



May 3, 2022

Mr. Adam Kaufman, AICP
Director of Planning
Town of North Castle
15 Bedford Road
Armonk, New York 10504

RE: CG 40 Green Valley LLC
Re-development Project
40 Green Valley Road
Town of North Castle, New York

Dear Mr. Kaufman:

Enclosed please find one digital copy the following documents in support of a RPRC (Residential Project Review Committee) Application:

- Drawing EX-1, "Existing Conditions Plan", dated May 3, 2022.
- Drawing SP-1, "Site Plan", dated May 3, 2022.
- Drawing D-1, "Details", dated May 3, 2022.
- Architectural Drawings (11 Sheets).
- RPRC Application.
- Aerial Photo, Figure 1, dated May 3, 2022.
- Gross Land Cover Worksheet, dated May 3, 2022.
- Floor Area Worksheet, dated May 3, 2022.
- Wetland Permit for Previously Approved Project, dated April 30, 2018
- Building Permit for Previously Approved Project, dated January 19, 2021.
- The \$1,875 RPRC Application Fee will be submitted under separate cover.

The enclosed materials are being submitted in support of the re-development of the 40 Green Valley Road property. The project was originally in front of the RPRC in December of 2017. The project received a recommendation from the Conservation Board, an Administrative Wetland Permit, and a Westchester County Department of Health Construction Approval. A building permit #2019-3307 was obtained on January 19, 2021. Since that time, the property changed owners and the current owner, CG 40 Green Valley LLC, is submitting a slightly revised project for review.

The property currently contains an existing single family residential dwelling, with a paved access driveway, well and individual onsite wastewater treatment system (OWTS). The proposed project continues to propose a 5-bedroom residence with minor adjustments to the previously proposed floorplans. The proposed project continues to include the demolition of the existing residence, and the construction of a new residence, a relocated driveway, and a new OWTS. The project will continue to utilize the existing onsite drilled well.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

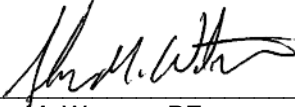
May 3, 2022

The limit of disturbance has been reduced from 41,940 sf to 38,600 sf. The septic system has been revised to comply with the most recent Westchester County Department of Health regulations which now allows for a smaller septic footprint than was originally approved. This reduction in size attributes to the reduction in disturbance. There are no additional trees proposed to be removed as part of the revised project. Since the project has an active building permit; the project also has an active tree removal permit that will continue to remain intact; therefore, no additional tree removal information has been provided as part of this submission. We look forward to reviewing this project with you at your May 18, 2022 RPRC Meeting.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 

John M. Watson, PE
Sr. Principal Engineer

JMW/kmg

Enclosures

cc: Xhovano Dardha / CG 40 Green Valley

Insite File No. 22127.100



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: _____

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: _____ Date: _____

Tax Map Designation or Proposed Lot No.: _____

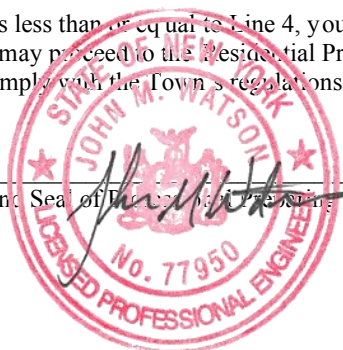
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): _____
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): _____
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)): _____
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 _____
5. Amount of lot area covered by **principal building**:
 _____ existing + 3,706 SF proposed = _____
6. Amount of lot area covered by **accessory buildings**:
 _____ existing + 0 SF proposed = _____
7. Amount of lot area covered by **decks**:
 _____ existing + 638 SF proposed = _____
8. Amount of lot area covered by **porches**:
 _____ existing + 0 SF proposed = _____
9. Amount of lot area covered by **driveway, parking areas and walkways**:
 _____ existing + 5,938 SF proposed = _____
10. Amount of lot area covered by **terraces**:
 _____ existing + 0 SF proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
 _____ existing + 0 SF proposed = _____
12. Amount of lot area covered by **all other structures**:
 _____ existing + 0 SF proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = _____

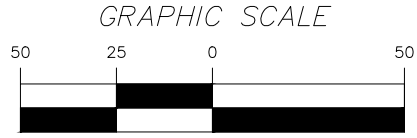
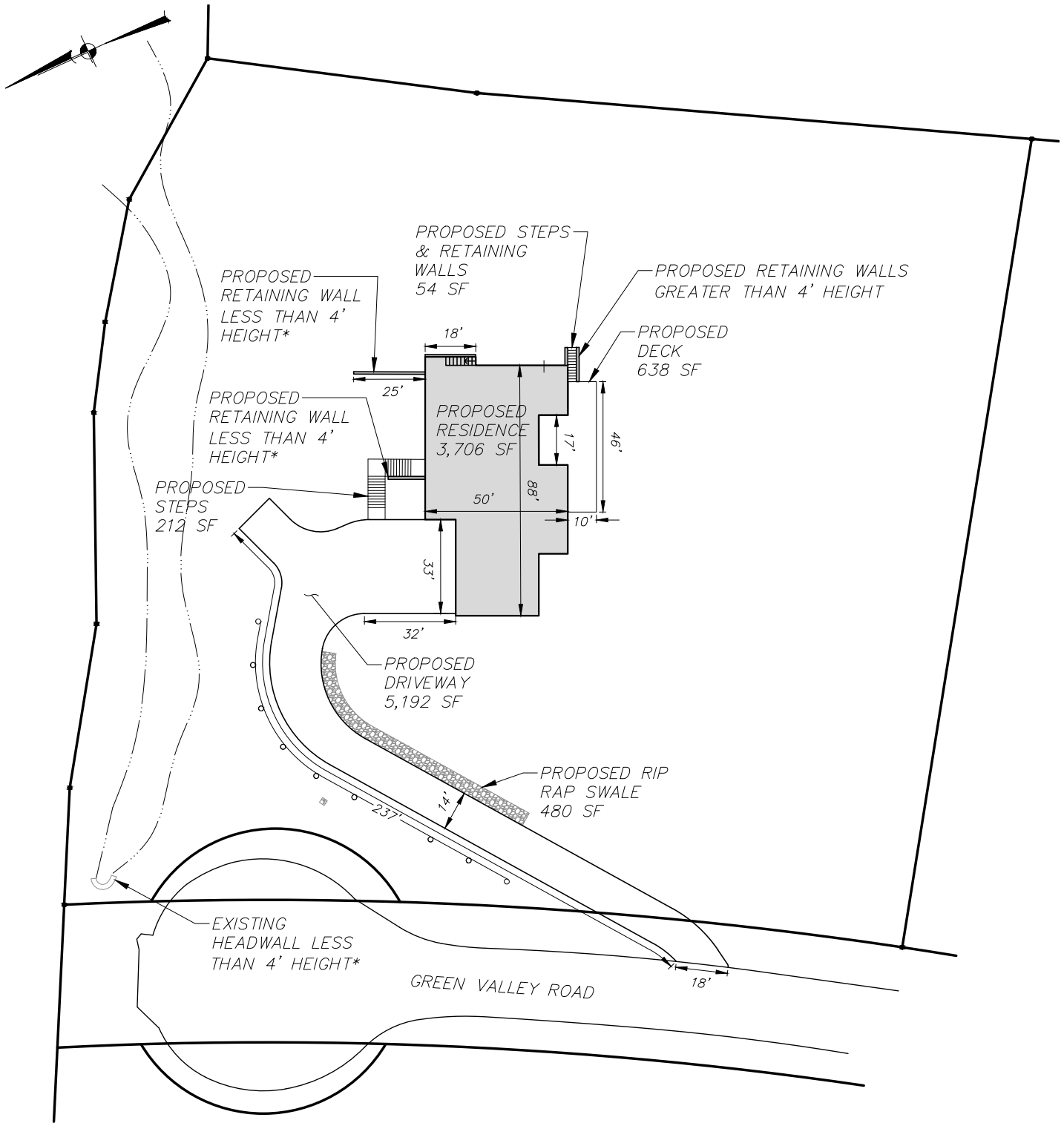
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of _____ Worksheet

_____ Date



Z:\E\22127100 CG Homes 40 Green Valley Rd\Misc Drawing Files\LC-1 (Gross Land Coverage Figure).dwg, 5/2/2022 11:28:43 AM, jrusso, 1:1



(IN FEET)
1 inch = 50 ft.

*PER §355-4 IN THE TOWN OF NORTH CASTLE CODE, WALLS UNDER FOUR FEET IN HEIGHT SHALL NOT BE CONSIDERED GROSS LAND COVERAGE

PROJECT: CG 40 GREEN VALLEY, LLC
 40 GREEN VALLEY ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY
 DRAWING: GROSS LAND COVERAGE WORKSHEET

PREPARED BY: **INSITE**
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place • Carmel, New York 10512
 Phone (845) 225-9690 • Fax (845) 225-9717
 www.insite-eng.com

DATE: 5-3-22
 SCALE: 1" = 50'
 PROJECT NO.: 22127.100
 FIGURE: LC-1



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: CG 40 Green Valley, LLC Date: 5-3-22

Tax Map Designation or Proposed Lot No.: 109.01-1-53

Floor Area

- | | | |
|---------|---|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,161 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,122 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>0 SF</u> existing + <u>2,465 SF</u> proposed = | <u>2,465 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>0 SF</u> existing + <u>1,323 SF</u> proposed = | <u>1,323 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>0 SF</u> existing + <u>813 SF</u> proposed = | <u>813 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0 SF</u> existing + <u>1,523 SF</u> proposed = | <u>1,523 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 10. Pro | posed floor area: Total of Lines 3 – 9 = | <u>6,124 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

5-3-2022
 Date



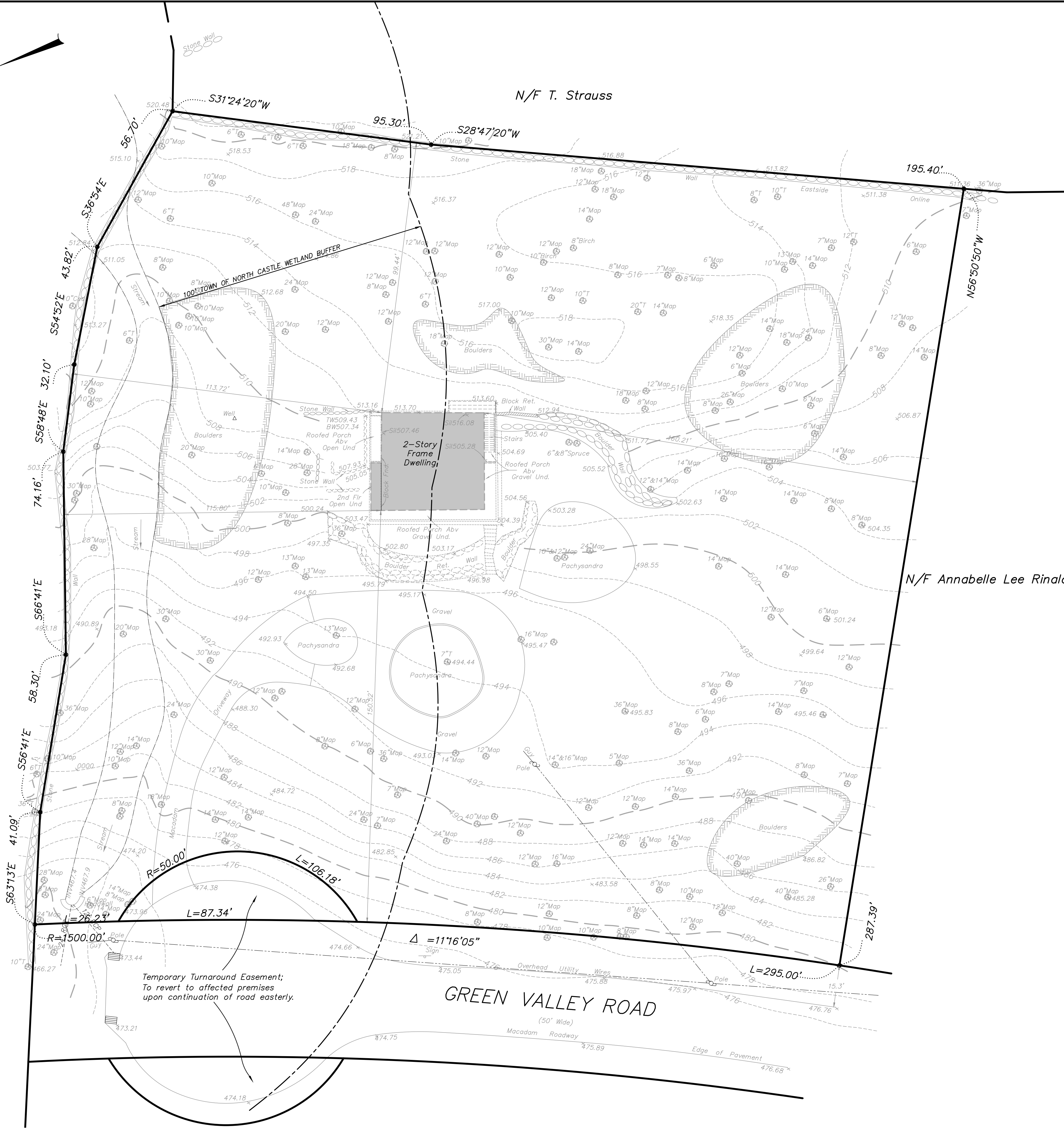
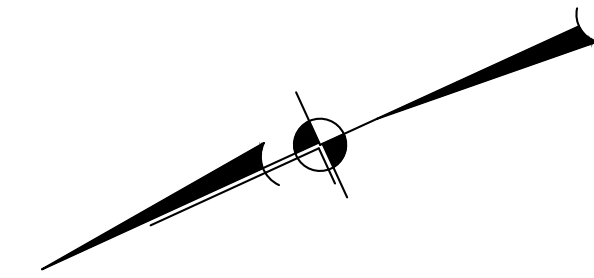


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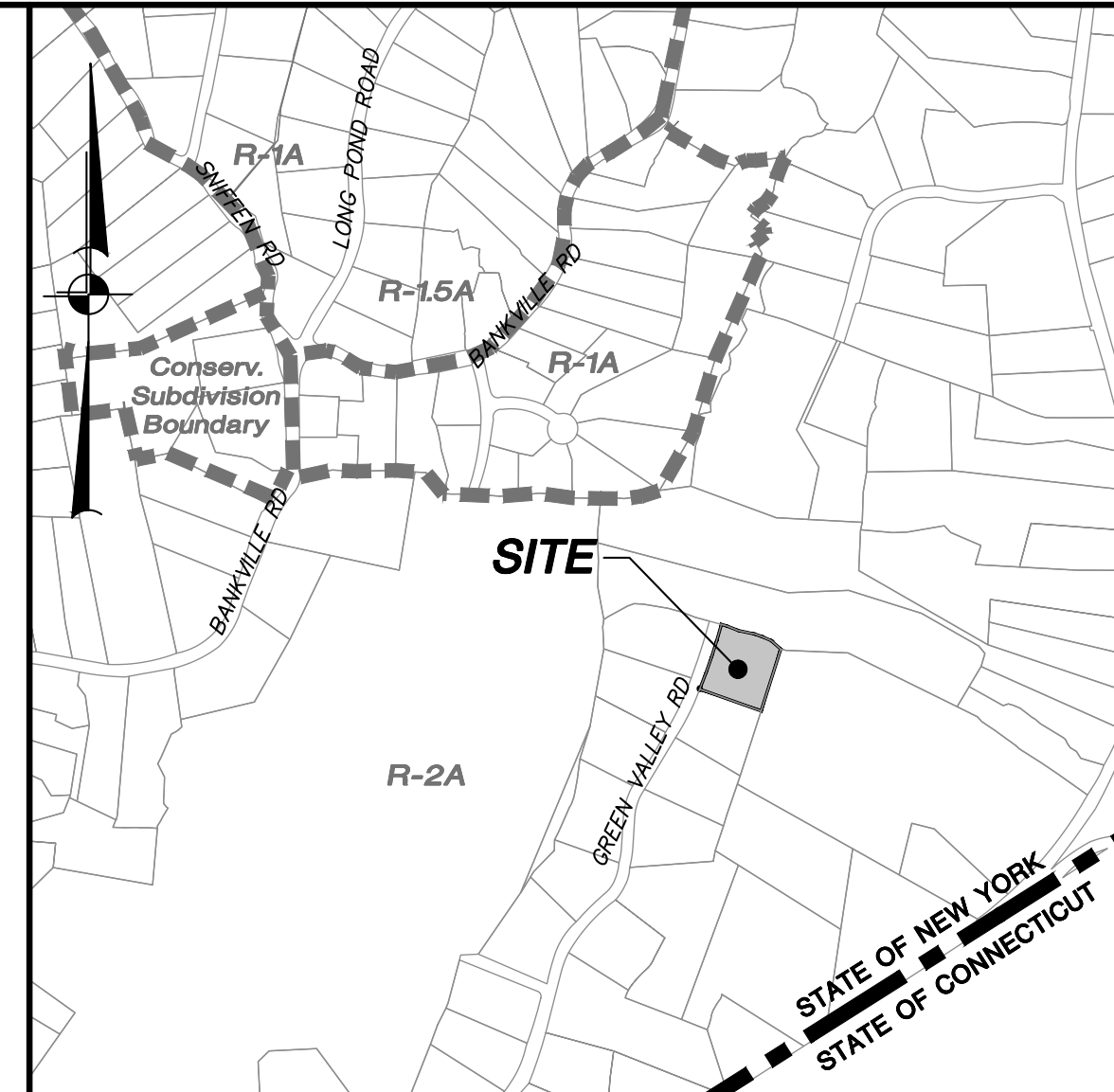
PROJECT: **CG 40 GREEN VALLEY LLC**
 40 GREEN VALLEY ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY
 DRAWING: **AERIAL**

PREPARED BY: **INSITE**
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place • Carmel, New York 10512
 Phone (845) 225-9690 • Fax (845) 225-9717
 www.insite-eng.com

DATE: 5-3-2022
 SCALE: 1" = 100'
 PROJECT NO.: 22127.100
 FIGURE: 1



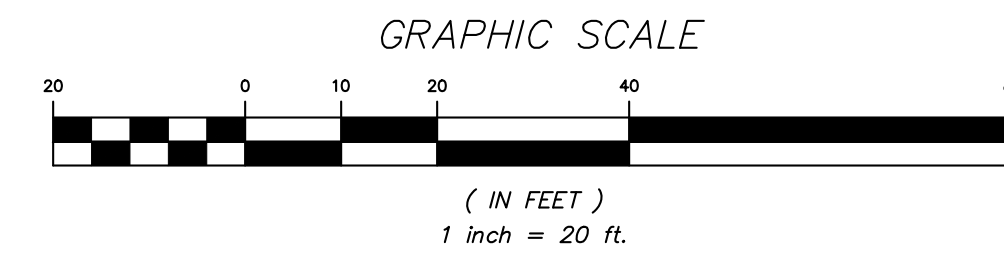
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	EXISTING STREAM
	EXISTING EDGE OF WATER
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING DECIDUOUS TREE



LOCATION MAP SCALE: 1" = 800'±

OWNER/APPLICANT:	SITE DATA:
CG 40 Green Valley, LLC 500 Summer Street Suite 201 Stamford, CT 06901	Zone: R-2A One Family Residence District (2 Acres) Total Acreage 2.0 AC Tax Map No.: 108.01-1-53

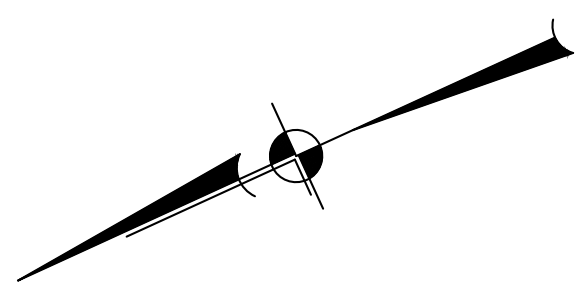
GENERAL NOTES:
 1. Existing property boundaries, features and topography shown hereon are taken from a map entitled "Topography Survey of the plat situate in the Town of North Castle, County of Westchester and State of New York...etc.". Prepared by Neville V. Ramsay, LPS, dated December 26, 2015.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
PROJECT: CG 40 GREEN VALLEY, LLC 40 GREEN VALLEY ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY			
DRAWING: EXISTING CONDITIONS PLAN			
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	1" = 20'	CHECKED BY	K.M.G.
			SHEET EX-1 / 7

Z:\16\22127.100 CG 40 Green Valley\2022\5-3-22\22127.100_01.dwg, 4/29/2022 9:58:27 AM, p_jmanning, 1:1



LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	EXISTING STREAM
	EXISTING EDGE OF WATER
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING DECIDUOUS TREE
	EXISTING TREE TO BE REMOVED
	INVASIVE SPECIES TO BE REMOVED

- GENERAL NOTES:**
- Existing property boundaries, features and topography shown hereon are taken from a map entitled "Topography Survey of the plot situate in the Town of North Castle, County of Westchester and State of New York...". Prepared by Neville V. Ramsay, LPS, dated December 26, 2015.
- INVASIVE SPECIES ERADICATION NOTES:**
- Total Invasive Species Removal = 24,659 SF
- An invasive species control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:
 - Tree-of-heaven (*Ailanthus altissima*)
 - Multiflora rose (*Rosa multiflora*)
 - Mugwort (*Artemisia vulgaris*)
 - Autumn olive (*Elaeagnus umbellata*)
 - Russian olive (*Elaeagnus angustifolia*)
 - Garlic mustard (*Alliaria petiolata*)
 - Purple loosestrife (*Lythrum salicaria*)
 - Common reed (*Phragmites australis*)
 - Oriental bittersweet (*Celastrus orbiculatus*)
 - Porcelainberry (*Ampelopsis brevipedunculata*)
 - Japanese Barberry (*Berberis thunbergii*)
 - Japanese Stilt Grass (*Microstegium vimineum*)
 - Winged Euonymus (*Euonymus alatus*)
 - Lonicera japonica (Japanese honeysuckle)
 - The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover.
 - A licensed Landscape Architect will supervise the removal of invasive species.
 - Invasive species should be removed by hand or cut at root in order to create the least amount of disturbance. No pesticides shall used for invasive species removal.
 - Highly invasive annuals, such as garlic mustard, should be performed before plants set seed. Method also may need to be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.
 - Pursuant to §340-10 B (1) Proposed invasive species removal and mitigation planting shall be monitored and implemented for, at a minimum, five years after completion of all construction activity on site.
 - Contractor to perform general stream clean up, which includes the removal of debris, trash, etc.

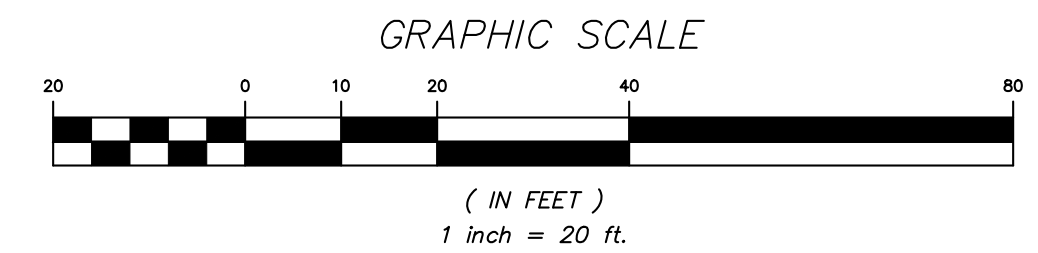
TREE REMOVAL WITHIN THE WETLAND BUFFER

CALIPER	QUANTITY
LESS THAN 24"	26
24" OR GREATER	9

TREE REMOVAL OUTSIDE THE WETLAND BUFFER

CALIPER	QUANTITY
LESS THAN 24"	47
24" OR GREATER	6

- TREE REMOVAL NOTE:**
- The tree removal plan shown hereon has not changed from the previously approved plan and a tree removal permit is currently active under building permit 2019-3307.



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT:		CG 40 GREEN VALLEY, LLC	
DRAWING:		TREE AND INVASIVE SPECIES REMOVAL PLAN	
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.	TP-1	SHEET	2/7

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING STONE WALL
- EXISTING DIRT TRAIL
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING STREAM
- EXISTING EDGE OF WATER
- EXISTING WETLAND BUFFER
- EXISTING DECIDUOUS TREE
- PROPOSED GUIDE RAIL
- PROPOSED LANDSCAPING
- RELOCATED BOULDERS
- PROPOSED DOOR
- PROPOSED OVERHEAD DOOR

GENERAL NOTES:

- See TP-1 for Tree Removal location. Tree removal not shown on SP-1 for clarification.

R2-A ZONE REQUIREMENTS:

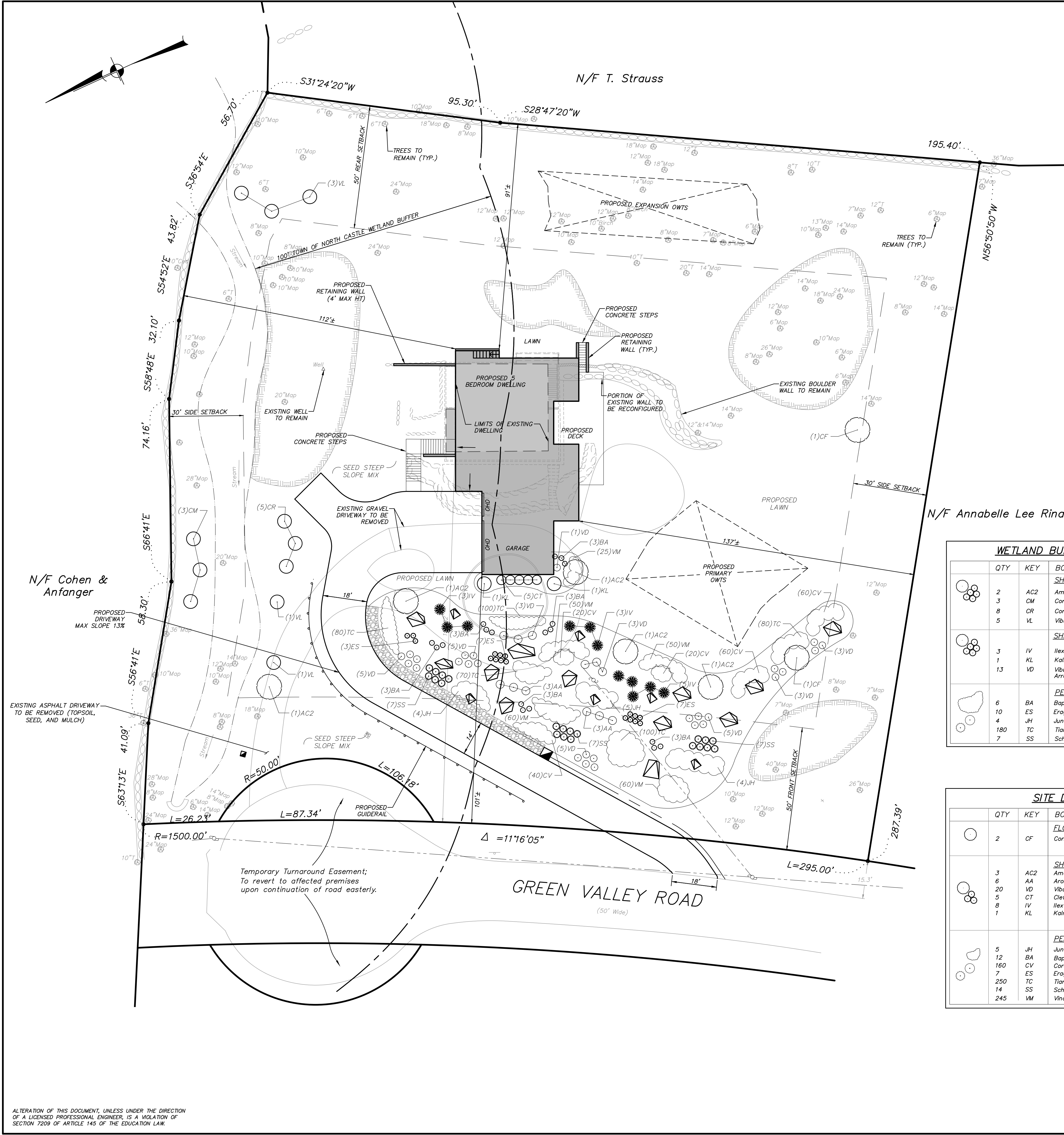
	Required:	Existing:	Proposed:
Min. Lot Size:	2 AC	2 AC	2 AC
Min. Yard Setbacks:			
Front:	50'	151'	101'±
Side:	30'	113'	112'±
Rear:	50'	96'	91'±
Max. Building Height:	30'	Not Determined	29'
Min. Floor Area:	1,400 S.F.	3,119 S.F.	6,124 S.F.
Max. Building Coverage:	8%	1.5%	4.2%
Max. Gross Floor Area:	10,122 S.F.	3,119 S.F.	6,124 S.F.
Max Gross Land Coverage:	13,270 + Front Yard Setback Extra (510 S.F.) = 13,780 S.F.	6,595 S.F.	10,282 S.F.

GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- No fertilizer shall be added in wetland buffer. Nutrient requirements to be met by incorporation of acceptable organic matter.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z601 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.
- Final location of planting subject to change based on field conditions and rocky soils. All deviations in planting plan to be approved by a licensed Landscape Architect.

GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent. No fertilizers are to be used in wetland buffer.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005. If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix for areas as shown on the drawings ("Seed Slope Mix") and slope areas 2:1 at a rate of 35 lbs. per acre:
 - New England Erosion Control/Restoration Mix (for Dry Sites) from New England Wetland Plants, Inc. of Amherst, MA
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - B. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:



WETLAND BUFFER ENHANCEMENT PLANT LIST

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
SHRUBS (WEST SIDE OF DRIVEWAY)				
2	AC2	Amelanchier canadensis / Shadow Serviceberry	#3 CONT.	CONT.
3	CM	Cornus amomum / Silky Dogwood	#5 CONT.	CONT.
8	CR	Cornus racemosa / Gray Dogwood	#3 CONT.	CONT.
5	VL	Viburnum lentago / Nannyberry Viburnum	#3 CONT.	CONT.
SHRUBS (EAST SIDE OF DRIVEWAY)				
3	IV	Ilex verticillata / Winterberry	#3 CONT.	CONT.
1	KL	Kalmia latifolia / Mountain Laurel	#3 CONT.	CONT.
13	VD	Viburnum dentatum BLUE MUFFIN / Arrowwood Viburnum	18-24"	#3 CONT.
PERENNIALS, GRASSES & GROUNDCOVERS				
6	BA	Baptisia australis / Blue False Indigo	#1 CONT.	24" O.C.
10	ES	Eragrostis spectabilis / Purple Lovegrass	#1 CONT.	24" O.C.
4	JH	Juniperus horizontalis / Creeping Juniper	12"-15" SPR.	#2 CONT.
180	TC	Tiarella cordifolia / Foamflower	4" POT	12" O.C.
7	SS	Schizachyrium scaparium / Little Bluestem	#3 CONT.	36" O.C.

SITE DEVELOPMENT AREA PLANT LIST

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
FLOWERING/SPECIMEN TREES				
2	CF	Cornus florida / Flowering Dogwood	2" CAL.	B&B
SHRUBS				
3	AC2	Amelanchier canadensis / Shadow Serviceberry	#3 CONT.	CONT.
6	AA	Aronia arbutifolia / Chokeberry	#3 CONT.	CONT.
20	VD	Viburnum dentatum 'Christom' BLUE MUFFIN / Arrowwood	18-24"	#3 CONT.
5	CT	Clethra alnifolia Hummingbird / Sweet Pepperbush	#3 CONT.	CONT.
8	IV	Ilex verticillata / Winterberry	#3 CONT.	CONT.
1	KL	Kalmia latifolia / Mountain Laurel	#3 CONT.	CONT.
PERENNIALS, GRASSES & GROUNDCOVERS				
5	JH	Juniperus horizontalis / Creeping Juniper	12"-15" SPR.	#2 CONT.
12	BA	Baptisia australis / Blue False Indigo	#1 CONT.	24" O.C.
160	CV	Coreopsis verticillata / Threadleaf coreopsi	1" OT. CONT.	18" O.C.
7	ES	Eragrostis spectabilis / Purple Lovegrass	#1 CONT.	24" O.C.
250	TC	Tiarella cordifolia / Foamflower	4" POT.	12" O.C.
14	SS	Schizachyrium scaparium / Little Bluestem	#1 CONT.	24" O.C.
245	VM	Vinca minor / Periwinkle	12"-18" SPR.	4" POT/18" O.C.

LAND DISTURBANCE

	WITHIN WETLAND BUFFER	OUTSIDE OF WETLAND BUFFER
EXISTING IMPERVIOUS COVER	2,272 SF	818 SF
PROPOSED IMPERVIOUS COVER	5,677 SF	4,605 SF
WETLAND BUFFER DISTURBANCE	17,814 SF	N/A
2:1 REQUIRED MITIGATION	35,628 SF	

MITIGATION

INVASIVE SPECIES REMOVAL	24,659 SF
PLANTING	11,007 SF
TOTAL:	35,666 SF

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

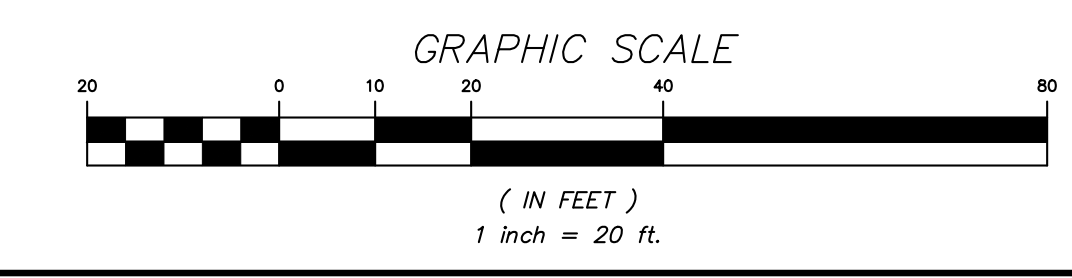
3 Garrett Place
Coronel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: **CG 40 GREEN VALLEY, LLC**
40 GREEN VALLEY ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY

DRAWING: **LAYOUT AND LANDSCAPE PLAN**

PROJECT NUMBER: 22127.100 PROJECT MANAGER: J.M.W.
DATE: 5-3-22 DRAWN BY: P.J.M.
SCALE: 1" = 20' CHECKED BY: K.M.G.

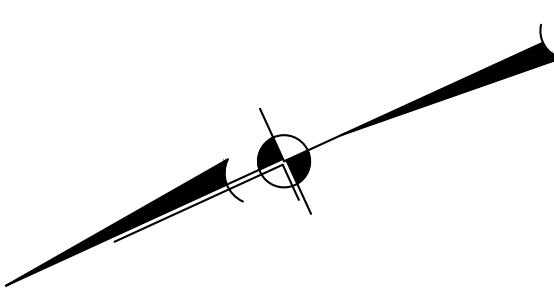
DRAWING NO. SHEET: **SP-1** / 3



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	EXISTING STREAM
	EXISTING EDGE OF WATER
	EXISTING WETLAND BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED UNDERGROUND UTILITY LINE
	PROPOSED DRAINAGE PIPE
	1,500 GALLON SEPTIC TANK



EXISTING FOOTING DRAIN/ROOF DRAIN TO BE ABANDONED IN PLACE

PROPOSED 4" PVC SDR 35 FOOTING DRAIN

PROPOSED RIPRAP SWALE

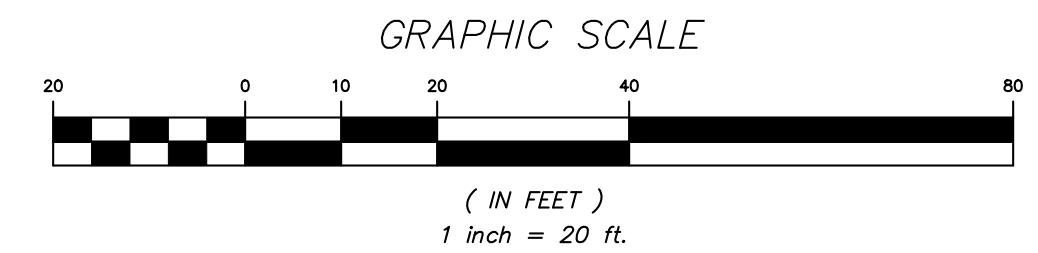
PROPOSED 4" PVC SDR 35 ROOF DRAIN

PROPOSED DRIVEWAY MAX SLOPE 13%

PROPOSED STORMWATER DETENTION TANK RIM 480.0 INV IN 476.5 INV OUT 472.7 DI 1 RIM 476.0 INV 472.4 INV 474.0

Temporary Turnaround Easement; To revert to affected premises upon continuation of road easterly.

GREEN VALLEY ROAD
(50' Wide)

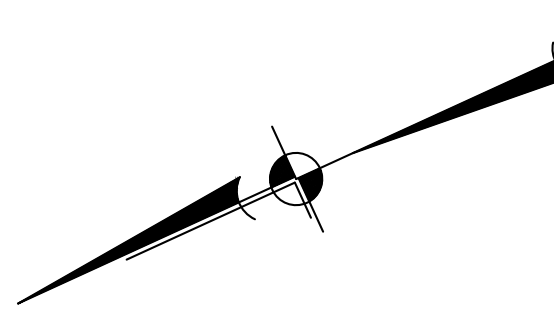


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
<p>INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.</p> <p>3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com</p>			
PROJECT: CG 40 GREEN VALLEY, LLC			
DRAWING: GRADING AND UTILITIES PLAN			
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	1" = 20'	CHECKED BY	K.M.G.
DRAWING NO.	SP-2	SHEET	4/7



Z:\16\22127.100 CG Green Valley Road\04 SP-2.dwg, 4/29/2022 11:28:53 AM, jpmanning, 1:1



LEGEND

[Solid line]	EXISTING PROPERTY LINE
[Dashed line]	EXISTING STONE WALL
[Dotted line]	EXISTING DIRT TRAIL
[Line with circles]	EXISTING OVERHEAD WIRES
[Line with triangles]	EXISTING UTILITY POLE
[Line with crosses]	EXISTING STREAM
[Line with dashes]	EXISTING WETLAND BUFFER
[Line with dots]	EXISTING 10' CONTOUR
[Line with dashes]	EXISTING 2' CONTOUR
[Line with dots]	EXISTING SPOT GRADE
[Line with dashes]	PROPOSED 10' CONTOUR
[Line with dashes]	PROPOSED 2' CONTOUR
[Line with dots]	PROPOSED SILT FENCE
[Line with crosses]	PROPOSED CONSTRUCTION FENCE
[Dotted line]	PROPOSED LIMITS OF DISTURBANCE
[Dotted line]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Cross-hatched area]	PROPOSED EROSION CONTROL BLANKET

GENERAL NOTES:

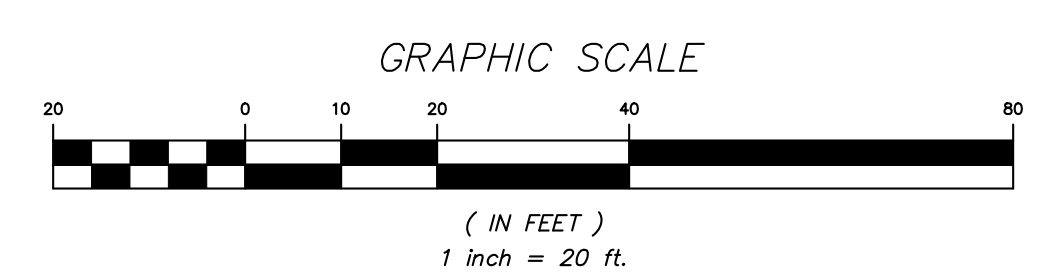
- Existing property boundaries, features and topography shown hereon are taken from a map entitled "Topography Survey of the plot situate in the Town of North Castle, County of Westchester and State of New York...etc.", Prepared by Neville V. Ramsay, L.P.S., dated December 26, 2015

EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
- The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristook" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control inspection are not required.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the trained contractor or site engineer.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.
- Disturbance limits shall be staked in the field prior to construction.

CONSTRUCTION SEQUENCE:
(Total Area of Disturbance = 38,600 SF±)

- Install silt fence as shown on plans in accordance with the plan and detail. Install orange construction fence in locations shown on the plan.
- Begin demolition and removal of the existing dwelling.
- Begin clearing and grubbing operations associated with the site work improvements.
- Begin house and retaining wall construction.
- Upon completion of stormwater system, connect roof leader drains.
- Upon completion of all work, stabilize disturbed areas in accordance with the Sediment and Erosion Control Notes. Permanent stabilization is achieved when 80% of the plant/grass density is established.
- Once the site has received final stabilization, remove all temporary sediment and erosion control facilities.

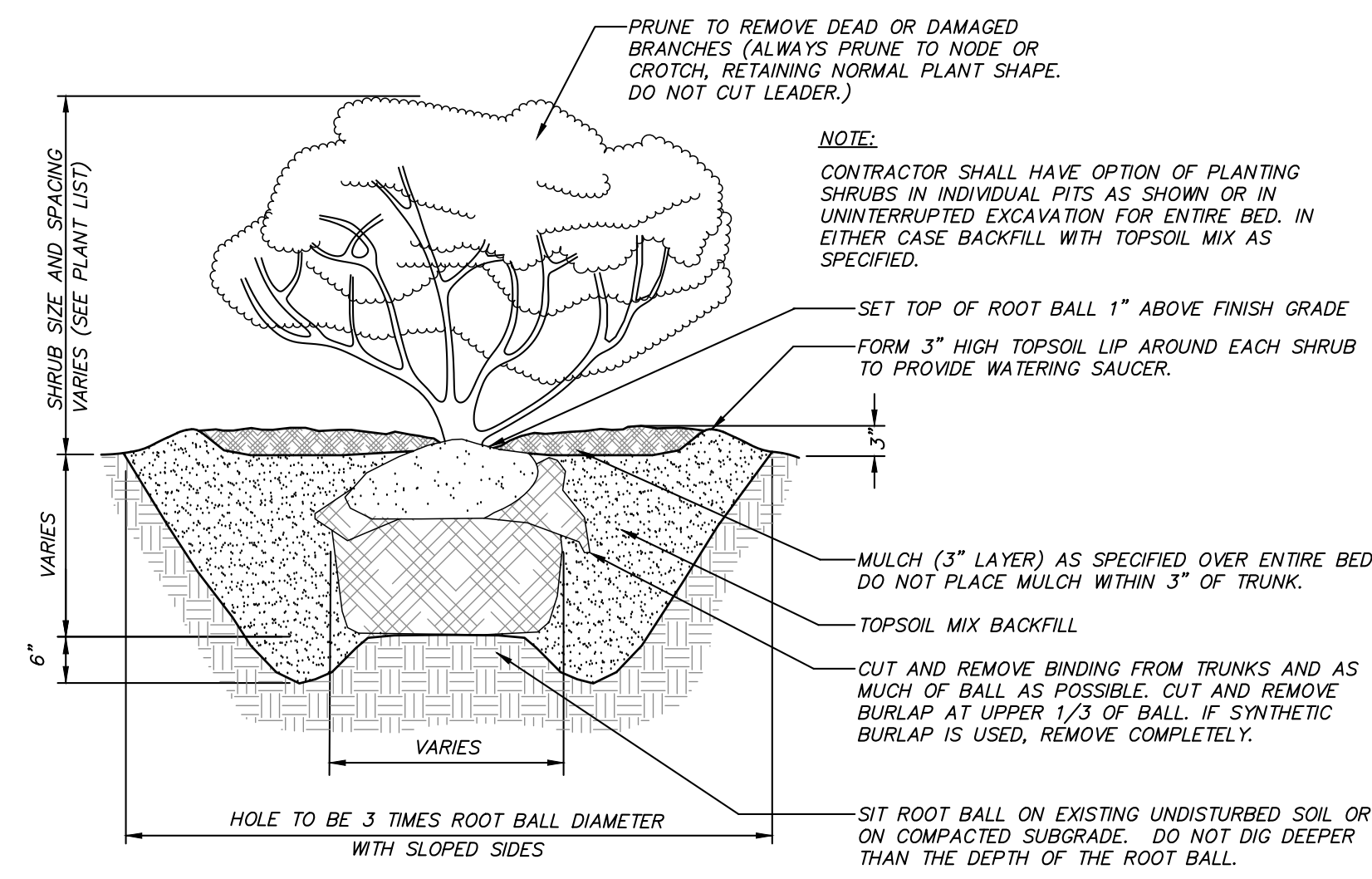


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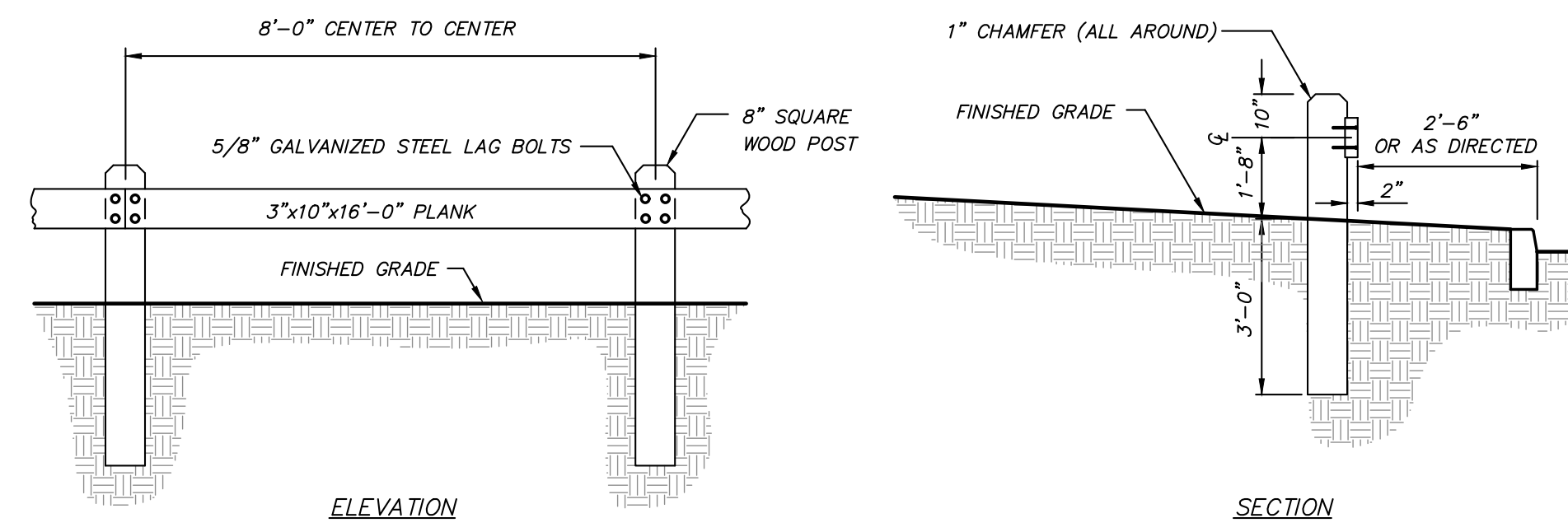
NO.	DATE	REVISION	BY
 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT:		CG 40 GREEN VALLEY, LLC	
DRAWING:		EROSION & SEDIMENT CONTROL PLAN	
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	1" = 20'	CHECKED BY	K.M.G.

DRAWING NO. **SP-3** SHEET **5** OF **7**

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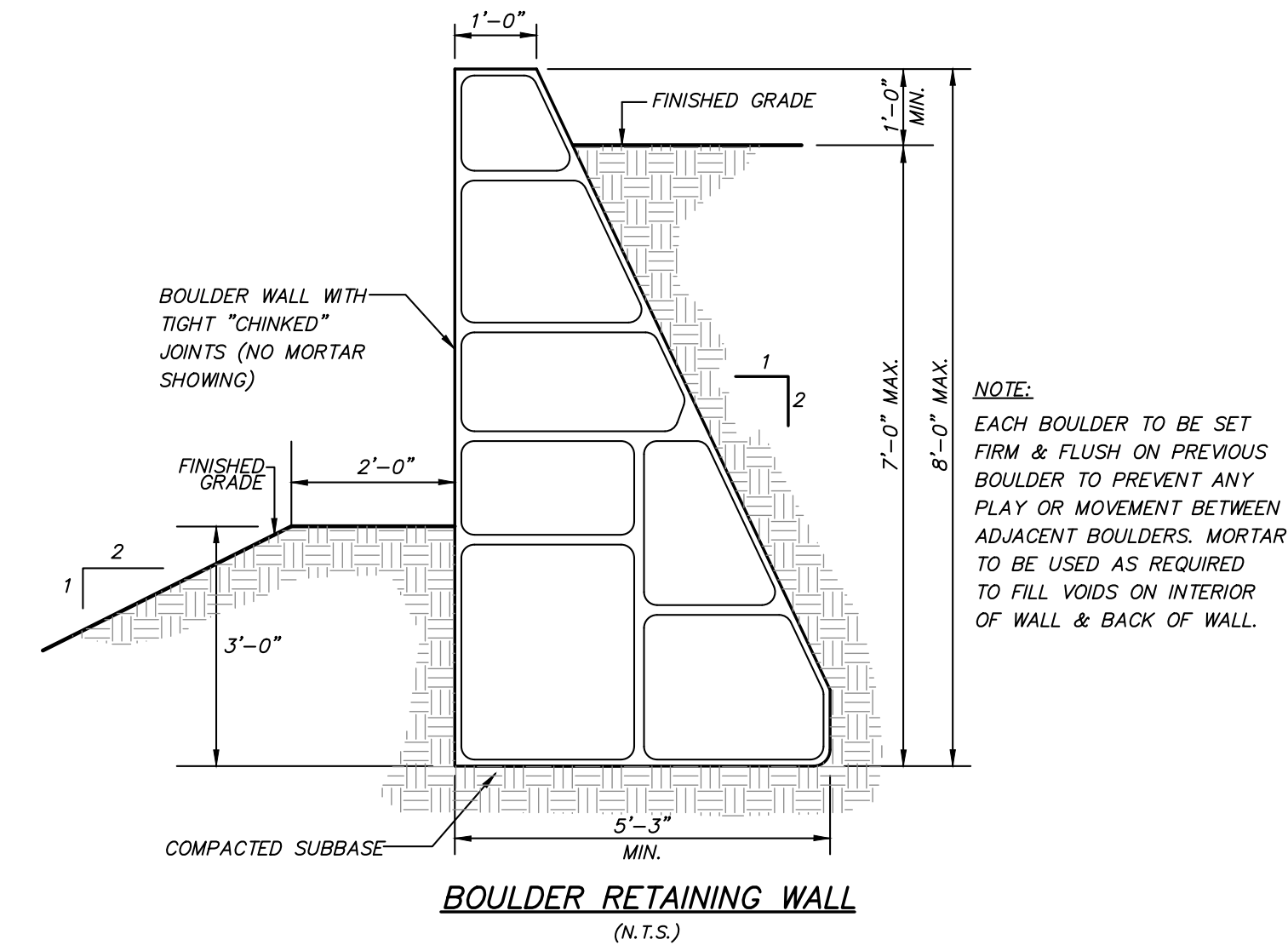


SHRUB PLANTING DETAIL
(N.T.S.)

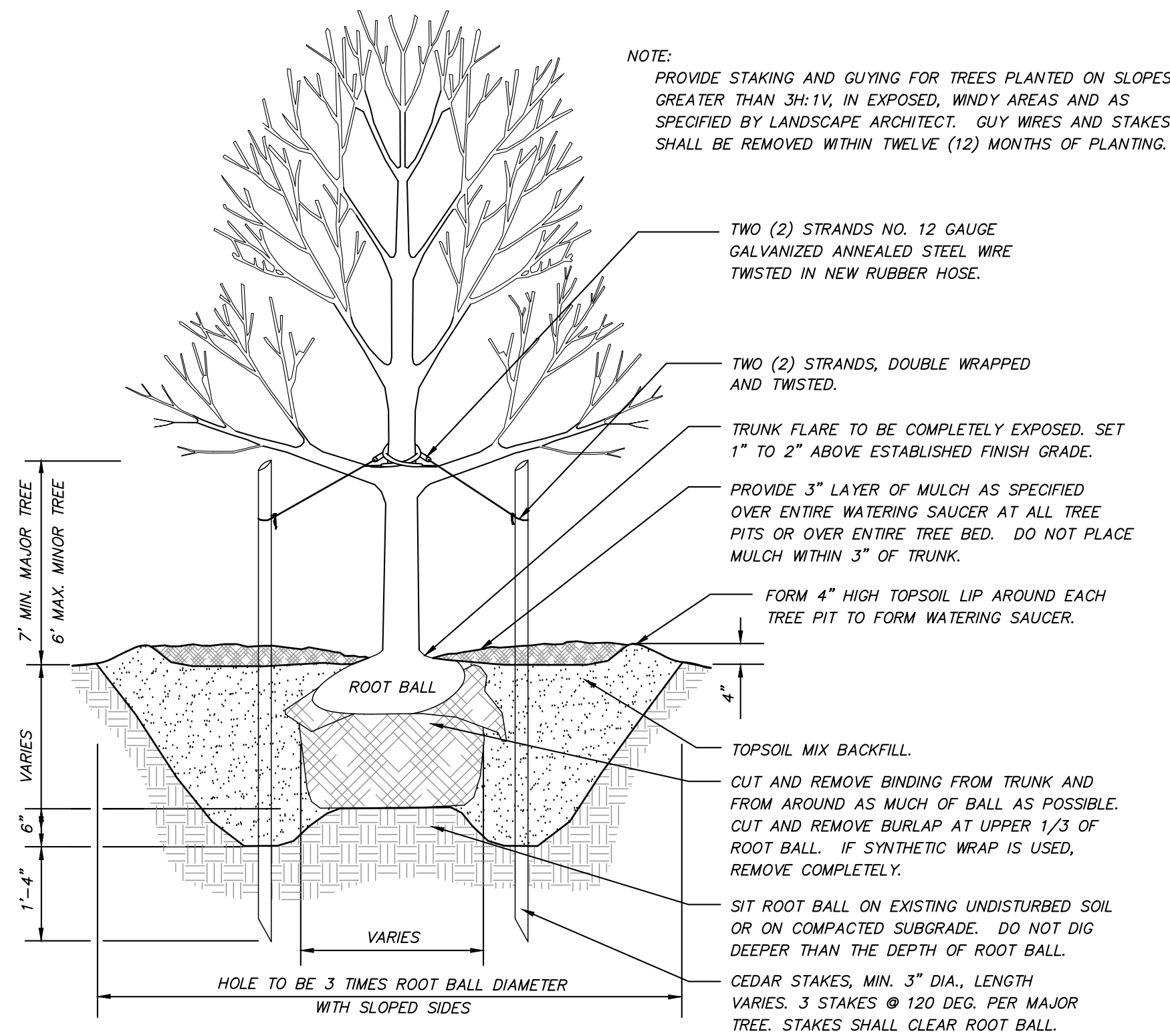


- NOTES:**
1. ALL WOOD TO BE SEASONED NO.1 DOUGLAS FIR, SOUTHERN PINE OR OTHER APPROVED STRUCTURAL LUMBER.
 2. ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE SUITABLE FOR INSTALLATION IN AND ADJACENT TO GROUND SURFACES.

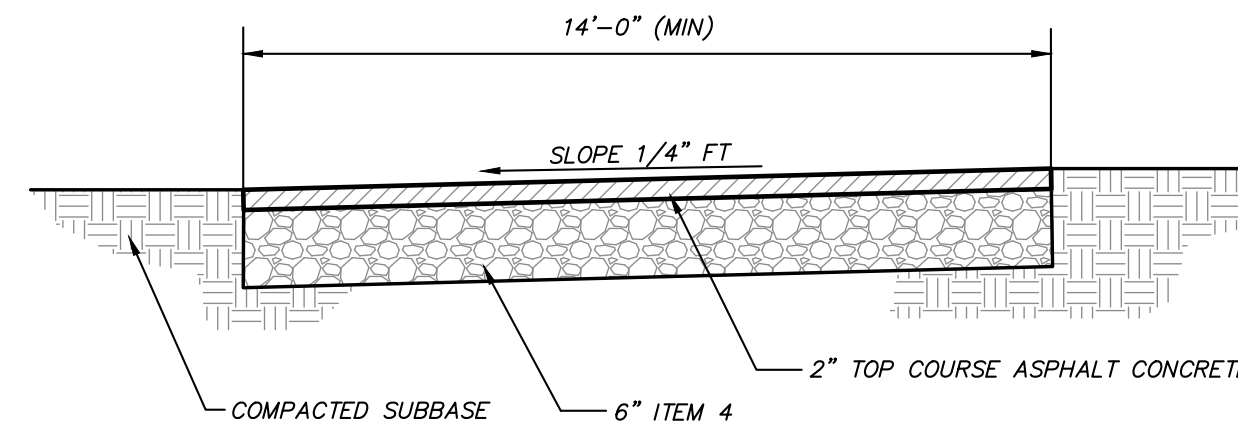
WOOD GUIDE RAIL DETAIL
(N.T.S.)



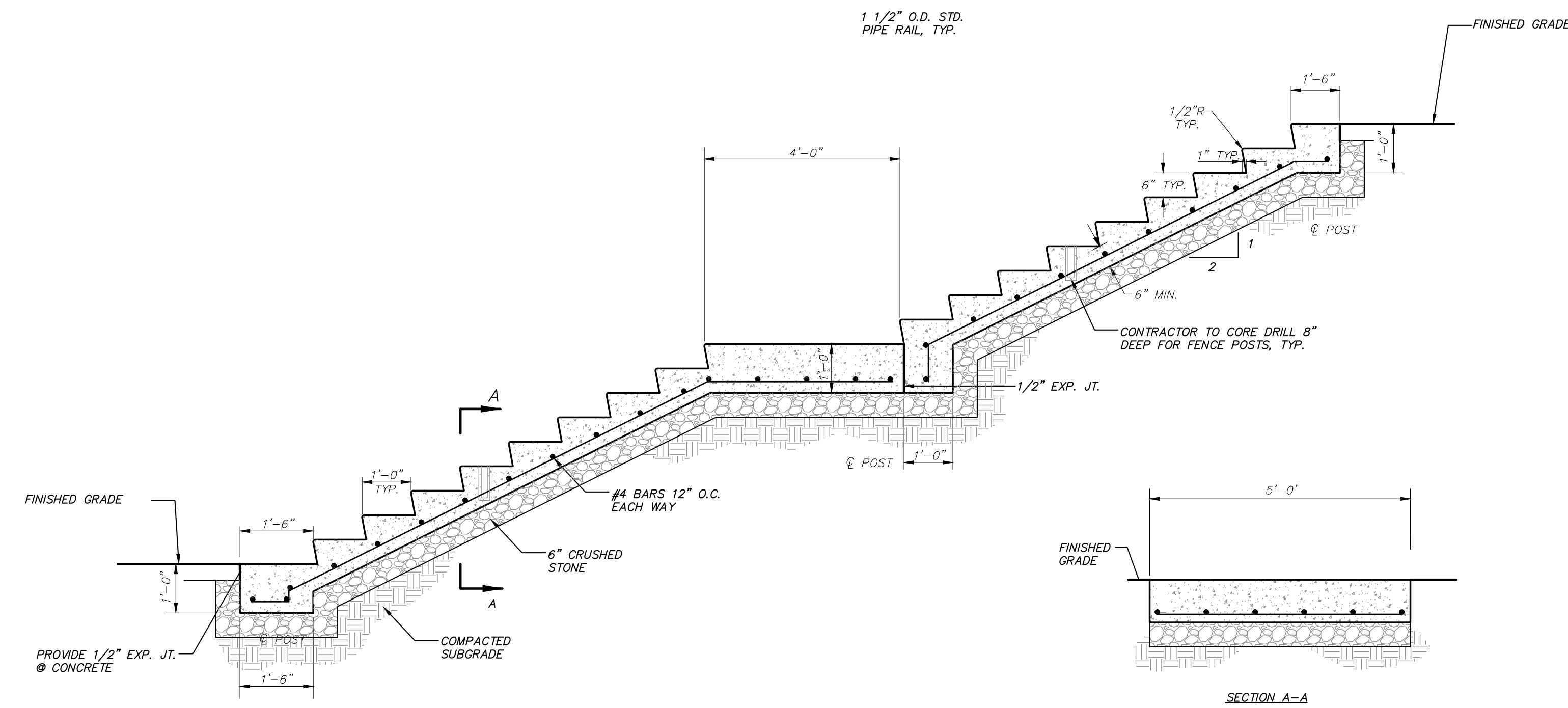
BOULDER RETAINING WALL
(N.T.S.)



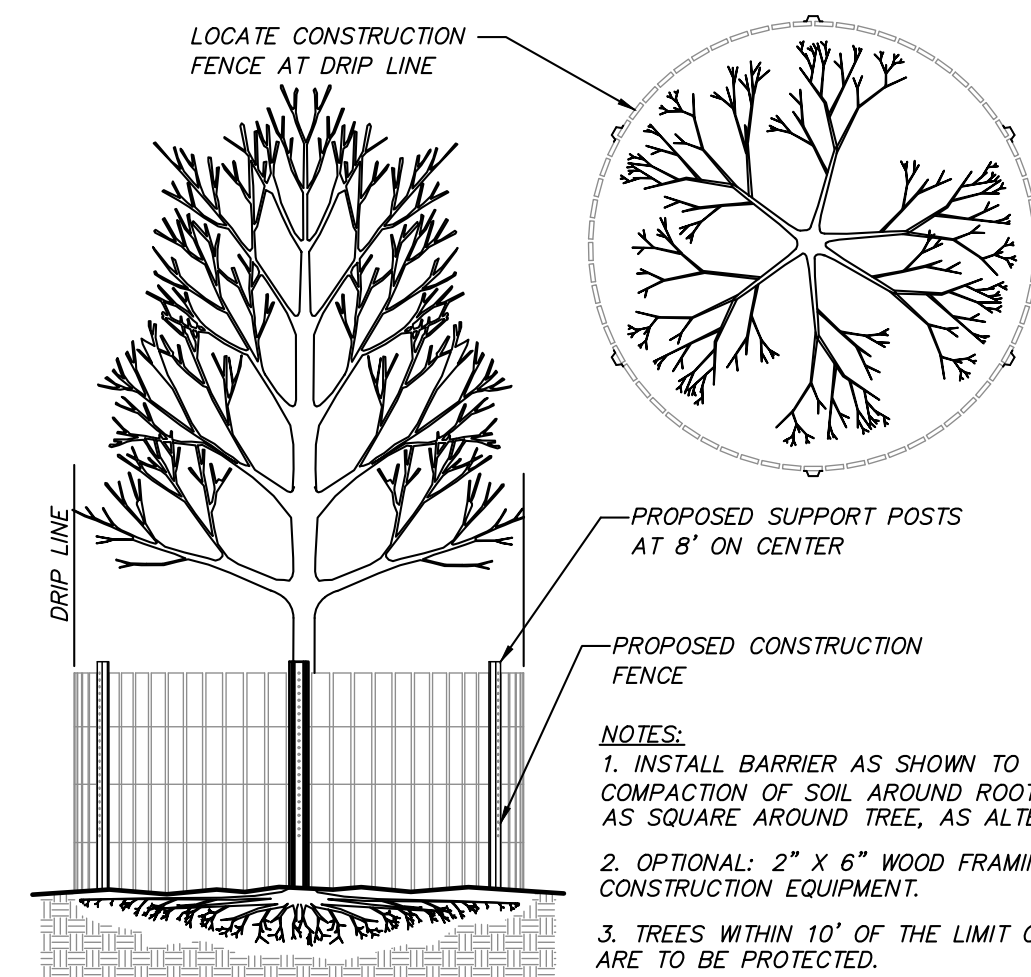
TREE PLANTING DETAIL
(N.T.S.)



TYPICAL DRIVEWAY DETAIL
(N.T.S.)



CONCRETE STEPS DETAIL
(N.T.S.)



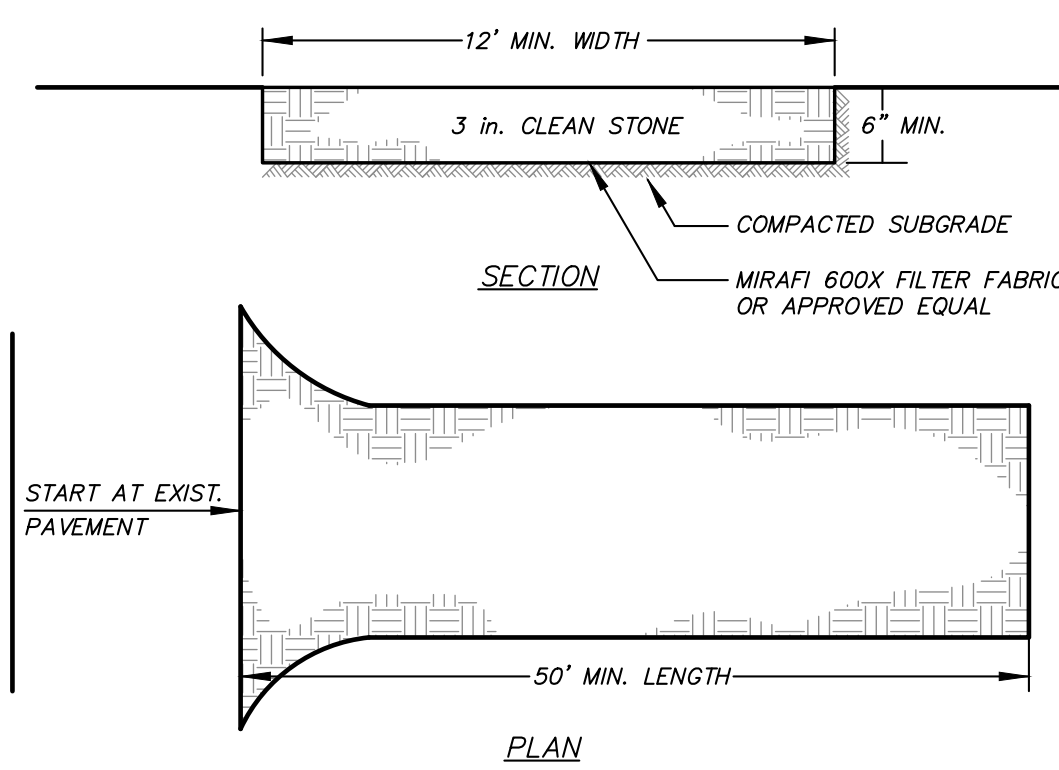
TREE PROTECTION DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
PROJECT:			CG 40 GREEN VALLEY, LLC
DRAWING:			DETAILS
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	AS SHOWN	CHECKED BY	K.M.G.
DRAWING NO.		SHEET	
D-1		6/7	

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
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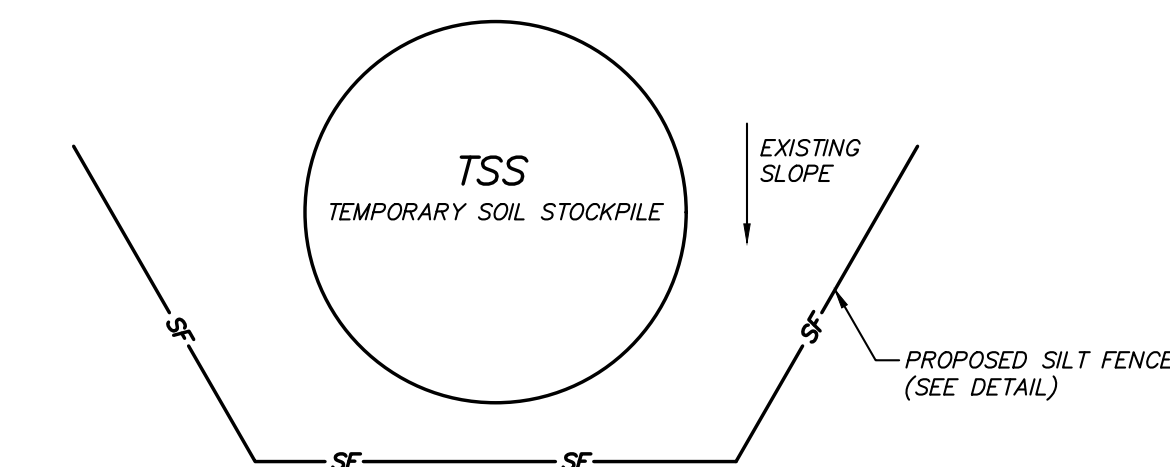
STATE OF NEW YORK
JOHN M. WATSON
No. 71950
LICENSED PROFESSIONAL ENGINEER



INSTALLATION NOTES

- STONE SIZE - USE 3" STONE
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

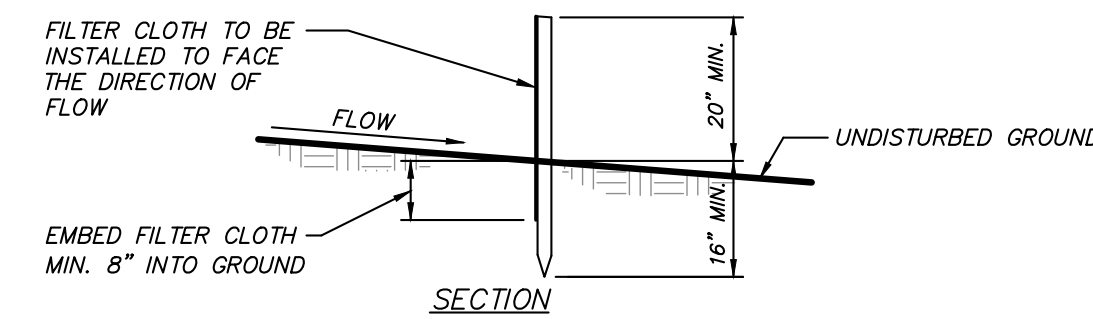
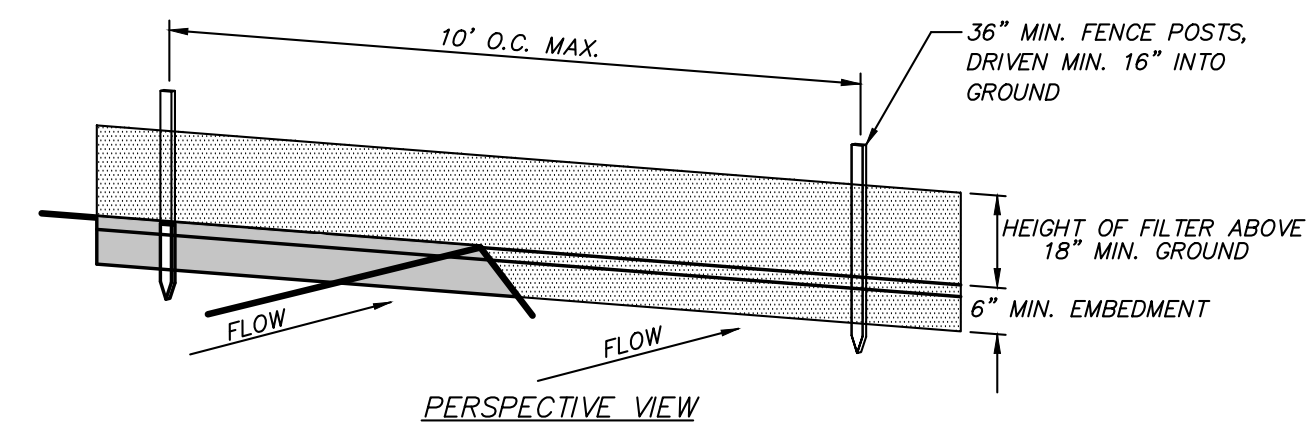
STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



NOTES:

- AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDDED WITH K31 PERENNIAL TALL FESCUE.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

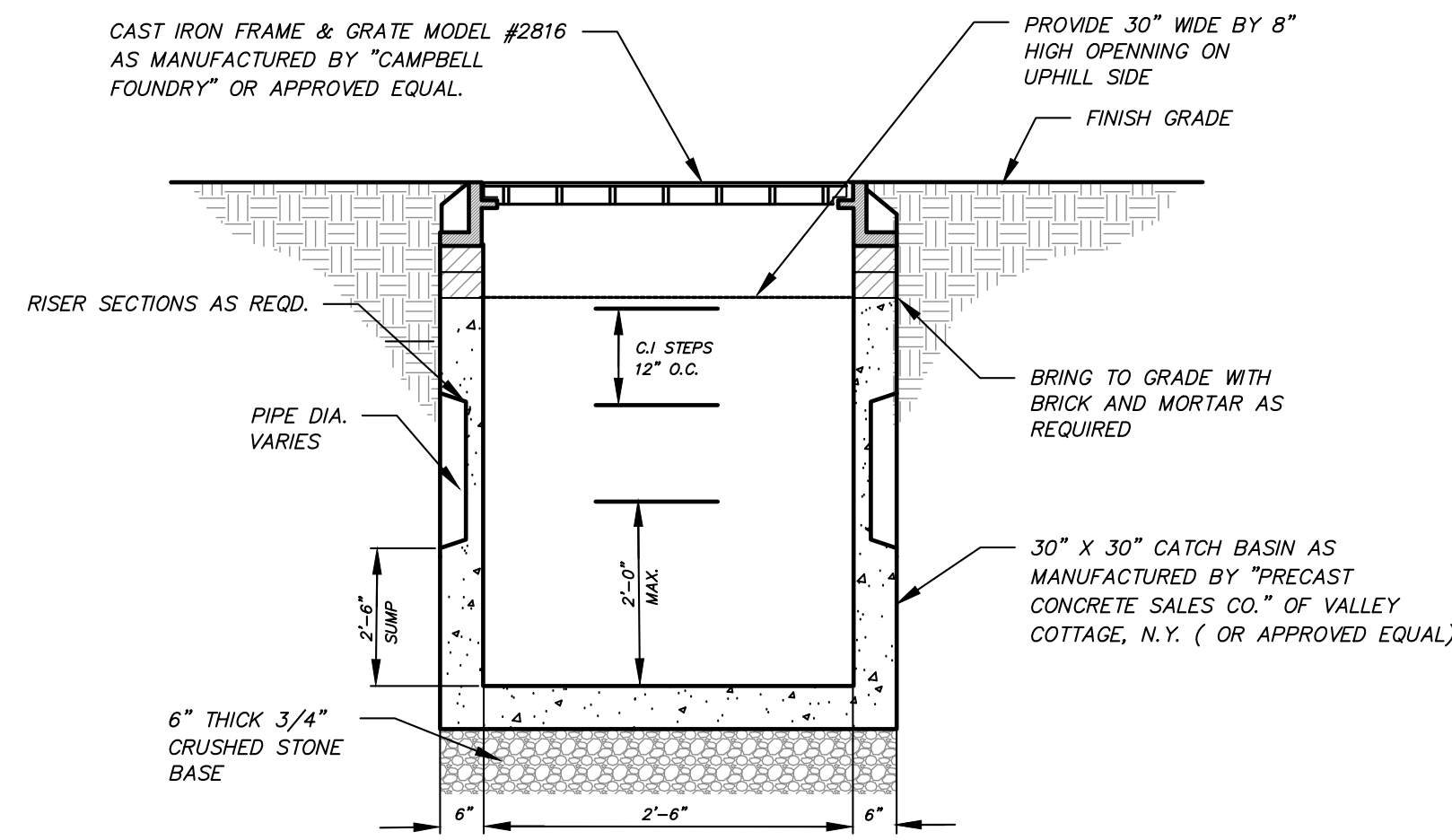
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

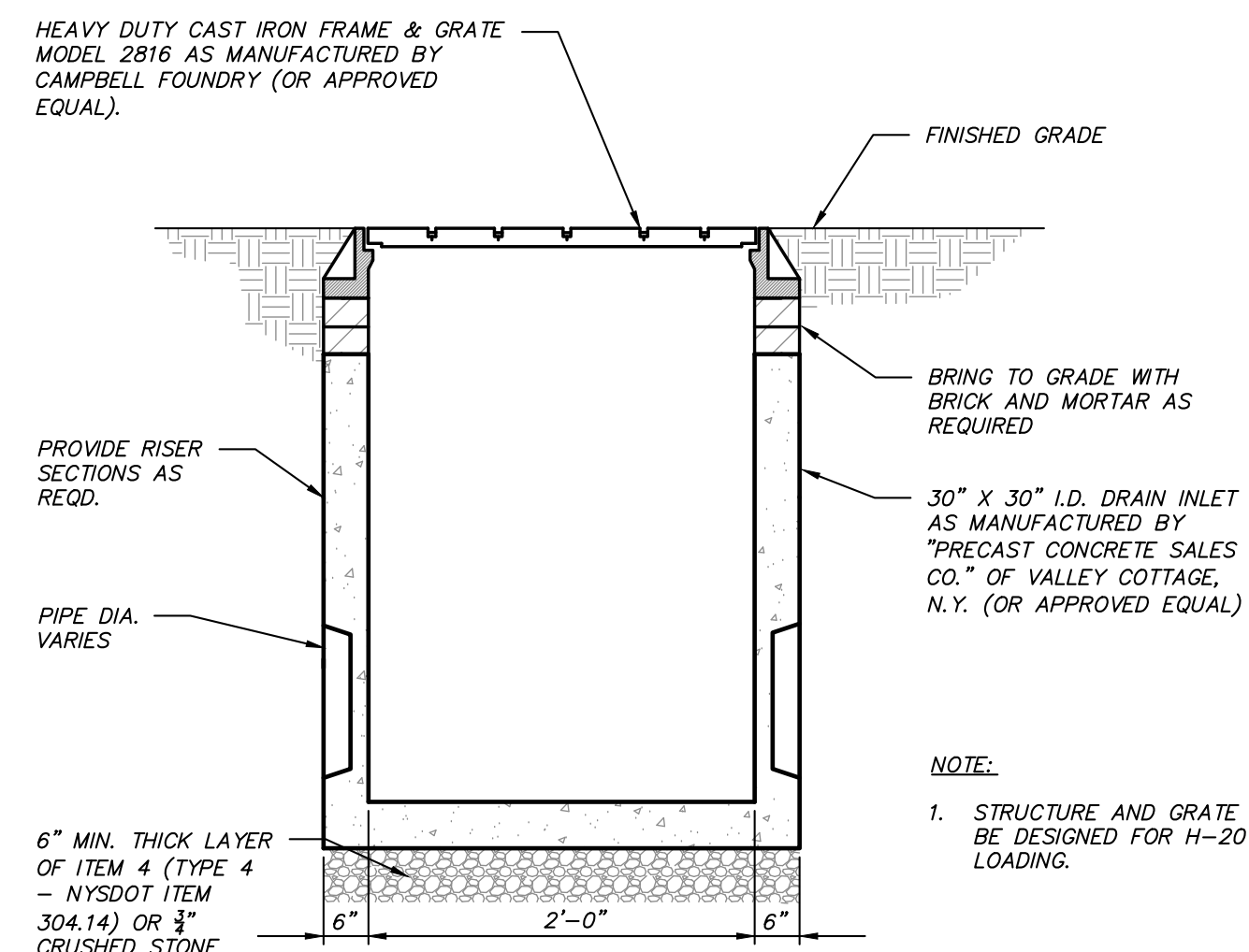
- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
 PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL (N.T.S.)



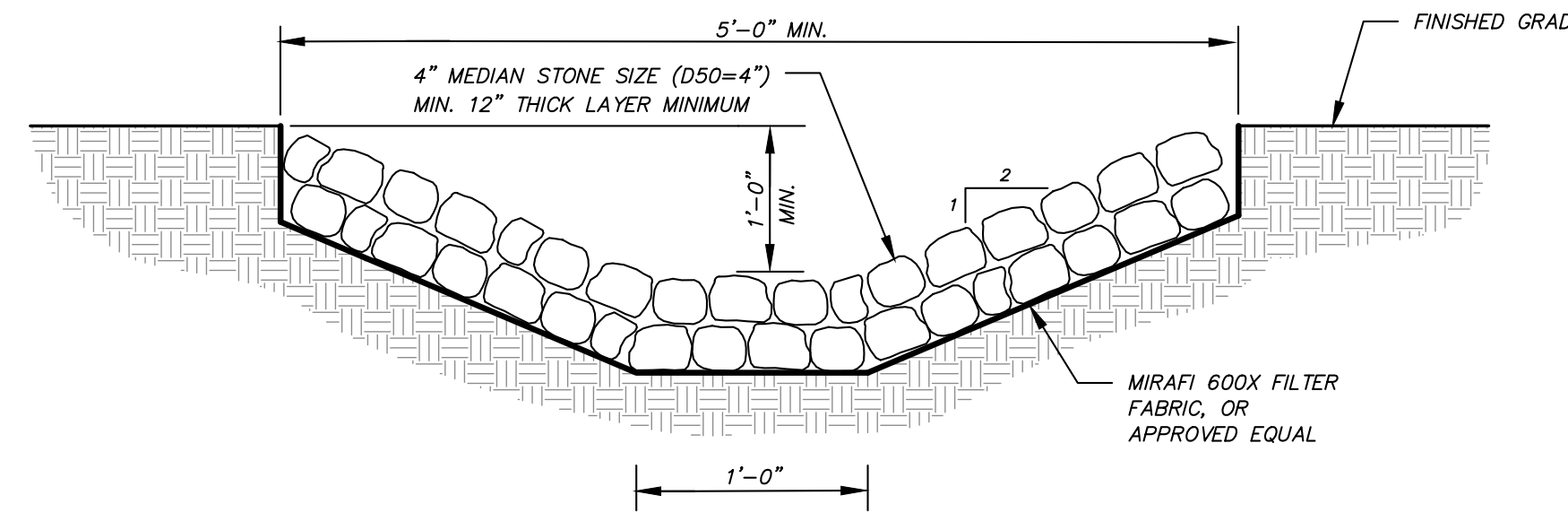
SIDE DRAIN INLET WITH DEEP SUMP DETAIL (N.T.S.)

(STRUCTURE AND GRADE TO BE DESIGNED FOR H-20 LOADING)

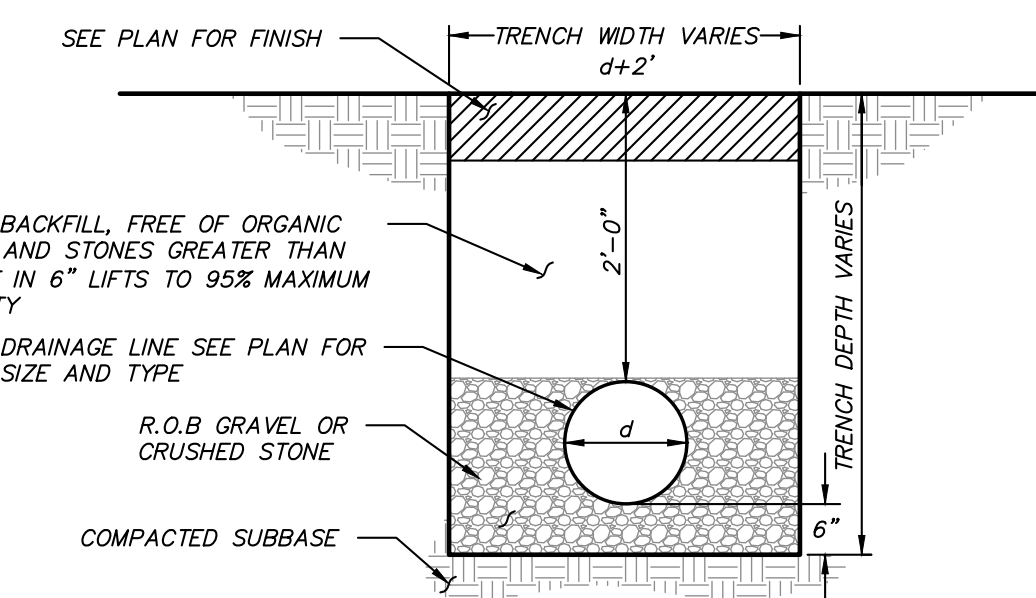


DRAIN INLET DETAIL (N.T.S.)

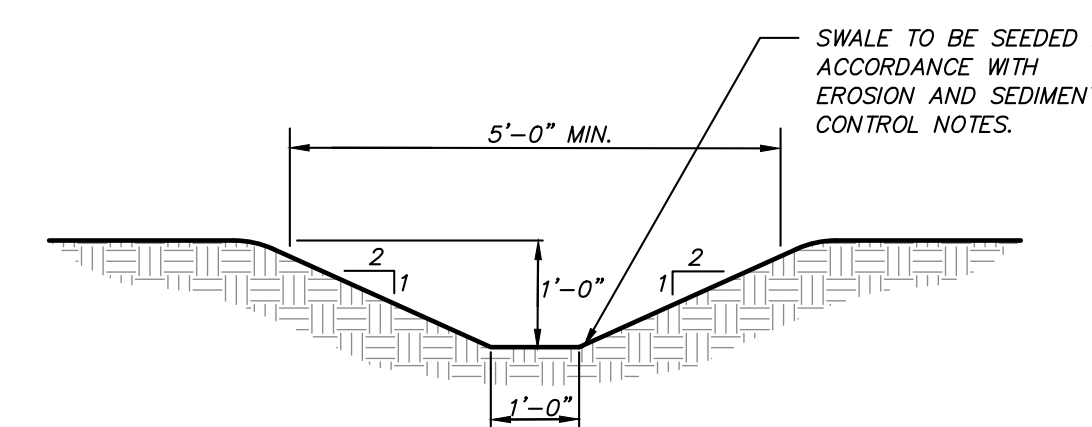
- NOTE:**
- STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING.



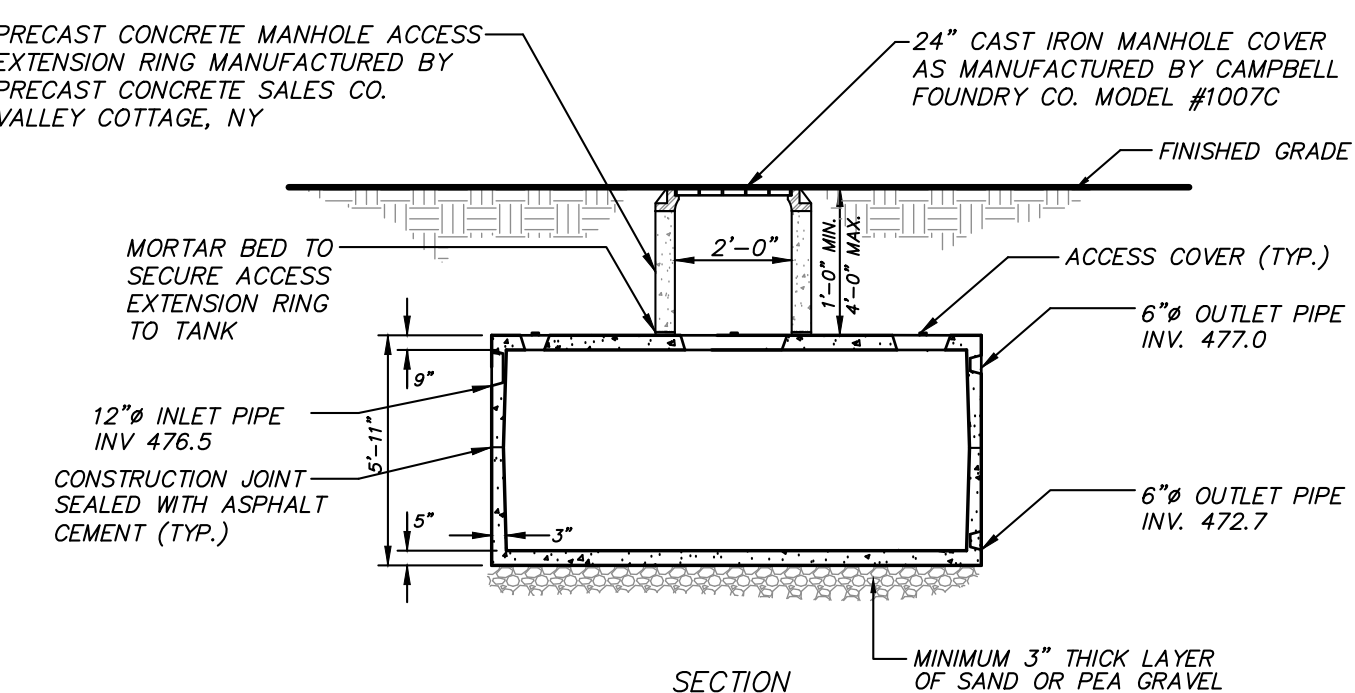
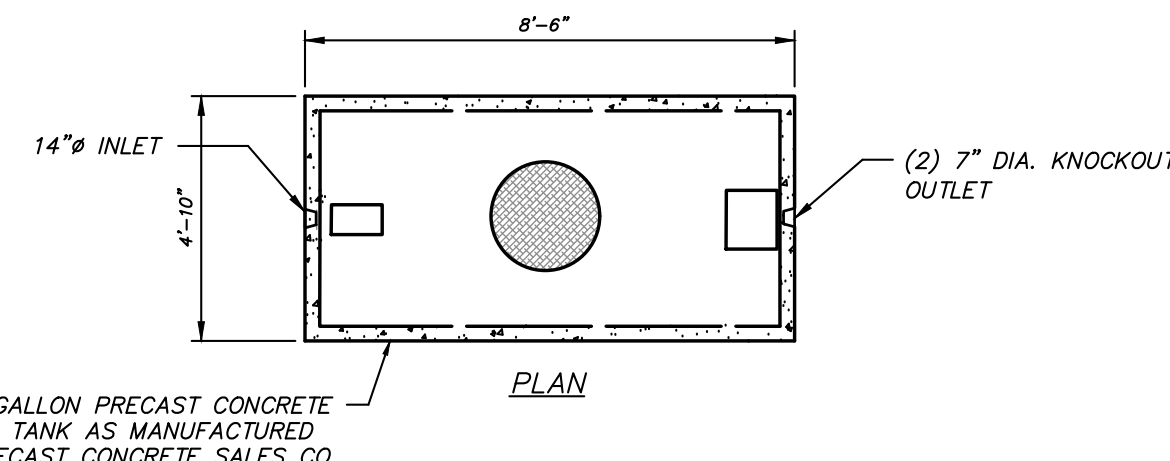
RIP RAP SWALE DETAIL (N.T.S.)



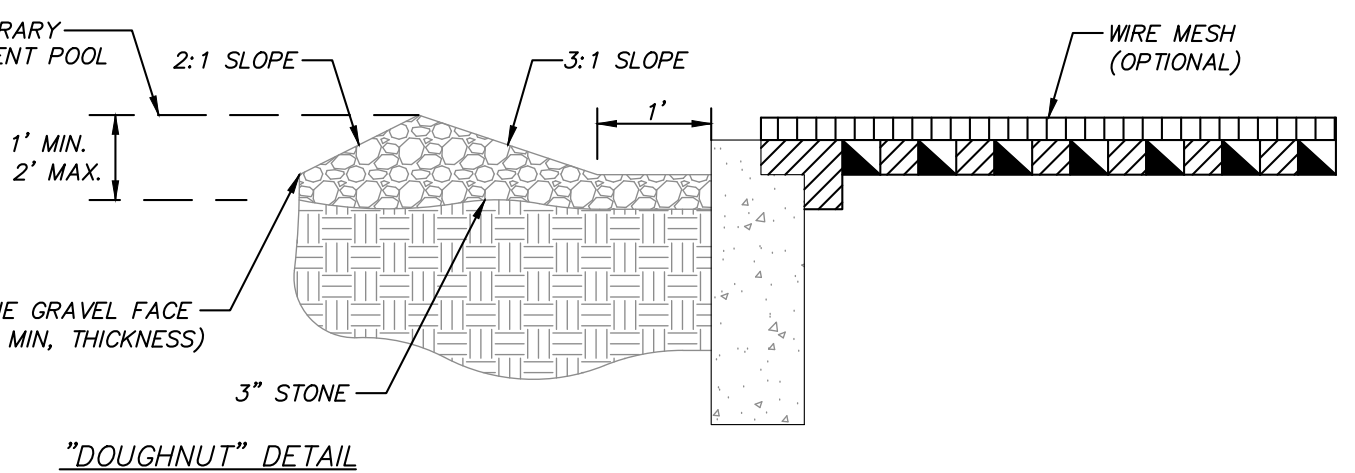
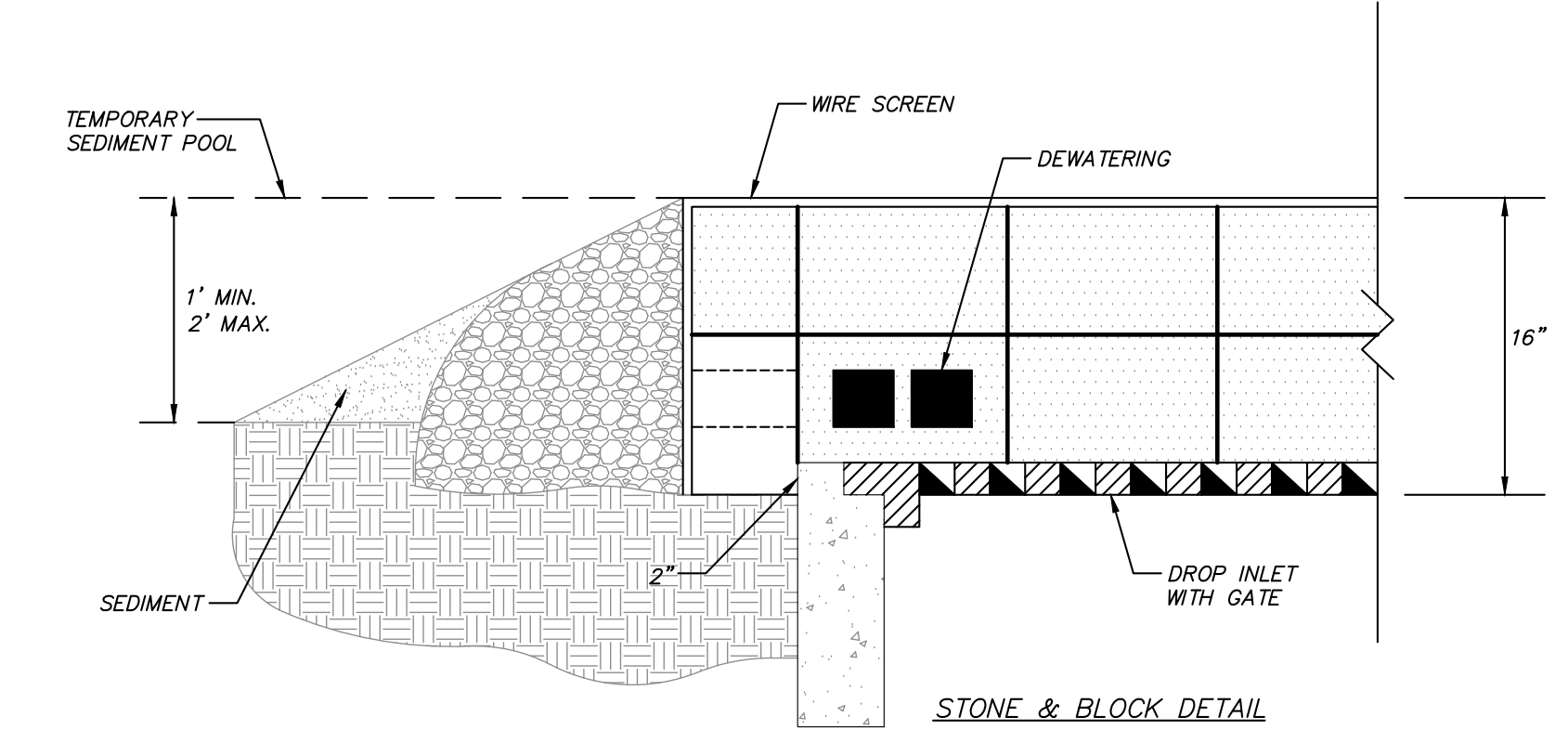
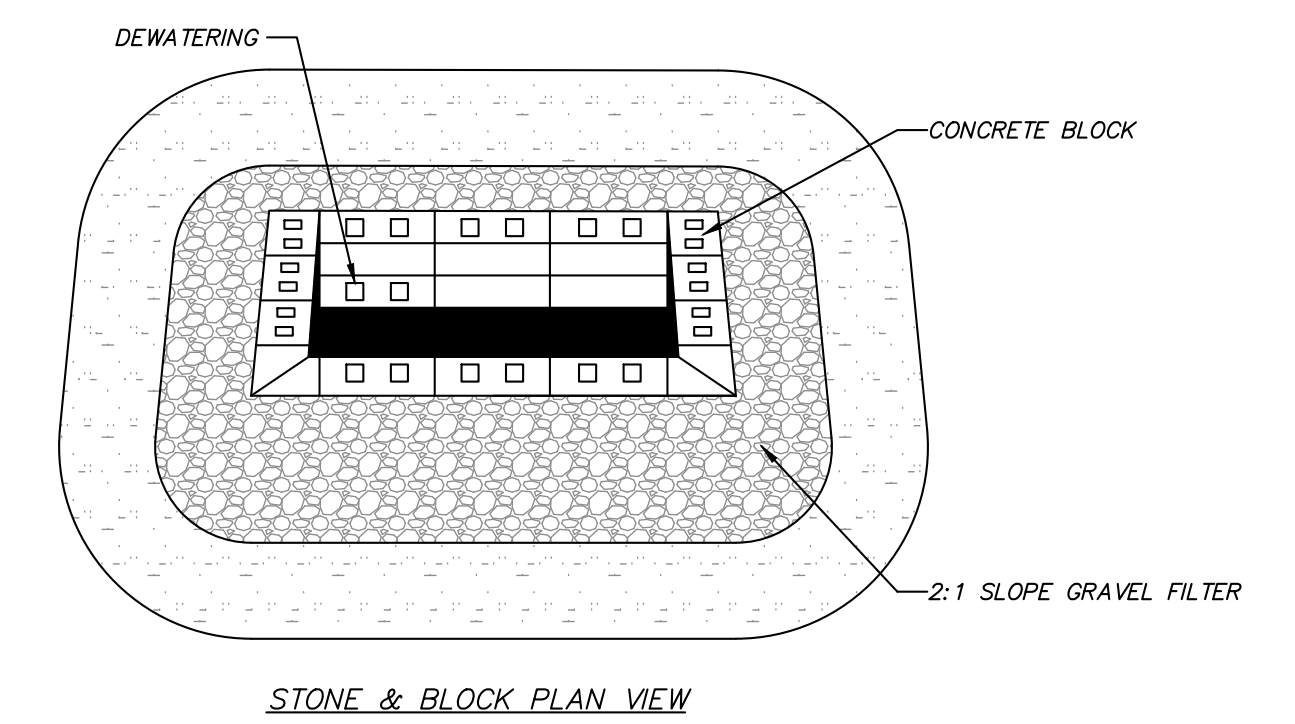
DRAINAGE LINE TRENCH DETAIL (N.T.S.)



GRASS SWALE DETAIL (N.T.S.)



STORMWATER DETENTION TANK DETAIL (TO BE H-20 LOADING) (N.T.S.)



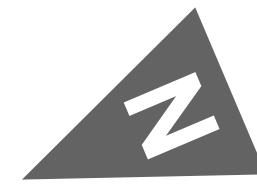
"DOUGHNUT" DETAIL

CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE.

STONE AND BLOCK DROP INLET PROTECTION (2) (N.T.S.)

NO.	DATE	REVISION	BY
PROJECT:		CG 40 GREEN VALLEY, LLC	
DRAWING:		DETAILS	
PROJECT NUMBER	22127.100	PROJECT MANAGER	J.M.W.
DATE	5-3-22	DRAWN BY	P.J.M.
SCALE	AS SHOWN	CHECKED BY	K.M.G.
DRAWING NO.	SHEET		
	D-2		7/7



- EXISTING FOOTING DRAIN/ROOF DRAIN TO BE ABANDONED IN PLACE
- PROPOSED 4" PVC SDR 35 FOOTING DRAIN
- PROPOSED 4" PVC SDR 35 ROOF DRAIN
- PROPOSED DRIVEWAY MAX SLOPE 12%
- PROPOSED STORMWATER DETENTION TANK INV IN 478.5 INV OUT 472.0 INV OUT 472.7
- DI 1 RIM 477.8 INV 472.4 INV 474.4
- PROPOSED 2"x2" RPP RAP SPLASH PAD
- CONNECT TO EXISTING CATCH BASIN INV IN 471.9

NEW ONE FAMILY RESIDENCE
40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY

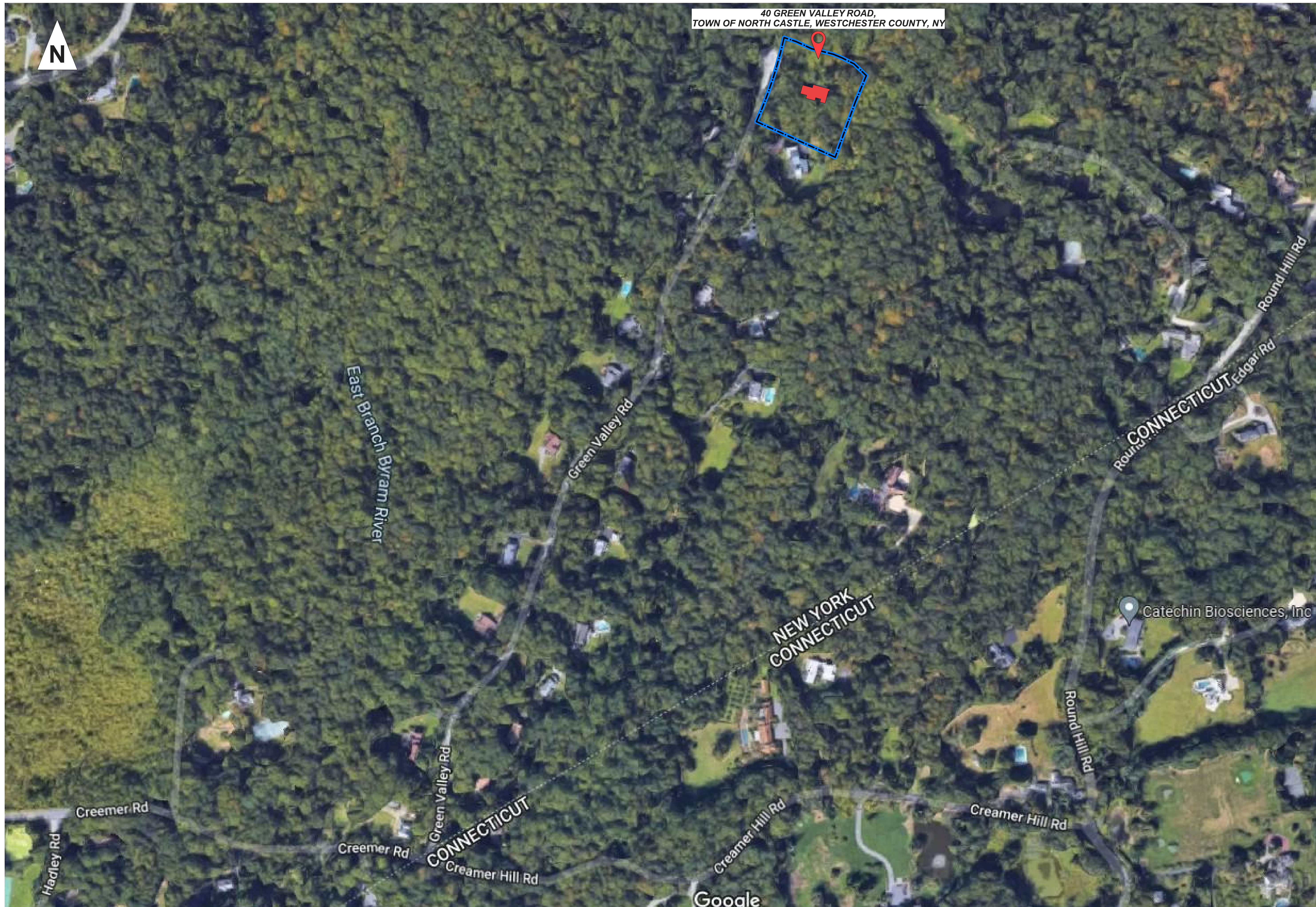
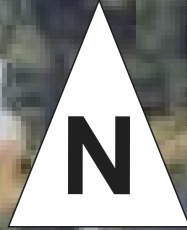
MARK	DATE	DESCRIPTION
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ISSUE:

PROJECT NO:
 CAD FILE:
 DATE:
 DRAWN BY:
 CHECKED BY:
 COPYRIGHT:
 SHEET TITLE:
SITE PLAN

DRAWING SHEET NO:
A0-0

40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NY



NEW ONE FAMILY
RESIDENCE

40 GREEN VALLEY
ROAD,
TOWN OF NORTH
CASTLE,
WESTCHESTER
COUNTY, NY

MARK DATE DESCRIPTION

ISSUE:
PROJECT NO:
CAD FILE:
DATE:
DRAWN BY:
CHECKED BY:
COPYRIGHT:

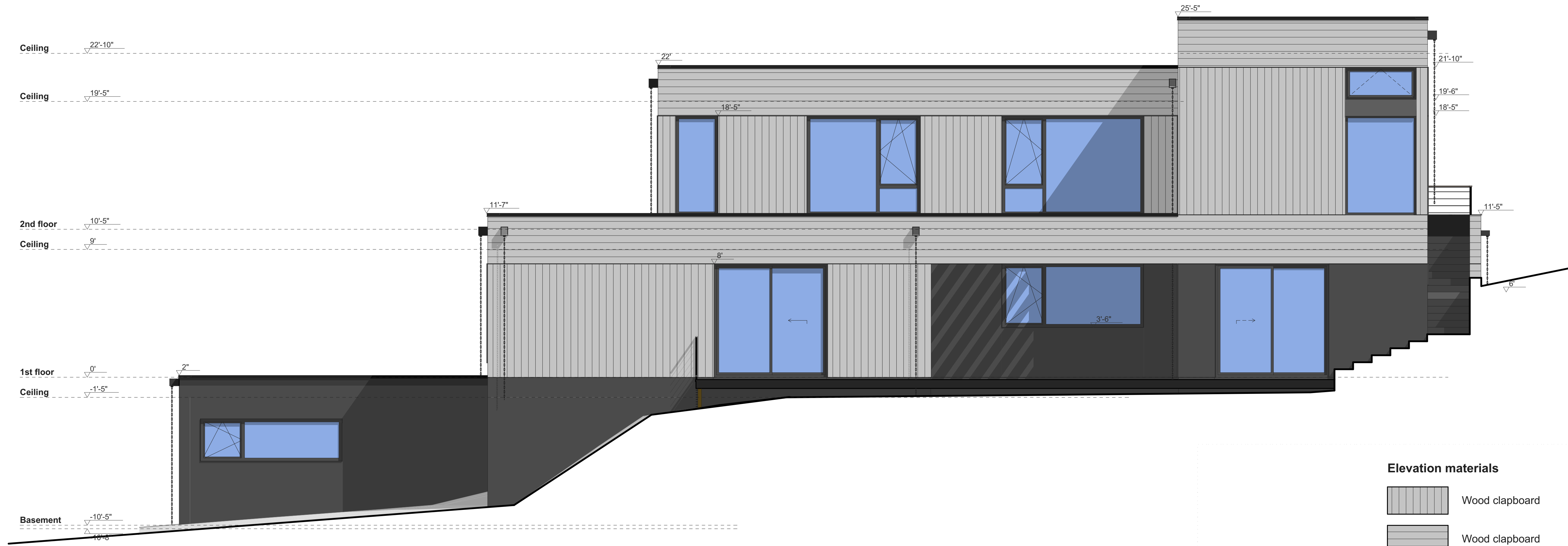
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TITLE:
GOOGLE MAP

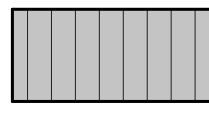
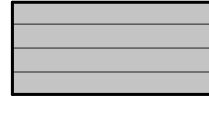

DRAWING SHEET
NO:
A0-1

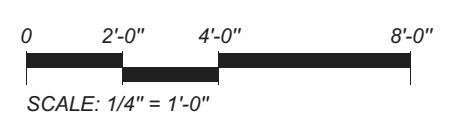
FRONT ELEVATION



REAR ELEVATION



- Elevation materials**
-  Wood clapboard
 -  Wood clapboard
 -  Fiber cement



NEW ONE FAMILY RESIDENCE
40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY

MARK	DATE	DESCRIPTION

ISSUE:

PROJECT NO:

CAD FILE:

DATE:

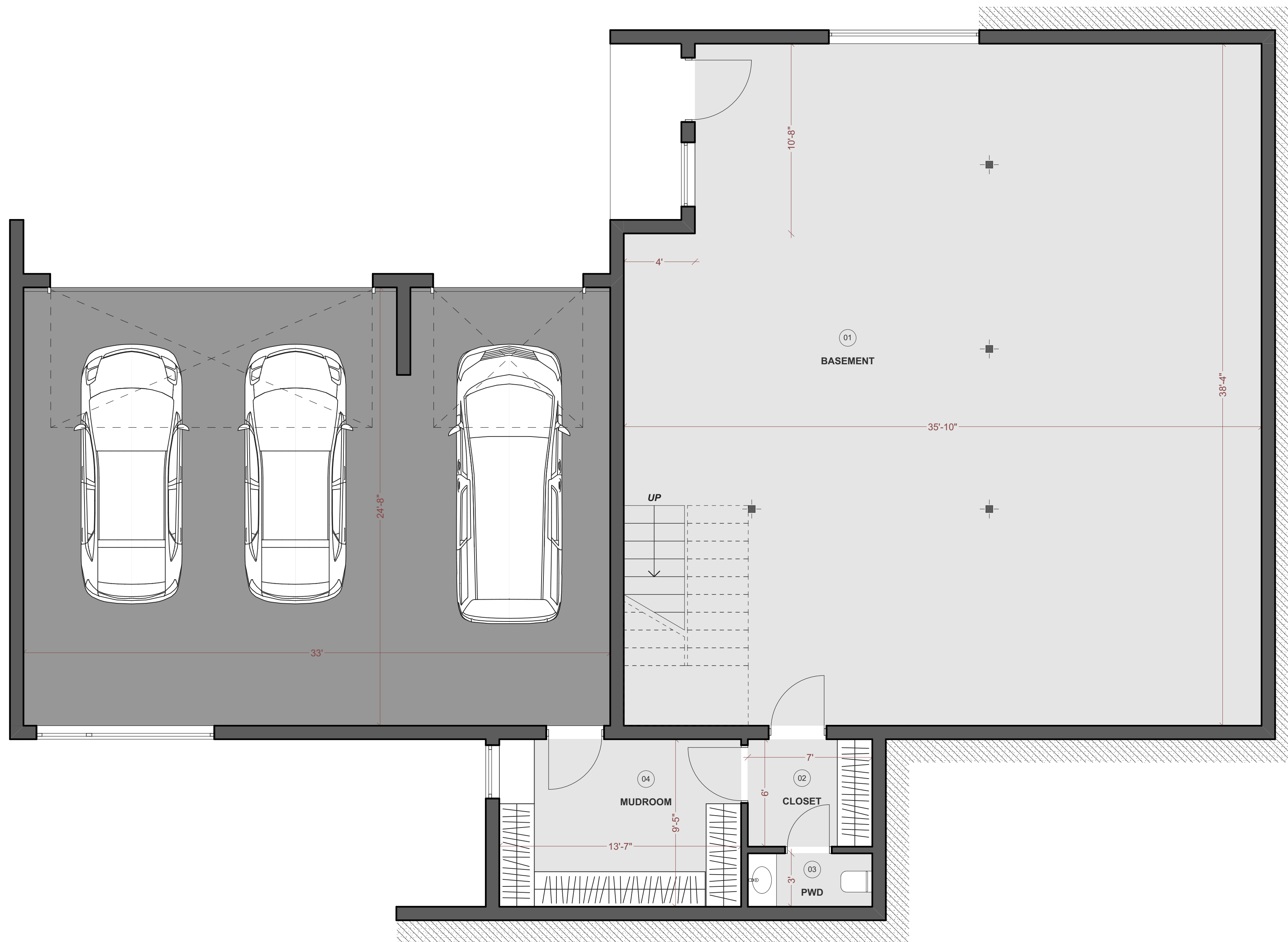
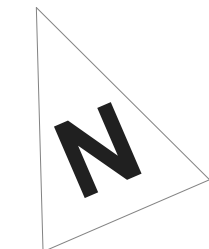
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ELEVATION

DRAWING SHEET NO:
A1-01



NUMBER	NAME	AREA
01	BASEMENT	1 332
02	CLOSET	42
03	PWD	21
04	MUDROOM	128
		1 523 sq ft

Living space 4 062 ft sq
 -1st floor 2 465 ft sq
 -2nd floor 1 597 ft sq
Garage 813 ft sq
Basement 1 523 ft sq

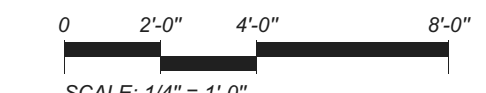
NEW ONE FAMILY RESIDENCE
40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY

MARK	DATE	DESCRIPTION

PROJECT NO:
 CAD FILE:
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 SHEET TITLE:

BASEMENT PLAN

DRAWING SHEET NO:
 A1-03





NUMBER	NAME	AREA
17	WALKWAY	209
18	LAUNDRY	40
19	BEDROOM 1	199
20	CLOSET	47
21	BATHROOM	40
22	CORRIDOR	29
23	BATHROOM	40
24	BEDROOM 2	151
25	CORRIDOR	29
26	BATHROOM	40
27	BEDROOM 3	151
28	CORRIDOR	70
29	MASTER BEDROOM	223
30	HER	94
31	HIS	94
32	MASTER BATHROOM	153
		1 609 sq ft

Living space 4 062 ft sq
 -1st floor 2 465 ft sq
 -2nd floor 1 597 ft sq
Garage 813 ft sq
Basement 1 523 ft sq

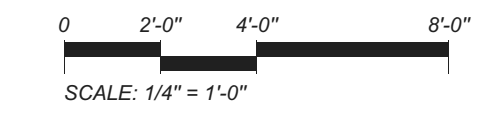
NEW ONE FAMILY RESIDENCE
40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY

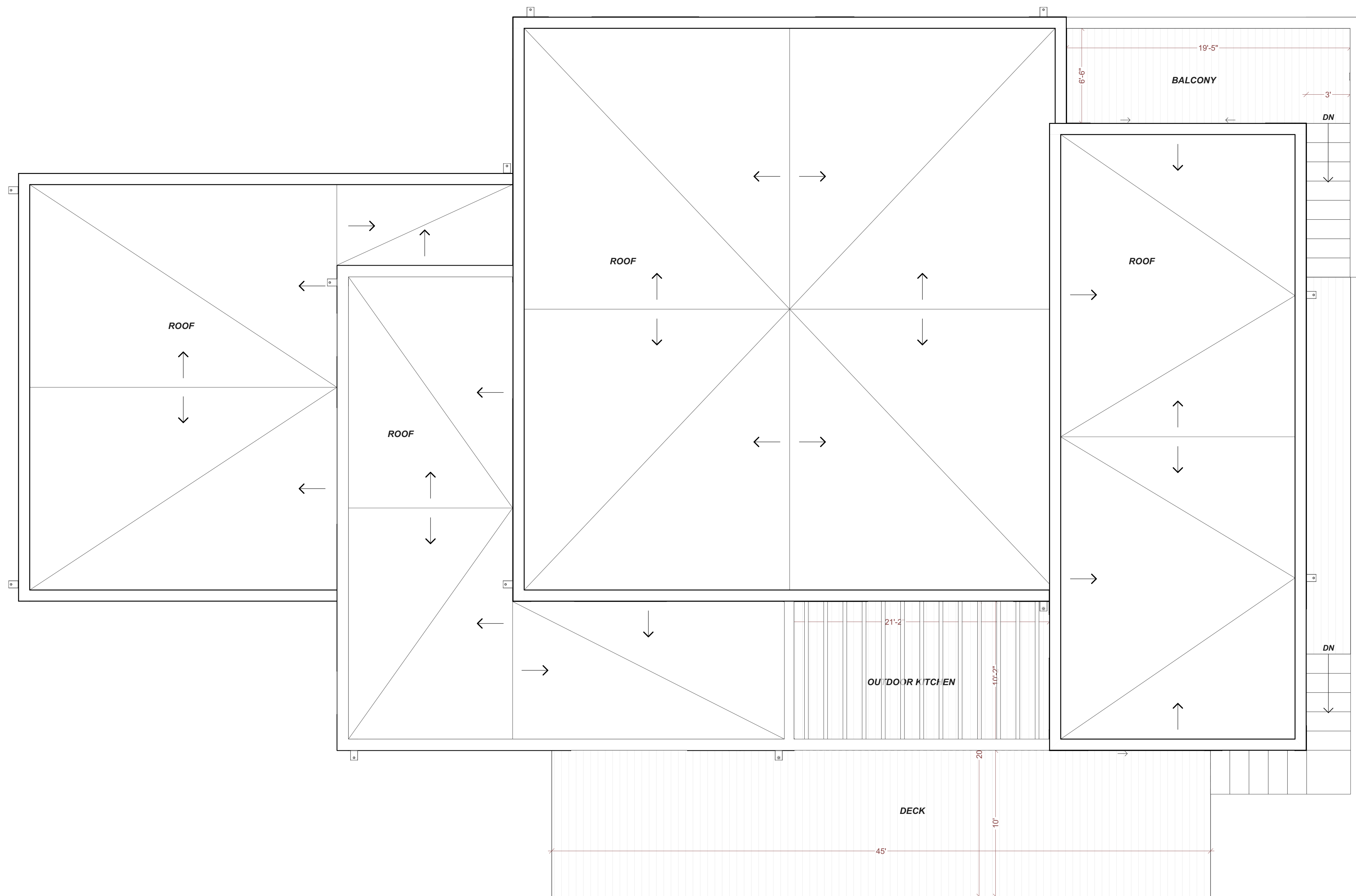
MARK	DATE	DESCRIPTION

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2ND FLOOR PLAN

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A1-05





NEW ONE FAMILY RESIDENCE
40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY

MARK	DATE	DESCRIPTION
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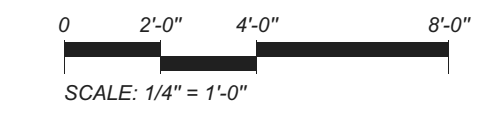
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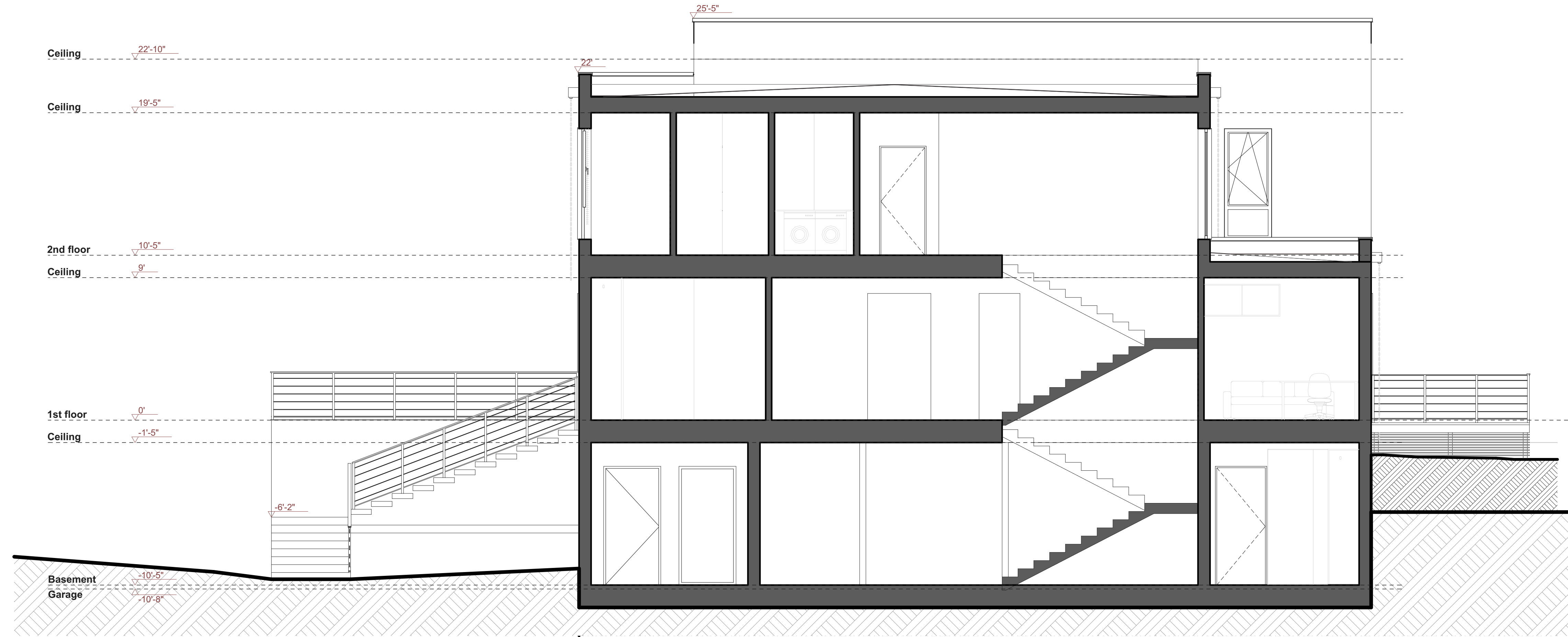
ROOF PLAN

DRAWING SHEET NO:

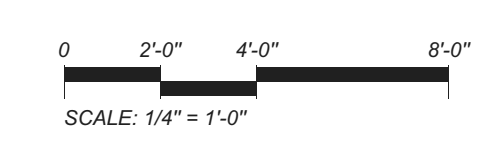
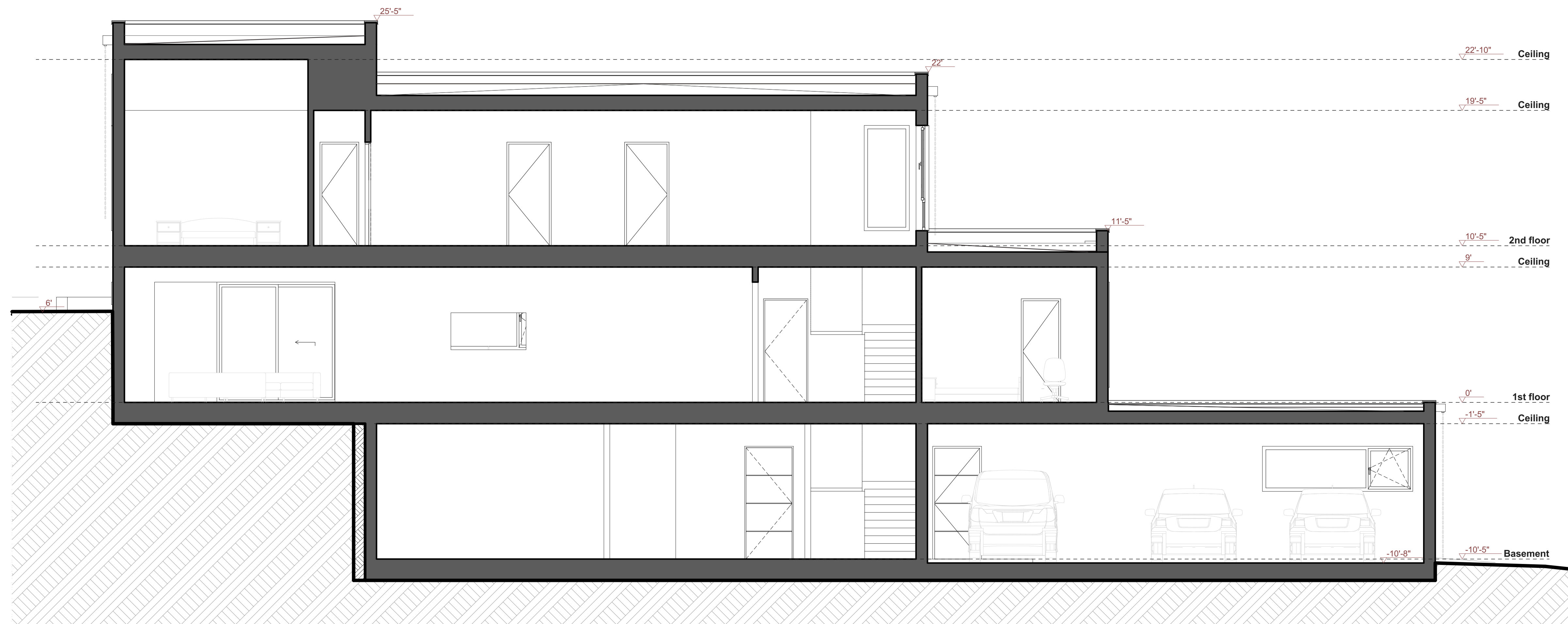
A1-06



SECTION 1



SECTION 2



NEW ONE FAMILY
RESIDENCE
40 GREEN VALLEY
ROAD,
TOWN OF NORTH
CASTLE,
WESTCHESTER
COUNTY, NY

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SHEET
TITLE:
SECTION

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NO:
A1-07



**NEW ONE FAMILY
RESIDENCE**

**40 GREEN VALLEY
ROAD,
TOWN OF NORTH
CASTLE,
WESTCHESTER
COUNTY, NY**

MARK	DATE	DESCRIPTION

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TITLE:

VISUALIZATION

DRAWING SHEET
NO:
A1-08



NEW ONE FAMILY RESIDENCE

**40 GREEN VALLEY ROAD,
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NY**

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SHEET TITLE:

VISUALIZATION

DRAWING SHEET NO:
A1-09