TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 246 BEDFORD BANKSVILLE ROAD

Section III- DESCRIPTION OF WORK:

Proposed in-ground pool, new patio and new prefabricated pergola

Section III- CONTACT INFORMATION:

APPLICANT: HAYNES ARCHITECTURE PC- Thomas Haynes

ADDRESS: 287 Bowman Ave Suite 208 Purchase NY 10577

PHONE: 914-963-3838 MOBILE: EMAIL: TJ@haynesdesigngroup.com

PROPERTY OWNER: Madalyn Stillman

ADDRESS: 246 Bedford Banksville Road Bedford NY 10506

PHONE: 914-318-4394 MOBILE: EMAIL: maddy1998@aol.com

PROFESSIONAL:: HAYNES ARCHITECTURE PC- Thomas Haynes

ADDRESS: 287 Bowman Ave Suite 208 Purchase NY 10577

PHONE: 914-963-3838 MOBILE:

EMAIL: TJ@haynesdesigngroup.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 95.03-2-50

Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 246 BEDFORD BANKSVILLE ROAD

☒ Initial Submittal ☐ Revised Preliminary

Street Location: 246 BEDFORD BANKSVILLE ROAD

Zoning District: R-2A Property Acreage: 2.229 Tax Map Parcel ID: 95.03-2-50

Date: 04-24-2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist
Items marked with a ☒ are complete, items left blank ☐ are incomplete and must be completed, "NA" means not applicable.

☐ 1. Plan prepared by a registered architect or professional engineer

☐ 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets

☐ 3. Map showing the applicant's entire property and adjacent properties and streets

☐ 4. A locator map at a convenient scale

☐ 5. The proposed location, use and design of all buildings and structures

☐ 6. Existing topography and proposed grade elevations

☐ 7. Location of drives

☐ 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

☐ 9. Description of method of water supply and sewage disposal and location of such facilities

☐ 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work

☐ 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District

☐ 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.

☐ 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 246 Bedford Banksville Road Date: 04-21-2022

Tax Map Designation or Proposed Lot No.: 95.03-2-50

Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	87,460.10 SF.
2.	**Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)):	13,295.50 SF.
3.	**BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback 152.38' x 10 = _____	1,523.80 SF.
4.	**TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3	**14,819.3 SF.**
5.	Amount of lot area covered by **principal building:** 2,737.86 existing + 0 proposed =	2,737.86 SF.
6.	Amount of lot area covered by **accessory buildings:** 0 existing + 352 proposed =	352.0 SF.
7.	Amount of lot area covered by **decks:** 0 existing + 0 proposed =	0
8.	Amount of lot area covered by **porches:** 0 existing + 0 proposed =	0
9.	Amount of lot area covered by **driveway, parking areas and walkways:** 6,287.03 existing + 0 proposed =	6,287.03 SF.
10.	Amount of lot area covered by **terraces:** 0 existing + 0 proposed =	0
11.	Amount of lot area covered by **tennis court, pool and mechanical equip:** 0 existing + 903.42 proposed =	903.42 SF.
12.	Amount of lot area covered by **all other structures:** 1,933.53 existing + 1,766.26 proposed =	4,399.79SF.
13. Proposed	**gross land coverage:** Total of Lines 5 – 12 =	14,680.10 SF.

If Line 13 is less than or eq ual to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

_____ 04-21-2022
Signature and Seal of Professional Preparing Worksheet Date

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

NO CHANGE TO EXISTING FLOOR AREA -NO PROPOSED WORK TO EXISTING DWELLING

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 246 BEDFORD BANKSVILLE RD. Date: 04-21-2022

Tax Map Designation or Proposed Lot No.: 95.03-2-50

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): _____

2. **Maximum** permitted floor area (per Section 355-26.B(4)): _____

3. Amount of floor area contained within first floor**:**
_ _____ existing + _____ proposed = _ _____

4. Amount of floor area contained within second floor**:**
_ _____ existing + _____ proposed = _ _____

5. Amount of floor area contained within garage**:**
_ _____ existing + _____ proposed = _ _____

6. Amount of floor area contained within porches capable of being enclosed**:**
_ _____ existing + _____ proposed = _ _____

7. Amount of floor area contained within basement (if applicable – see definition)**:**
_ _____ existing + _____ proposed = _ _____

8. Amount of floor area contained within attic (if applicable – see definition)**:**
_ _____ existing + _____ proposed = _ _____

9. Amount of floor area contained within all accessory buildings:
_ _____ existing + _____ proposed = _ _____

10. Pro posed **floor area:** Total of Lines 3 – 9 = _ _____

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

_____ _____
Signature and Seal of Professional Preparing Worksheet Date

Proposed In-ground Pool, Pre-Fab Pergola and Patio at:
246 Bedford Banksville Road, Bedford NY

PROJECT INFORMATION:

OWNER:
NAME: MR. & MRS. STILLMAN
ADDRESS: 246 BEDFORD BANKSVILLE ROAD
BEDFORD NEW YORK
TELEPHONE: ---
EMAIL: maddy1998@aol.com

ARCHITECT:
NAME: HAYNES ARCHITECTURE PC- THOMAS HAYNES
ADDRESS: 570 YONKERS AVENUE
YONKERS NEW YORK 10704
TELEPHONE: 1-(914)-963-3838
EMAIL: TJ@HAYNESDESIGNGROUP.COM

SCOPE OF WORK:

-PROPOSED IN-GROUND POOL, NEW PRE-FAB PERGOLA AND NEW PATIO

DRAWING LIST:

SHEET:	TITLE:
A.01	LOCATION PLAN / GENERAL NOTES
A.02	GENERAL NOTES
SP.01	PLOT PLAN
SP.02	COVERAGE ANALYSIS
SP.03	DETAILS
SP.04	DETAILS
A1.01	PERGOLA PLANS
A1.02	PATIO PLANS
A1.03	ELEVATIONS

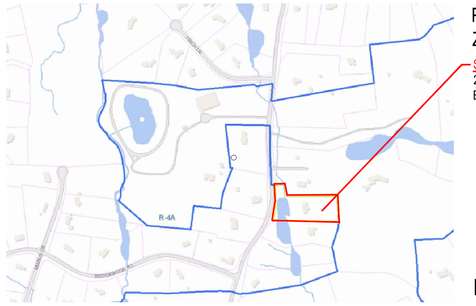
THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE MUNICIPAL CODE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE - APPENDIX J FOR EXISTING BUILDINGS

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

LOCATION MAP: NOT TO SCALE

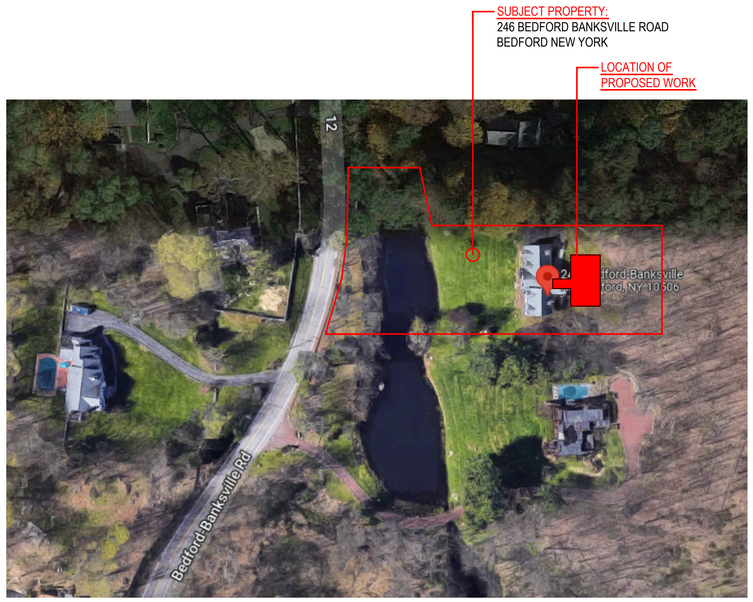


Printkey/TaxID: 95.03-2-50
ZONE: R-2A
SUBJECT PROPERTY:
246 BEDFORD BANKSVILLE ROAD
BEDFORD NEW YORK

N

N

AERIAL VIEW : NOT TO SCALE



N

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE

GROUND SNOW LOAD (PSF)	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WIND DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION I	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	120	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	15deg.F	YES	SEE BELOW	1500	52deg.F

FLOOD HAZARDS:
A. FIRST CODE DATE OF ADOPTION JULY 9, 1980
B. DATE OF FLOOD INSURANCE STUDY JAN. 21 1998
C. MAP PANEL NUMBERS 36119C0307F THROUGH 36119C0338F EFFECTIVE SEPT.28, 2007

2020 RESIDENTIAL CODE OF NEW YORK STATE

REGULATION	ALLOWED/ REQUIRED	EXISTING	PROPOSED	
USE/ OCCUPANCY	1-FAMILY	1-FAMILY	NO CHANGE	
HEIGHT/ FIRE AREAS	2.5 STORY	2.5 STORY	NO CHANGE	
TYPE OF CONSTRUCTION	TYPE 5-B	TYPE 5-B	NO CHANGE	

GENERAL POOL NOTES AND REQUIREMENTS AS PER R326 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

R326.3.1 IN-GROUND POOLS. IN-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI APSP/ICC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS, 2011).

R326.4.1 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION THAT SHALL REMAIN IN PLACE UNTIL A PERMANENT BARRIER IN COMPLIANCE WITH SECTIONR326.4.2 IS PROVIDED

R326.4.1.1 HEIGHT - THE TOP OF THE TEMPORARY BARRIER T 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.

R326.4.1.2 REPLACEMENT BY A PERMANENT BAR-RIER. A TEMPORARY BARRIER SHALL BE REPLACED BY A COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS:1. 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL; OR 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL.

R326.4.2.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE NO LESS THAN 48 INCHES (1219MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIM-MING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE BARRIER SHALL COMPLY WITH SECTIONS R326.4.2.2 AND R326.4.2.3.[NY] R326.4.2.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTA-TIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOL-ERANCES AND TOOLED MASONRY JOINTS. [NY] R326.4.2.3 CLOSELY SPACED HORIZONTAL MEM-BERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VER-TICAL MEMBERS SHALL NOT EXCEED 13/4 INCHES (44 MM) IN WIDTH. WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTI-CAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH. [NY] R326.4.2.4 WIDELY SPACED HORIZONTAL MEM-BERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM). WHERE THERE ARE DECO-RATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM)IN WIDTH. [NY] R326.4.2.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 21/4 INCH (57MM) SQUARE. UNLESS THE FENCE HAS VERTICAL SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 13/4 INCHES (44 MM). [NY] R326.4.2.6 DIAGONAL MEMBERS. WHERE THE BAR-RIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM).

R326.4.2.7 GATES. GATES SHALL COMPLY R326.4.2.1 THROUGH R326.4.2.6, AND WITH THE FOLLOWING REQUIREMENTS: [NY] R326.4.2.7.1 SELF-CLOSING AND OPENING CON-FIGURATION. ALL GATES SHALL BE SELF-CLOSING. IN ADDITION, IF THE GATE IS A PEDESTRIAN ACCESS GATE, THE GATE SHALL OPEN OUTWARD, AWAY FROM THE POOL. [NY]
R326.4.2.7.2 LATCHING. ALL GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDI-TION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES(1372 MM) FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH (12.7 MM)WITHIN 18 INCHES (457 MM) OF THE LATCH HANDLE.[NY] R326.4.2.7.3 LOCKING. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHERCHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIM-MING POOL IS NOT IN USE OR SUPERVISED.[NY] R326.4.2.8 DWELLING WALL AS BARRIER. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER,PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BAR-RIER REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGHR326.4.2.6, AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:1.A) DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOORAND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN7 SECONDS AND SOUND CONTINUOUSLY FOR A MINI-MUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPO-RARILY DEACTIVATE THE ALARM FOR A SINGLE OPEN-ING. DEACTIVATION SHALL LAST FOR NOT MORE THANTS SECONDS; AND B) OPERABLE WINDOWS IN THE WALL OR WALLS USED ASA BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR. OPEN-INGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND C) WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL; OR

2. OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 1 DESCRIBED ABOVE. [NY] R326.4.2.8.1 ALARM DEACTIVATION SWITCH LOCATION. WHERE AN ALARM IS PROVIDED, THE DEACTIVA-TION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS, OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 48 INCHES (1219 MM) ABOVE THE THRESHOLD OF THE DOOR.

R326.4.4 PROHIBITED LOCATIONS. BARRIERS SHALL BE LOCATED SO AS TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THE BARRIER.

R326.5 ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLETSYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTI-PLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE,SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.5.1 COMPLIANCE. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIRE-MENTS OF CPSC 15 USC 8003 AND ANSI/APSP/ICC 7,WHERE APPLICABLE.

R326.6 SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA.SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYS-TEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.6.1 COMPLIANCE ALTERNATIVE. SUCTION OUTLETS MAY BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP/ICC 7.DO NOT PRINT THIS MATERIAL CONTAINS INFORMATION WHICH IS PROPRIETARY TO AND COPYRIGHTED BY INTERNATIONAL CODE COUNCIL, INC. THE INFORMATION COPYRIGHTED BY THE INTERNATIONAL CODE COUNCIL, INC. HAS BEEN OBTAINED AND REPRODUCED WITH PERMISSION. THE ACRONYM "ICC" AND THE ICC LOGO ARE TRADEMARKS AND SERVICE MARKS OF ICC. ALL RIGHTS RESERVED.

R326.6.2 SUCTION FITTINGS. POOL AND SPA SUCTION OUT-LETS SHALL HAVE A COVER THAT CONFORMS TO ANSI/ASMEA112.19.8, OR AN 18 INCH BY 23 INCH (457 MM BY 584 MM)DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM. EXCEPTION: SURFACE SKIMMERS.

R326.6.3 ATMOSPHERIC VACUUM RELIEF SYSTEM REQUIRED. POOL AND SPA SINGLE- OR MULTIPLE-OUTLET CIRCULA-TION SYSTEMS SHALL BE EQUIPPED WITH ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. THIS VACUUM RELIEF SYSTEM SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS:1. SAFETY VACUUM RELEASE SYSTEM CONFORMING TO ASMEA112.19.17; OR 2. AN APPROVED GRAVITY DRAINAGE SYSTEM.

R326.6.4 DUAL DRAIN SEPARATION. SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS HAVE A MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET (914 MM) SHALL SEPARATE THE OUT-LETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM-RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.

R326.6.5 POOL CLEANER FITTINGS. WHERE PROVIDED,VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES (152 MM) AND NOT MORE THAN 12 INCHES (305 MM) BELOW THE MINIMUM OPERA-TIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

R326.7 SWIMMING POOL AND SPA ALARMS, APPLICABIL-ITY. A SWIMMING POOL OR SPA INSTALLED, CONSTRUCTED OR SUB-STANTIALLY MODIFIED AFTER DECEMBER 14, 2006, SHALL BE EQUIPPED WITH AN APPROVED POOL ALARM. POOL ALARMS SHALL COMPLY WITH ASTM F2208 (STANDARD SPECIFICATION FOR POOL ALARMS), AND SHALL BE INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THIS SECTION. EXCEPTIONS: 1. A HOT TUB OR SPA EQUIPPED WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F1346. 2. A SWIMMING POOL (OTHER THAN A HOT TUB OR SPA)EQUIPPED WITH AN AUTOMATIC POWER SAFETY COVER WHICH COMPLIES WITH ASTM F1346.

R326.7.1 MULTIPLE ALARMS. A POOL ALARM MUST BE CAPABLE OF DETECTING ENTRY INTO THE WATER AT ANY POINT ON THE SURFACE OF THE SWIMMING POOL. IF NECESSARY TO PROVIDE DETECTION CAPABILITY AT EVERY POINT ON THE SURFACE OF THE SWIMMING POOL, MORE THAN ONE POOL ALARM SHALL BE PRO-VIDED.

R326.7.2 ALARM ACTIVATION. POOL ALARMS SHALL ACTI-VATE UPON DETECTING ENTRY INTO THE WATER AND SHALL SOUND POOLSIDE AND INSIDE THE DWELLING.

R326.7.3 PROHIBITED ALARMS. THE USE OF PERSONAL IMMERSION ALARMS SHALL NOT BE CONSTRUED AS COMPLIANCE WITH THIS SECTION.

HAYNES ARCHITECTURE P.C.
570 yonkers ave. yonkers, ny 10704
p: 914.963.3838 f: 914.963.3861
e: info @ haynesdesigngroup.com

revisions:

project title:

Proposed In-ground, Pergola, Pool and Patio at:
246 BEDFORD BANKSVILLE RD.
Bedford , New York

GENERAL NOTES

seal: Architect Thomas E. Haynes
REGISTERED ARCHITECT THOMAS E. HAYNES 13761 STATE OF NEW YORK

original filing date: 03-29-2022
drawn by:
checked by:
drawing no.: A.01

JOB NUMBER: 2181

LEGEND AND SYMBOLS:

	EXISTING WALL
	NEW WALL
	WALL TO BE DEMOLISHED
	EXISTING DOOR
D.-	NEW DOOR
	DOOR TO BE DEMOLISHED
X	WALL TAG
S	SMOKE DETECTOR -HARDWIRE & BATT. BACK-UP
C	CARBON MONOXIDE DETECTOR W/ DIGITAL READ-OUT
	75 CFM MECH. EXHAUST FAN -CONNECT TO SEPARATE SWITCH DUCT TO EXTERIOR
	ELEVATION MARKER
X / A-X.XX	ELEVATION ELEVATION NUMBER DRAWING NUMBER
X / A-X.XX	DETAIL DETAIL NUMBER DRAWING NUMBER
D.-	DOOR NUMBER
WX	WINDOW TYPE
X	SCOPE OF WORK TAG
PXX	PLUMBING TAG
EXX	EQUIPMENT TAG
X	FINISH TAG

GENERAL NOTES:

1. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
2. THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS.
3. THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME.
4. THE G.C. IS TO FILE WORKERS COMPENSATION WITH THE DEPARTMENT OF BUILDINGS.
5. THE G.C. IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO PAY FOR AND OBTAIN PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.
6. THE G.C. AND SUBCONTRACTORS ARE TO ARRANGE FOR AND AND PAY ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS.
7. PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE DEPARTMENT OF BUILDINGS.
8. THE G.C. AND SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION.
9. DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
10. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS.
11. THE G.C. AND ALL SUBCONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
12. ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.
13. THE G.C. AND OTHER SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES. METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK. THE ARCHITECT AND THE ARCHITECT'S AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.
14. THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.- IF REQUIRED IN SCOPE OF WORK
15. THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE FOOTINGS.
16. THE G.C. IS TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S AND OTHER APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT.
17. NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT.
18. THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS.
19. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE.
20. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF A PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS.

CONCRETE :

1. CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH A.C.I. 318 BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE FOR GARAGE SLABS, CARPORT SLABS, SON-O-TUBE FOOTINGS, STEPS, PORCH SLABS AND SIDEWALKS EXPOSED TO WEATHER IS TO BE MINIMUM 3500 PSI CLASS 'B' "AIR-ENTAINED" CONCRETE. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.
2. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304. LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".
3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.
4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).
6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU.YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.
8. ALL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE .60 BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.
9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FRAMEWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.
10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.
11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
    - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH----3"
    - EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)---1 1/2"
    - EXPOSED TO EARTH OR WEATHER (#6 BARS OR GREATER)---2"
    - NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:
    - SLABS, WALLS AND JOISTS---------------------------3/4"
    - BEAMS, GIRDERS, COLUMNS
    - (PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS) --1 1/2"
12. LENGTH OR REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.
13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.
14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM THE TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6X6 -WI.4/WI.4 W.W.F. FOR 4" SLABS AND 6X6 -W2.9-W2.9 W.W.F. FOR 6" THICK SLABS.
15. FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED WITH W.W.F. IN 4" SLABS ON GRADE.
16. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDES AND END LAPS AND BE WIRED TOGETHER.
17. THICKNESS' AND REINFORCEMENT OF STRUCTURAL SLABS ON GRADE DUE TO SPECIAL LOADING REQUIREMENTS SHALL BE NOTED ON THE DRAWINGS.
18. POUR SLABS ON GRADE IN ALTERNATING LANE (CHECKERBOARD) PATTERNS NOT TO EXCEED 800 S.F. IN AREA OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOISTS. PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.
19. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.
20. INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE. LAP ENDS A MINIMUM OF 6" AND TAPE.
21. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED MAXIMUM OF 10'-0" O.C.
22. PROVIDE 1/4" X 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
23. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.
24. NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.
25. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.
26. ALL COLD WEATHER CONCRETE TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.
27. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.
28. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.
29. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
30. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.O.N.

MASONRY:

1. STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY. LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.
2. ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.
3. CONCRETE MASONRY UNITS (CMU) ARE TO BE GRADE 'N', TYPE 'I' CONFORMING TO THE A.S.T.M. C-90, "HOLLOW LOAD BEARING UNITS". CMU WIDTHS FOR WALL THICKNESS' AS INDICATED ON THE DRAWINGS. PROVIDE CORNER SASH, HALF HEIGHT AND ALL OTHER TYPES OF CMU REQUIRED TO COMPLETE MASONRY WALLS AS INDICATED.
4. FACE BRICK IS TO BE OF TYPE, SIZE AND COLOR AS INDICATED ON THE DRAWINGS CONFORMING TO A.S.T.M. C-216 "FACING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE).
5. MANUFACTURER: OBTAIN ALL CMU FROM ONE MANUFACTURER BEING OF UNIFORM SIZE, COLOR AND TEXTURE FOR EACH CMU TYPE REQUIRED FOR EACH CONTINUOUS AREA AND EACH VISUAL RELATED AREAS.
6. MORTAR IS TO BE TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M. C-270 "MORTAR FOR UNIT MASONRY". AVERAGE COMPRESSIVE STRENGTH TO BE 1800 PSI AT 28 DAYS.
7. ALL MASONRY WALLS TO BE PROPERLY SHORED AGAINST WIND AND OTHER LATERAL LOADS UNTIL FLOOR AND ROOF CONSTRUCTION IS COMPLETELY INSTALLED. THE G.C. IS TO ASSUME FULL RESPONSIBILITY FOR MASONRY WALL STABILITY.
8. PROVIDE ALL ANCHOR BOLTS WITH NUTS AND WASHERS, IN SIZES AND QUANTITIES INDICATED ON THE DRAWINGS, THAT ARE TO BE EMBEDDED INTO MASONRY. ANCHOR BOLTS ARE TO CONFORM TO THE STANDARDS OF A.S.T.M. A-307.
9. COORDINATE INSTALLATION OF ALL EMBEDMENTS PROVIDED BY OTHER TRADES.
10. CONSTRUCT ALL OPENINGS, SLEEVES, CHASES, ETC. REQUIRED BY OTHER TRADES AS INDICATED ON THE DRAWINGS.
11. MORTAR JOINTS ARE TO BE STRAIGHT AND LEVEL., OF A UNIFORM THICKNESS AND DEPTH. THICKNESS TO BE BETWEEN 3/8" AND 1/2". JOINTS AT INTERSECTING CORNERS MUST MEET.
12. AS WORK PROGRESSES, INSTALL ALL BUILT IN ITEMS SPECIFIED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
13. GROUT FOR FILLING CMU CORES SOLIDLY IS TO BE TYPE 'M' OR TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M. C-476 "GROUT FOR UNIT MASONRY".
14. FILL CMU CORES SOLIDLY WITH GROUT A MINIMUM OF THREE (3) COURSES UNDER EACH LINTEL, BEARING PLATES, EMBEDMENTS OR OTHER SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
15. PROVIDE PRECAST REINFORCED CONCRETE LINTELS AS INDICATED ON THE DRAWINGS. AT THE OPTION OF THE G.C. STEEL ANGLES OR STEEL BEAM LINTLES, PROPERLY SIZED FOR THE REQUIRED LOADS, MAY BE USED. ALL LINTELS TO BEAR A MINIMUM OF 4" ONTO SUPPORTS.
16. PROVIDE SPANDREL WATERPROOFING AT ALL SPANDREL GIRDERS, STEEL LINTELS, DOOR AND WINDOW HEADS, AND WHERE EVER ELSE INDICATED ON THE DRAWINGS. USE FABRIC FLASHING AS MANUFACTURED BY "NERVASTRAL" TYPE SEAL PRUF HD OR AN APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
17. PROVIDE VERTICAL AND HORIZONTAL CONTROL AND EXPANSION JOINTS IN ALL EXTERIOR MASONRY WALLS. MAXIMUM SPACING TO BE 20'-0" O.C. PROVIDE CONTROL AND EXPANSION JOINTS EVEN IF NOT SPECIFIED IN THE DRAWINGS.
18. CAULKING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL. INSTALL WITH APPROPRIATE FOAM BACKER ROD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
19. ALL MASONRY WORK IS TO BE REINFORCED WITH GALVANIZED "DUR-O-WAL" JOINT REINFORCEMENT EVERY 2ND BLOCK COURSE UNLESS OTHERWISE NOTED. "DUR-O-WAL" IS TO BE PLACED IN THE FIRST AND SECOND BED JOINTS ABOVE AND BELOW OPENINGS AND IN EVERY 2ND BED JOINT THROUGH OUT REMAINDER OF WALL. REINFORCING IS TO OVERLAP 6" MINIMUM.
20. FOR BRICK OR CMU VENEERS WITH STUD WALL BACKUP, USE CORRUGATED GALVANIZED BRICK TIES SCREWED TO STUDS AT MAXIMUM SPACING OF 24" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY. (1 TIE PER 3 S.F. OF VENEER FACE AREA MAXIMUM).
21. PROVIDE "KOR-FIL" INSULATION IN ALL CMU WALLS EXPOSED TO THE EXTERIOR.
22. THE CONTRACTOR IS TO PROTECT ALL MASONRY WALLS FROM COLD WEATHER INSTALLATIONS TO PREVENT MORTAR FROM FREEZING.

METALS:

1. STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
2. MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING A.S.T.M. SPECIFICATIONS:
    - WF COLUMNS, PIPE COLUMNS, BEAMS, GIRDERS, MISC. STEEL: ASTM A-36
    - BEARING PLATES, BASE PLATES, AND CAP PLATES: ASTM-36
    - STRUCTURAL TUBING COLUMNS : ASTM A500 Fy= 46 ksi
3. ALL BOLTED CONNECTIONS SHALL BE MADE USING HIGH STRENTH A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS. UNLESS OTHERWISE DETAILED.
4. STEEL CONCRETE REINFORCEMENT: BARS: NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZED AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF) : ASTM A185, SIZES AS NOTED ON DRAWINGS.
5. PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL EMBODIMENT TO BE 8" FOR POURED CONCRETE AND 15" FOR CMU.
6. ALL STEEL SHALL BE SHOP PAINTED WITH GREY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS. EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCH UP PAINTING.
7. ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING. (10"X10"X5/8" BOTTOM PLATE, UNLESS OTHERWISE NOTED).

WOOD/PLASTICS:

1. ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED INDICATED ON DRAWING.
3. ALL WORKMANSHIP INCLUDING NAILS, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC.
4. PROVIDE LEDGER BOARDS, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED.
5. PROVIDE ALL REQUIRED 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WHERE PARTITIONS ARE TALLER THAN 8'-0", INSTALL 2X FIRE BLOCKING "CATS" AT MID POINT.
6. ALL NEW LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.
7. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.
8. ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.
9. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS.
10. PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0".
11. PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 5/8" EXTERIOR ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.
12. PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" O.C. AT EXTERIOR EDGES AND 12" O.C. AT INTERMEDIATE SUPPORT.
13. USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.
14. PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN).
15. LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.
16. JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOT DIPPED GALVANIZED, "ZMAX" GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS.
17. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS.
18. PROVIDE 'X' BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING WALL SHALL NOT BE NAILED UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE.
19. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
20. WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE CORNERS WITH 5/8" CDX PLYWOOD 4'-0" IN EACH DIRECTION.
21. CORNER BOARDS, FASCIA BOARDS, DOOR AND WINDOW CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO. 1 PINE OF SIZE, STYLE AND DESIGN AS INDICATED ON THE DRAWINGS. BACK PRIME PAINTED TRIM.
22. EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.
23. WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE PRESSURE TREATED WOOD.
24. PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.
25. PROVIDE (3) 2"X6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.
26. ALL LUMBER FOR EXTERIOR DECKS AND LUMBER IN CONTACT WITH CONCRETE SURFACES SHALL BE PRESSURE TREATED.

FIRE/SMOKE DETECTION :

1. SMOKE DETECTING ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA AND EACH FLOOR PER SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE, N.F.P.A. #72 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS HAVING JURISDICTION.
2. CARBON MONOXIDE DETECTORS AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES AND ORDINANCES ARE TO BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOMS ON THE LOWEST FLOOR OF THE DWELLING UNIT CONTAINING BEDROOMS. AT LEAST ONE (1) CARBON MONOXIDE DETECTOR SHALL BE PROVIDED IN EACH DWELLING UNIT. CO ALARMS ARE TO COMPLY WITH UL 2034-2002 (SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS, SECOND EDITION.

ABBREVIATIONS:

A/C	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ACOUS.T	ACOUSTICAL TILE
ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANOD.	ANODIZED
APPVD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT or ARCHITECTURAL
AUTO.	AUTOMATIC
AVG.	AVERAGE
&	AND
A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BRKT.	BRACKET
BRZ.	BRONZE
BSMT.	BASEMENT
CAB.	CABINET
C.C.	CENTER TO CENTER
CER.	CERAMIC
CLKG.	CALKING
C.L.	CENTER LINE
CLG.	CEILING
CLOS.	CLOSET
CLR.	CLEAR
CLR. OPG.	CLEAR OPENING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECT
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
COR.	CORNER
CORR.	CORRIDOR
C.T.	COUNTERTOP
CTR.	CENTER
C.W.	COLD WATER
D.A.	DOUBLE ACTING
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIV.	DIVISION
DN.	DOWN
DR.	DOOR
DWG.	DRAWING
DRW.	DRAWER
(E.)	EAST
ELEC.	ELECTRIC
ELEV.	ELEVATION
ELEVR.	ELEVATOR
ENGR.	ENGINEER
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXH.	EXHAUST
EXIST.	EXISTING
EXPAN.	EXPANSION EXPOS
EXT.	EXTERIOR
ELECT.	ELECTRICAL
F.ALM.	FIRE ALARM
FABR.	FABRICATE
F.E.	FIRE EXTINGUISHER
F.E.C	FIRE EXTINGUISHER CABINET
FIN. FL.	FINISH FLOOR
F.H.C	FIRE HOSE CABINET
FIN.	FINISH(ED)
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C	FACE OF CONCRETE
F.O.F	FACE OF FINISH
F.O.G	FACE OF GYP.BD.
F.O.S	FACE OF STUD
F.O.W	FACE OF WALL
FR.	FRAME
F.S.	FULL SIZE
FT.	FOOT OR FEET
F.A.R	FLOOR AREA RATIO
F-F	FACE TO FACE FURR./ FURRING
FIXT.	FIXTURE
GA.	GAUGE
GEN.	GENERAL
GL.	GLASS OR GLAZED
GYP.	GYPSUM
GWB.	GYPSUM WALL BOARD
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING
H.W.	HOT WATER
I.D	INSIDE DIAMETER
INCL.	INCLUDE(D)(ING)
INFO.	INFORMATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
LAM.	LAMINATE
LB (OR #)	POUND
L.H.	LEFT HAND
LAV.	LAVATORY
MAINT.	MAINTENANCE
MAX.	MAXIMUM
MECH.	MECHANICAL
M.C.	MAIL CHUTE
MTL.	METAL
MEZZ.	MEZZANINE
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
M.TH.	METAL THRESHOLD
MIC.	MICROWAVE
(N)	NORTH
N.	NEW
NEG.	NEGATIVE
N.I.C	NOT IN CONTRACT
NO.(OR #)	NUMBER
N.T.S	NOT TO SCALE
O.A	OVERALL
O.C	ON CENTER
O.D	OUTSIDE DIAMETER
OFF.	OFFICE
O.H	OPPOSITE HAND OPNG.
OPP.	OPPOSITE
ORIG.	ORIGINAL
PART.BD.	PARTICLE BOARD
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PNL.	PANEL
PR.	PAIR
PREFAB.	PREFABRICATED
PROJ.	PROJECT
PTN.	PARTITION
PTD.	PAINTED
PWG.	PAINTED WOOD & GLASS
QUAL.	QUALITY
QUAN.	QUANTITY
R/A	RETURN AIR
RAD.	RADIUS
RECEP.	RECEPTACLE
REFF.	REFERENCE
REF	REFRIGERATOR
REFL.	REFLECTED
REINF.	REINFORCED
RESIL.	RESILIENT
REQ.	REQUIRED
R.H.	RIGHT HAND
RM.	ROOM
RND.	ROUND
R.O.	ROUGH OPENING
REV.	REVISION
(S)	SOUTH
SCHED.	SCHEDULE
SECT.	SECTION
SIM.	SIMILAR
SQ.	SQUARE
SQ.FT OR SF.	SQUARE FEET
STL.	STEEL
S.S.	STAINLESS STEEL
STD.	STANDARD
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYMM.	SYMMETRICAL
SYS.	SYSTEM
SPL.	SPLASH
S	SMOKE DETECTOR
STOR.	STORAGE
TECH.	TECHNICAL
TEL.	TELEPHONE
TEMPD.	TEMPERED
TEMP.GL.	TEMPERED GLASS
THK.	THICK(NESS)
TYP.	TYPICAL
T.M.E	TO MATCH EXISTING
U.L	UNDERWRITERS LABORATORY
UTIL.	UTILITY
U.O.N	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F	VERIFY IN FIELD
VOL.	VOLUME
(W)	WEST
W/	WITH
W.C	WATER CLOSET
W.I.C	WATER IN CLOSET
WD.	WOOD
WIND.	WINDOW
W.H.	WATER HEATER
W/O	WITHOUT
W.S	WEATHERSTRIPPING
WV.	WOOD VENEER
YD.	YARD

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project title:

Proposed In-ground, Pergola, Pool and Patio at:

246 BEDFORD BANKSVILLE RD.

Bedford , New York

GENERAL NOTES

seal: Architect Thomas E. Haynes

REGISTERED ARCHITECT THOMAS E. HAYNES 013761 STATE OF NEW YORK

original filing date: 03-29-2022

drawn by:

checked by:

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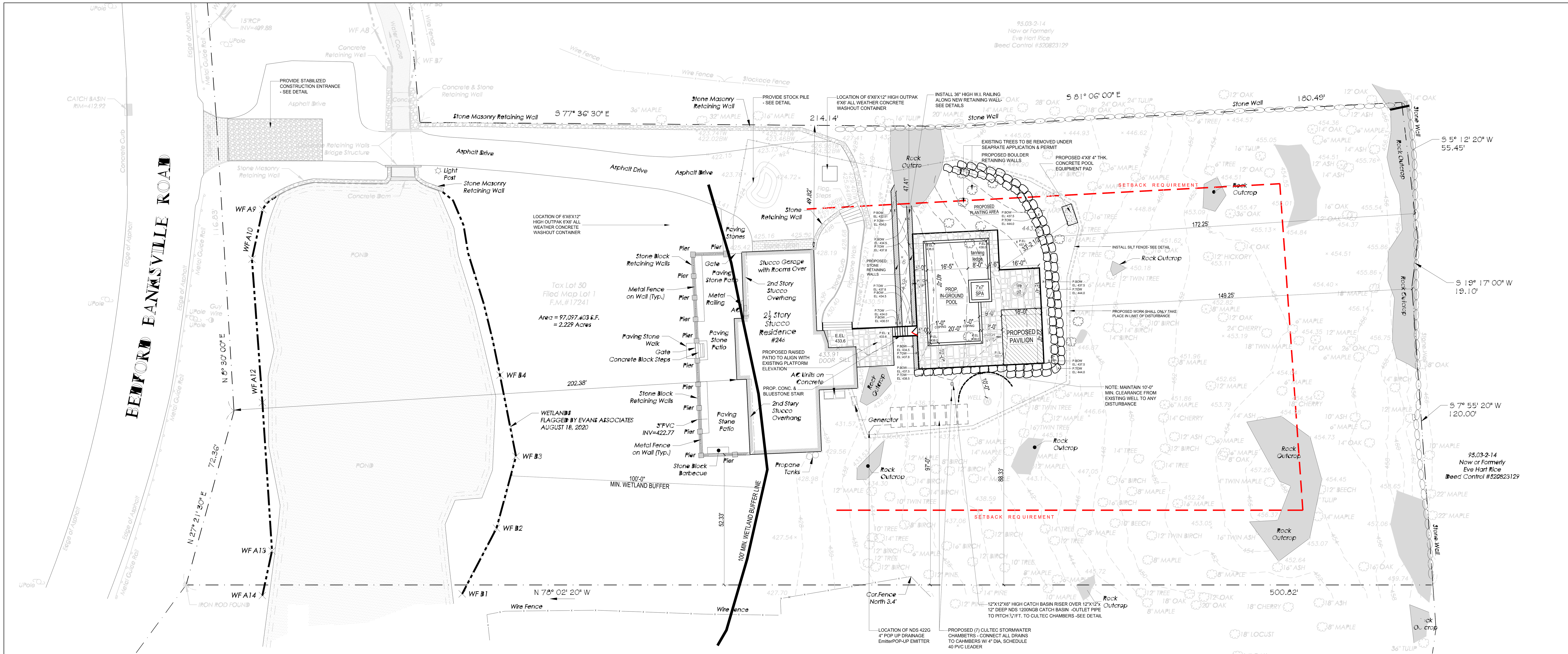
A.02



PLOT PLAN

SCALE: 1" = 20'-0"

ZONING ANALYSIS:

GENERAL INFORMATION:

ADDRESS:	ZONING DISTRICT:
246 BEDFORD BANKSVILLE RD	R-2A

USE REQUIREMENTS:

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
ONE FAMILY	1- FAMILY	1-FAMILY	NO CHANGE

LOT/ BULK REQUIREMENTS:

CATEGORY		REQUIRED / ALLOWED	EXISTING	PROP. PERGOLA	PROP. POOL
LOT AREA	(SF.)	2 ACRES	2.229 ACRES / 97,097.603	NO CHANGE	NO CHANGE
**LOT NET AREA *LAND COVERAGE CALCULATIONS ARE DERIVED FROM NET LOT AREA *	(SF.)	LOT AREA MINUS 75% OF AREA OF WETLANDS	WETLAND= 12,850 SF. X 75% = 9,637.5 97,097.603 - 9,637.5 = 87,460.10 SF	NO CHANGE	NO CHANGE
FRONT YARD	(FT.)	50'	202.38"	NO CHANGE	NO CHANGE
REAR YARD	(FT.)	50'	110.08'	149.25'	172.25'
SIDE YARD (ONE SIDE)	FT.)	30'	49.82'	74.58'	47.41'
SIDE YARD (ONE SIDE)	FT.)	30'	52.33'	88.83'	97.0'
BUILDING HEIGHT (STORY/ FT.)		2.5 / 30'	2.5 / 30'	12.33'	N/A

MAXIMUM DIMMENSIONAL REQUIREMENTS:

CATEGORY:	REQUIRED/ALLOWED	EXISTING:	PROPOSED:
MAX. BUILDING COVERAGE %	8%	NO CHANGE	NO CHANGE
MAX. GROSS LAND COVERAGE	2.0 acres or more 13,270 plus 7.5% of the lot area in excess of 2.0 acres = 13,270 SF+(340.1 X .075) SF. = 13,295.50 SF **PLUS 10 SF. BONUS PER 355-26.C(1)(b)* *= 152.38 X 10 = 1,523.80 SF.* *14,819.3 SF. TOTAL ALLOWED*	10,958.42 SF.	14,680.10 SF.
F.A.R.	10,122 plus 4% of the lot area in excess of 2.0 acres	NO CHANGE	NO CHANGE

NOTE: ALL MATERIAL STORED ON SITE FOR PROPOSED WORK SHALL BE STORED ON EXISTING DRIVEWAY OR GARAGE

-NO MATERIALS SHALL BE STORED IN CLOSE PROXIMITY TO EXISTING TREES

-NO TREES SHALL BE REMOVED, ALTERED OR DESTROYED DURING DURATION OF CONSTRUCTION UNDER THIS APPLICATION
*SEPARATE APPLICATION TO BE FILED FOR TREE REMOVAL

NOTE: ALL PROPOSED CULTEC UNITS TO MAINTAIN 10'-0" MIN. FROM ALL PROPERTY LINES AND STRUCTURES

NOTE: INSTALL SILT FENCE AROUND CONSTRUCTION AREA AS REQ. - SEE DETAIL

NOTE: NEW HANDRAILS TO BE 36" HIGH AND HANDRAIL WITH BALUSTERS SPACED LESS THAN 4" CLEAR
-RAILING TO BE CONTINUOUS -WHERE HANDRAIL IS WALL MOUNTED, IT IS TO BE 36" HIGH AND 1.5" OFF WALL AND 1.5" DIAMETER-HANDRAILS TO IN COMPLIANCE W/ R311.7.8
-*INSTALL AT ALL NEW STAIR LOCATIONS AS REQUIRED/ SHOWN

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND COORDINATE ACTUAL NUMBER OF RISERS/ TREADS FOR ALL NEW STAIRS AS PER CODE REQUIREMENTS / EXISTING CONDITIONS
-TREADS AND RISERS: THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

NOTE: POOL MUST BE EQUIPPED WITH AN APPROVED TYPE POOL ALARM WHICH IS CAPABLE OF DETECTING A CHILD ENTERING THE WATER AND GIVING AN AUDIBLE ALARM WHEN IT DETECTS A CHILD ENTERING THE WATER;
IS AUDIBLE POOLSIDE AND AT ANOTHER LOCATION ON THE PREMISES WHERE THE SWIMMING POOL IS LOCATED;
IS NOT AND ALARM DEVICE WHICH IS LOCATED ON PERSON(S) OR WHICH IS DEPENDANT ON DEVICE(S) LOCATED ON PERSON(S) FOR ITS PROPER OPERATION
-A POOL ALARM MUST BE CAPABLE OF DETECTING ENTRY INTO THE WATER AT ANY POINT ON THE SURFACE OF THE SWIMMING POOL. IF NECESSARY TO PROVIDE DETECTION CAPABILITY AT EVERY POINT ON THE SURFACE OF THE SWIMMING POOL, MORE THAN ONE POOL ALARM MUST BE INSTALLED.
POOL ALARMS ARE NOT REQUIRED IN:
A HOT TUB OR SPA EQUIPPED WITH A SAFETY COVER <PART1228.HTM> OR
ANY SWIMMING POOL (OTHER THAN A HOT TUB OR SPA) EQUIPPED WITH AN AUTOMATIC POWER SAFETY COVER <PART1228.HTM>
SPECIFIC SWIMMING POOL ALARM REQUIREMENTS CAN BE FOUND IN 19NYCRR PART 1228 <PART1228.HTM> OR IN THE DOS DOCUMENT TITLED "CURRENT REQUIREMENTS FOR SWIMMING POOLS CONTAINED IN THE UNIFORM FIRE PREVENTION AND BUILDING CODE (THE "UNIFORM CODE")"

SWIMMING POOL GENERAL NOTES:
(1) Said pool may be installed or maintained in any residential district or in any nonresidential district where specifically permitted.

(2) Said pool shall be used as an accessory use to a dwelling or group of dwellings or as part of the recreational facilities of a camp, club or similar use.

(3) When accessory to a single-family residence, such pool shall be located in a rear yard only.

(4) The portion of the premises upon which such pool is located shall be entirely surrounded and enclosed with a good quality security fence which shall have a height of not less than four feet, notwithstanding any other provisions of this chapter. Said fence shall be of a type approved by the Building Inspector. All enclosures shall have railings and posts within the enclosure which shall be capable of resisting a minimum lateral load of 150 pounds applied midway between the posts and at the top of the posts, respectively. Enclosure, fence material or fabric shall be capable of withstanding a concentrated lateral load of 50 pounds applied anywhere between supports on an area 12 inches square, without failure or permanent deformation.

(5) Every gate or other opening in the fence enclosing such pool shall be self-closing and self-latching and shall be kept securely locked at all times when said pool is not in use. The latch handle on every gate shall be located within the enclosure and at least 40 inches above grade and shall be securely locked with a key, combination or other childproof lock sufficient to prevent access to the swimming pool through such gate when the swimming pool is not in use or supervised.

(6) Such pool shall be not located less than 30 feet from the side and 50 feet from rear lot lines. Any patio surrounding such pool shall not be located less than 20 feet from any lot line. Any deck surrounding such pool shall be subject to all the otherwise applicable yard requirements for buildings or structures, as applicable. There shall be no required setback between a pool and any building.

(7) Such pool shall be chemically treated in a manner sufficient to maintain the bacterial standards established by the provisions of the New York State Sanitary Code relating to public swimming pools.

(8) No loudspeaker or amplifying device shall be permitted which can be heard beyond the lot lines of the lot on which said pool is located.

(9) No lighting or spotlighting shall be permitted which will project light rays beyond the lot lines of the lot on which said pool is located.

(10) Such pool shall be equipped with an integral filtration system and filter pumps or other mechanical devices which shall be so located and constructed as not to interfere with the peace, comfort and repose of the occupant of any adjoining property.

(11) No permission shall be granted for the installation of any swimming pool unless the plans thereof meet the minimum Town of Bedford construction requirements. The plans shall show the method of disposal of filter backwash material and the method of draining the pool, and such methods and points of discharge shall be satisfactory to the Town of Bedford Department of Public Works and to the Westchester County Health Department, Division of Environmental Health Services.

DRYWELL CALCULATIONS:

REQUIRED:
REQUIRED INCHES OF RAINFALL: 5.46 INCHES
RUNOFF CURVE NUMBER OF 72 = 2.7 INCHES

5.56 INCHES - 2.7 INCHES
= 2.76 INCHES RAINFALL REQUIRED OR 0.23

PROPOSED:
PROPOSED POOL, PATIOS & PAVILION: 2,805 SQ.FT.

TOTAL INCREASE TO NET IMPERVIOUS SURFACE: 2,787.38 SQ.FT.
X .23 RUNOFF INCH.
= 641.09 CU.FT.

PROVIDED:
(7) CULTEC RECHARGER 330 XL W/ 18" GRAVEL BASE =646.1 CU.FT.
REQUIRED: 641.09 CU.FT. ✓
PROPOSED: 646.1 CU.FT.

NOTE: METHODS OF FILTER BACKWASH MATERIAL DISPOSAL SHALL BE PROVIDED BY STRUCTURAL ENGINEER

NOTE: POOL IS TO BE IN COMPLIANCE WITH ANSI/NSPI-5 -SEE ENGINEER'S DRAWINGS FOR CERTIFICATION

NOTE: POOL SHALL BE IN COMPLIANCE WITH R326.6 ENTRAPMENT PROTECTION AT POOLS AND SPAS TO PROTECTED AGAINST USER ENTRAPMENT. -SEE MANUFACTURER'S DRAWINGS AND/OR SPECS FOR CERTIFICATION

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revisions:

project title:

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246 BEDFORD BANKSVILLE RD.
Bedford , New York

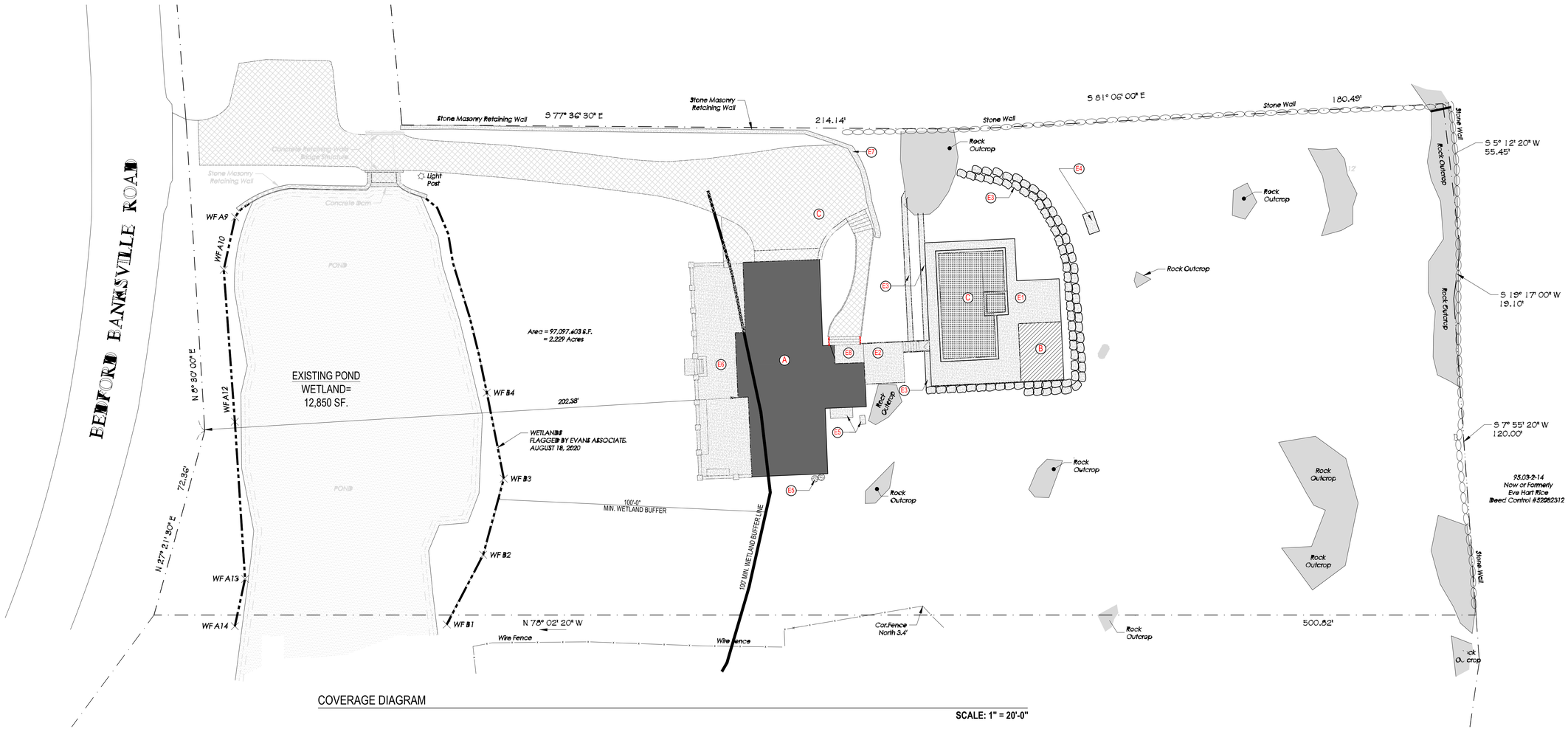
PLOT PLAN/ SITE WORK

seal: Architect Thomas E. Haynes
REGISTERED ARCHITECT THOMAS E. HAYNES 3761 STATE OF NEW YORK

original filing date: 03-29-2022
drawn by:
checked by:
drawing no.:

JOB NUMBER: 2181

SP.01



COVERAGE DIAGRAM

SCALE: 1" = 20'-0"

PROPOSED COVERAGE ANALYSIS:

TOTAL LOT AREA: 97,097.603

**TOTAL LOT NET AREA: 87,460.10 SQ.FT.

COLOR:	ITEM	LABEL	TOTAL
	EXISTING PRINCIPAL BUILDING	(A) 2,737.86 SQ.FT.	2,737.86 SQ.FT.
	PROPOSED ACCESSORY BUILDING *(PAVILION)*	(B) 352.0 SQ.FT.	352.0 SQ.FT.
	EXISTING DRIVEWAY, PARKING AREA, WALKWAY	(C) 6,287.03 SQ.FT.	6,287.03 SQ.FT.
	PROPOSED POOL	(D) 903.42 SQ.FT.	903.42 SQ.FT.
	OTHER:		4,399.79 SQ.FT.
	PROPOSED PATIO/ POOL COPING	(E1) 1,225.54 SQ.FT.	
	PROPOSED PATIO/ STAIR	(E2) 274.42 SQ.FT.	
	PROPOSED RETAINING WALL	(E3) 934.3 SQ.FT.	
	PROPOSED EQUIP. PAD	(E4) 32.0 SQ.FT.	
	EXISTING EQUIP. PADS	(E5) 49.4 SQ.FT.	
	EXISTING STONE PATIO	(E6) 1,576.85 SQ.FT.	
	EXISTING RET. WALL	(E7) 229.78 SQ.FT.	
	EXISTING PATIO	(E8) 77.5 SQ.FT.	

TOTAL COVERAGE: 14,680.10 SQ.FT.

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COVERAGE ANALYSIS

seal: Architect Thomas E. Haynes

REGISTERED ARCHITECT THOMAS E. HAYNES 013761 STATE OF NEW YORK

original filing date: 03-29-2022

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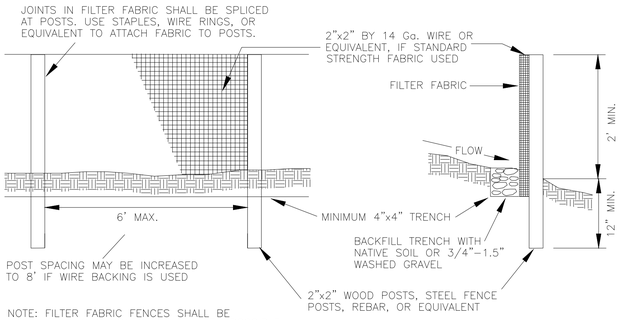
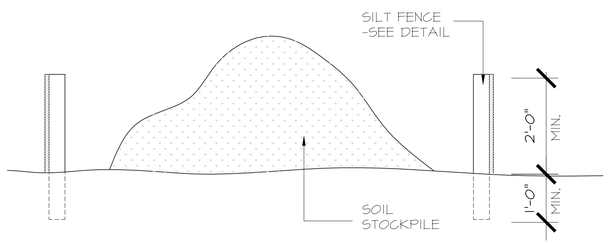
SP.02



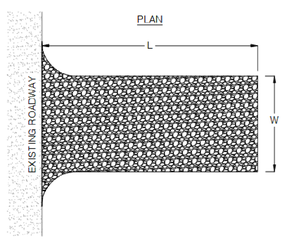
SILT DETAIL

SCALE: N.T.S



STOCKPILE DETAIL

SCALE: N.T.S

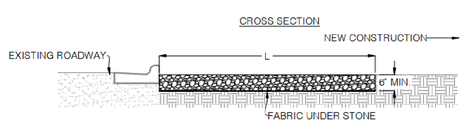


NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLE MUST BE WASHED BEFORE ENTERING PUBLIC ROAD (SEE DETAIL 400.06 SHEET 2 OF 2)
3. IF A PROJECT CONTINUES TO DEPOSIT MUD AND DEBRIS ONTO THE PUBLIC ROAD, THE TOWN WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PARTY.

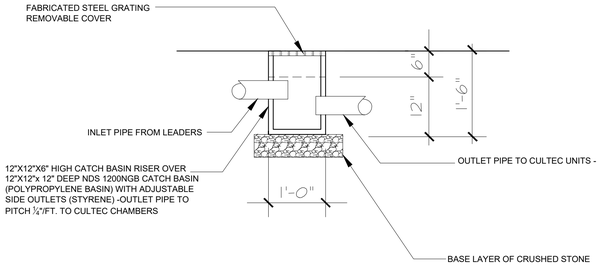
ENTRANCE TYPE	L	W	STONE SIZE
GENERAL	50'	25'	2-3"
RESIDENTIAL*	25'	12'	#57

* INDIVIDUAL SINGLE FAMILY



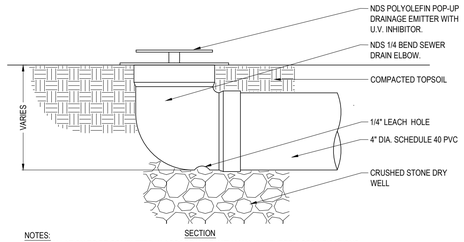
STABILIZED CONSTRUCTION ENTRANCE DETAIL

SCALE: N.T.S

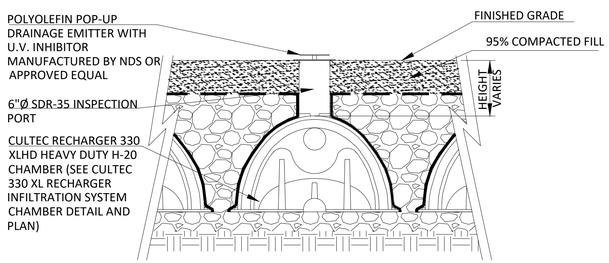


CATCH BASIN DETAIL

SCALE: N.T.S

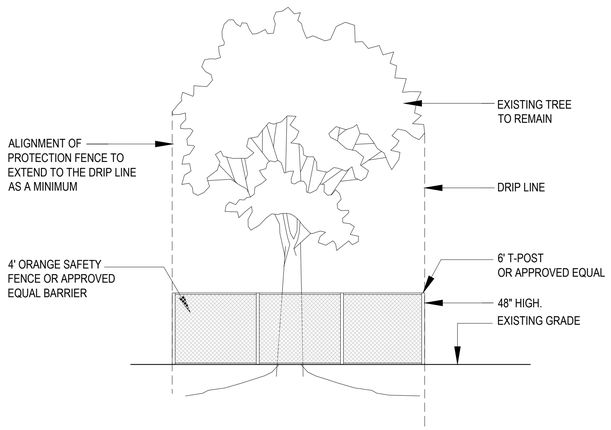


NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



POP UP DRAIN EMITTER

SCALE: N.T.S



NOTE: NO GRADING, MATERIAL STORAGE OR ANY OTHER CONSTRUCTION WORK SHALL TAKE PLACE WITHIN THE PROTECTION FENCE

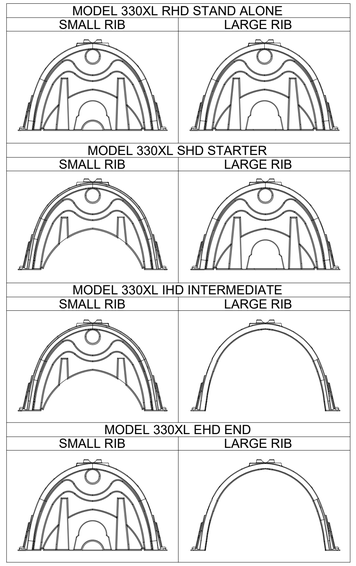
TREE PROTECTION DETAIL

SCALE: N.T.S

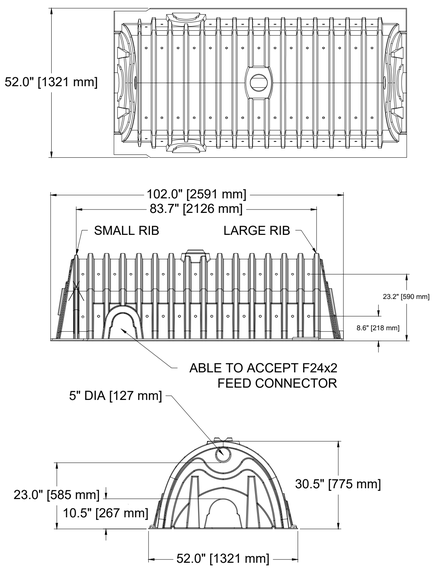
CULTEC RECHARGER 330XL SPECIFICATIONS

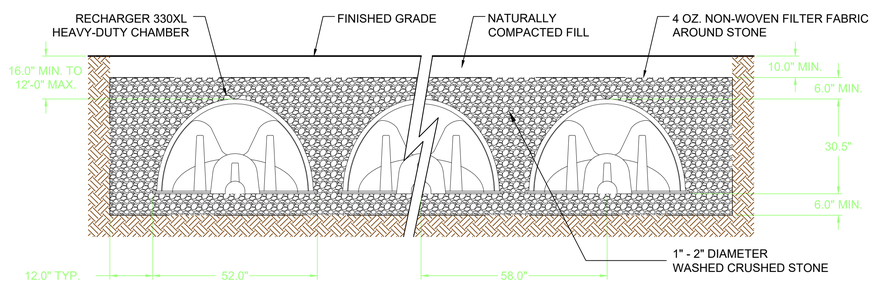
-GENERAL CULTEC RECHARGER 330XL CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION, CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.
CHAMBER PROPERTIES

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416).
2. CONTACT CULTEC, INC. AT 203-775-4416 FOR SUBMITTAL PACKAGES AND TO PURCHASE PRODUCT.
3. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XL SHALL BE 30.5 INCHES TALL, 52 INCHES WIDE AND 102.0 INCHES LONG.
4. THE STANDARD-DUTY VERSION OF THE CHAMBER COMES STANDARD WITH A 4.75 INCH INLET/OUTLET OPENING; THE HEAVY-DUTY VERSION DOES NOT COME WITH A PRE-DRILLED INLET/OUTLET. MAXIMUM INLET OPENING IS 18 INCHES.
5. THE CHAMBER WILL HAVE 15 CORRUGATIONS.
6. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XL WILL BE 7.459 CF/LF.
7. THE CHAMBERS WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH- DENSITY POLYETHYLENE (HMWHDPE) IN AN ISO-9001:2000 CERTIFIED FACILITY.
8. CHAMBERS ARE MANUFACTURED WITH AN OPEN BOTTOM, INTEGRALLY FORMED END WALLS AND PERFORATED SIDEWALLS.
9. THE CHAMBERS WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
10. THE CHAMBER'S END WALL WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE INLET OR END PLATES CANNOT BE USED WITH THIS UNIT.
11. ALL CHAMBERS WILL BE ARCHED IN SHAPE AND HAVE EIGHTY-TWO SIDEWALLS OF THE UNIT'S CORE TO PROMOTE INFILTRATION/EXFILTRATION.
12. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
13. RECHARGER 330XLHD HEAVY DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-20 LOAD RATING (32,000 LBS. /AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS. RECHARGER 330XL HEAVY DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
14. RECHARGER 330XL STANDARD DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-10 LOAD RATING (16,000 LBS./AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS.
15. POLYETHYLENE CHAMBERS MUST HAVE THE ABILITY TO ACCEPT AND CARRY PIPE THROUGH ITS INTEGRALLY FORMED VERTICAL SUPPORT WALL WITHOUT THE USE OF SEPARATE PIPE HANGERS. 3 INCH ROUND DISCHARGE HOLES BORED INTO THE 4 16. UNITS WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
17. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION. 18. REPEATING SUPPORT PANELS AND END WALLS OF THE ELONGATED CHAMBER SHALL BE SPACED EVERY 7.0 FEET.



CULTEC RECHARGER 330XL HD CHAMBER STORAGE = 7.459 CF/FT
INSTALLED LENGTH ADJUSTMENT = 1.5'
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.





GENERAL NOTES
RECHARGER 330XL BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 7.459 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.

ALL RECHARGER 330XL HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

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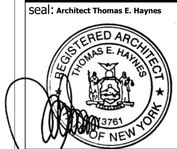
Proposed In-ground, Pergola, Pool and Patio at:
246 BEDFORD BANKSVILLE RD.
Bedford , New York

DETAILS

seal: Architect Thomas E. Haynes



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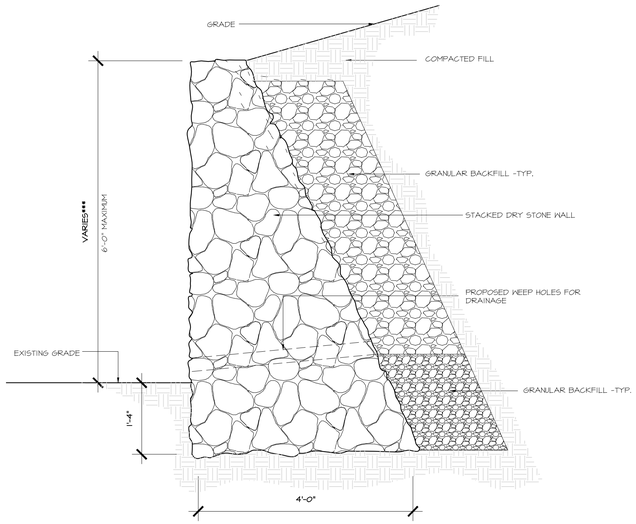
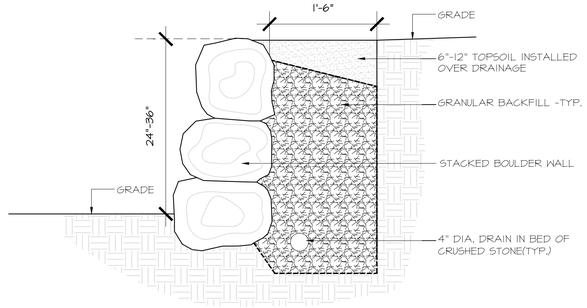


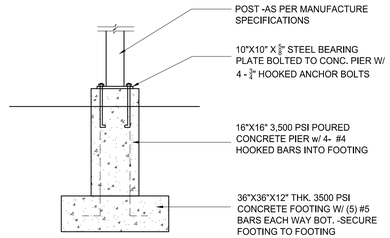
DRY STONE RETAINING WALL DETAIL

SCALE: 3/4"=1'-0"



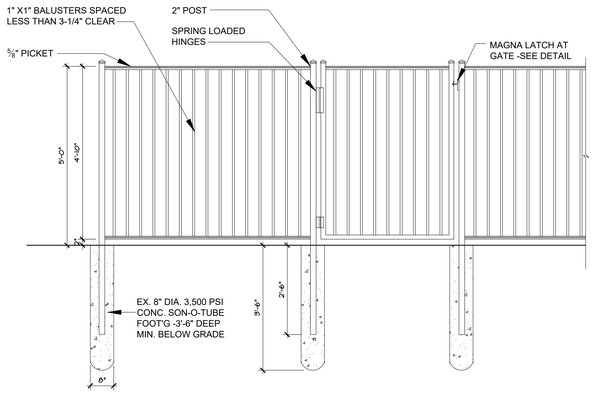
BOULDER RETAINING WALL DETAIL

SCALE: 1"=1'-0"



TYPICAL STEEL COLUMN / BEAM / FOOTING DETAIL

SCALE: 1/2"=1'-0"



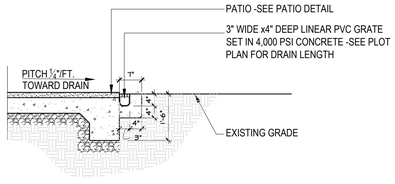
NOTE: FENCE AND GATE ARE CAPABLE OF RESISTING A MINIMUM LATERAL LOAD OF 150 POUNDS APPLIED MIDWAY BETWEEN THE POSTS AND AT THE TOP OF THE POSTS, RESPECTIVELY. ENCLOSURE, FENCE MATERIAL OR FABRIC IS CAPABLE OF WITHSTANDING A CONCENTRATED LATERAL LOAD OF 50 POUNDS APPLIED ANYWHERE BETWEEN SUPPORTS ON AN AREA 12 INCHES SQUARE, WITHOUT FAILURE OR PERMANENT DEFORMATION.

NOTE: FENCE AND GATE COMPLY WITH R326.4.2 'PERMANENT BARRIERS' & R326.4.2.7 'GATES' OF THE 2020 NEW YORK STATE BUILDING CODE -GATE IS SELF-CLOSING AND EQUIPPED WITH MAGNA-LATCH SELF LOCKING/CHILD SAFETY LATCH AND OPENING SYSTEM

GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES BELOW THE TOP OF THE GATE

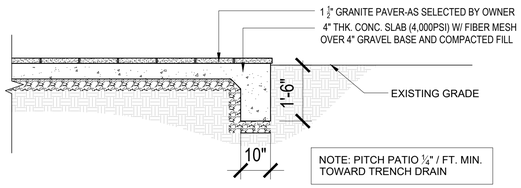
ALUMINUM FENCE DETAIL @ LEVEL GRADE ONLY

SCALE: 1/2"=1'-0"



TRENCH DRAIN DETAIL

SCALE: 1/2" = 1'-0"



TYP. PATIO DETAIL

SCALE: 1/2" = 1'-0"

SITE WORK NOTES:

SITE WORK GENERAL NOTES:

1. ALL EXTERIOR CONCRETE TO BE 3,500 PSI (MIN.)
2. ALL PROPERTY LINE LOCATIONS TO BE STAKED OUT AND VERIFIED PRIOR TO COMMENCEMENT OF WORK. PROPOSED DRIVEWAY ENLARGEMENT TO REMAIN A MIN. OF 3'-0" TO SIDE PROPERTY LINE
3. NO WORK TO TAKE PLACE BEYOND EXISTING PROPERTY LINES INCLUDING POURED CONCRETE FOOTINGS
4. ALL CONCRETE FOOTINGS TO BE A MINIMUM OF 42" BELOW FINISHED GRADE
5. NEW WALL FOOTING AT EXISTING DWELLING TO BE STEPPED DOWN TO LEVEL OF EXISTING HOUSE FOOTING AND DOWELED INTO EXISTING AS REQUIRED -SEE DETAILS IF REQUIRED.
6. NO RETAINING WALL MAY EXCEED 6'-0" IN HEIGHT AND SHALL BE VERIFIED IN THE FIELD AND COORDINATED WITH EXISTING/PROPOSED GRADES.
7. ANY PROPOSED CUL1EC UNITS (IF REQ'D) TO MAINTAIN 10'-0" MIN. FROM ALL PROPERTY LINES
8. ARCHITECT TO BE NOTIFIED OF ANY FOUND DISCREPANCIES.

EROSION CONTROL GENERAL NOTES:

1. ALL EROSION CONTROL AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL 1991 EDITION, NYS DEC'S REDUCED IMPACTS OF STORM WATER RUNOFF FROM NEW DEVELOPMENT, WESTCHESTER COUNTY D.E.C. AND CITY OF YONKERS REGULATIONS.
2. EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL HAVE THE FOLLOWING:
   - EROSION CONTROL AND BARRIERS - SILT FENCES AND/OR HAY BALES
   - SEDIMENT TRAPS
   - SOIL STABILIZATION
   - TRACK PADS (CONSTRUCTION ENTRANCE)
   - DUST CONTROL
   - SOIL STOCKPILE AREAS RINGED WITH SILT FENCE
3. A TRUCK CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AT THE CONSTRUCTION SITE ENTRANCE TO REMOVE SEDIMENT CAPTURED ON THE TRUCKS ENTERING AND LEAVING THE SITE. SEE EROSION CONTROL DETAILS FOR ADDITIONAL INFORMATION.
4. AREAS NOT SUBJECT TO ONGOING EARTHWORK OR CONSTRUCTION, SOILS ARE TO BE SEEDED AND MULCHED TO REDUCE THE AMOUNT OF SOILS EXPOSED TO RAINFALL.
5. DURING PERIODS WHEN SOILS BECOME DRY AND SUBJECT TO BECOME AIRBORNE, WATERING SHALL BE UTILIZED TO SPRAY AND MOISTEN THE SOILS. (SUBJECT TO DROUGHT WATERING RESTRICTIONS).
6. EXPOSED SOIL STOCKPILE AREAS TO BE RINGED WITH FILTER FABRIC FENCING. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF SLOPES, ROADWAYS OR DRAINAGE FACILITIES. ALL EXPOSED SOIL STOCK PILES SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSE FROM RAINFALL EVENTS.
7. ALL EXPOSED MASS EXCAVATION AREAS AND OPENING TRENCH AREAS SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSE FROM RAINFALL EVENTS. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE EROSION.
8. OFF SITE PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS AND TRENCH DRAINS SHALL BE PROTECTED WITH HAY BALES.
10. ALL DEWATERING OPERATIONS SHALL DISCHARGE THROUGH A SOIL EROSION AND SEDIMENT CONTROL FACILITY.
11. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO INSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAN OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL HAY BALES ARE INTACT.
12. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.

EXCAVATION AND GRADING GENERAL NOTES:

1. THE SITE CONTRACTOR IS TO PROVIDE ALL LABOR MATERIALS, TOOLS AND EQUIPMENT FOR EARTHWORK AS INDICATED ON THE APPROVED DRAWINGS.
2. THE SITE CONTRACTOR IS TO EXAMINE EXISTING SITE CONDITIONS, SOIL CHARACTERISTICS, CONTOURS, TREE AND UTILITY LOCATIONS, AND OTHER OBSTRUCTIONS THAT MAY BE ENCOUNTERED ON THE SITE DURING EXCAVATION.
3. CLEARING AND GRUBBING: THE ENTIRE SITE IS TO BE CLEARED OF ALL VEGETATION, RUBBISH, FENCES, ABANDONED UNDERGROUND PIPING AND OBSTRUCTIONS.
4. REMOVE ALL STUMPS, ROOTS AND DEBRIS TO A DEPTH OF 24' IN THE AFFECTED AREA.
5. STRIP ALL TOP SOIL AND ORGANIC SOILS FROM THE SITE. STOCKPILE AWAY FROM THE BUILDING SITE AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DO NOT BURY BASES OF TREES SCHEDULED TO REMAIN. PROTECT TREES TO REMAIN AS REQUIRED.
6. EXCAVATING AND TRENCHING OF UTILITY LINES IN LOCATIONS INDICATED ON THE SITE PLAN DEPTHS TO BE AS REQUIRED FOR FROST PROTECTION, PITCH AND UTILITY COMPANY REQUIREMENTS.
7. GRADE AREA TO ROUGH GRADES SLOPED PER SITE PLAN GRADING. SUB GRADES ARE TO BE 6' BELOW LAWNED AREAS, AND 6" BELOW ASPHALTIC PAVEMENTS. SEE BACK FILLING AND COMPACTION NOTES FOR ADDITIONAL INFORMATION.
8. EXCAVATE FOR BUILDING FOUNDATION IN AREA INDICATED ON THE SITE PLAN. BOTTOM OF FOOTING ELEVATIONS ARE AS INDICATED ON THE CONSTRUCTION DOCUMENTS. SOIL AT BOTTOM OF FOOTING TO BE ACCEPTABLE, UNDISTURBED SOIL OF BEARING CAPACITY INDICATED.
9. IF SOIL AT BOTTOM OF FOOTING ELEVATION IS NOT SUITABLE FOR BEARING OF FOOTING, REMOVE SOIL AS REQUIRED AND BACK FILL WITH APPROVED FILL AND COMPACT TO 95% OF MAXIMUM DENSITY.
10. AT THE APPROPRIATE TIME, THE SITE CONTRACTOR IS TO SPREAD STOCKPILED TOPSOIL OVER DISTURBED AREAS TO A MINIMUM THICKNESS OF 6" AFTER COMPACTION. GRADE TO MEET FINISHED GRADES AS INDICATED ON THE SITE PLAN. TOPSOIL IS TO BE FREE OF ROCKS LARGER THAN 3in. IN DIAMETER. TREE ROOTS, STUMPS AND OTHER UNACCEPTABLE DEBRIS.
11. ANY REMAINING SUB SOIL OR TOPSOIL FROM EXCAVATION PROCESS IS TO BE LEGALLY DISPOSED OF OFF SITE.
12. SEED DISTURBED AREAS WITH SEED MIXTURE AS INDICATED ON THE SITE PLAN.

BACKFILLING AND COMPACTED FILL GENERAL NOTES:

1. PLACEMENT OF FOOTING TO BE ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2000 PSF OR APPROVED COMPACTED FILL AS OUTLINED BELOW.
2. PLACEMENT OF FLOOR SLABS AND PAVEMENTS ARE TO BE PLACED ON COMPACTED FILL AT 95% OF MAXIMUM DENSITY COMPLYING WITH ASTM D1557. LAWN AND UNPAVED AREAS ARE TO HAVE COMPACTED FILL OF 90% OF MAXIMUM DENSITY. PROVIDE MAXIMUM PERCENTAGE OF DENSITY AS SPECIFIED.
3. BACK FILLING AND COMPACTION AT FOUNDATION WALLS AND PIERS ARE TO BE PERFORMED ON EACH SIDE SIMULTANEOUSLY. DIFFERENCES IN FILL ELEVATIONS ARE NOT TO EXCEED 8' ON EITHER SIDE OF THE FOUNDATION AT ANY TIME.
4. BACKFILLING AGAINST BASEMENT FOUNDATION WALLS SHALL NOT BE DONE UNTIL CONCRETE OR MORTAR HAS CURED AT LEAST 7 DAYS AND THE BASEMENT SLAB AND FIRST FLOOR DECK IS INSTALLED. OR IF THE CONTRACTOR PROPERLY BRACES THE BASEMENT WALLS TO RESIST THE SOIL PRESSURES OF THE BACKFILLING OPERATIONS.
5. AT NO TIME SHALL BULLDOZER, CONCRETE TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS CLOSER THAN 8'-0".
6. SOILS FOR BACK FILLING AND COMPACTION ARE TO BE FREE OF ORGANIC MATERIAL, ROCK OR LUMPS GREATER THAN 6", OF PREDOMINATELY GRANULAR NON-EXPANSIVE SOILS, FREE OF ROOTS AND OTHER DELETERIOUS MATTER SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER AND ARCHITECT.
7. SOIL MOISTURE TO BE WITHIN OPTIMUM MOISTURE CONTENT BEFORE COMPACTING MOISTEN OR AERATE EACH LAYER TO PROVIDE OPTIMUM MOISTURE CONTENT. ANY SOIL WHICH IS TOO WET TO COMPACT MUST BE REMOVED, STOCKPILED AND SPREAD AND ALLOWED TO DRY PRIOR TO PLACEMENT.
8. PLACE BACK FILL IN LAYERS NOT TO EXCEED 8" IN LOOSE DEPTH.
9. DO NOT PLACE BACK FILL MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST.
10. IF REQUESTED BY THE ARCHITECT PROVIDE THE SERVICES OF A CONSTRUCTION SOIL ENGINEERED TO DO ONE FIELD SOIL DENSITY TEST FOR EVERY 2000 S.F. OF PAVED AREA, BUT NOT LESS THAN 3 TESTS. PROVIDE TO THE ARCHITECT A WRITTEN REPORT PREPARED BY THE SOIL ENGINEER CERTIFYING THAT THE COMPACTION REQUIREMENTS HAVE BEEN OBTAINED. STATE IN THE REPORT THE AREA OR FILL OR EMBANKMENT, THE COMPACTION DENSITY OBTAINED, SOIL MOISTURE CONTENT AND THE TYPE OR CLASSIFICATION OF THE FILL MATERIAL PLACED.
11. IF IN THE OPINION OF THE SOILS ENGINEER OR THE ARCHITECT BASED ON THE REPORTS OF THE TESTING LABORATORY, SUB GRADE OR FILLS WHICH HAVE BEEN PLACED ARE BELOW SPECIFIC COMPACTION DENSITY, PROVIDE ADDITIONAL COMPACTION AND TESTING AS REQUIRED TO BRING SOIL COMPACTION UP TO SPECIFIED REQUIREMENTS.
12. OBTAIN THE CONSTRUCTION SOIL ENGINEER AND THE ARCHITECT'S APPROVAL OF THE SUB GRADES AND FILL LAYERS BEFORE SUBSEQUENT CONSTRUCTION IS PERMITTED.

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revisions:

project title:

Proposed In-ground, Pergola, Pool and Patio at:
246 BEDFORD BANKSVILLE RD.
Bedford , New York

DETAILS

seal: Architect Thomas E. Haynes

REGISTERED ARCHITECT THOMAS E. HAYNES 013761 STATE OF NEW YORK

original filing date: 03-29-2022
drawn by:
checked by:
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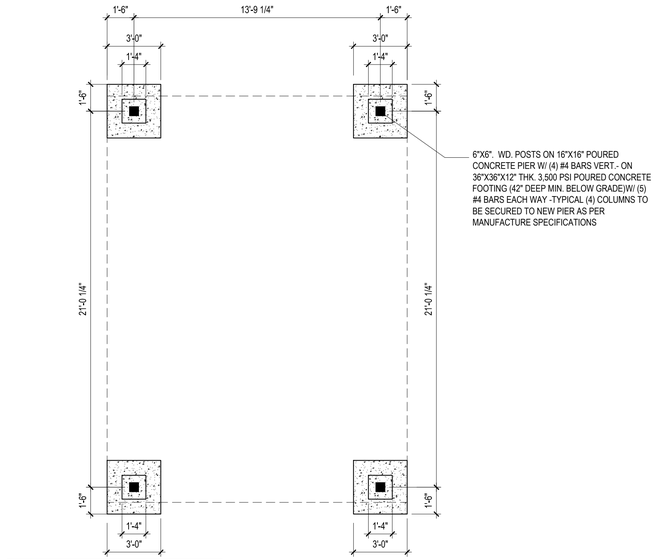
JOB NUMBER: 2181

SP.04



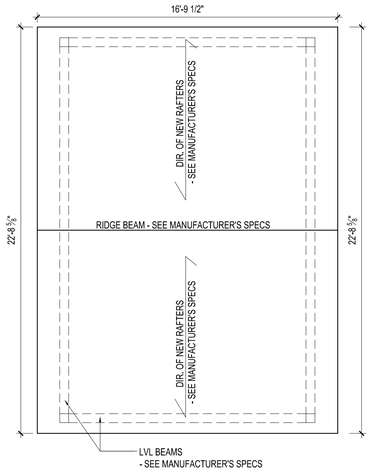
NOTE: ALL CANOPY CONNECTIONS AND DETAILS SHALL BE PROVIDED AND INSTALL AS PER MANUFACTURE SPECIFICATIONS

NOTE: PROVIDE SIMPSON JOIST HANGERS AT NEW WOOD JOIST TO NEW LEDGER FLUSH WOOD CONDITONS -TYP. ALL JOISTS

NOTE: ALL EXTERIOR WOOD TO BE PRESSURE TREATED - ALL WOOD/CONCRETE CONDITIONS TO BE PRESSURE TREATED WOOD

PROPOSED: PERGOLA FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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NOTE: PROVIDE SIMPSON JOIST HANGERS AT NEW WOOD JOIST TO NEW LEDGER FLUSH WOOD CONDITONS -TYP. ALL JOISTS

NOTE: ALL EXTERIOR WOOD TO BE PRESSURE TREATED - ALL WOOD/CONCRETE CONDITIONS TO BE PRESSURE TREATED WOOD

PROPOSED: PERGOLA ROOF PLAN

SCALE: 1/4" = 1'-0"

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Bedford , New York

PERGOLA PLANS

seal: Architect Thomas E. Haynes

original filing date: 03-29-2022

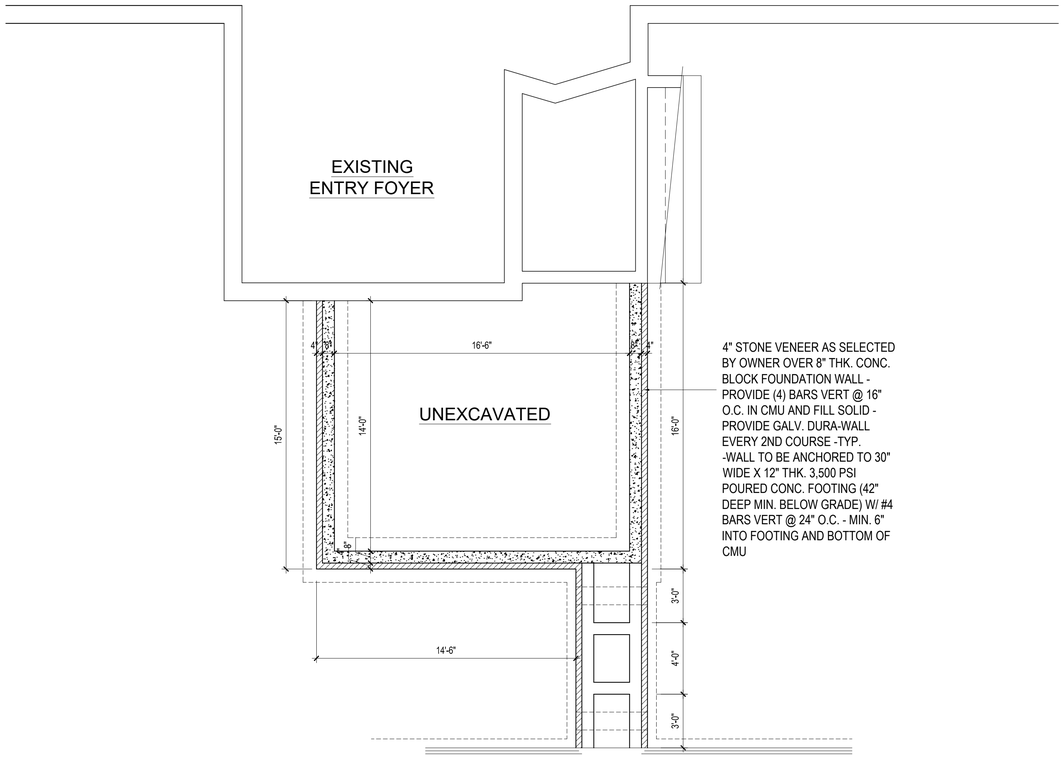
drawn by:

checked by:

drawing no.:

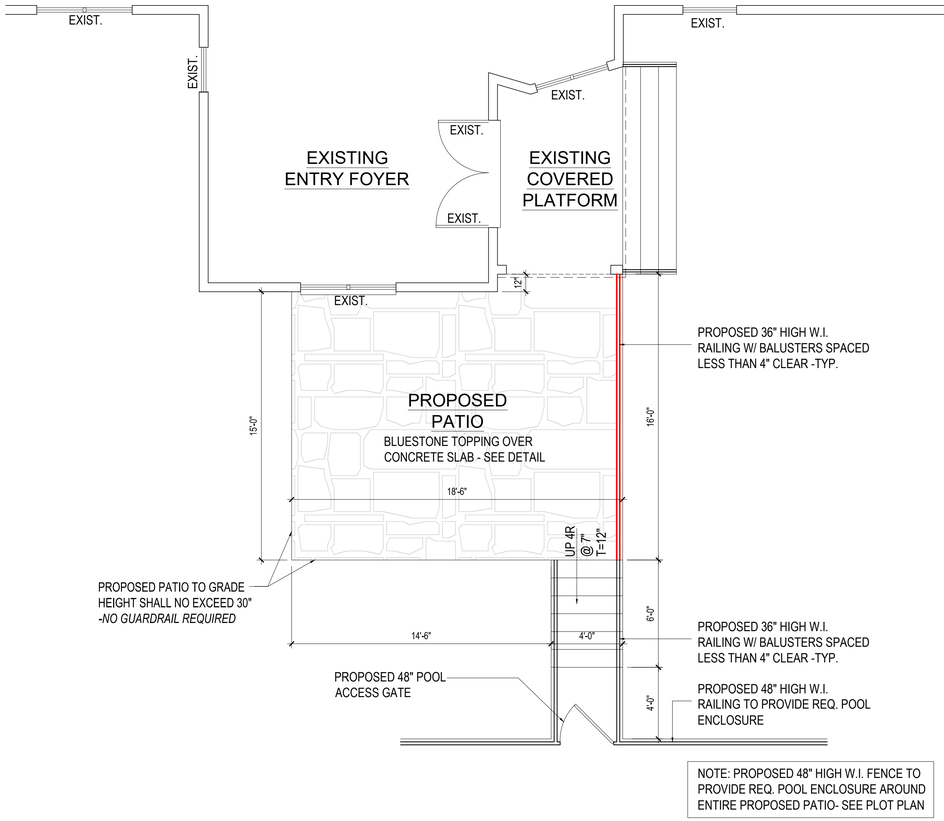
JOB NUMBER: 2181

A1.01



PROPOSED PATIO PLAN:

SCALE: 1/4" = 1'-0"



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PATIO PLANS

seal: Architect Thomas E. Haynes

REGISTERED ARCHITECT THOMAS E. HAYNES 029761 STATE OF NEW YORK

original filing date: 03-29-2022

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checked by:

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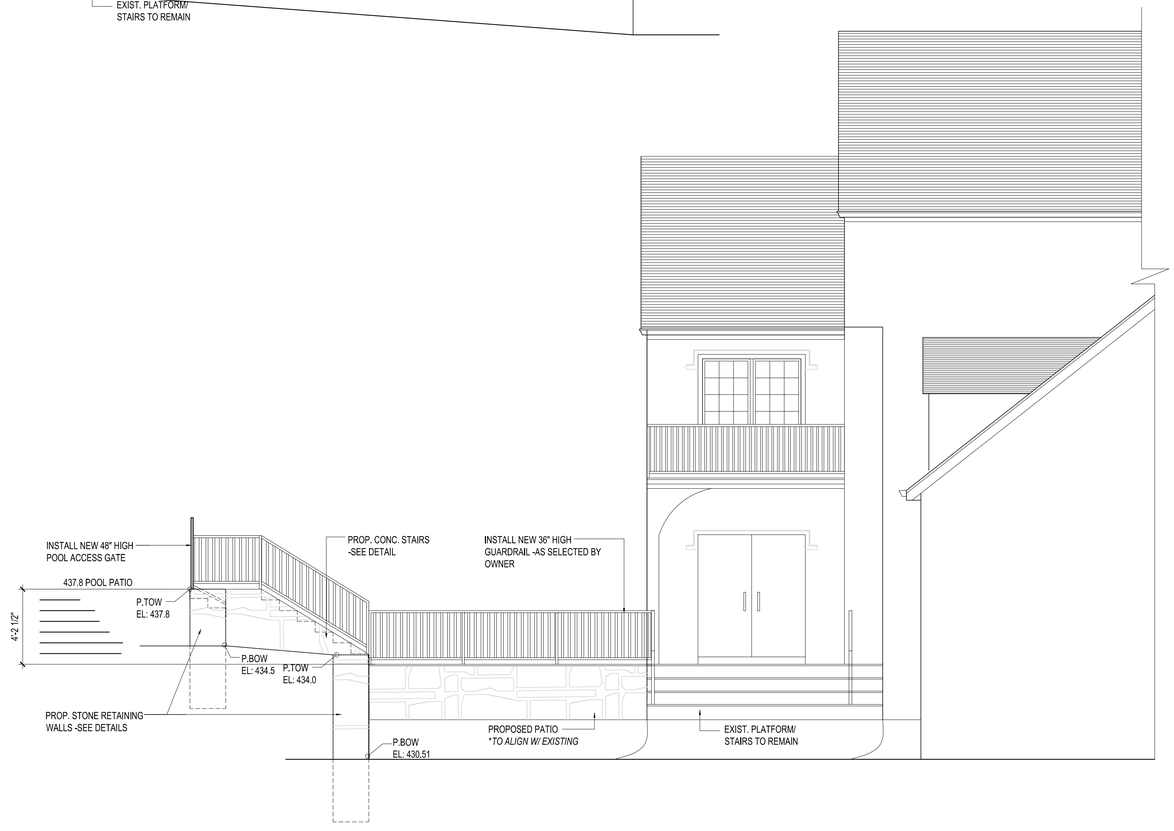
JOB NUMBER: 2181

A1.02

PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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REGISTERED ARCHITECT THOMAS E. HAYNES 013761 OF NEW YORK

original filing date: 03-29-2022

drawn by:

checked by:

drawing no.:

JOB NUMBER: 2181

A1.03

CONSTRUCTION NOTES:

-ALL LUMBER TO BE PRESSURE TREATED SOUTHERN PINE #1 GRADE, OR AS NOTED

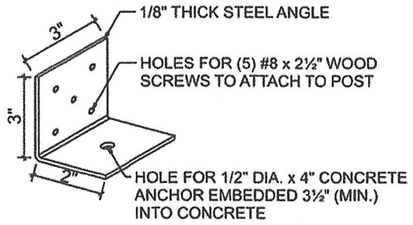
-ATTACH EACH ROOF BOARD TO EACH FRAMING MEMBER w/ (3) 8d NAILS

-ALL HARDWARE TO BE GALVANIZED, POWDER-COATED OR STAINLESS STEEL, OR AS NOTED

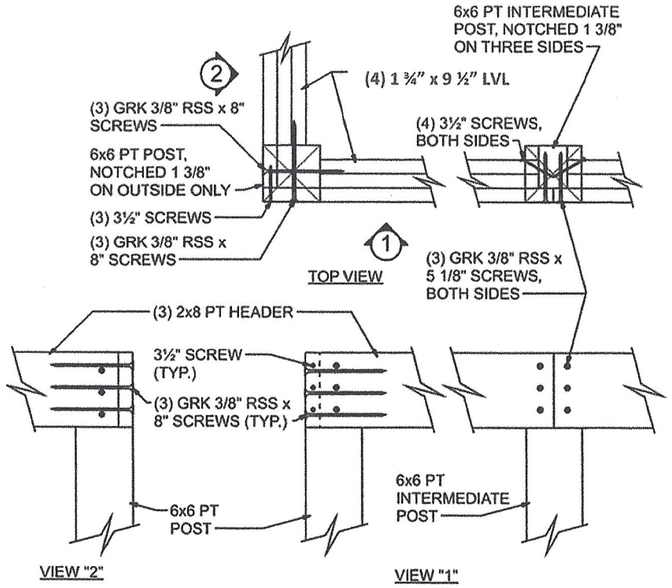
-ALL SCREWS #10, LENGTH PER DRAWING, OR AS NOTED

NOTES:

THERE HAS NOT BEEN ANY MECHANICAL, ELECTRICAL OR SITE ENGINEERING PERFORMED FOR THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF OTHERS TO OBTAIN DESIGN DATA FROM A LICENSED ENGINEER FOR THESE SYSTEMS. ENGINEERING SHALL CONFORM WITH ALL APPLICABLE LOCAL AND/OR STATE BUILDING CODES AND REGULATIONS.



STEEL L-BRACKET DETAIL
NO SCALE



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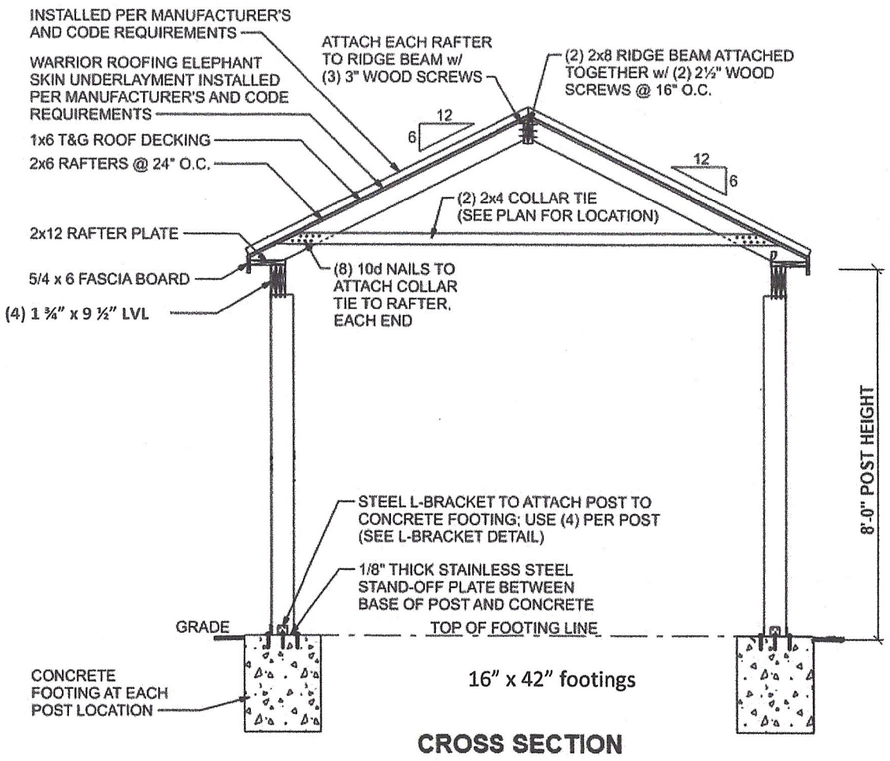
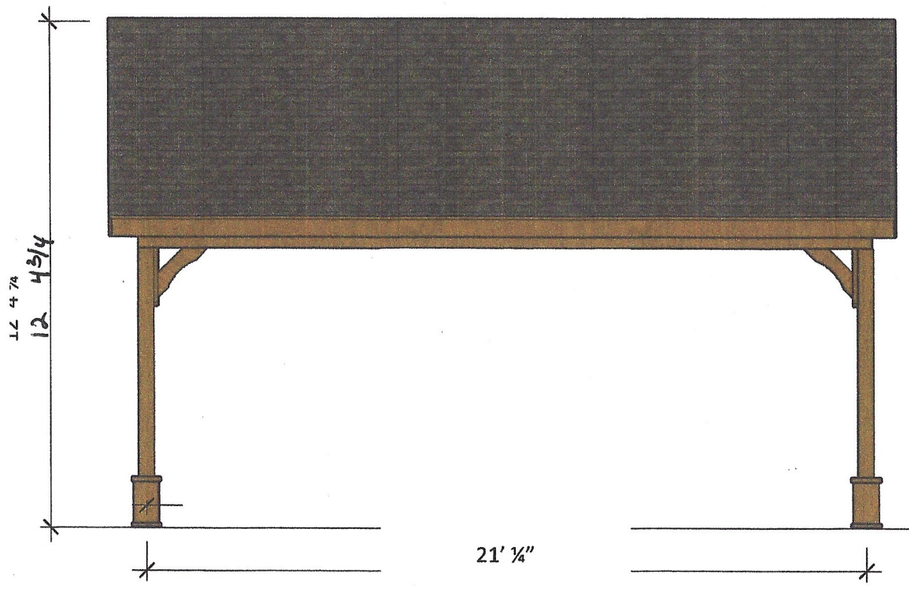
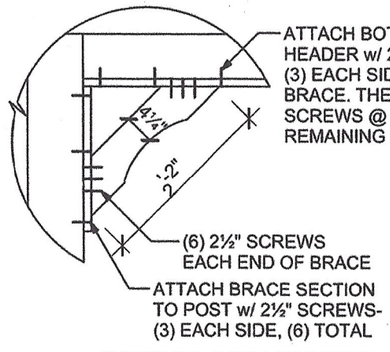


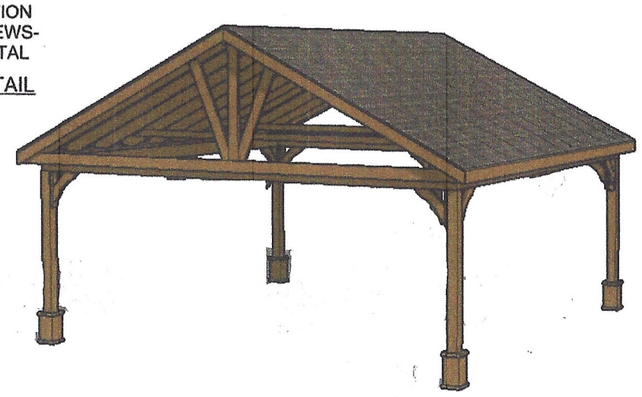
CROSS SECTION



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DOUBLE 2x8 BRACE DETAIL



ISSUE DATE
October 20, 2021

DRAWN BY
MJW

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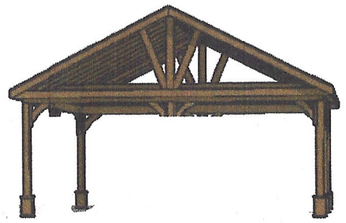
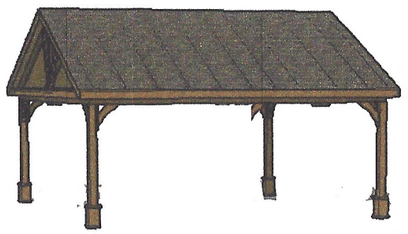
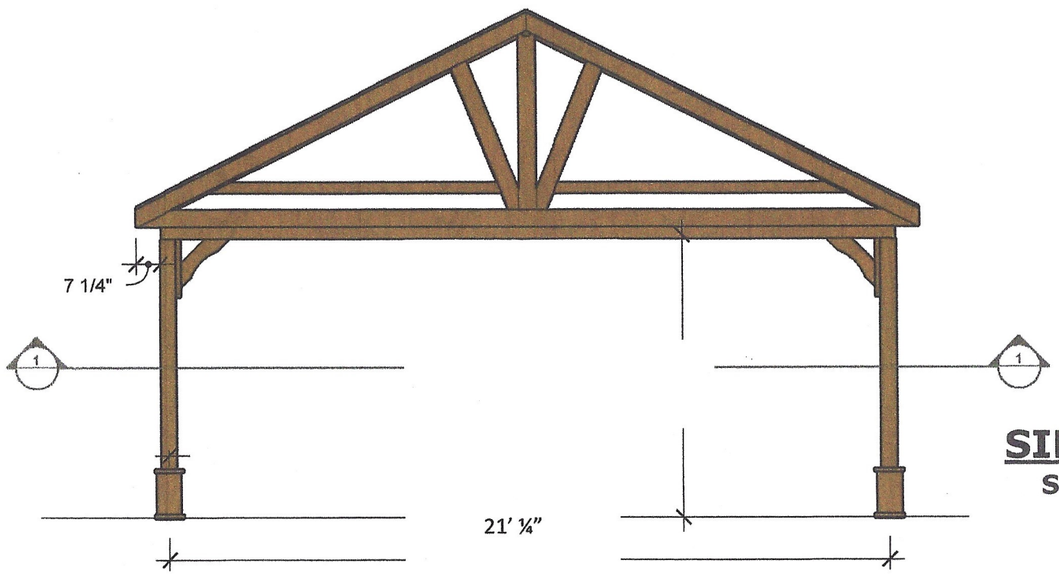
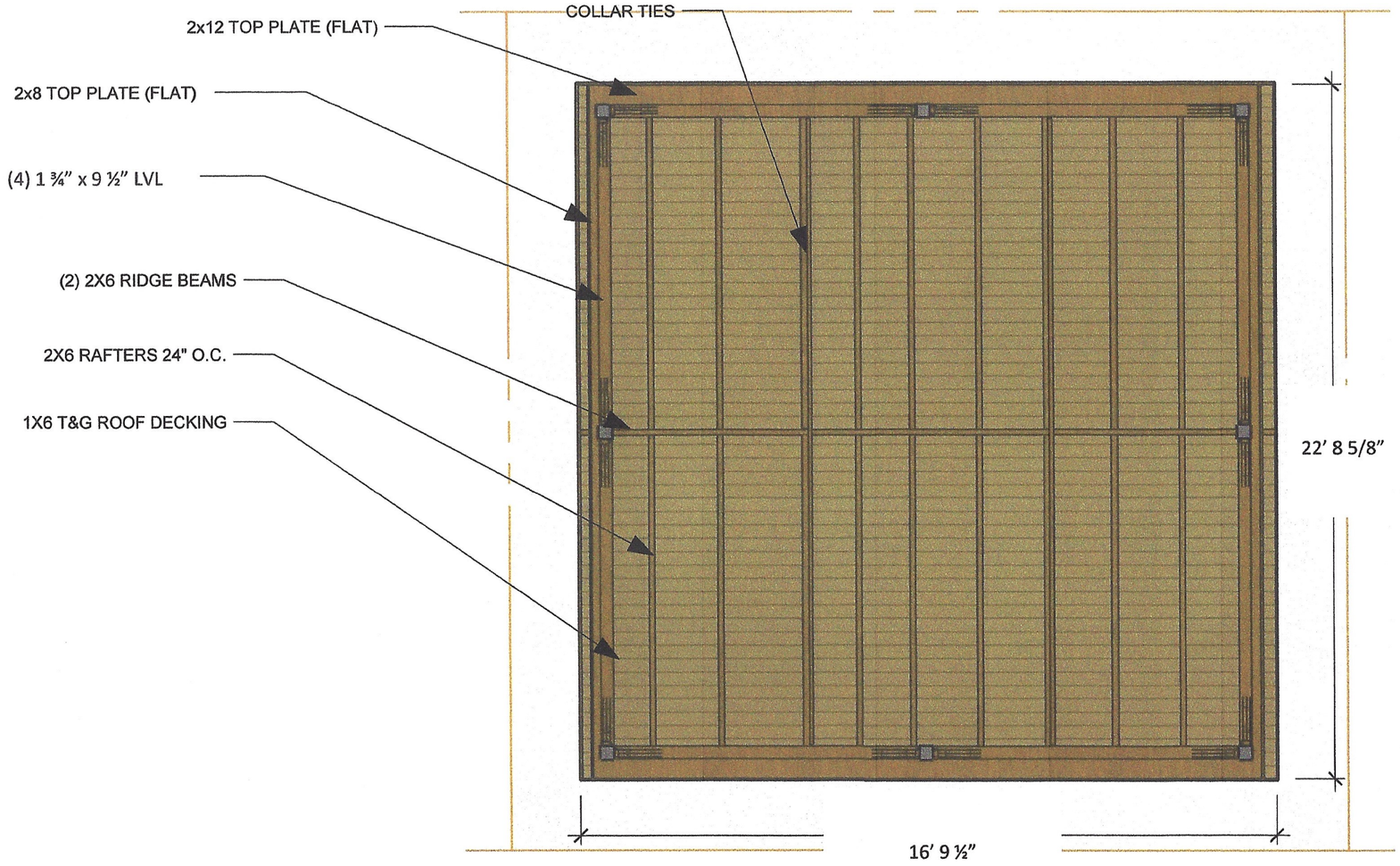






SIDE ELEVATION
SCALE: 1/4" = 1'-0"



SECTION
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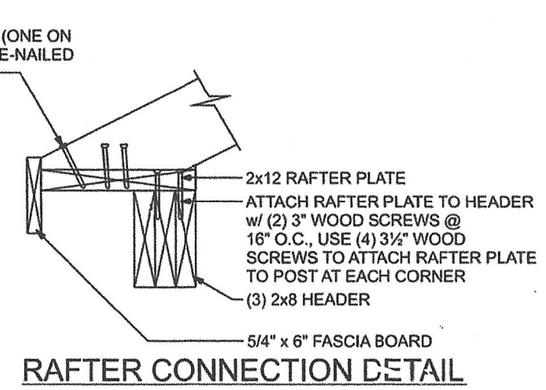


RAFTER CONNECTION DETAIL

HBV

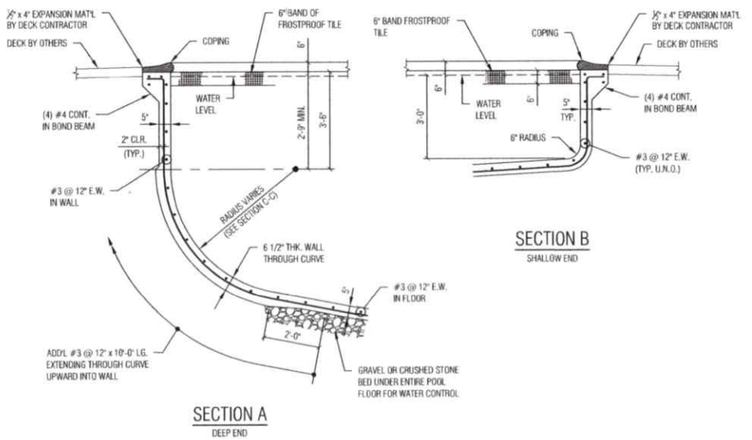
ISSUE DATE
October 20, 2021

DESCRIPTION
20' WOOD GABLE PAVILION

DRAWN BY
MJW

a

02



SECTION A
DEEP END

SECTION B
SHALLOW END

Madalyn, Like this Design.

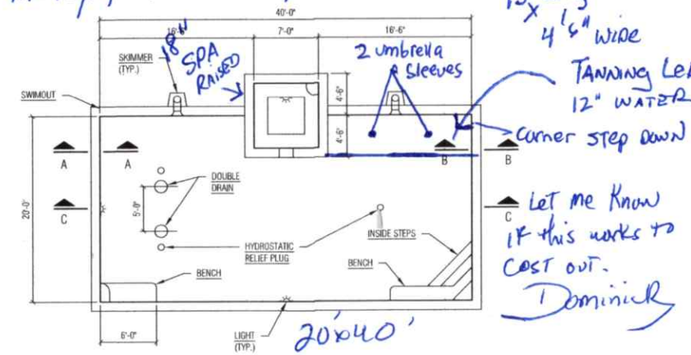
15' Long x 4'6" Wide

Tanning Ledge 12" water depth.

corner step down

Let me know if this works to cost out.
Dominick

20'x40'

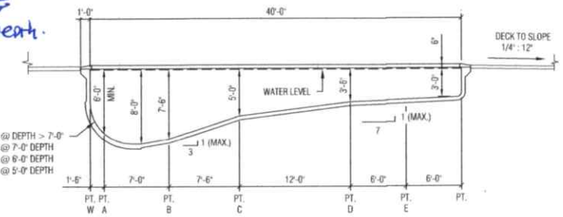


PLAN

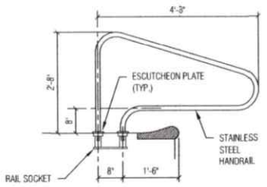
POOL	MAX. DIVING BOARD LENGTH	MAX. HEIGHT OVER WATER	ANSI/NSPI-5 MINIMUM DEPTHS AT POINT				MINIMUM WIDTHS AT POINT				MINIMUM LENGTHS BETWEEN POINTS					
TYPE	DBL	HOW	A	B	C	D	A	B	C	D	WA	AB	BC	CD	DE	WE
0	**DIVING EQUIPMENT IS PROHIBITED**															

NOTES

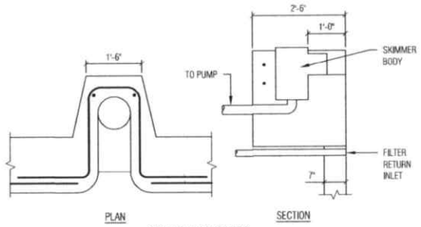
1. THESE CONSTRUCTION DOCUMENTS ARE STANDARDS AND APPLY TO ALL POOL SHAPES.
2. POOL FLOOR TO BE PLACED ON UNDISTURBED NATURAL SOIL. NATURAL SOIL SHALL BE A WELL DRAINING GRANULAR TYPE WITH A MINIMUM ALLOWABLE BEARING CAPACITY = 2,000 PSF.
3. POOL STRUCTURES DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) STANDARD FOR "BUILDING CODE REQUIREMENTS FOR REINFORCING CONCRETE - 318".
4. PNEUMATICALLY APPLIED CONCRETE TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.
5. ALL STEEL REINFORCING SHALL BE DEFORMED BARS COMPLYING WITH AMERICAN SOCIETY FOR TESTING AND MATERIAL (ASTM) SPECIFICATION A615-40. LAP BARS A MINIMUM OF 15 INCHES.
6. POOL SHELL CONSTRUCTION SHALL BE IN CONFORMANCE WITH ALL APPLICABLE ANSI/NSPI POOL STANDARDS, LATEST EDITIONS.
7. ALL SUCTION DRAINS SHALL HAVE A MINIMUM SEPARATION OF 36".
8. ALL SUCTION COVERS MUST COMPLY WITH ANSI/ASME A112.19.8M.
9. THE POOL SHELL DESIGN DOES NOT CONSIDER ANY HARDSCAPE/LANDSCAPE SURCHARGE LOADS.



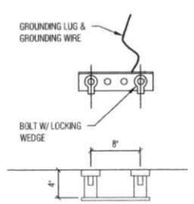
SECTION C-C



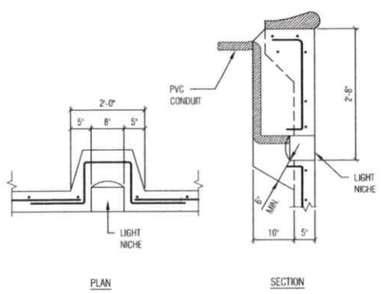
DECK MOUNTED HANDRAIL
(OPTIONAL)



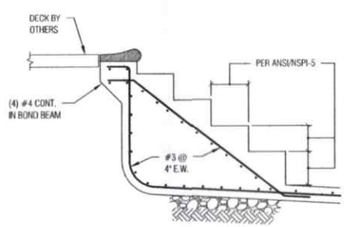
PLAN SECTION
SKIMMER DETAIL



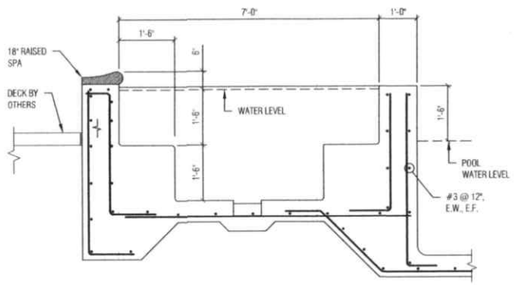
DECK MOUNTED STAIR/SPA
RAIL SOCKET DETAIL
(OPTIONAL)



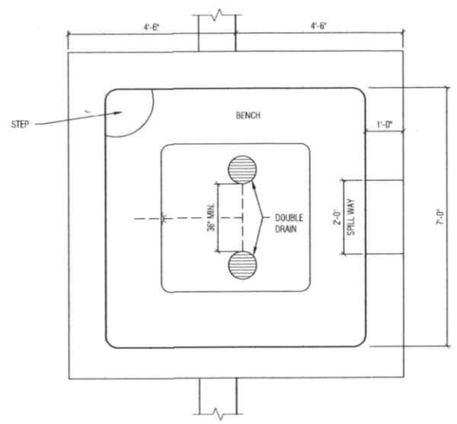
PLAN SECTION
LIGHT NICHE DETAIL



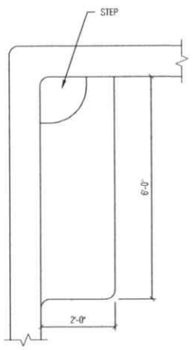
STEP DETAIL



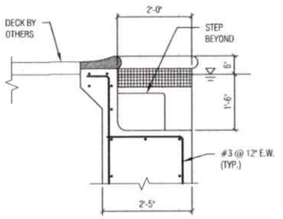
SECTION



PLAN
SPA DETAIL



PLAN



SECTION
BENCH DETAIL

engineering, LLC
1606 N. 18th Street
Rear Building
Allentown, PA 18104
610-730-2221
structural engineers

SEAL
D. SCOTT BIGLEY
PROFESSIONAL ENGINEER
LICENSE NO. 066333

CLIENT
BLUE HAVEN POOLS
CALVITTI POOLS AND SPAS INC.
BLUE HAVEN POOLS & SPAS
2273 NORTH PENN ROAD
HATFIELD, PA 19440
P: 732-882-4660
#9266

PROJECT
JEFFREY & MADALYN STILLMAN RESIDENCE
246 BEDFORD BANKSVILLE ROAD
BEDFORD, NY 10506

REVISION/RELEASE

0	ISSUED FOR CONSTRUCTION 11/15/2021
1	
2	
3	

DRAWING TITLE
CUSTOM POOL PLAN

DESIGNED	SB
DRAWN	MS
CHECKED	SB
JOB. NO.	BHPS2136
SCALE	AS NOTED
DATE	11/15/2021

DWG. NO.
S101

SHEET NO. 1 OF 1 SHEET(S)
REV. 0

11/19/21