



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 WAGO AVE ARMONK NY

Section III- DESCRIPTION OF WORK:

24X24 two CAR GARAGE ON SLAB.
GARAGE will be BLACK HARDY BOARD, BLACK TRIM, BLACK
ROOF. GRASS will meet the SLAB. NO EXTRA
LANDSCAPE @ this time.

Section III- CONTACT INFORMATION:

APPLICANT: Louis Gordon
ADDRESS: 10 WAGO AVE ARMONK
PHONE: 914 765 0461 MOBILE: 914 2124 1563 EMAIL: lgordon@soundworksny.com

PROPERTY OWNER: SAME ↑

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: JOHN KNOETGEN

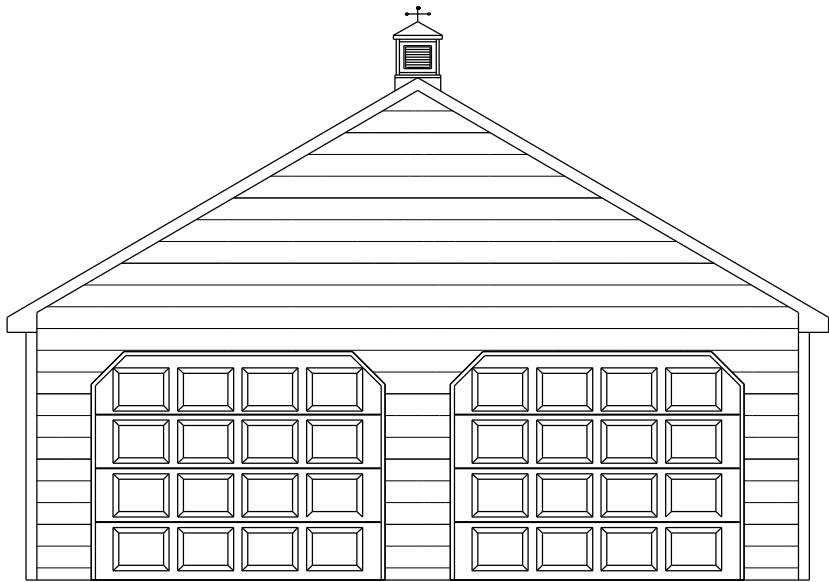
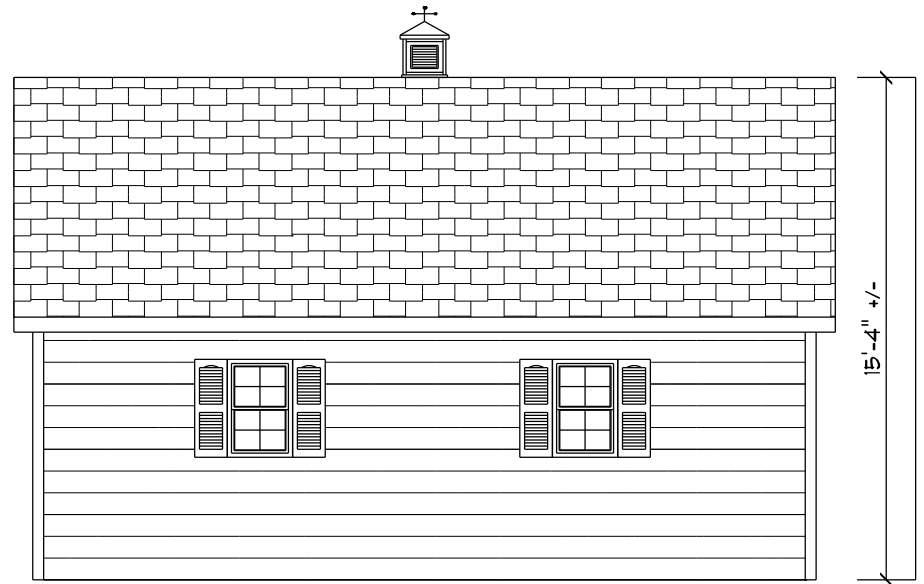
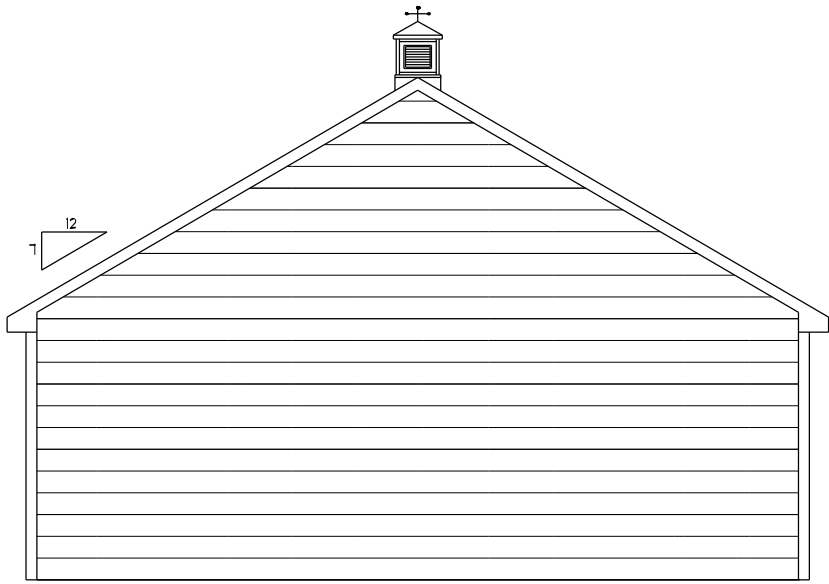
ADDRESS: 46 LOCUST AVE RYE

PHONE: 914 967 6309 MOBILE: _____

EMAIL: JOHN@KNOETGENARCHITECTS.COM

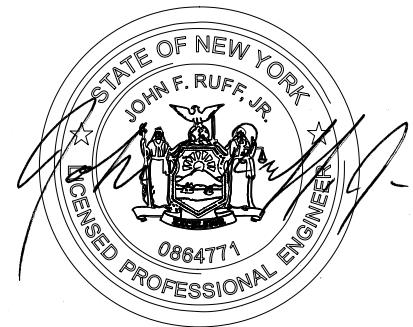
Section IV- PROPERTY INFORMATION:

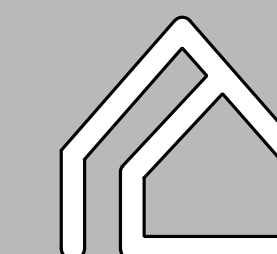
Zone: _____ Tax ID (lot designation) SEC 2 Block 2A LOTA



Elevations

| Construction Notes: | Job Name: | Dimensions: | |
|--|---|-------------|--|
| Snow Load: 40 psf Wind Load: 115 mph Weathering: Severe Termites: Moderate to Heavy Decay: Slight to Moderate Flood Hazard: see Local Flood Map | Louis Gordon 10 Wago Ave Armonk, NY 10504 | 24x24 | Date: December 31, 2021 Revisions: 1 |





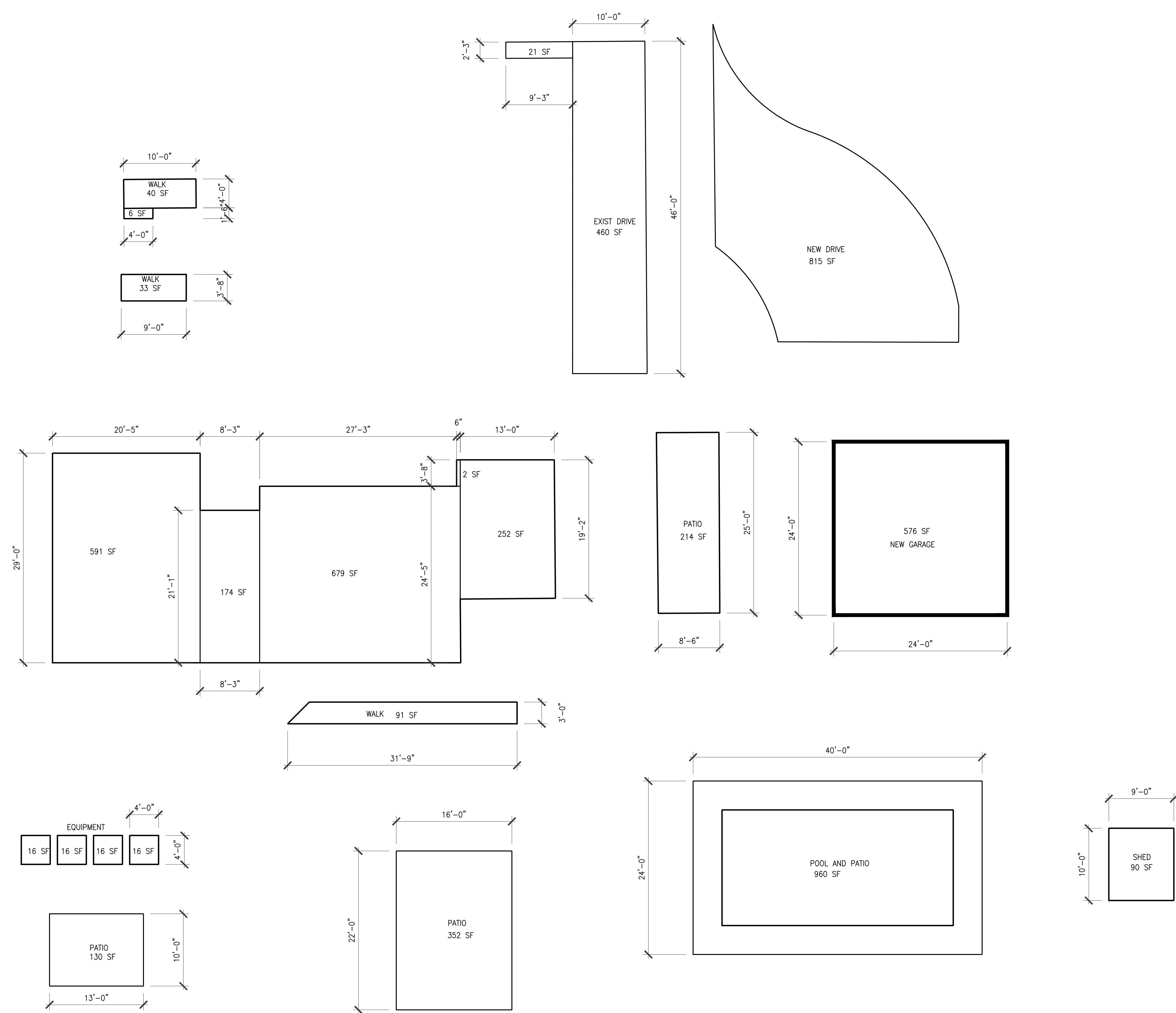
**John M. Knoetgen
Architects PC**

Better Living by Design

46 LOCUST AVENUE
RYE, NY 10580
•
914 967-6309

john@knoetgen
architects.com

THIS DOCUMENT AND THE INFORMATION CONTAINED THEREIN IS SPECIFICALLY CREATED FOR THE PERSON(S) AND LOCATION NOTED ON THE TITLE BOX AND MAY NOT BE RE-USED AND/OR ALTERED FOR ANY OTHER PURPOSE OTHER THAN THIS PROJECT AND MUST BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF JOHN M. KNOETGEN ARCHITECTS, P.C. NO OTHER PERSON(S), ENTITY OR PROFESSIONAL ORGANIZATION SHALL SIGN AND/OR SEAL THIS DOCUMENT FOR ANY OTHER PURPOSE WHATSOEVER.



| NO. | DATE | REVISION |
|------------------|-------|----------|
| ISSUE / REVISION | | |
| SHEET | BLOCK | LOT |

PROJECT NAME
**GORDON
RESIDENCE
DETACHED
GARAGE**

BUILDING NAME & ADDRESS
10 WAGO AVENUE
ARMONK, NY 10504

PROJECT NUMBER
-

| DRAWING TITLE | |
|-------------------------------|------------------|
| AREA CALCULATIONS | |
| SCALE AS NOTED | DRAWN BY JMK |
| CAD FILENAME GORDON-GARAGE | DATE 04/21/21 |
| DRAWING NUMBER A2 | |



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: GORDON RESIDENCE Date: _____

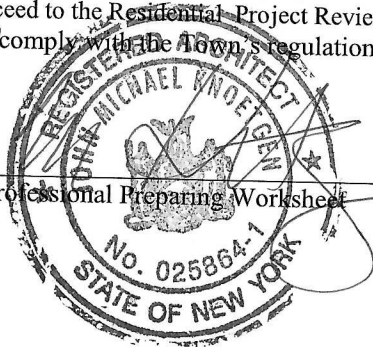
Tax Map Designation or Proposed Lot No.: SEC 2 BLOCK 2A LOTA

Floor Area

- | | | |
|---------|--|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>22,215</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>22,281</u> |
| 3. | Amount of floor area contained within first floor: | |
| - | <u>1200</u> existing + <u>-</u> proposed = | <u>1200</u> |
| 4. | Amount of floor area contained within second floor: | |
| - | <u>665</u> existing + <u>-</u> proposed = | <u>665</u> |
| 5. | Amount of floor area contained within garage: | |
| - | <u>216</u> existing + <u>-</u> proposed = | <u>216</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed: | |
| - | <u>0</u> existing + <u>-</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition): | |
| - | <u>900</u> existing + <u>-</u> proposed = | <u>900</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition): | |
| - | <u>-</u> existing + <u>-</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings: | |
| - | <u>90</u> existing + <u>576</u> proposed = | <u>666</u> |
| 10. Pro | posed floor area : Total of Lines 3 – 9 = | <u>576</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date

4/14/22



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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Gordon RESIDENCE Date: _____

Tax Map Designation or Proposed Lot No.: SEC. 2 Block 2A LOTA

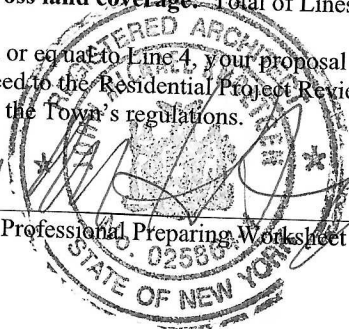
Gross Lot Coverage

- | | | |
|-----|--|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>22,215</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>22,281</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback x 10 = _____ | <u>-</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>22,281</u> |
| 5. | Amount of lot area covered by principal building : <u>1968</u> existing + _____ proposed = | <u>1698</u> |
| 6. | Amount of lot area covered by accessory buildings : <u>90</u> existing + <u>576</u> proposed = | <u>666</u> |
| 7. | Amount of lot area covered by decks : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of lot area covered by porches : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : <u>501</u> existing + <u>815</u> proposed = | <u>1316</u> |
| 10. | Amount of lot area covered by terraces : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : <u>1018</u> existing + <u>0</u> proposed = | <u>1018</u> |
| 12. | Amount of lot area covered by all other structures : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 - 12 = | <u>1391</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

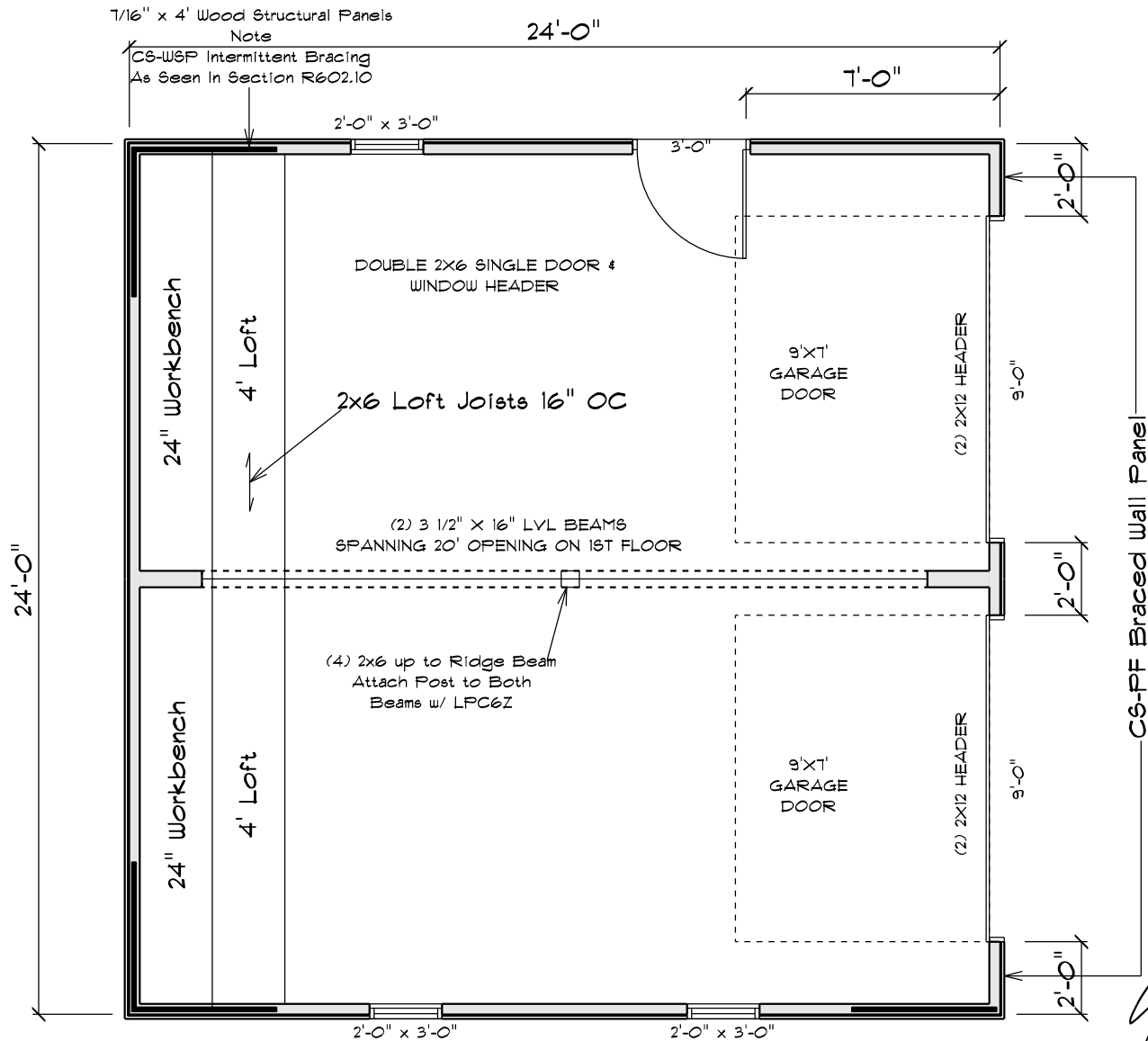
Signature and Seal of Professional Preparing Worksheet

Date



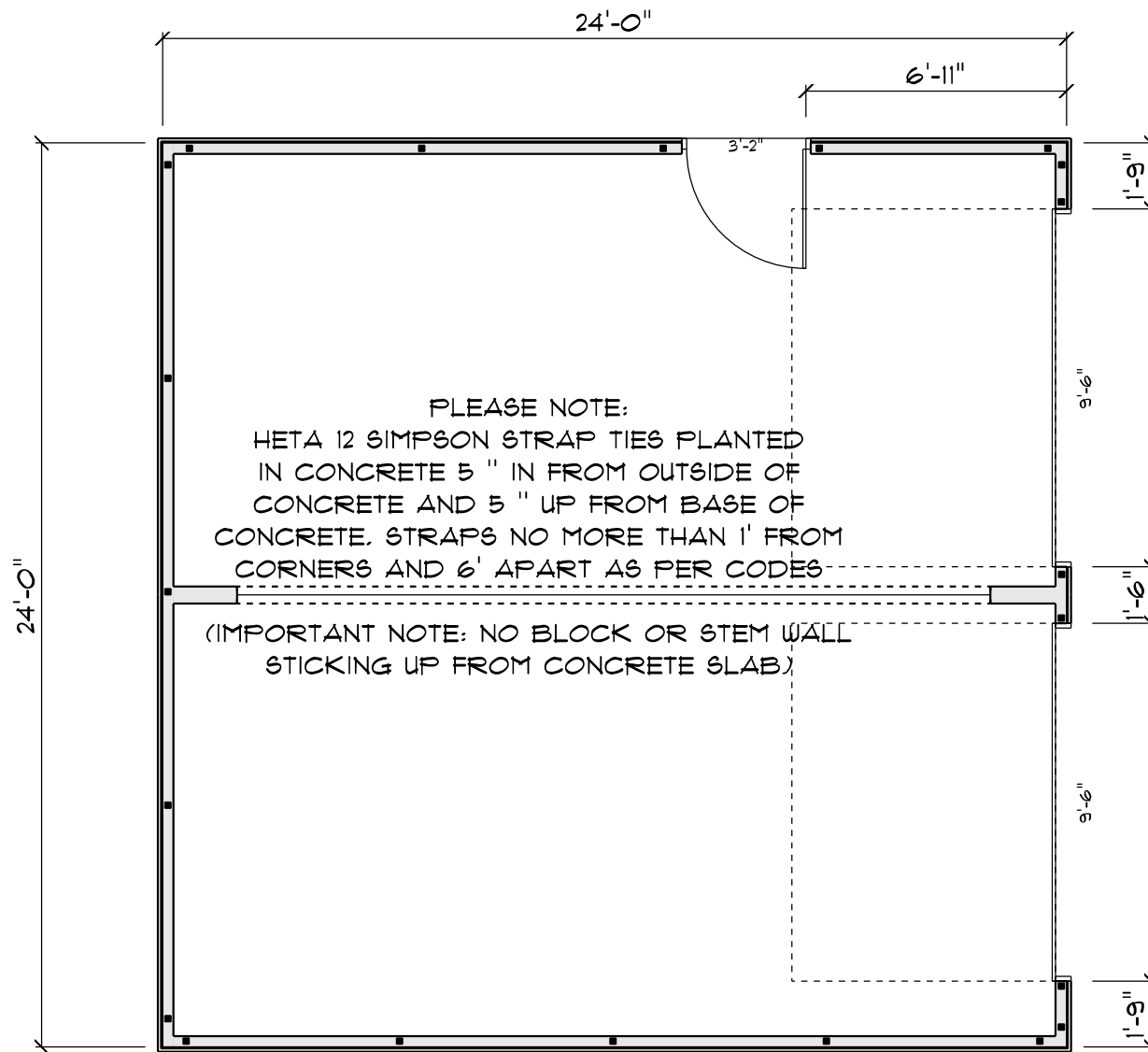
4/14/22

Ruff Engineering Co.
 6140 Boyertown Pike
 Douglassville, PA 19518
 (610) 689-9004



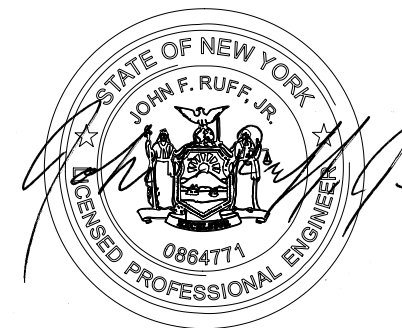
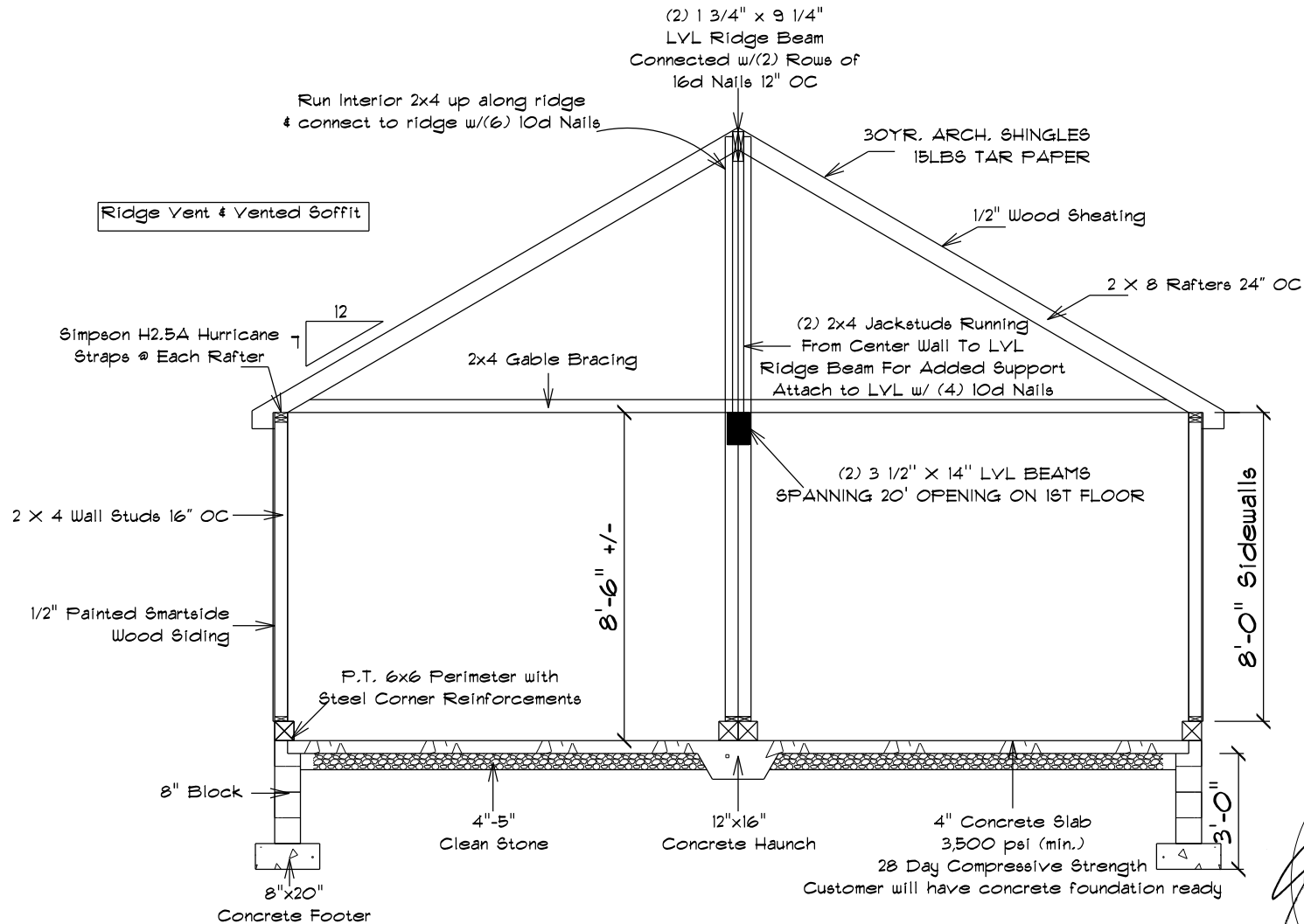
Floor Plan

| Construction Notes: | Job Name: | Dimensions: | Date: December 31, 2021 |
|---|---|-------------|-------------------------|
| Snow Load: 30 psf Wind Load: 115 mph Weathering: Severe Termite: Moderate to Heavy Decay: Slight to Moderate Flood Hazard: see Local Flood Map | Louis Gordon 10 Wago Ave Armonk, NY 10504 | 24x24 | Revisions: 1 |



Concrete Plan

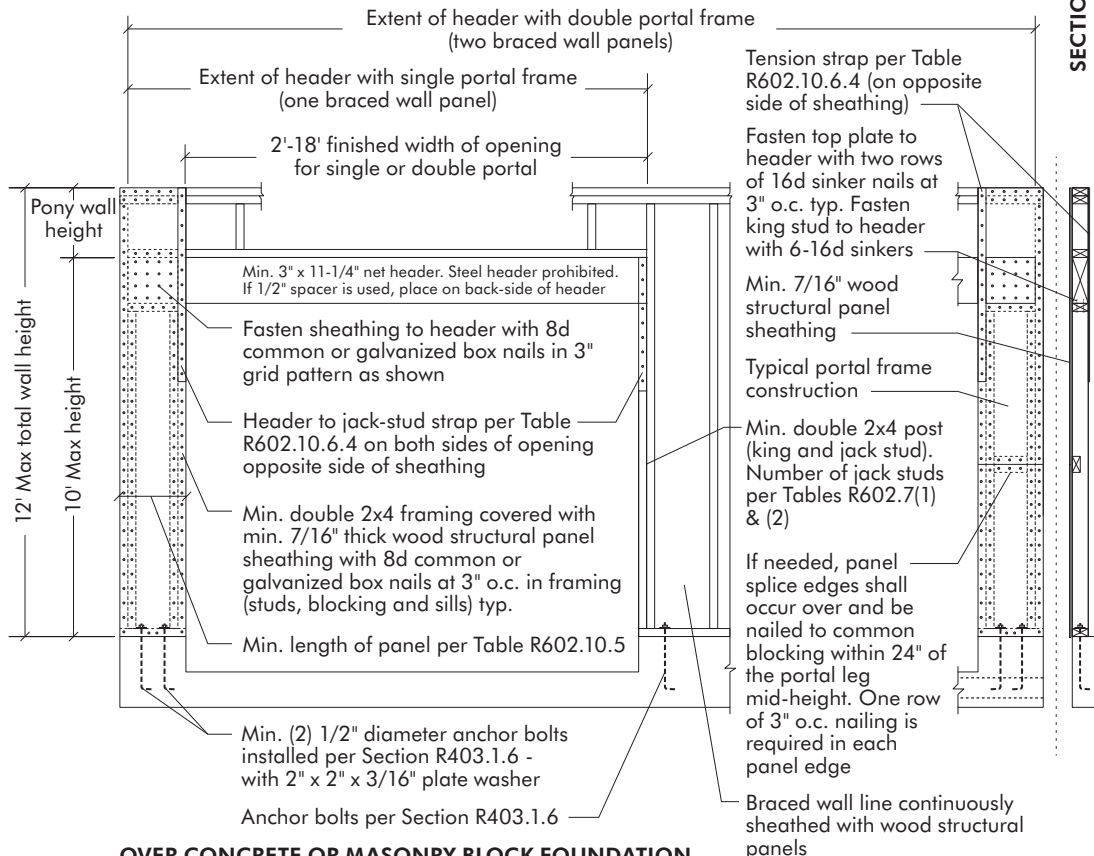
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|---|---|-------------|--------------------------------|
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| | | | Revisions: 1 |



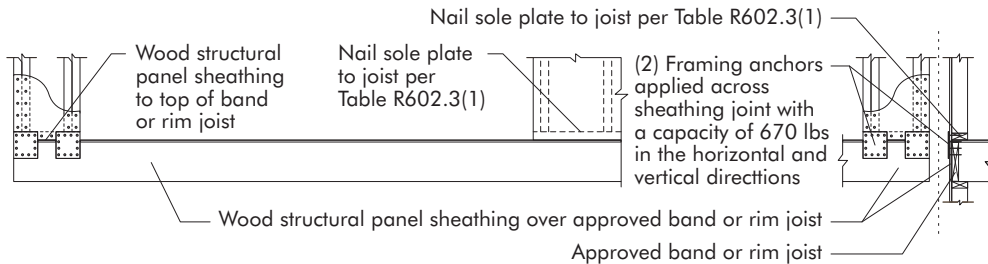
Section Detail

| Construction Notes: | Job Name: | Dimensions: | |
|---|---|--------------|--------------------------------|
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FRONT ELEVATION

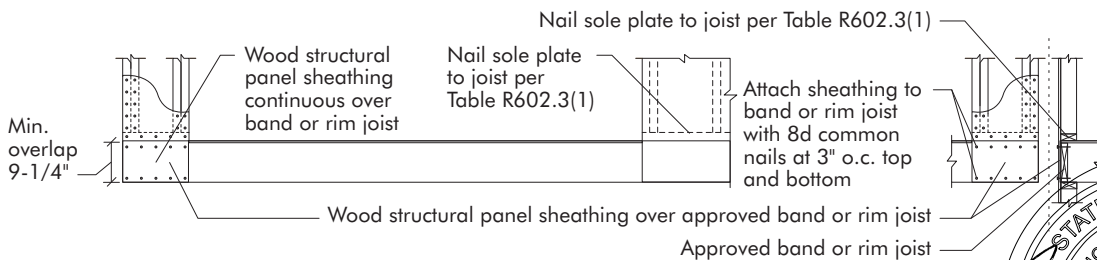


OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

(When portal sheathing does not lap over band or rim joist)



OVER RAISED WOOD FLOOR - OVERLAP OPTION

(When portal sheathing laps over band or rim joist)



Fastener Schedule for Structural Members

General Notes

1. Builder must verify all dimensions and accuracy before constructions.
2. Written dimensions shall take precedence over scaled measurements.
3. Window and door, sizes and locations may vary
4. All structural lumber shall be Spruce-pine-fir #2 or better unless otherwise noted.
5. Any wood in contact with masonry to be pressure-treated wood
6. Grade must slope away from structure
7. Wood Framing to be min 8" from grade level, except at door ways
8. Wood trusses shall be designed by a registered engineer
9. Wall bracing provided by continuous sheathing method
10. Tempered Glazing requirement:
 - (1) In windows & doors within (1) 18" of walking surface
 - (2) In any individual panel greater than (9) sq/ft
 - (3) In windows within 24" of any operable door when door is in closed position
 - (4) In panels within stairways, landing and ramps, and within (36) inches horizontally of walking surface, unless protected with bars 3" O.C capable of withstanding 50 LB per linear foot
 - (5) In panels adjacent to stairway within (60)" horizontally of the bottom tread of a stairway in any direction, and when the panel is within 60" inches of the tread nosing.

| Description of Building Elements | | No. and type of fastener | Spacing of fasteners | |
|---|--|--------------------------|--------------------------------|--|
| Ceiling Joists to plate, toe nail | | (3) 8d | - - - | |
| Ceiling Joists not attached to parallel rafter laps over partitions, face nail | | (3) 10d | - - - | |
| Collar tie rafters, face nail | | (3) 10d | - - - | |
| Rafter to plate, toe nail | | (2) 16d | - - - | |
| Roof rafters to ridge, valley or hip rafters, toe nail | | (4) 16d | - - - | |
| Built-up corner studs | | 10d | 24" OC | |
| Built-up header, two pieces | | 16d | 16" O.C along est. edge | |
| Continuous Header to stud, toe nail | | (4) 8d | - - - | |
| Double studs, face nail | | 10d | 24" OC | |
| Double top plates, face nail | | 10d | 24" OC | |
| Double top plates, minimum 48" offset of end joints, face nail in lapped area. | | (8) 16d | - - - | |
| Sole plate to joist or blocking, face nail | | 16d | 16" OC | |
| Sole plate to joist or blocking at braced wall panels | | (3) 16d | 16" OC | |
| Top or sole plate to stud, end nail | | (2) 16d | - - - | |
| Top plates, laps at corners and intersections, face nail | | (2) 10d | - - - | |
| Joist to sill or girder, toe nail | | (3) 8d | - - - | |
| Rim joist to top plate, toe nail | | 8d | 6" OC | |
| Wood Structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing sheathing to framing | | | | |
| 5/16" - 1/2" | 8d common nails (subfloor, wall) 8d common nails (roof) | 6 | 12 | |
| 19/32" - 1" | 8d common nails | 6 | 12 | |
| Alternate Attachments | | | | |
| NOM. Material Thickness (inches) | Description of fastener and length (inches) | Spacing of fasteners | | |
| | | Edges (inches) | Intermediate Supports (inches) | |
| Up to 1/2" | Staples 16 GA 1 3/4" | 4 | 8 | |
| | Nails 2 1/4" | 3 | 6 | |
| 23/32" and 3/4" | Staples 16 GA 1 3/4" | 4 | 8 | |
| | Nails 2 1/4" | 3 | 6 | |

