



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
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www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT NOVACK DECK RENOVATION

ADDRESS: 43 WOODCREST DRIVE

Section III- DESCRIPTION OF WORK:

NEW EXTENSION TO DECK  
NEW PATIO  
NEW HARDIE SIDING

Section III- CONTACT INFORMATION:

APPLICANT: MICHAEL PICCIRILLO ARCHITECTURE PLLC

ADDRESS: 345 KEAR STREET SUITE 203, YORKTOWN HTS, NY 10598

PHONE: 914-368-9838 MOBILE:

EMAIL: MICHAEL@M.PICCIRILLOARCHITECT.COM

PROPERTY OWNER:

SCOTT NOVACK

ADDRESS: 43 ~~NOVACK~~ WOODCREST DRIVE

PHONE: MOBILE: 917-699-4112 MAIL: NOV42715@GMAIL.COM

PROFESSIONAL: MICHAEL PICCIRILLO ARCHITECTURE PLLC

ADDRESS: 345 KEAR STREET SUITE 203

PHONE: 914-368-9838 MOBILE:

EMAIL: MICHAEL@M.PICCIRILLOARCHITECT.COM

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 95.03-1-28



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Novack Renovation

Initial Submittal  Revised Preliminary

Street Location:

43 Woodcrest Drive

Zoning District: R-2A Property Acreage: 1.12 Tax Map Parcel ID: 95.03-1-28

Date: 05-03-22

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



**TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
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**PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning**

**Telephone: (914) 273-3542  
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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: NOVAK Date: 4/25/22

Tax Map Designation or Proposed Lot No.: 95.03-1-28

Gross Lot Coverage

- |     |  |                |
|-----|--|----------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):                 | <u>48,935</u>  |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):     | <u>9833.75</u> |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):            |                |
|     | Distance principal home is beyond minimum front yard setback                   |                |
|     | <u>0</u> x 10 = <u>0</u>   |                |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3      | <u>9833.75</u> |
| 5.  | Amount of lot area covered by <b>principal building</b> :                      |                |
|     | <u>1581</u> existing + <u>0</u> proposed =                                     | <u>1,581</u>   |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :                     |                |
|     | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>       |
| 7.  | Amount of lot area covered by <b>decks</b> :                                   |                |
|     | <u>1670</u> existing + <u>17</u> proposed =                                    | <u>1687</u>    |
| 8.  | Amount of lot area covered by <b>porches</b> :                                 |                |
|     | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>       |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :    |                |
|     | <u>1844</u> existing + <u>0</u> proposed =                                     | <u>1844</u>    |
| 10. | Amount of lot area covered by <b>terraces</b> :                                |                |
|     | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>       |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> : |                |
|     | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>       |
| 12. | Amount of lot area covered by <b>all other structures</b> :                    |                |
|     | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>       |
| 13. | Proposed <b>gross land coverage</b> : Total of Lines 5 – 12 =                  | <u>5,112</u>   |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.



Signature of Professional Preparing Worksheet

4/25/22  
Date

# NOVAK RESIDENCE RENOVATION

43 WOODCREST DRIVE  
ARMONK, NEW YORK 10504



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.  
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.

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### SHEET INDEX

T-100	TITLE SHEET, NOTES
SP-1	SITE PLAN
A-100	DEMOLITION PLAN, FRAMING PLAN, DETAILS NOTES, FLOOR PLANS,
A-200	ELEVATION
A-302	DECK DETAILS

### ABBREVIATIONS

AB	ANCHOR BOLT	DIAM	DIAMETER	INCL	INCLUDING	PTD	PAINTED	TELE	TELEPHONE
AT	ACOUSTICAL TILE	DIM	DIMENSION	I.D.	INSIDE DIAMETER	P.LAM	PLASTIC LAMINATE	TV	TELEVISION
A.F.F	ABOVE FINISHED FLOOR	DN	DOWN	INSUL	INSULATION	PLWD	PLYWOOD	THK	THICKNESS
ADD.	ADDENDUM	DWG	DRAWING	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	T&G	TONGUE AND GROOVE
A/C	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	INV	INVERT	P.C.F.	POUNDS PER CUBIT FOOT	T&B	TOP AND BOTTOM
ALT	ALTERNATE	ELEC	ELECTRICAL	JT	JOINT	P.S.F.	POUNDS PER SQUARE FOOT	T.O.S	TOP OF SLAB
ALUM	ALUMINUM	E.W.C	ELEC. WATER COOLER	LAM	LAMINATE	P.S.I.	POUNDS PER SQUARE INCH	T.O.STL	TOP OF STEEL
ANOD	ANODIZED	ELEV	ELEVATION	LAV	LAVATORY	POL	POLISHED	T.O.W	TOP OF WALL
ARCH	ARCHITECTURAL	EQ	EQUAL	L.F.	LINEAR FOOT	PLAS	PLASTER	T	TREAD (S)
BSMT	BASEMENT	EXP	EXPOSED	L.F.	LINEAR FOOT	QT	QUARRY TILE	TYP	TYPICAL
BIT	BITUMINOUS	EXT.	EXTERIOR	L.F.	LINEAR FOOT	QT	QUARRY TILE	T.O.C	TOP OF CURB
BLKG	BLOCKING	EXP. JT.	EXPANSION JOINT	MTL	METAL	RCP	REFLECTED CEILING PLAN	UL	UNDERWRITERS LABORATORY
BD	BOARD	FIN	FINISH	MAS	MASONRY	RE	REFERENCE	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	F.F.E.	FINISHED FLOOR ELEV.	MFR	MANUFACTURER	REIN	REINFORCED	UR	URINAL
CAB	CABINET	F.P.S.C.	FIRE-PROOF, SELF-CLOSING	M.O.	MASONRY OPENING	REV	REVISION	V.C.T.	VINYL COMPOSITION TILE
CIP	CAST IN PLACE	FLR	FLOOR	MECH	MECHANICAL	REQ	REQUIRED	VB	VAPOR BARRIER
CPT	CARPET	FTG	FOOTING	MIN	MINIMUM	R	RISER	VERT	VERTICAL
C.B.	CATCH BASIN	FND	FOUNDATION	NOM	NOMINAL	R.O.	ROUGH OPENING	W	WITH
CLG	CEILING	GALV	GALVANIZED	N.I.C.	NOT IN CONTRACT	SIM	SIMILAR	WC	WATER CLOSET
CEM	CEMENT	GA	GAUGE	N.T.S.	NOT TO SCALE	SPEC	SPECIFICATION	W.COT	WAINSCOT
C.T.	CERAMIC TILE	GYP. BD.	GYP. BOARD	O.A.I.	OUTSIDE AIR INTAKE	SQ	SQUARE	WP	WATERPROOFING
COL	COLUMN	H.D. WD.	HARDWOOD	O.C.	ON CENTER	S.F.	SQUARE FOOT	WR	WATER RESISTANT
CONC	CONCRETE	HDR	HEADER	O.H.	OVERHANG	S.Y.	SQUARE YARD	WS	WEATHERSTRIPPING
CMU	CONC. MASONRY UNIT	HT	HEIGHT	OPNG	OPENING	S.S.	STAINLESS STEEL	WT	WEIGHT
CONST	CONSTRUCTION	HM	HOLLOW METAL	OPP	OPPOSITE	STD	STANDARD	W.W.F.	WELDED WIRE FABRIC
CONT	CONTINUOUS	HB	HOLLOW METAL	O.D.	OUTSIDE DIAMETER	STL	STEEL	WD	WIDE, WIDTH
C.F.	CUBIC FEET	HOSE BIB	HOSE BIB	OPT	OPTION OR OPTIONAL	SYM	SYMBOL	W	WOOD
C.Y.	CUBIC YARD								

### GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.

2. THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR SHALL CAREFULLY SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH CONSTRUCTION.

3. BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION.

4. MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.

5. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.

6. PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.

7. CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.

8. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.

9. TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE STATED IN CONTRACTOR'S PROPOSAL. AFTER AWARD OF JOB, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.

10. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.

11. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.

12. CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK.

13. PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILING AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.

14. STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.

15. CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.

16. WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.

17. THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.

18. SINCE IT IS NOT POSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED BY DASHED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO ACQUAINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS OCCUR.

19. THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.

20. ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE WHERE THE WORK IS BEING EXECUTED.

21. ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.

22. ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND STORAGE OF ALL CONSTRUCTION MATERIALS.

23. REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.

24. PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES. IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS.

25. EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETRY TO A SANITARY CONDITION.

26. PERMITS:  
A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.  
B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.  
C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.

27. CLEANING:  
A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.  
B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.

28. WARRANTIES:  
A. CONTRACTOR SHALL WARRANT THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.

29. CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS, THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.

30. THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT.

ALL NEW INTERIOR FINISHES SHALL COMPLY WITH 2020 NYS RESIDENTIAL CODE - INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX  
-EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX  
-INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF 1 "PILL TEST"

PORTABLE FIRE EXTINGUISHERS  
-EXTINGUISHERS SHALL BE SELECTED, INSTALLED, MAINTAINED IN ACCORDANCE WITH NFPA 10. -PROVIDE (1) 2-A. EXTINGUISHER FOR EACH RETAIL SPACE, AND (2) 2-A. EXTINGUISHER FOR WAREHOUSE SPACE  
-EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 72.

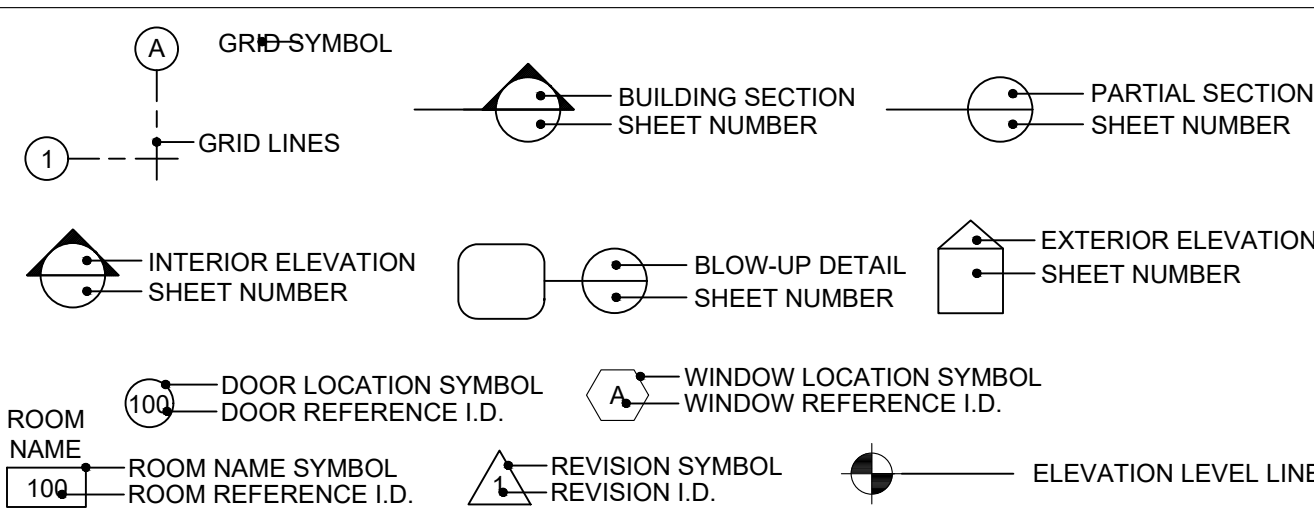
HVAC  
-NEW MECHANICAL WORK AND ALTERATIONS TO EXISTING MECHANICAL INSTALLATIONS SHALL CONFORM TO CHAPTER 12 OF THE 2020 NYS RESIDENTIAL CODE  
-HEATING AND COOLING LOADS SHALL BE DETERMINED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THE ASHRAE/ACCA 183.  
-HVAC EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE  
-THE HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEG. F AT A POINT 3'-0" ABOVE THE FLOOR ON THE DESIGN HEATING DAY.  
-G.C. SHALL PROVIDE SYSTEM SPECIFICATIONS FOR ARCHITECT REVIEW. -EACH HEATING/COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS  
-SUPPLY AND RETURN AIR DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH MIN. R-5 INSULATION -ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.  
-PROPER CLEARANCES SHALL BE MAINTAINED TO ALL INSPECTION, SERVICE, REPAIR, OR REPLACEMENT WITHOUT REMOVING ELEMENTS OF PERMANENT CONSTRUCTION.

PLUMBING  
-SERVICE WATER HEATING EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE  
-ALL PLUMBING FIXTURES AND DRAINS USED TO RECEIVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM IN ACCORDANCE WITH 2020 NYS RESIDENTIAL CODE -ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2015 IPC  
-THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1 -STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THAN 0.5" IN LEAST DIMENSION  
-OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING. -BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE TRENCHES SHALL BE LINED WITH FINE GRAVEL.  
-THE DESIGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL BE APPROVED.  
-WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.

ELECTRICAL  
-NEW ELECTRICAL COMPONENT, EQUIPMENT, AND SYSTEMS AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.

FUEL AND GAS  
-NEW FUEL GAS WORK AND ALTERATIONS TO EXISTING FUEL GAS INSTALLATIONS SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE.

### REFERENCE SYMBOLS



### ENERGY CODE COMPLIANCE:

2020 NYS RESIDENTIAL CODE, CHAPTER 4: RESIDENTIAL ENERGY EFFICIENCY  
-CLIMATE ZONE 4  
PRESCRIPTIVE REQUIREMENTS:  
FENESTRATION U-FACTOR: 0.35  
CEILING R-VALUE: 49  
WALL R-VALUE: 20  
FLOOR R-VALUE: 19  
(REFER TO PLANS FOR PROJECT INSULATION VALUES)

-THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION  
-ALL JOINTS, SEAMS, AND PENETRATIONS -JOINTS AROUND DOORS/WINDOWS AND THEIR FRAMING  
-UTILITY PENETRATIONS  
-WALLS AND CEILINGS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACE  
-ATTIC ACCESS OPENINGS  
-RIM JOIST JUNCTION, SILL PLATES AND HEADERS

-BUILDING ENVELOPE AIR TIGHTNESS SHALL BE TESTED IN ACCORDANCE WITH ASHRAE/ASTM E779.  
-PROVIDE A MINIMUM OF ONE THERMOSTATE CAPABLE OF AUTOMATICALLY ADJUSTING SPACE TEMPERATURE PER 2020 NYS RESIDENTIAL CODE  
-DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8. ALL OTHER DUCTS SHALL BE INSULATED TO MIN. R-6 (EXCEPT DUCTS LOCATED COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE)  
-ALL DUCTS SHALL BE SEALED AND COMPLY WITH M1601.3.1 OF 2020 NYS RESIDENTIAL CODE  
-HOT AND COLD WATER PIPES SHALL BE INSULATED TO MIN. R-3  
-HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ASCA MANUAL J. GC SHALL PROVIDE SYSTEM SPECIFICATIONS SHOWING COMPLIANCE WITH ABOVE.  
-A MINIMUM OF 50% OF LAMPS SHALL BE IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS

### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST DEPTH	TERMITE					
30 PSF	115 MPH - 120 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE HEAVY	7° F	NO	1600 OR LESS	51.6	

### ENERGY CODE NOTE:

I CERTIFY THAT I AM A LICENSED PROFESSIONAL. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH THE 2020 NYS RESIDENTIAL CODE.

### LIGHT AND VENTILATION NOTE:

THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH RESIDENTIAL CODE OF NEW YORK STATE. THE BUILDING PLANS DESCRIBED HEREIN COMPLY WITH CHAPTER 3 INCLUDING PARAGRAPH R303.1 OF THE 2020 NYS RESIDENTIAL CODE.  
ALL HABITABLE ROOMS HAVE BEEN PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. THE MINIMUM OPERABLE AREA FOR VENTILATION TO THE OUTDOORS HAVE BEEN PROVIDED AT NOT LESS THAN 4 PERCENT OF FLOOR AREA.

LOCATION MAP

### VILLAGE OF SCARSDALE CONDITIONS:

- APPROVED AND STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE FOR ALL INSPECTIONS.
- PREMISES IDENTIFICATION REQUIRED PER F505 OF THE 2020 NYS RESIDENTIAL CODE. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.
- ALL CONSTRUCTION SITES SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE PROPERTY MAINTENANCE CODE. ALL RUBBISH GARBAGE AND CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN AN ON-SITE DUMPSTER OR REMOVED OFF-SITE IMMEDIATELY. MATERIALS SHALL BE STACKED AND ORDERLY FASHION AS TO NOT CREATE A BLIGHT ON THE COMMUNITY. THE VILLAGE RIGHT OF WAY MUST BE KEPT CLEAR AND MAINTAINED AT ALL TIMES.
- A CURRENT WESTCHESTER COUNTY LICENSED AND INSURED CONTRACTOR MUST BE ON FILE WITH CURRENT BUILDING PERMIT UNTIL CERTIFICATE OF OCCUPANCY IS ISSUED. IF CONTRACTOR OF RECORD HAS BEEN REMOVED FROM THE PROJECT, A STOP WORK ORDER WILL BE ISSUED UNTIL A NEW WESTCHESTER COUNTY LICENSED AND INSURED CONTRACTOR IS RETAINED.
- ARCHITECT / ENGINEER OF RECORD SERVICES MUST BE RETAINED UNTIL CERTIFICATE OF OCCUPANCY IS ISSUED.
- ON ADDITIONS AND RENOVATIONS GREATER THAN FIFTY PERCENT, PROVIDE DOCUMENTATION FROM SCARSDALE WATER SUPERINTENDENT TO VERIFY IF EXISTING OR PROPOSED WATER LINE IS SIZED CORRECTLY TO SUPPLY WATER ADEQUATELY.
- LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT.
- LICENSED PLUMBER TO FILE PLUMBING PERMIT.
- HOUSE TO BE IDENTIFIED WITH TRUSS SIGN IF PRE-ENGINEERED LUMBER IS USED IN ACCORDANCE WITH TITLE 19 NYCRR PART 1265 EFFECTIVE JANUARY 1, 2015 PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- USE OF OUTDOOR POWER TOOLS AND CONSTRUCTION ACTIVITY: MONDAY - FRIDAY BETWEEN 8AM - 9PM, WEEKENDS AND LEGAL HOLIDAYS BETWEEN 10AM - 5PM.
- THE FOLLOWING TREE REMOVAL ACTIVITY REQUIRES A TREE REMOVAL PERMIT BY THE VILLAGE OF SCARSDALE ENGINEERING DEPARTMENT PER VILLAGE OF SCARSDALE CODE, CHAPTER 281-4:
  - THE REMOVAL OF THREE OR MORE TREES GREATER THAN SIX INCHES DBH.
  - THE REMOVAL OF ONE OR MORE SMALL CALIPER NATIVE TREES AS IDENTIFIED UNDER 281-3A.
  - TREES IDENTIFIED TO BE REMOVED OR PROTECTED AS A RESULT OF A LAND USE BOARD DETERMINATION.
  - REMOVAL OF REPLACEMENT TREE(S) SIX INCHES OR LESS DBH THAT ARE PLANTED AS A RESULT OF A LAND USE BOARD DETERMINATION OR PURSUANT TO 281-11.
  - REMOVAL OF TREE(S) DETERMINED TO BE PRESERVED BY A LAND USE BOARD FOR AT LEAST TWO GROWING SEASONS AFTER THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR LAND USE BOARD APPROVAL.
  - THE REMOVAL OF ANY TREE EXCEEDING 36 INCHES DBH, REPLACEMENT TREE REQUIRED.
  - REMOVAL OF ONE OR MORE TREES GREATER THAN SIX INCHES DBH THAT ARE DEAD, DYING, HAZARDOUS OR DISEASED AS DETERMINED BY A TREE EXPERT WITHOUT A FEE AND SHALL NOT BE SUBJECT TO THE REPLACEMENT REQUIREMENTS UNDER 281-5.
- COMPLY WITH THE 2020 NYS RESIDENTIAL CODE, SECTION R314.1 REQUIREMENTS FOR PROPER INSTALLATION OF SMOKE AND R315.1 CARBON MONOXIDE ALARMS. APPENDIX J 504.2.1 OF THE 2017 NEW YORK STATE SUPPLEMENT SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY WHERE EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO THE STRUCTURE.
- PROVIDE PROTECTION OF ADJOINING PROPERTIES PER B3307.1 OF THE 2015 INTERNATIONAL BUILDING CODE.
- ARCHITECT / ENGINEER SEAL & SIGNATURE REQUIRED ON CERTIFICATION.
- ARCHITECT / ENGINEER OF RECORD TO INSPECT AND CERTIFY FRAMING, TO INCLUDE R502.8 "CUTTING, DRILLING AND NOTCHING" PER THE 2020 NYS RESIDENTIAL CODE.
- ANY CHANGES TO APPROVED PLANS OR AS-BUILT PLANS WILL REQUIRE AND AMENDMENT APPLICATION AND FEE PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- NO TEMPORARY CERTIFICATE OF OCCUPANCY PERMITTED PER THE SCARSDALE BUILDING INSPECTOR.
- PROVIDE FINAL LOT COVERED CALCULATIONS WITH BREAKDOWN PRIOR TO FILING FOR CERTIFICATE OF OCCUPANCY.
- FINAL AS-BUILT SURVEY SIGNED AND SEALED BY NEW YORK STATE LICENSED LAND SURVEYOR TO BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE AS-BUILT SURVEY MUST INCLUDE ALL SITE IMPROVEMENTS (DRIVEWAYS, WALKWAYS, WALLS, PATIOS, ETC.)

PROJECT NAME:  
NOVAK RESIDENCE  
RENOVATION

PROJECT ADDRESS:  
43 WOODCREST DRIVE  
ARMONK, NY 10504



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### TITLE SHEET NOTES

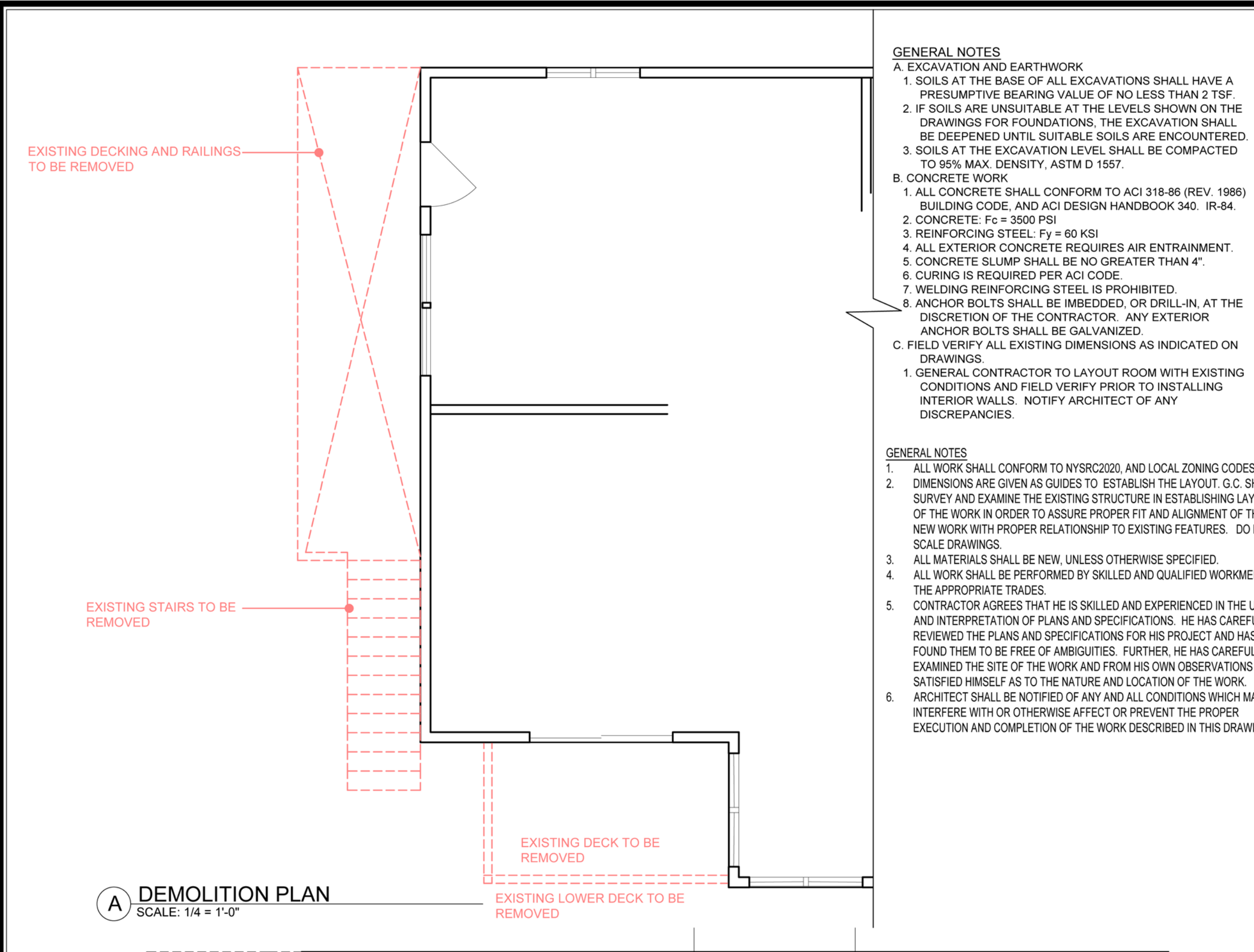
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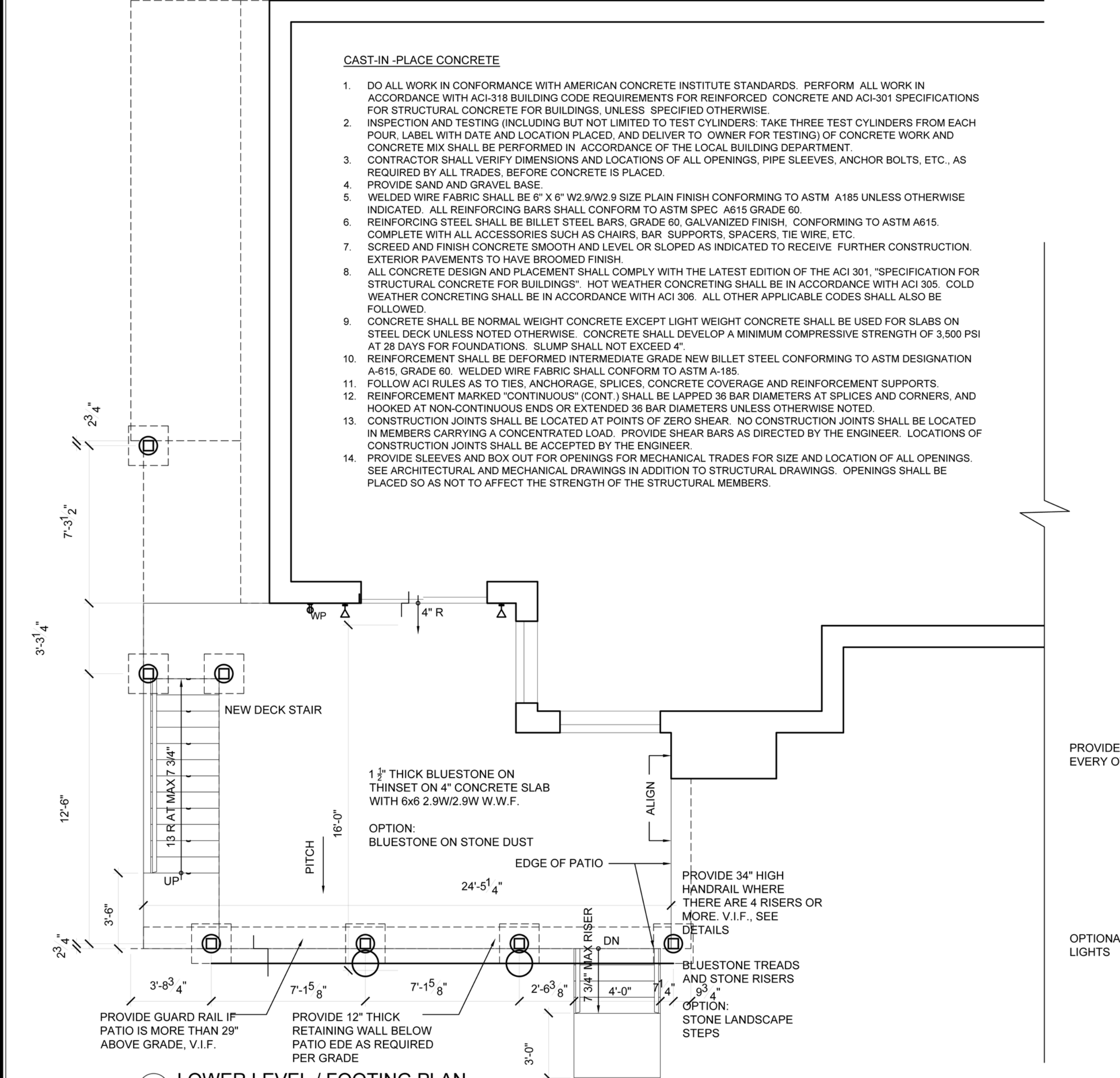


Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW. © Copyright 2021 MICHAEL PICCIRILLO ARCHITECTURE PLLC



A DEMOLITION PLAN SCALE: 1/4" = 1'-0"



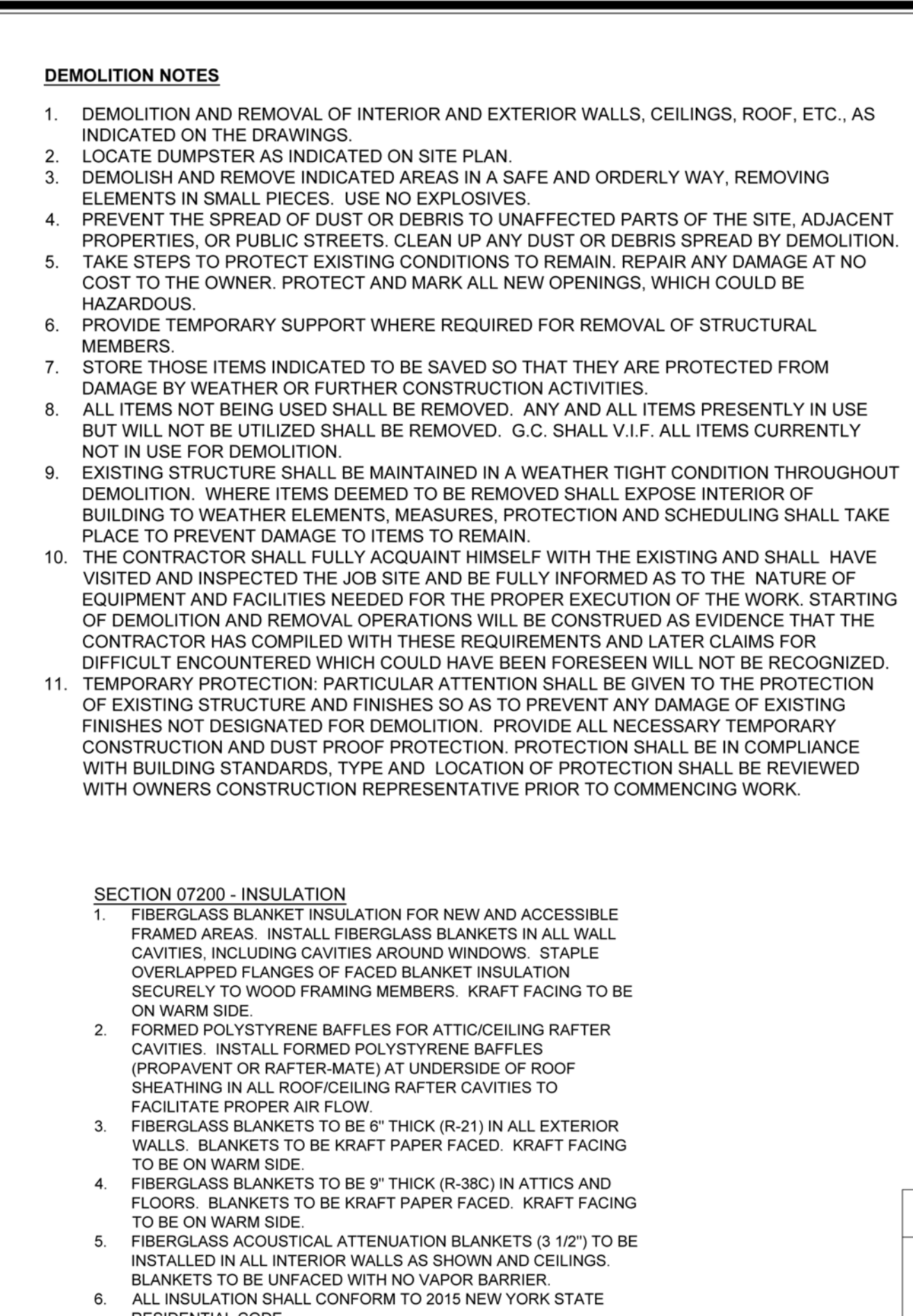
C LOWER LEVEL / FOOTING PLAN SCALE: 1/4" = 1'-0"

- GENERAL NOTES
1. EXCAVATION AND EARTHWORK
2. SOILS AT THE BASE OF ALL EXCAVATIONS SHALL HAVE A PRESUMPTIVE BEARING VALUE OF NO LESS THAN 2 TSF...

- GENERAL NOTES
1. ALL WORK SHALL CONFORM TO NYSRC2020, AND LOCAL ZONING CODES.
2. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT...

CAST-IN-PLACE CONCRETE

- 1. DO ALL WORK IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS. PERFORM ALL WORK IN ACCORDANCE WITH ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS SPECIFIED OTHERWISE...

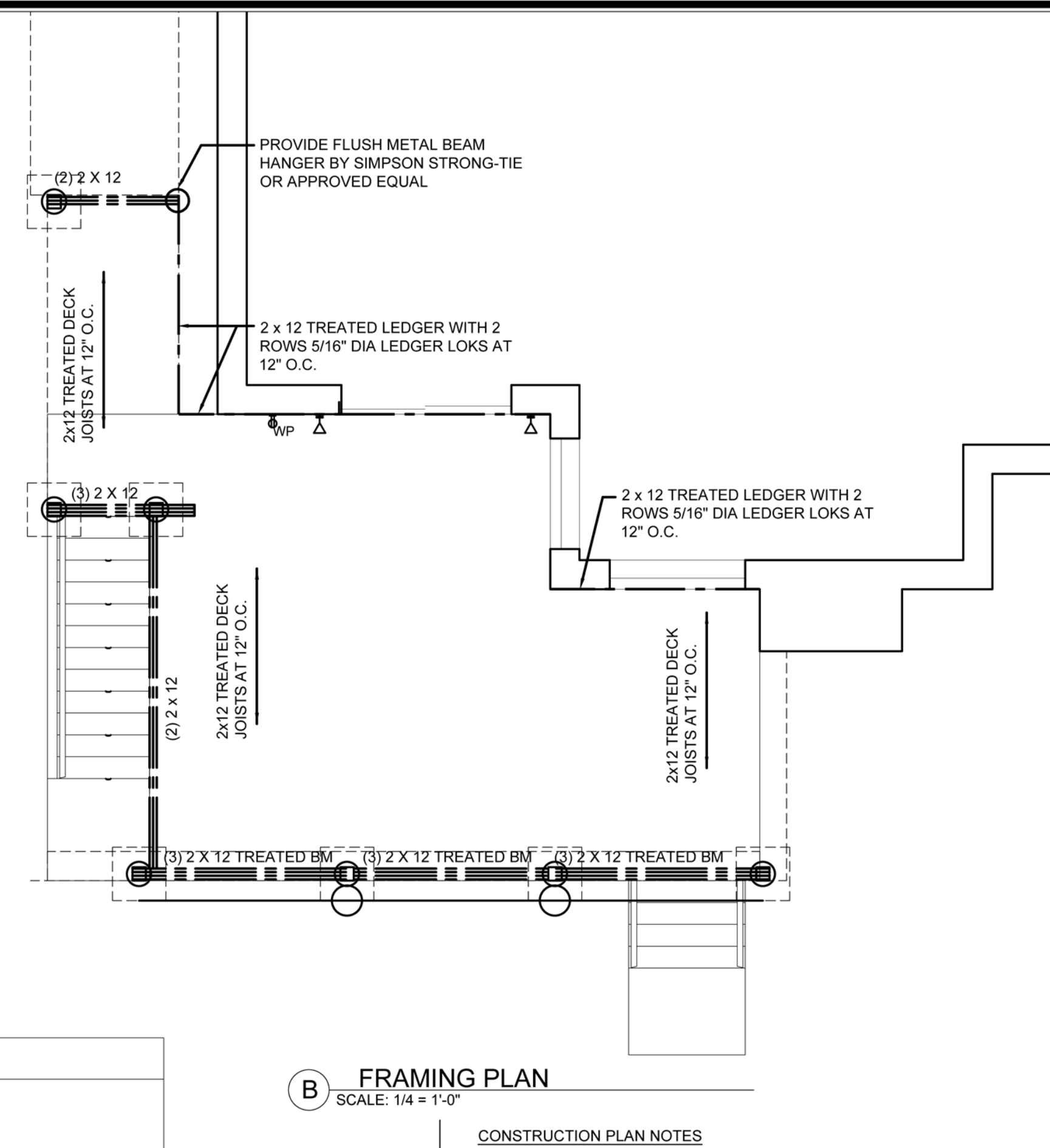


D PROPOSED FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES
1. DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.
2. LOCATE DUMPSTER AS INDICATED ON SITE PLAN.

SECTION 07200 - INSULATION

- 1. FIBERGLASS BLANKET INSULATION FOR NEW AND ACCESSIBLE FRAMED AREAS. INSTALL FIBERGLASS BLANKETS IN ALL WALL CAVITIES, INCLUDING CAVITIES AROUND WINDOWS...



B FRAMING PLAN SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN NOTES

- 1. PREPARE EXISTING SUBFLOOR FOR NEW FLOOR FINISHES.
2. PATCH AND REPAIR ALL WALLS DAMAGED BY DEMOLITION TO APPEAR INTEGRAL WITH NEW WORK.

DIVISION 4 MASONRY

- GENERAL REQUIREMENTS: G.C. SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL MASONRY SHOWN OR NOTED IN THESE DOCUMENTS. THE GENERAL REQUIREMENTS OF SECTION 1 SHALL APPLY TO ALL WORK UNDER THIS HEADING...

SMOKE ALARMS/ CARBON MONOXIDE ALARMS

- 1. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, ADJACENT HALL, AND ONE ON EACH STORY OF DWELLING PER 2015 IRC.
2. PROVIDE CARBON MONOXIDE DETECTORS PER 2015 THE INTERNATIONAL BUILDING CODE, SECTION R315.

Table with columns: No., DATE, ISSUE.

PROJECT NAME: NOVAK RESIDENCE NEW DECK

PROJECT ADDRESS: 43 WOODCREST DRIVE ARMONK, NEW YORK 10504



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FLOOR PLANS
SCALE: AS NOTED DATE: 04-26-21
DRAWN BY: MAP
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1 OF 1
A-100

- EXTERIOR SCOPE OF WORK:**
1. REMOVE ALL EXISTING SIDING AND REPLACE WITH NEW HARDIE BOARD AND BATTEN SIDING.
  2. REPLACE ALL EXISTING TRIM WITH NEW AZEK TRIM.
  3. NEW DECK AS INDICATED ON FLOOR PLANS

NEW 5/4 X 10 AZEK RAKE BOARDS

NEW HARDIE BOARD AND BATTEN SIDING

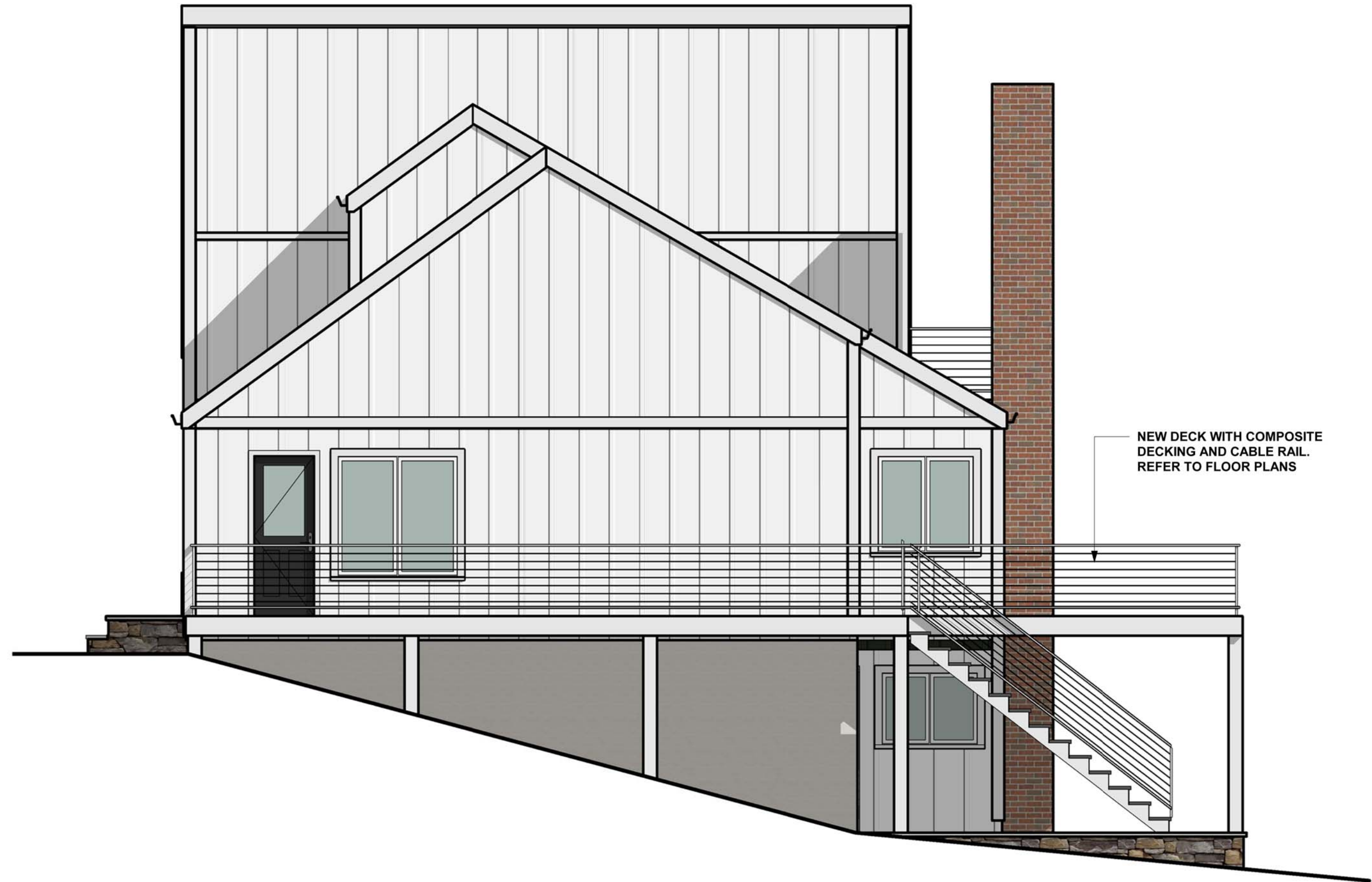
NEW 5/4 X 6 AZEK CORNER BOARDS

NEW 5/4 X 4 AZEK WINDOW TRIM

NEW DECK WITH COMPOSITE DECKING AND CABLE RAIL. REFER TO FLOOR PLANS



**1 FRONT ELEVATION**  
1/4" = 1'-0"



**2 RIGHT ELEVATION**  
1/4" = 1'-0"



**3 BACK ELEVATION**  
1/4" = 1'-0"



**4 LEFT ELEVATION**  
1/4" = 1'-0"

No.	DATE	ISSUE
1	5/14/21	DESIGN REVIEW
2	5/24/21	DESIGN REVIEW
3	6/03/21	DESIGN REVIEW
4	7/21/21	ISSUED

PROJECT NAME:

NOVAK

PROJECT ADDRESS:

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ARMONK, NY



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**ELEVATIONS**

Scale

1/4" = 1'-0"

Drawn by

Author

**A200**



1 FRONT LEFT PERSPECTIVE



3 BACK LEFT PERSPECTIVE



2 FRONT RIGHT PERSPECTIVE



4 BACK RIGHT PERSPECTIVE

No.	DATE:	ISSUE:
1	5/14/21	DESIGN REVIEW
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PERSPECTIVES

Scale	
Drawn by Author	A201



## CONNECTOR SCHEDULE

### SIMPSON STRONG TIE CONNECTORS:

STRUCTURAL MEMBERS CONNECTOR MODEL NO.

### EXTERIOR DECK

GUARDRAIL POST TO DECK DTT2Z

DECK TO HOUSE LATERAL LOAD AND REFER TO S106, LEDGER DETAIL DTT2Z

STAIR STRINGER LSCZ

STAIR TREAD TA TREAD ANGLE

BEAM TO CMU PIER CCQM, CCTQM

### POST/BASE

POST BASE ABU88Z

POST CAP PCZ

### FLOOR/DECK JOISTS

JOIST HANGER (DIMENSIONAL LUMBER) LUC 2102

JOIST HANGER (TJI) ITT

MULTI LVL HANGER EGQ

### ROOF RAFTERS

RAFTER TO RIDGE REFER TO DETAIL H5 LSSU

TJI RAFTER DETAILS FOR STRAP SPEC

RAFTER (UPLIFT, TWIST STRAP) HTS 30

### CONNECTOR SCHEDULE

RAFTER TO RIDGE REFER TO DETAIL H5 LSSU

TJI RAFTER DETAILS FOR STRAP SPEC

RAFTER (UPLIFT, TWIST STRAP) HTS 30

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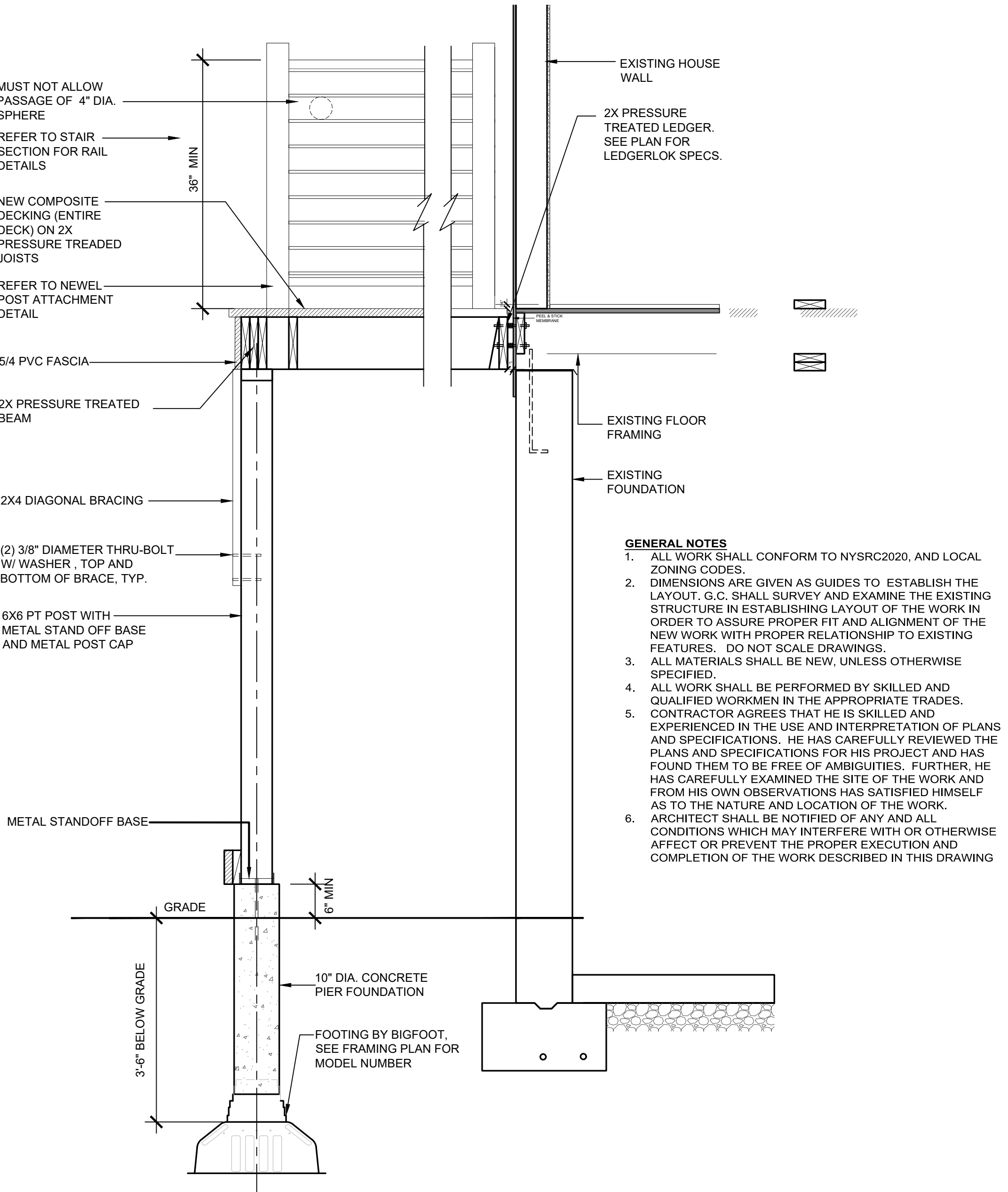
RAFTER (UPLIFT, TWIST STRAP) HTS 30

RAFTER (UPLIFT, TWIST STRAP) HTS 30

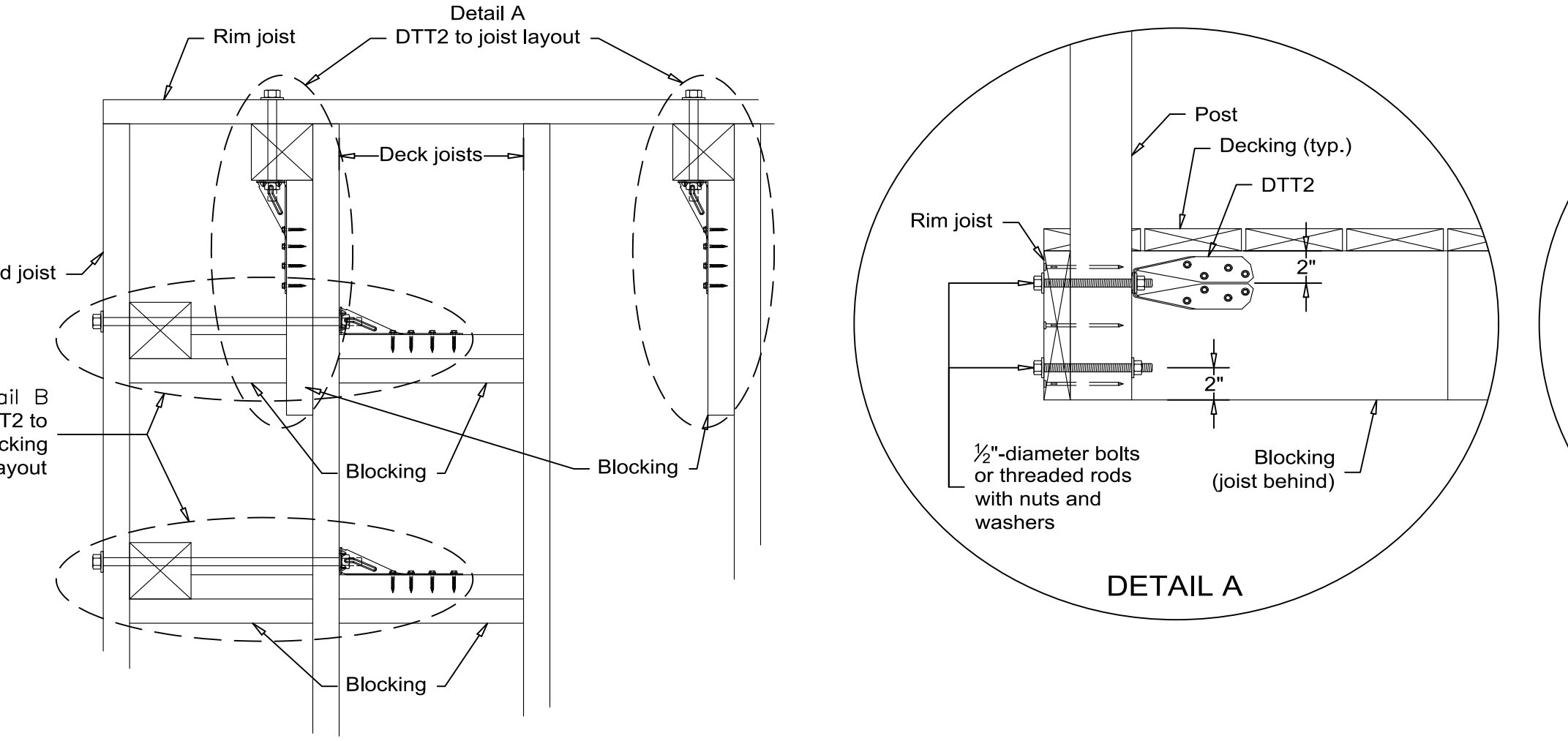
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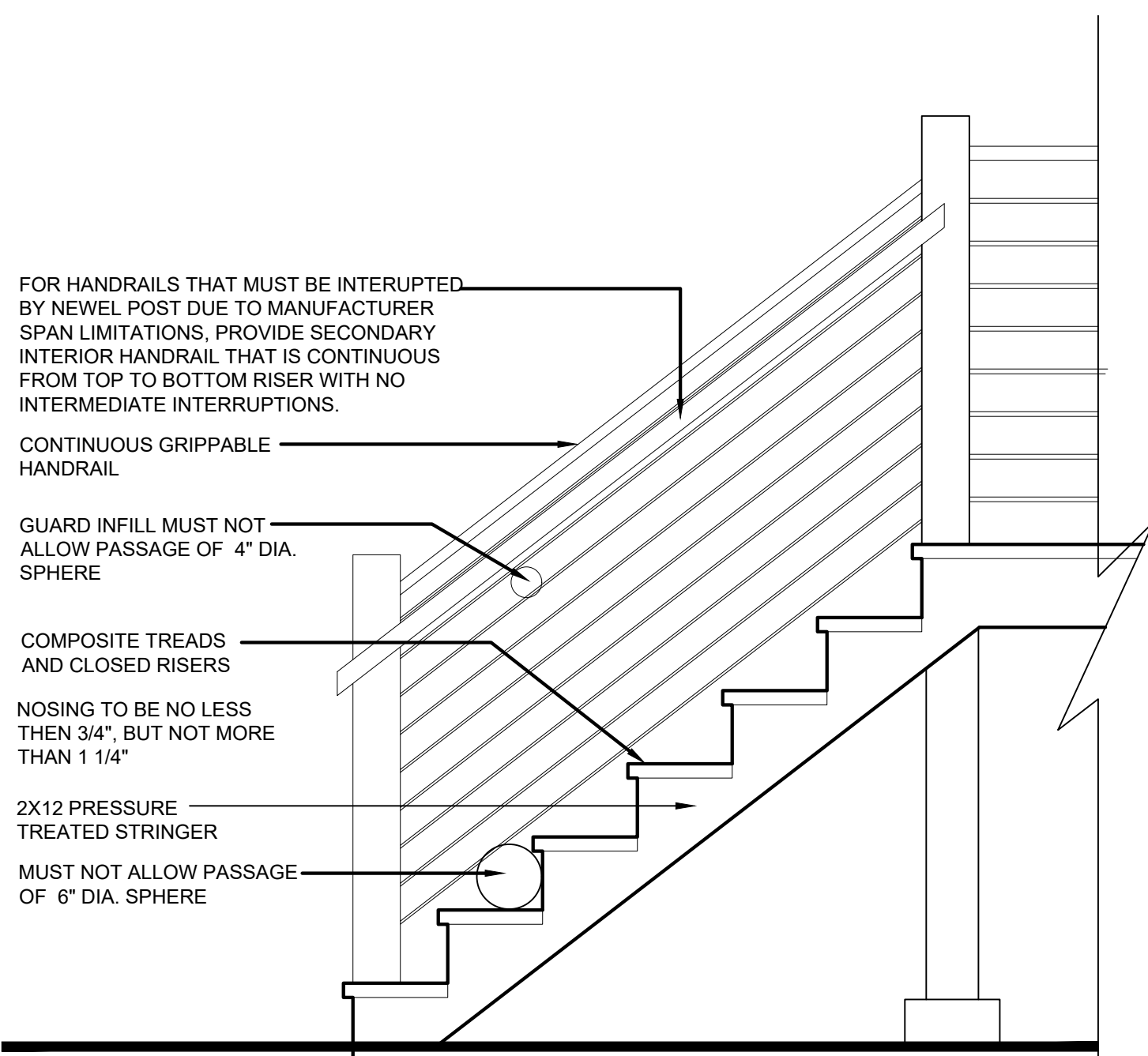
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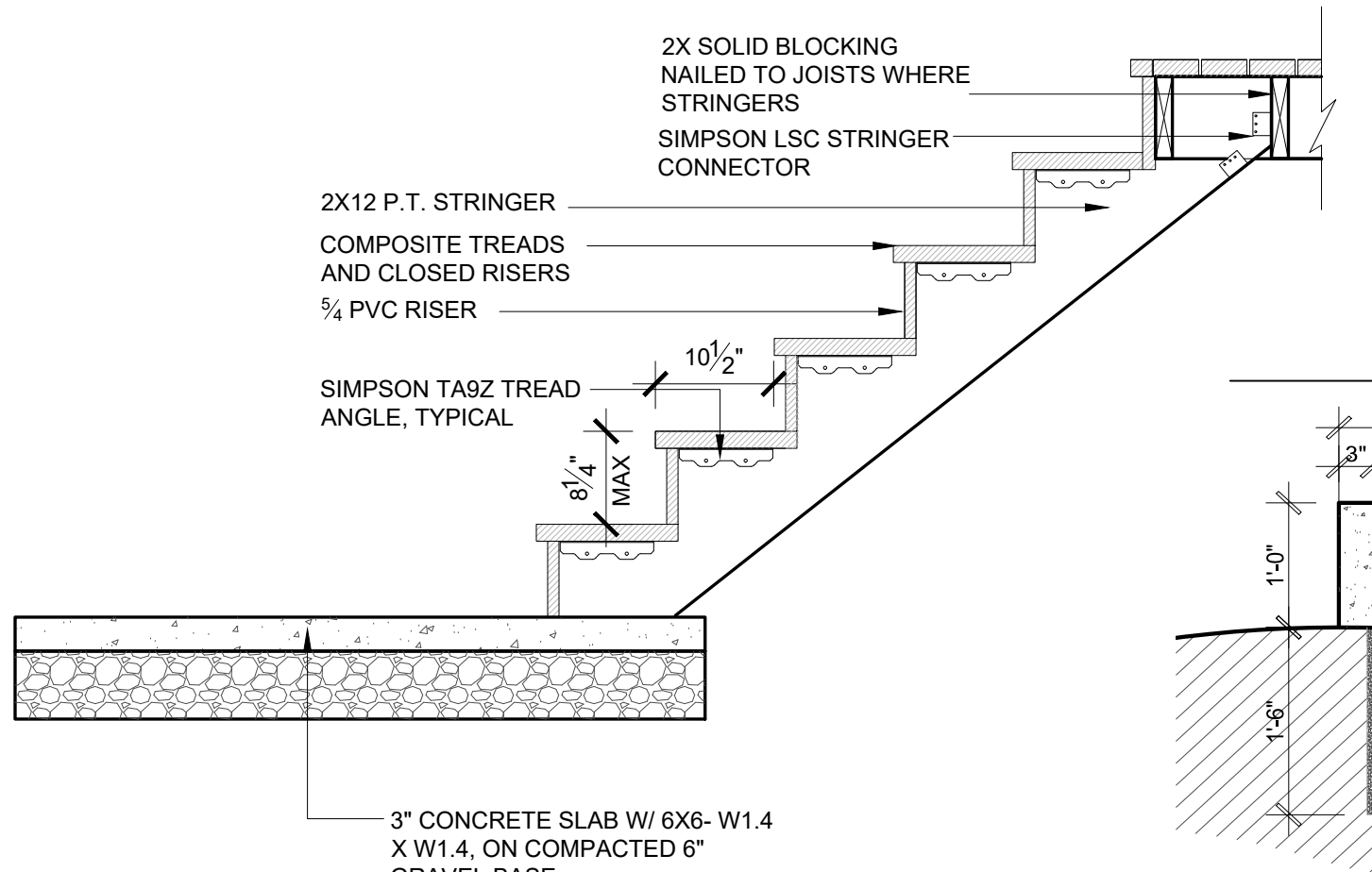
**1 DECK SECTION**  
SCALE: 3/4 = 1'-0"



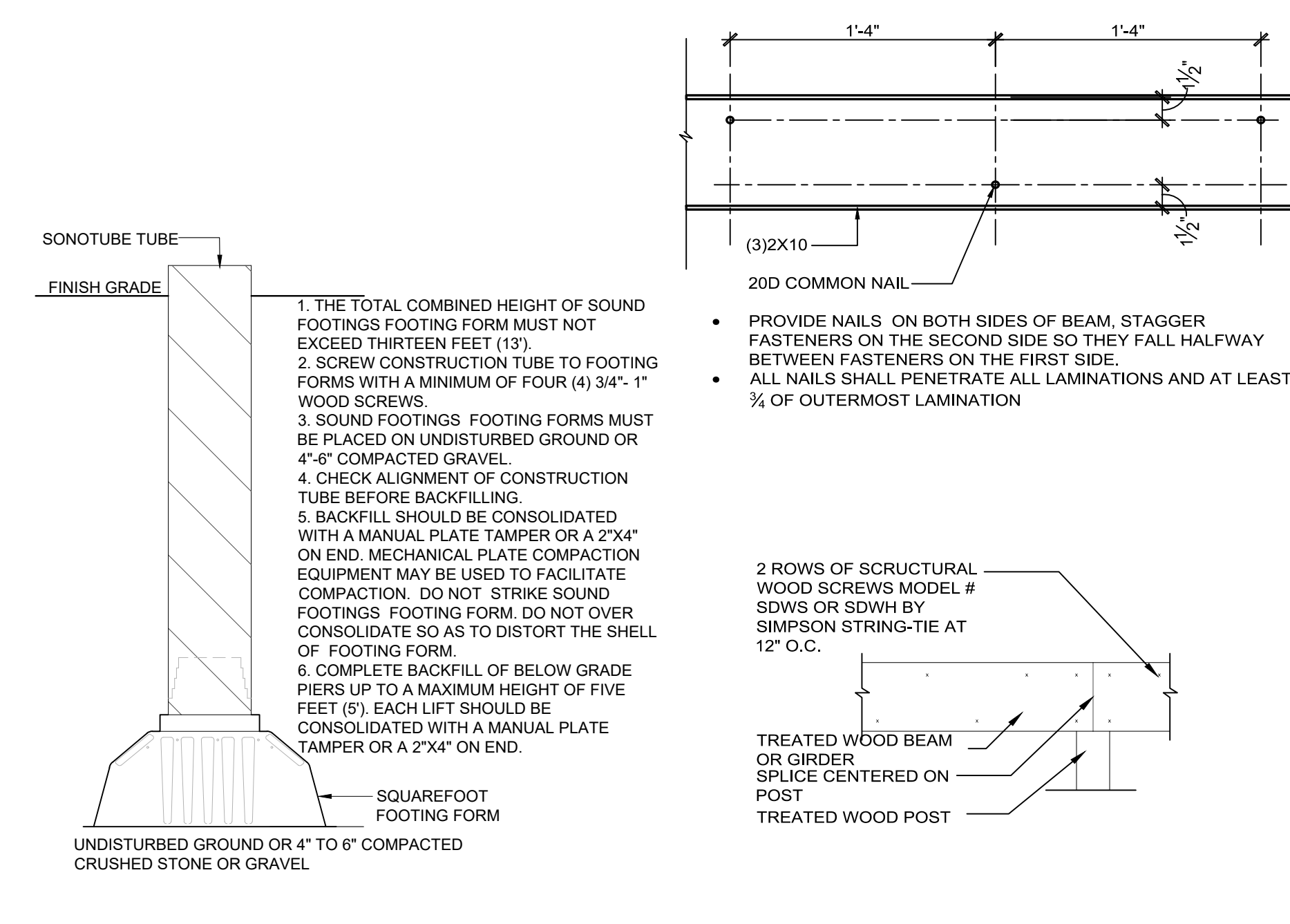
**5 NEWEL POST ATTACHMENT DETAIL**  
SCALE: NTS



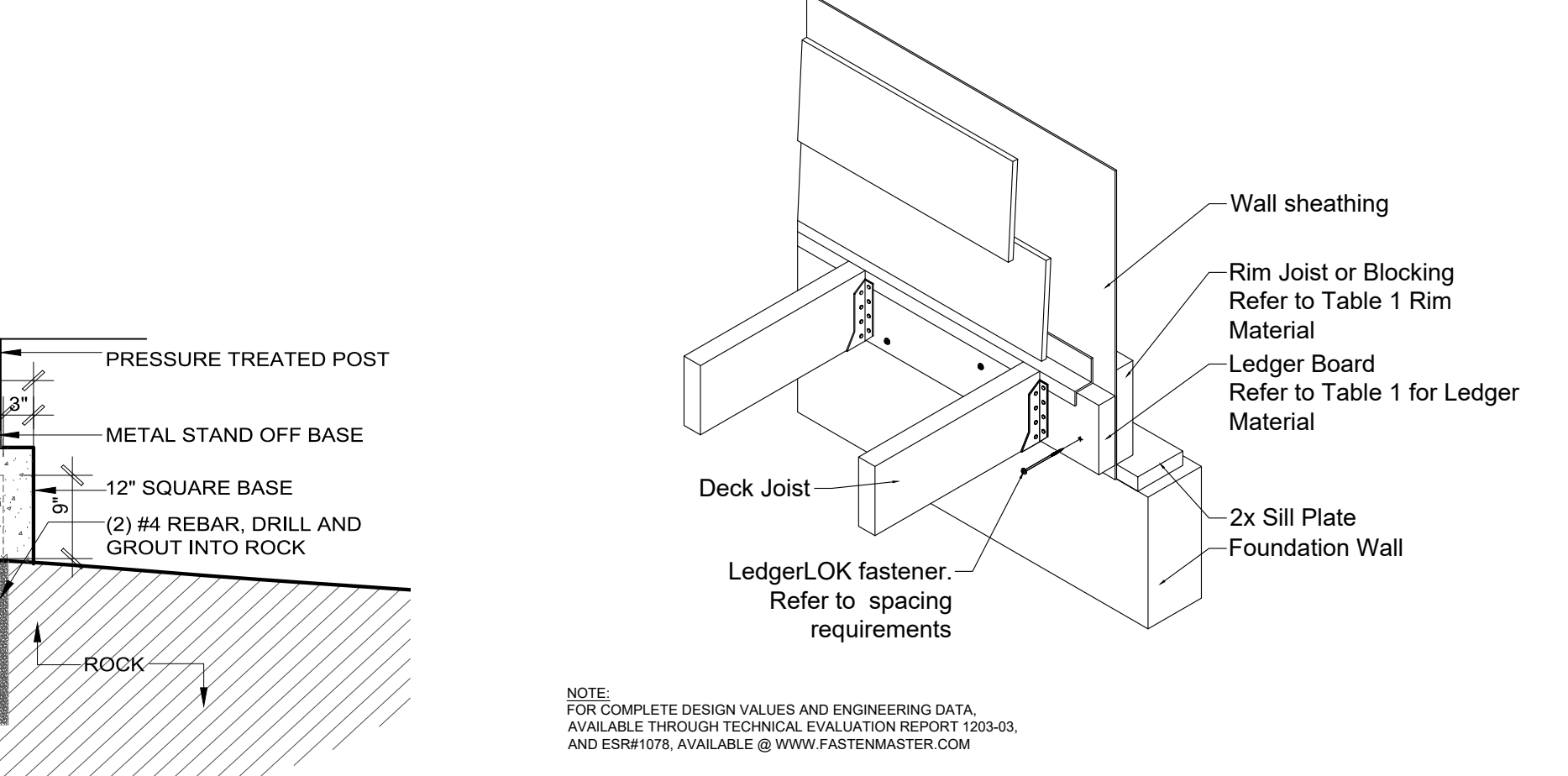
**2 STAIR ELEVATION**  
SCALE: 3/4 = 1'-0"



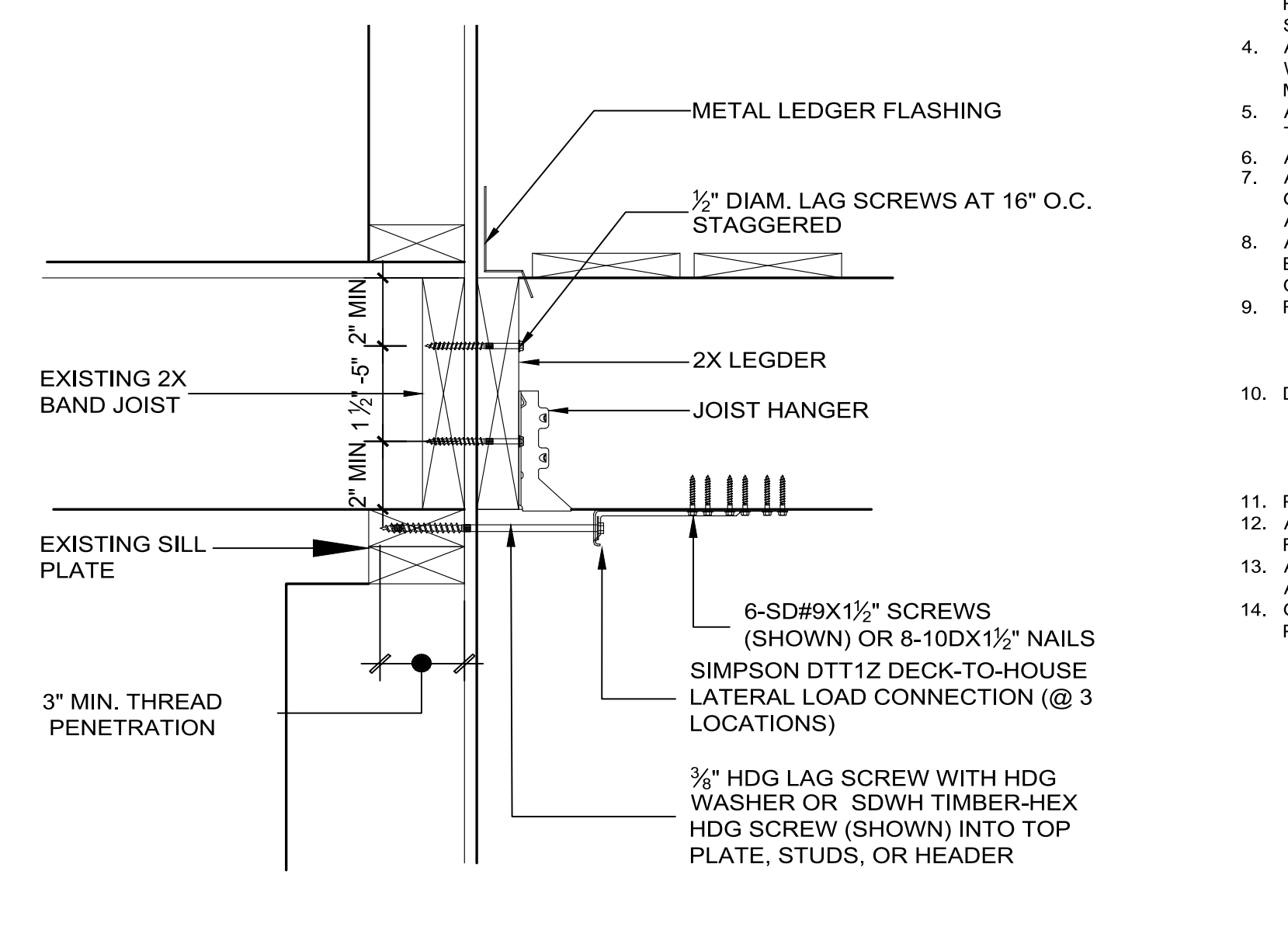
**3 STAIR DETAIL**  
SCALE: 3/4 = 1'-0"



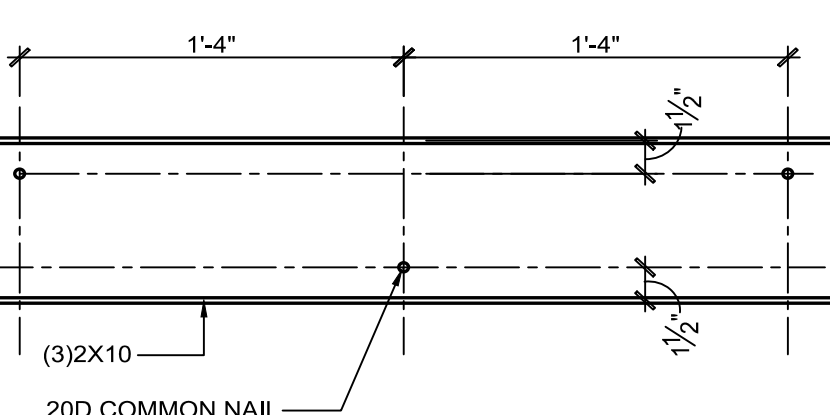
**6 PIER/FOOTING DETAIL**  
SCALE: NTS



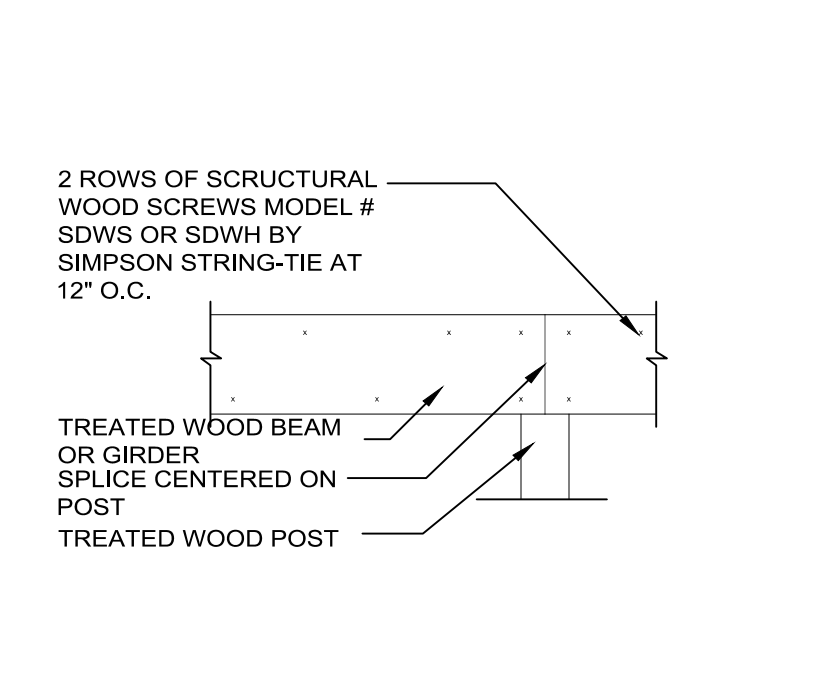
**8 PIN DETAIL**  
SCALE: 3/4 = 1'-0"



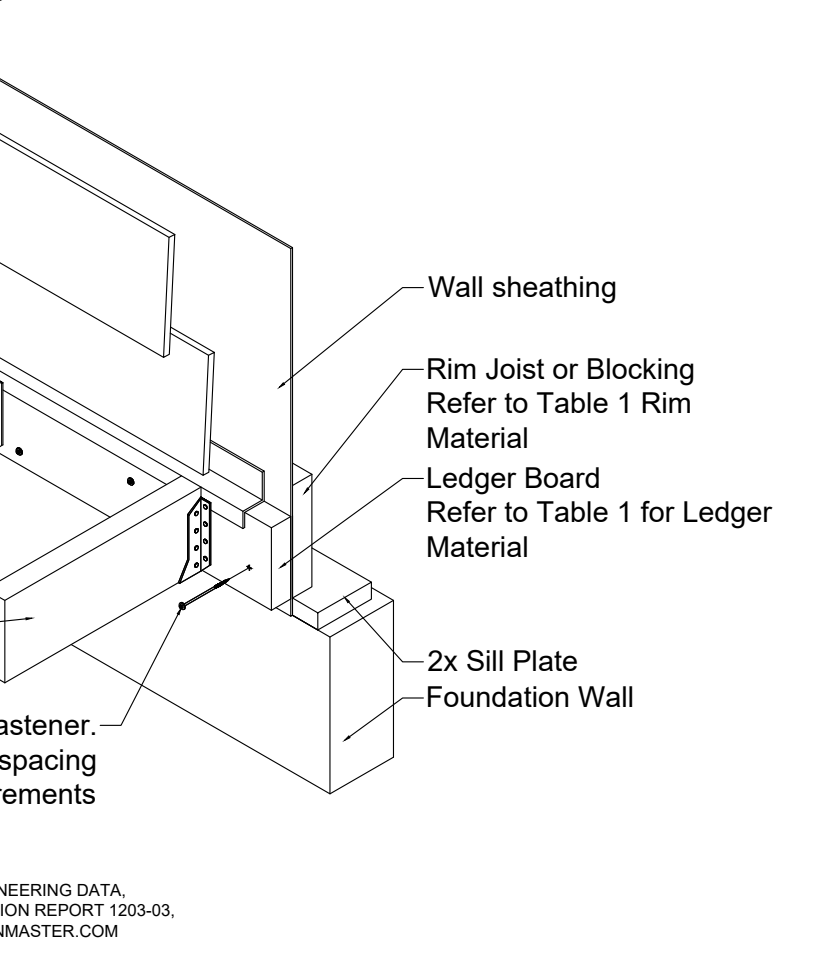
**4 LEDGER DETAIL**  
SCALE: NTS



**7 MULTI-PLY BEAM**  
SCALE: NTS



**7 MULTI-PLY BEAM**  
SCALE: NTS



**7 MULTI-PLY BEAM**  
SCALE: NTS

- FRAMING NOTES:**
- ALL WOOD FRAMING SHALL BE PRESSURE TREATED, No. 2 OR BETTER.
  - MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:
    - GUARDS AND HANDRAILS: 200 LBS/SF
    - GUARD INFILL: 30 LBS/SF
    - STAIRS: 40 LBS/SF
    - DECK: 40 LBS/SF
  - ALL CONNECTORS SHALL BE METAL, CORROSION RESISTANT, MANUFACTURED BY SIMPSON STRONG TIE.
  - ALL SIMPSON CONNECTORS SHALL BE INSTALLED WITH FASTENERS AS REQUIRED BY MANUFACTURER.
  - ALL MULTI-PLY 2X MEMBERS SHALL BE NAILED TOGETHER, REFER TO DETAIL.
  - ALL BEAMS SHALL HAVE MINIMUM 1 1/2" BEARING.
  - ALL FRAMING TO BE CONNECTED WITH GALVANIZED METAL JOIST HANGERS, POST BASE AND CAPS.
  - ALL FINISH LUMBER FOR DECK POSTS, RAILS, BALUSTERS TO BE CLEAR OF KNOTS, CHECKS OR OTHER IMPERFECTIONS.
  - RAILING SPECIFICATION: EVOLUTIONS RAIL, CONTEMPORARY, BY TIMBERTECH, OR APPROVED EQUAL. COLOR: BLACK.
  - DECKING SPECIFICATIONS: EARTHWOOD EVOLUTIONS LEGACY SERIES BY TIMBERTECH OR APPROVED EQUAL. COLOR: PACIFIC WALNUT, PECAN OR TIGERWOOD.
  - PROVIDE CONCEALED FASTENERS.
  - ALL GUARDRAILS, GRIPPABLE HANDRAILS, FASCIAS, RISERS TO MATCH DECKING COLOR.
  - ALL LED RISER LIGHTS BY TIMBERTECH OR APPROVED EQUAL.
  - GC TO PROVIDE CATALOG CUTS AND SAMPLES PRIOR TO ORDERING.



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## TYPICAL DECK DETAILS NOTES

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