENTIAL	DISTRICT: R-10, SINGLE FAM. RESIDENTIAL	DISTRICT: R-10, SINGLE FAM. RESIDENTIAL
LOT DATA	LOT DATA	LOT DATA
MIN. LOT SIZE = 10,000 SF	LOT SIZE = 22,215.6 SF (.51AC)	LOT SIZE = 22,215.6 SF (.51AC)
MIN. LOT WIDTH = 100'	LOT WIDTH = 221.25'	LOT WIDTH = 221.25'
MIN. LOT FRONTAGE = 100'	LOT FRONTAGE = 285.17'	LOT FRONTAGE = 285.17'
MIN. LOT DEPTH = 100'	LOT DEPTH = 129.65'	LOT DEPTH = 129.65'
MIN. YARD OFFSETS	MIN. YARD OFFSETS	MIN. YARD OFFSETS
FRONT YARD = 30'	FRONT YARD = 57.25'	FRONT YARD = 57.25'
SIDE YARD = 12'	FRONT YARD = 48.53'	FRONT YARD = 48.53'
SIDE YARD = 12'	SIDE YARD = 45.0"	SIDE YARD = 45.0"
REAR YARD = 30'	REAR YARD = 60.50"	REAR YARD = 60.50"
MAX. BUILDING HGT = 2-1/2 STORY	MAX. BUILDING HEIGHT = 25'-0"	MAX. BUILDING HEIGHT = 25'-0"
-	25'	25'
LOT COVERAGE	LOT COVERAGE	LOT COVERAGE
30%	9%	13%
TOTAL S.F. MAIN HOUSE 6664.7 SF	TOTAL S.F. MAIN HOUSE 1800 SF	TOTAL S.F. MAIN HOUSE 2376 SF
FLOOR AREA	FLOOR AREA	FLOOR AREA
FIRST & SECOND FL= 2694 SF.	FIRST & SECOND FL= 2694 SF.	FIRST & SECOND FL= 2694 SF.
ACCESSORY		GARAGE = 576 SF.
	TOTAL AREA = 2694 SF.	TOTAL FAR = 3270 SF.

John M. Knoetgen Architects PC
Better Living by Design

46 LOCUST AVENUE
RYE, NY 10580
914 967-6309

john@knoetgenarchitects.com

THIS DOCUMENT AND THE INFORMATION CONTAINED THEREIN IS SPECIFICALLY CREATED FOR THE PERSON(S) AND LOCATION NOTED ON THE TITLE BOX AND MAY NOT BE RE-USED AND/OR ALTERED FOR ANY OTHER PURPOSE OTHER THAN THIS PROJECT AND MUST BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF JOHN M. KNOETGEN ARCHITECTS, P.C. NO OTHER PERSON(S), ENTITY OR PROFESSIONAL ORGANIZATION SHALL SIGN AND/OR SEAL THIS DOCUMENT FOR ANY OTHER PURPOSE WHATSOEVER.



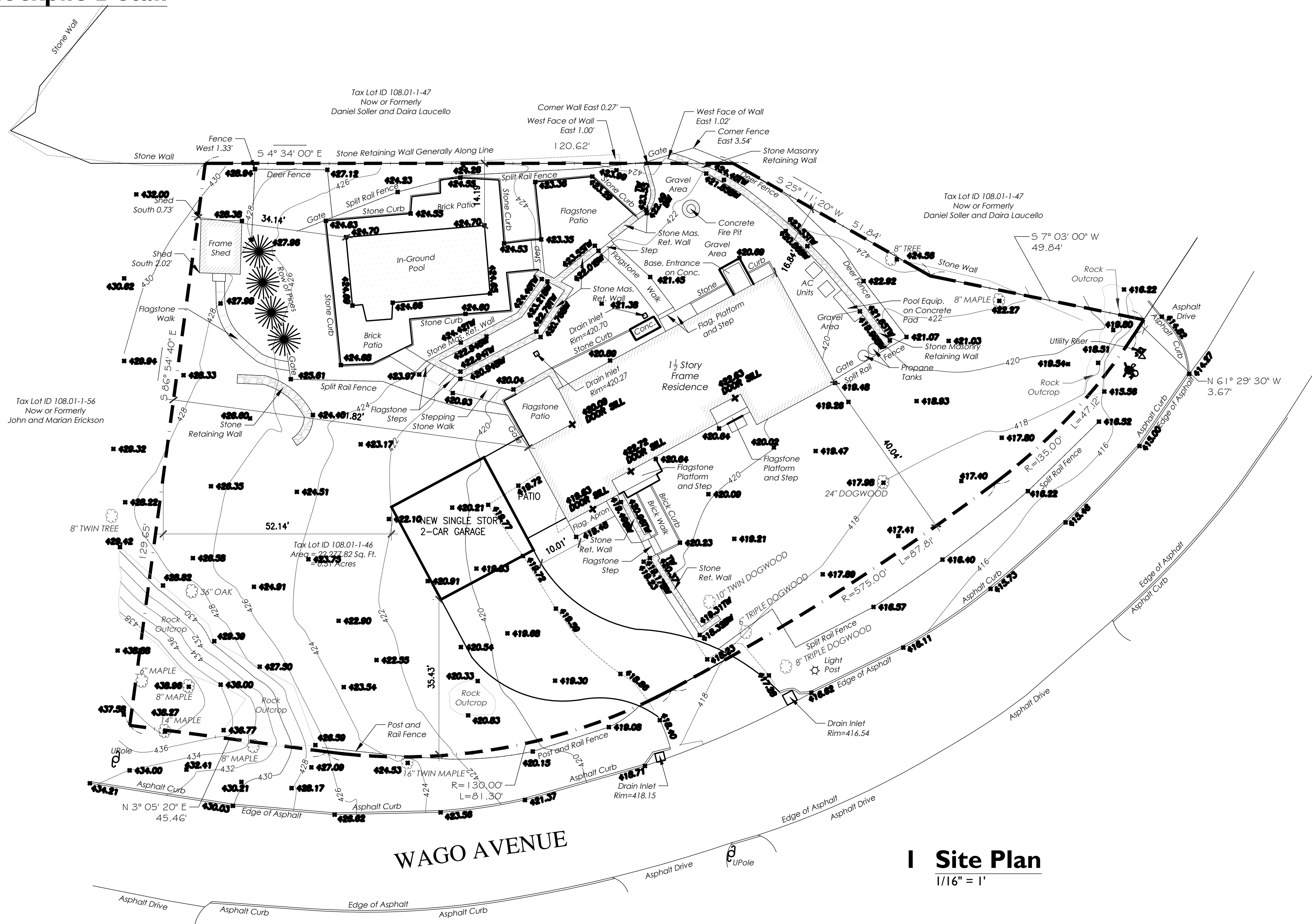
07/12/22 BLDG DEPT ISSUE 2
05/14/21 BLDG DEPT ISSUE

NO.	DATE	REVISION
ISSUE / REVISION		

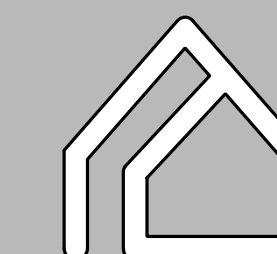
PROJECT NAME
GORDON RESIDENCE DETACHED GARAGE
BUILDING NAME & ADDRESS
10 WAGO AVENUE
ARMONK, NY 10504
PROJECT NUMBER
-

DRAWING TITLE
SITE PLAN

SCALE	DRAWN BY
AS NOTED	JMK
CAD FILE NAME	DATE
GORDON-GARAGE	04/21/21
DRAWING NUMBER	A1



I Site Plan
1/16" = 1'



**John M. Knoetgen
Architects PC**

Better Living by Design

**46 LOCUST AVENUE
RYE, NY 10580**
•
914 967-6309

**john@knoetgen
architects.com**

THIS DOCUMENT AND THE INFORMATION CONTAINED THEREIN IS SPECIFICALLY CREATED FOR THE PERSON(S) AND LOCATION NOTED ON THE TITLE BOX AND MAY NOT BE RE-USED AND/OR ALTERED FOR ANY OTHER PURPOSE OTHER THAN THIS PROJECT AND MUST BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF JOHN M. KNOETGEN ARCHITECTS, P.C. NO OTHER PERSON(S), ENTITY OR PROFESSIONAL ORGANIZATION SHALL SIGN AND/OR SEAL THIS DOCUMENT FOR ANY OTHER PURPOSE WHATSOEVER.



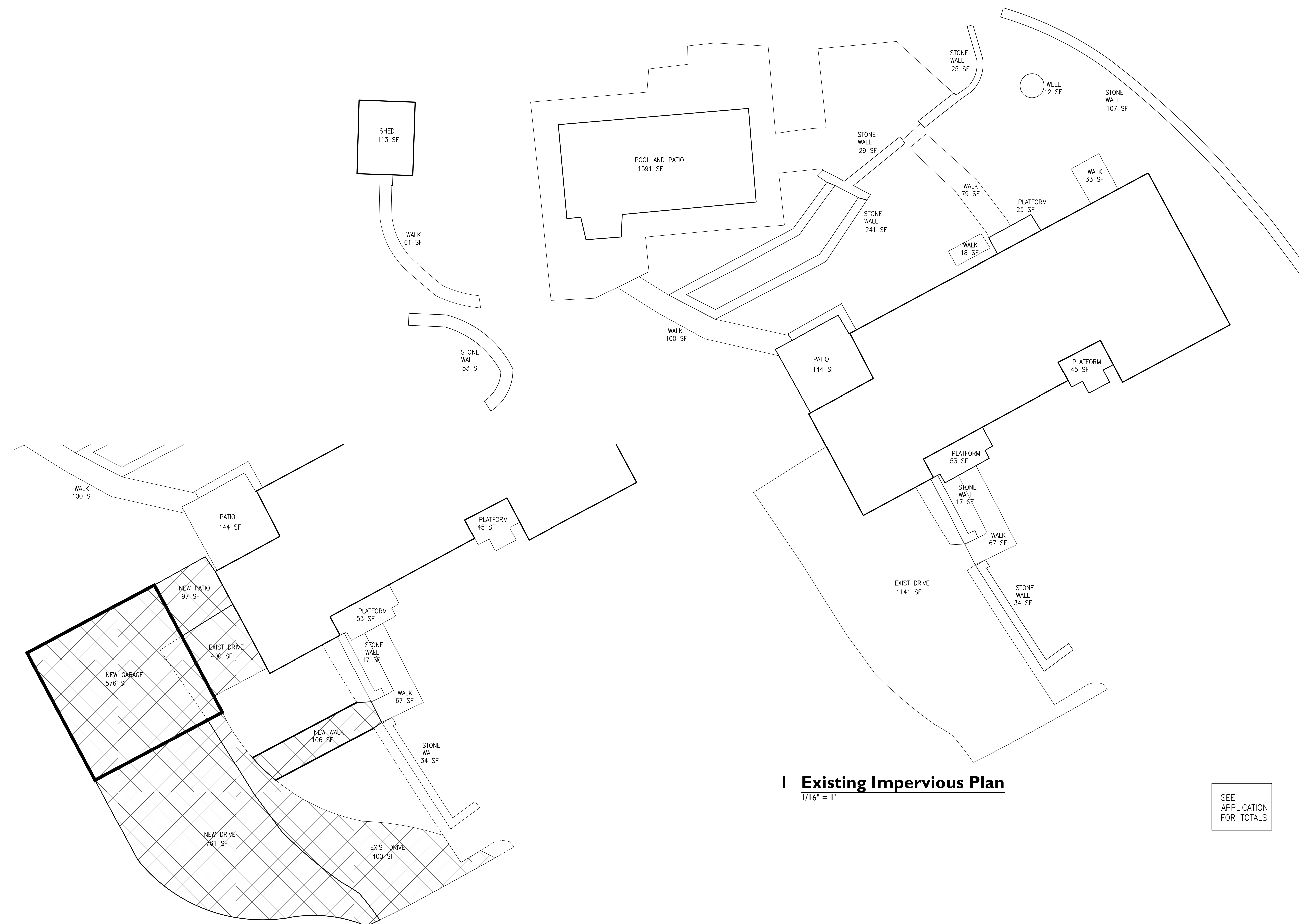
07/12/22		BLDG DEPT ISSUE 2
NO.	DATE	REVISION
ISSUE / REVISION		
SHEET	BLOCK	LOT

PROJECT NAME
**GORDON
RESIDENCE
DETACHED
GARAGE**

BUILDING NAME & ADDRESS
10 WAGO AVENUE
ARMONK, NY 10504

PROJECT NUMBER
-

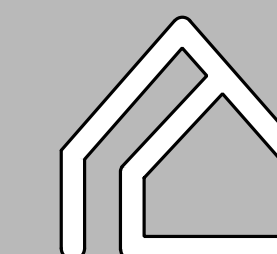
DRAWING TITLE AREA DIAGRAMS	
SCALE AS NOTED	DRAWN BY JMK
CAD FILENAME GORDON-GARAGE	DATE 04/21/21
DRAWING NUMBER A3	



2 Changed Impervious Areas
1/16" = 1'

I Existing Impervious Plan
1/16" = 1'

SEE APPLICATION FOR TOTALS



**John M. Knoetgen
Architects PC**

Better Living by Design

46 LOCUST AVENUE
RYE, NY 10580
•
914 967-6309

john@knoetgen
architects.com

THIS DOCUMENT AND THE INFORMATION CONTAINED THEREIN IS SPECIFICALLY CREATED FOR THE PERSON(S) AND LOCATION NOTED ON THE TITLE BOX AND MAY NOT BE RE-USED AND/OR ALTERED FOR ANY OTHER PURPOSE OTHER THAN THIS PROJECT AND MUST BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF JOHN M. KNOETGEN ARCHITECTS, P.C. NO OTHER PERSON(S), ENTITY OR PROFESSIONAL ORGANIZATION SHALL SIGN AND/OR SEAL THIS DOCUMENT FOR ANY OTHER PURPOSE WHATSOEVER.



07/12/22 BLDG DEPT ISSUE 2

NO.	DATE	REVISION

ISSUE / REVISION

SHEET	BLOCK	LOT

PROJECT NAME
**GORDON
RESIDENCE
DETACHED
GARAGE**

BUILDING NAME & ADDRESS
10 WAGO AVENUE
ARMONK, NY 10504

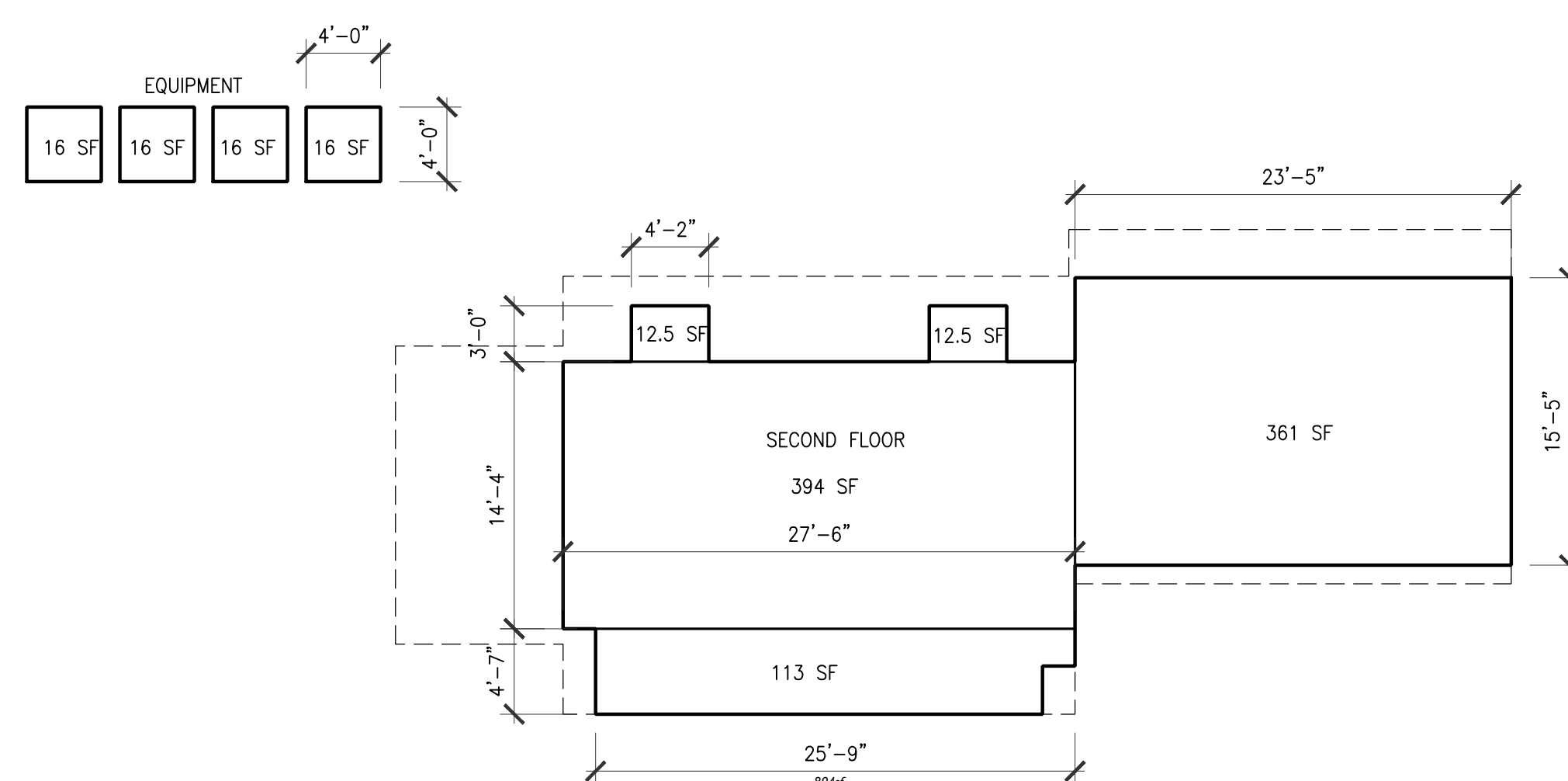
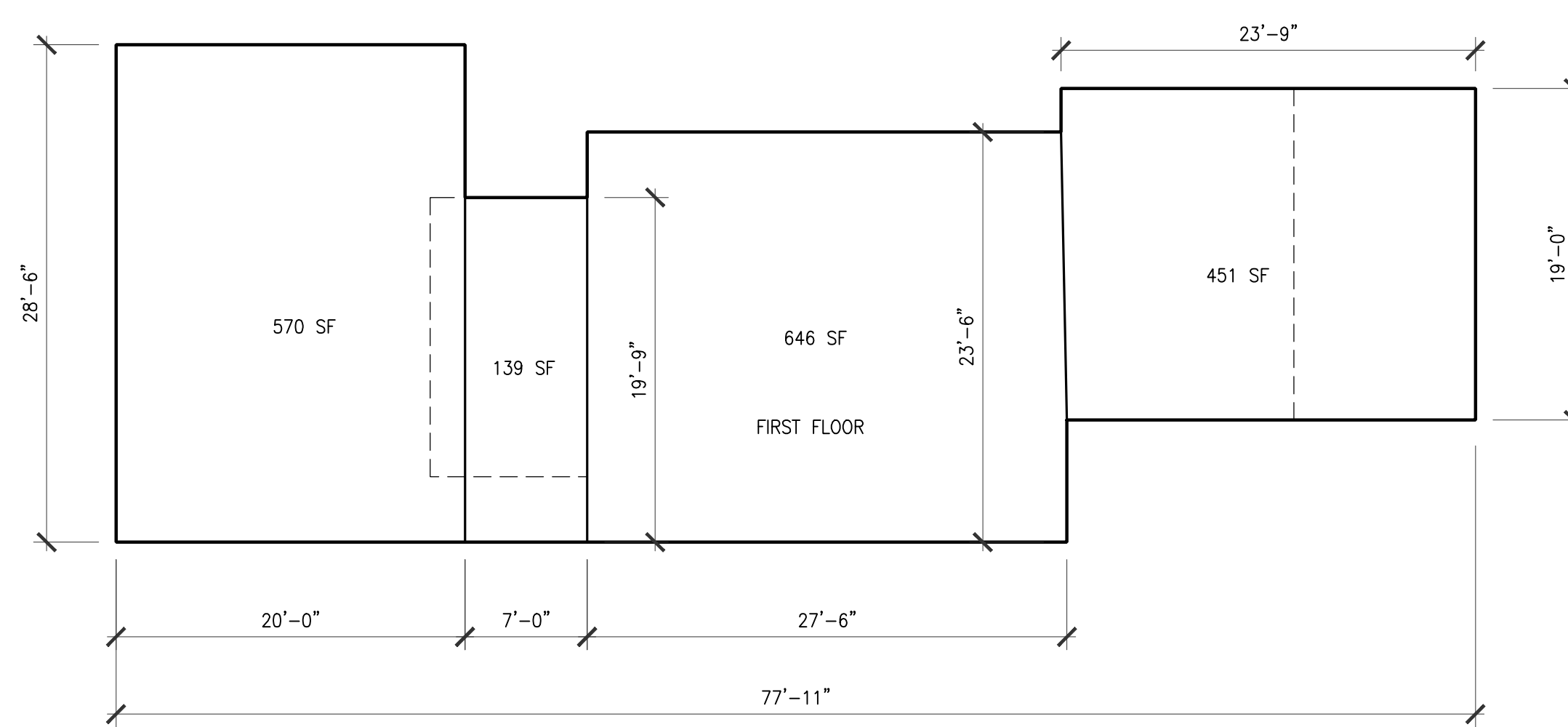
PROJECT NUMBER
-

DRAWING TITLE
**HOUSE AREA
DIAGRAMS**

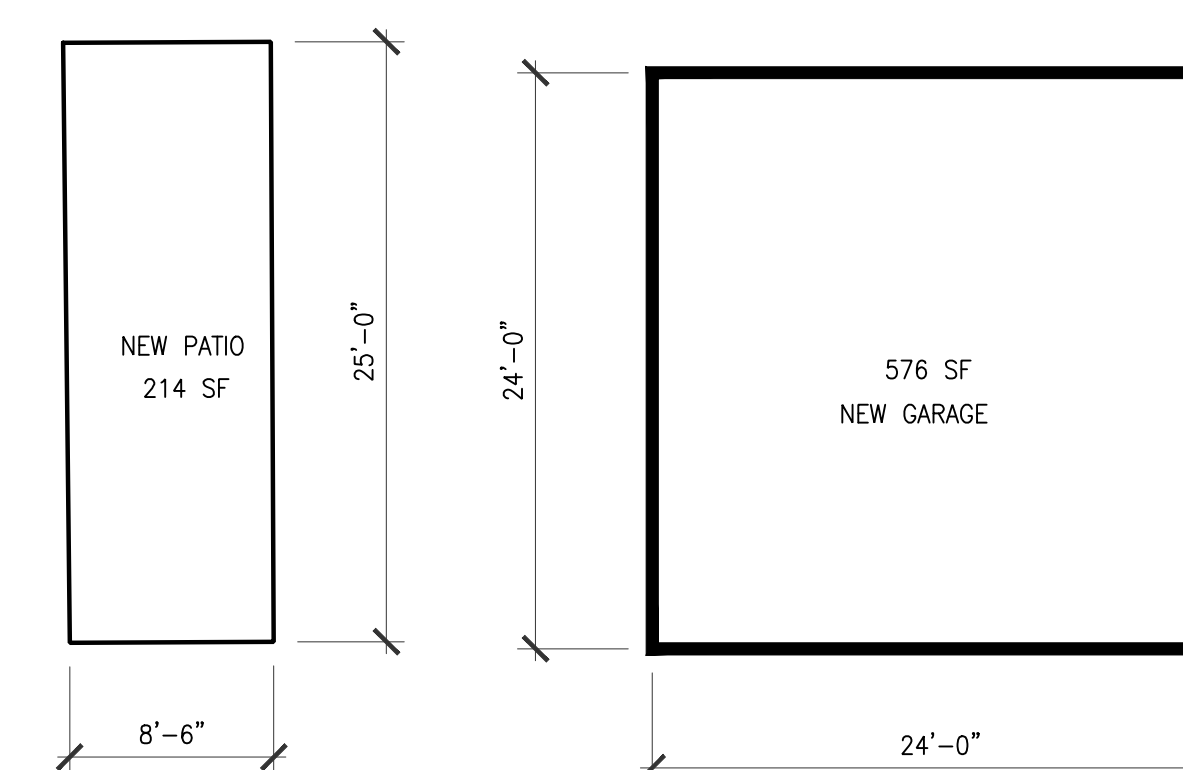
SCALE	DRAWN BY
AS NOTED	JMK

CAD FILENAME	DATE
GORDON-GARAGE	04/21/21

DRAWING NUMBER
A4



I Existing Home Area Diagram
1/16" = 1'



2 Proposed New Patio and Garage
1/16" = 1'



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 WAGO AVE ARMONK NY

Section III- DESCRIPTION OF WORK:

24X24 two CAR GARAGE ON SLAB.
GARAGE will be BLACK HARDY BOARD, BLACK TRIM, BLACK
ROOF. GRASS will meet the SLAB. NO EXTRA
LANDSCAPE @ this time.

Section III- CONTACT INFORMATION:

APPLICANT: Louis Gordon
ADDRESS: 10 WAGO AVE ARMONK
PHONE: 914 765 0461 MOBILE: 914 2124 1563 EMAIL: lgordon@soundworksny.com

PROPERTY OWNER: SAME ↑

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: JOHN KNOETGEN

ADDRESS: 46 LOCUST AVE RYE

PHONE: 914 967 6309 MOBILE: _____

EMAIL: JOHN@KNOETGENARCHITECTS.COM

Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) SEC 2 Block 2A LOTA



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Louis & Donna Gordon

Initial Submittal Revised Preliminary

Street Location: 10 Wago Ave

Zoning District: R-10 Property Acreage: 22,215^{SF} Tax Map Parcel ID: _____
Date: 7/8/22 .5099 S. 108.01 / B.1/C. 496

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: GORDON RESIDENCE Date: 7/11/22

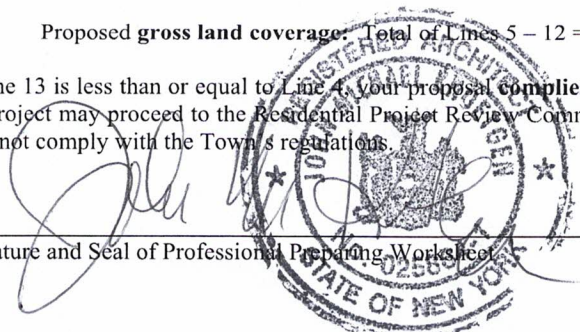
Tax Map Designation or Proposed Lot No.: 10 WAYO AV
2/2A/A
108.01/1/496

Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>22,215</u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):	<u>22,281</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback	
	<u>10</u> x 10 =	<u>100</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>22,381</u>
5.	Amount of lot area covered by principal building :	
	<u>1800</u> existing + <u>576</u> proposed =	<u>2376</u>
6.	Amount of lot area covered by accessory buildings :	
	<u>113</u> existing + <u>576</u> proposed =	<u>689</u>
7.	Amount of lot area covered by decks :	
	<u>0</u> existing + <u>0</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches :	
	<u>122</u> existing + <u>0</u> proposed =	<u>122</u>
9.	Amount of lot area covered by driveway, parking areas and walkways :	
	<u>1387</u> existing + <u>126</u> proposed =	<u>1513</u>
10.	Amount of lot area covered by terraces : <u>PATIO'S</u>	
	<u>791</u> existing + <u>497</u> proposed =	<u>1298</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equip :	
	<u>1008</u> existing + <u>0</u> proposed =	<u>1008</u>
12.	Amount of lot area covered by all other structures :	
	<u>610</u> existing + <u>0</u> proposed =	<u>610</u>
13.	Proposed gross land coverage : Total of Lines 5 - 12 =	<u>7,616</u>

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date 7/11/22



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: GORDON RESIDENCE Date: 7/11/22

Tax Map Designation or Proposed Lot No.: 10 WARE LN
2/2A/A
108.01/1/496

Floor Area

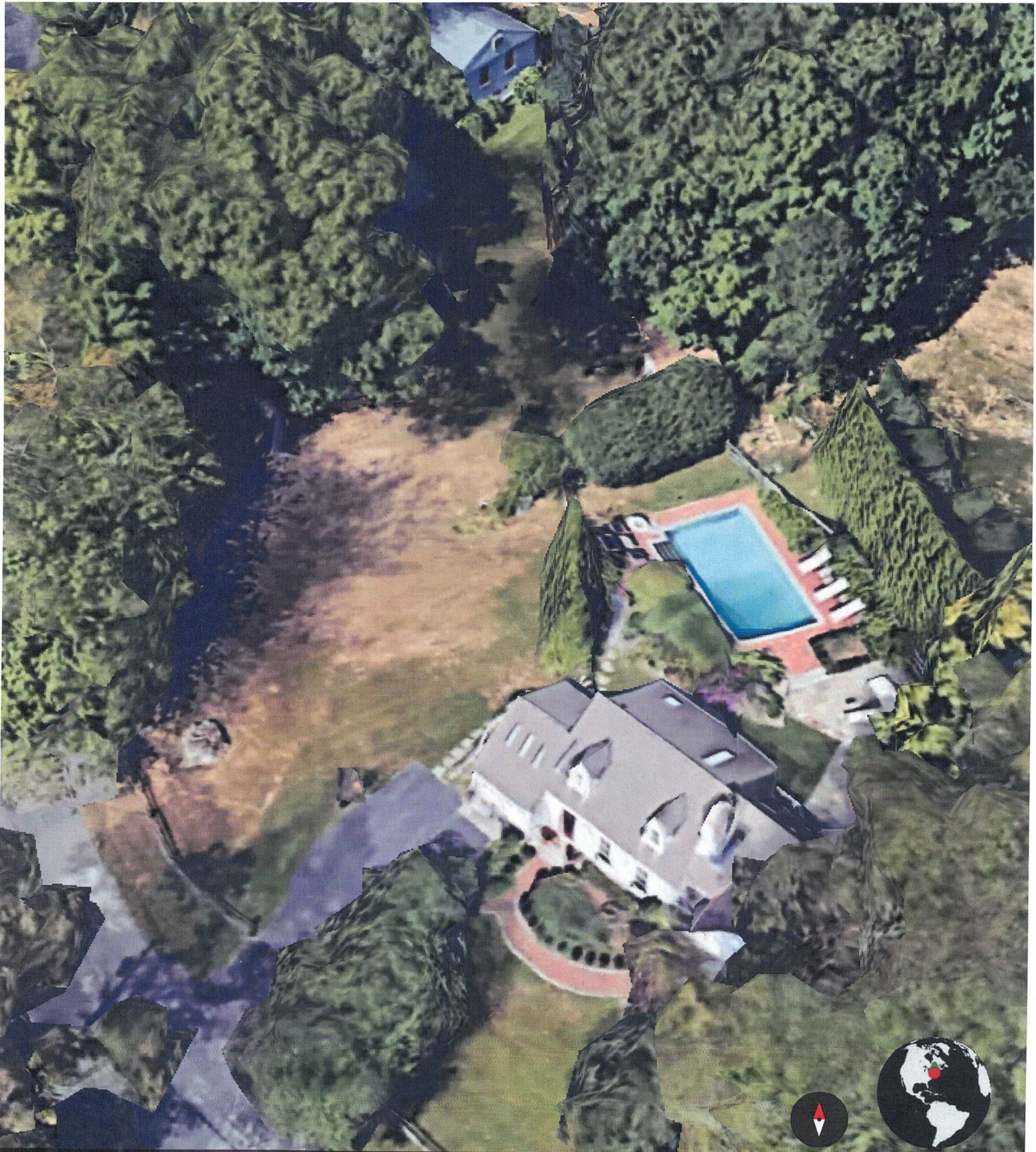
- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>22,215</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>5768</u> |
| 3. | Amount of floor area contained within first floor:
<u>1800</u> existing + <u>0</u> proposed = | <u>1800</u> |
| 4. | Amount of floor area contained within second floor:
<u>894</u> existing + <u>0</u> proposed = | <u>894</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>122</u> existing + <u>0</u> proposed = | <u>122</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>997</u> existing + <u>0</u> proposed = | <u>997</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>105</u> existing + <u>0</u> proposed = | <u>105</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>113</u> existing + <u>576</u> proposed = | <u>689</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>4607</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



7/11/22
 Date



Google Earth

10 m

Camera: 211 m 41°07'57"N 73°42'52"W

127 m

