

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43

Fax: (914) 273-3554

www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

ADDRESS: 23 WHIPPORWAIL RO ARMONK, NY
EXTEND EXIST. 1ST FLOOR DECK, PENOUATE (2) two EXIST. 2MD FLOOR DECKS.
EXIST. 200 Floor DECKS.
Section III- CONTACT INFORMATION:
APPLICANT: DAVID A. BARBUT, 124 ADDRESS: 150 WHITE PHINC PO # 103 + Army town My 10591
PHONE: 914.909.5143 MOBILE: 914.760.1120 EMAIL: dave & DAr buti Architects. com
ADDRESS: 23 Whippoorwhil BO Armonk, NY PHONE: 516-669-5080 MOBILE: EMAIL: MAHJ SERE Leg MHI Com
DALLO A BOX OFFILE IDA
ADDRESS: 150 WHITE PHINS PO # 103 TArry town, NY 10591 PHONE: 914-909-5143 MOBILE: 914-740-120
PHONE: 914-909-5143 MOBILE: 914-740-1120 EMAIL: dave @ bar buti architects. Com
Section IV- PROPERTY INFORMATION: Zone: Tax ID (lot designation) 107.04-1-10
Zone. 1 ax tD (lot designation)



Town of North Castle Residential Project Review Committee

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: MR/MRS. M. SEREI
Initial Submittal Revised Preliminary
Street Location: 23 WHIPPoorwhil PD
Zoning District: Property Acreage: 2.870 Tax Map Parcel ID: 107.04-1-
Date: 5 12 22
DEPARTMENTAL USE ONLY
Date Filed: Staff Name:
Preliminary Plan Completeness Review Checklist Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.
1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
☐β. Map showing the applicant's entire property and adjacent properties and streets
A locator map at a convenient scale
The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
B. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2 Description of method of water supply and sewage disposal and location of such facilities 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree. 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer. More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com/townhall.html On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

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FLUUR	AKLA	CALCUI	AHUNS	WORKSHEET

	FLOOR AREA (CALCULATIONS WORKSH	
Applica	ation Name or Identifying Title:	SEPEL	Date: 5 122
Tax Ma	p Designation or Proposed Lot No.:	107.04-1-10	, ,
Floor A	rea		
1.	Total Lot Area (Net Lot Area for Lot	s Created After 12/13/06):	125.031.9
2.	Maximum permitted floor area (per	Section 355-26.B(4)):	11,437.88
3. -	Amount of floor area contained within 3 2 existing +		3/290
4. -	Amount of floor area contained within 2934 existing +	in second floor: proposed =	2934.0
5. -	Amount of floor area contained within existing +		6710
6. -	Amount of floor area contained within existing +	in porches capable of being enclosed: proposed =	
7. -	Amount of floor area contained within 3 2 existing +	in basement (if applicable – see definition): proposed =	3/29.0
8.		in attic (if applicable – see definition): proposed =	
9. -	Amount of floor area contained within 148 existing + 0		748.0
10. Pro	posed floor area: Total of Lines 3	3 – 9 = _	10,411.0
and the pyour pro		AS SPED AMOUNT	



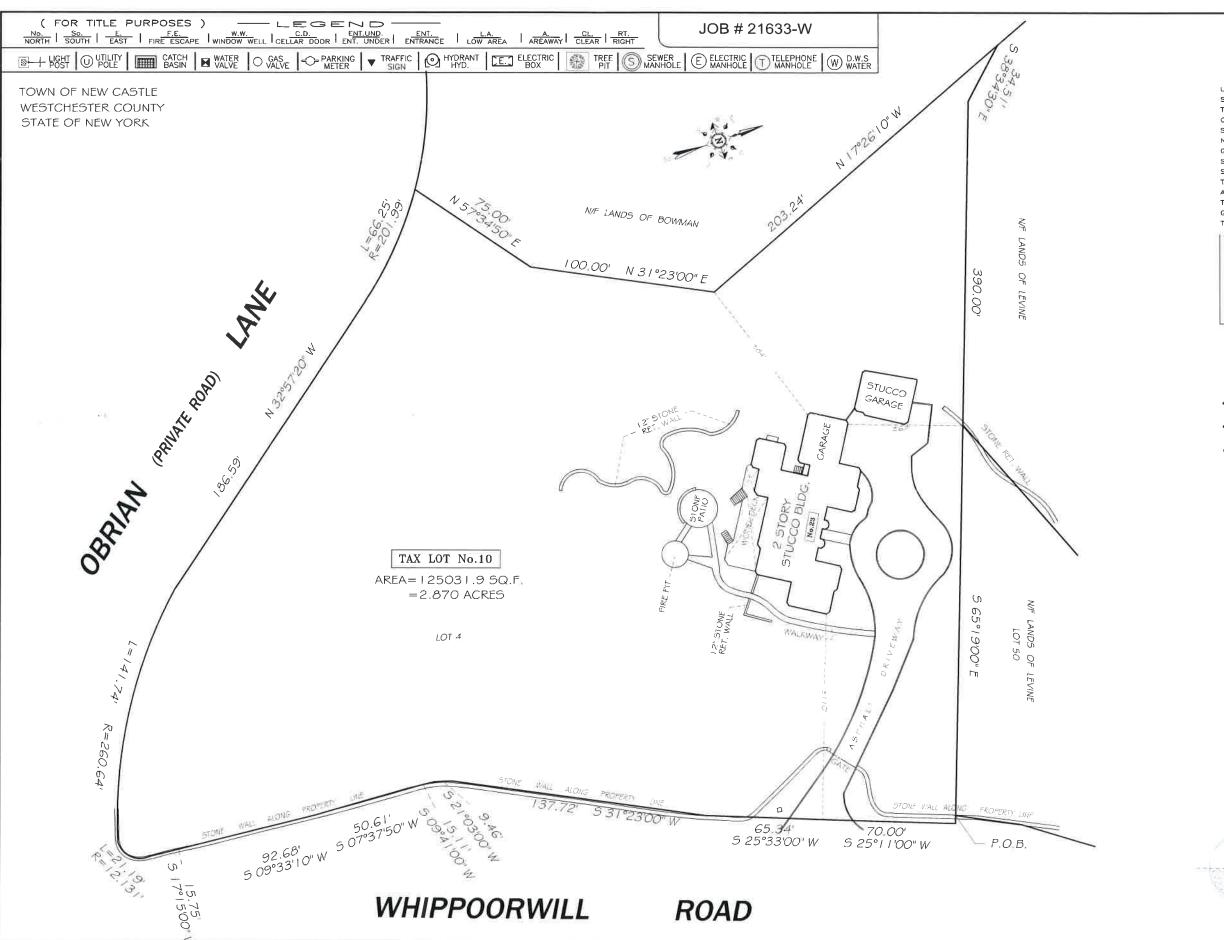
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PLANNING DEPARTMENT Adam R. Kaufman, AICP **Director of Planning**

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	GROSS LAND CO	VERAGE CALCULATIONS	S WORKSHEET
Appl	ication Name or Identifying Title:	SEREL	Date: 5 6 22
Tax I	Map Designation or Proposed Lot No.:	107.04-1-10	,
Gross	s Lot Coverage		
1.	Total lot Area (Net Lot Area for Lots	Created After 12/13/06):	2.87 Acre/125,031.
2.	Maximum permitted gross land cove	erage (per Section 355-26.C(1)(b)):	16,112,29
3.	BONUS maximum gross land cover	(per Section 355-26.C(1)(b)):	
	Distance principal home is beyond m	inimum front yard setback	600
4.	TOTAL Maximum Permitted gros	s land coverage = Sum of lines 2 and 3	16,712.29
5.	Amount of lot area covered by princ existing +	ipal building: proposed =	4000.0
6.	Amount of lot area covered by access existing +	sory buildings: proposed =	748.0
7.	Amount of lot area covered by decks	: proposed =	685.0
8.	Amount of lot area covered by porch existing +	res: proposed =	0.0
9.	Amount of lot area covered by drive existing +	way, parking areas and walkways: proposed =	6,674.0
10.	Amount of lot area covered by terrace		526.0
11.	Amount of lot area covered by tennis		0.0
12.	Amount of lot area covered by all otl		6.0
13. Pr	roposed gross land coverage: Tota	of Lines 5 – 12 =	12,633.0
the prodoes r	e 13 is less than or eq ual to Line 4, your oject may proceed to the Residential Proport comply with the Town's regulations. ture and Scal of Professional Preparing W	proposal complies with the Town's maxinger Review. If Linguistry of the Town's particular to the	mum gross land coverage regulations and the 13 is greater than Line 4 your proposal



SURVEYED FEBRUARY 03, 2022

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY, GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION GUARANTEES OR CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS,

BLOCK:	
LOT (s):	
SECTION:	107.04
COUNTY:	WESTCHESTER
DWG BY:	Srdjan B
0111110	

CERTIFIED ONLY TO:

- * MATTHEW JASON SEREL
- * REBECCA SHIRA SEREL
- * BENCHMARK TITLE AGENCY, LLC
- * FIRST AMERICAN TITLE INSURANCE COMPANY
- * TITLE No. BTA8 | 104

SCALE: 1"=50'

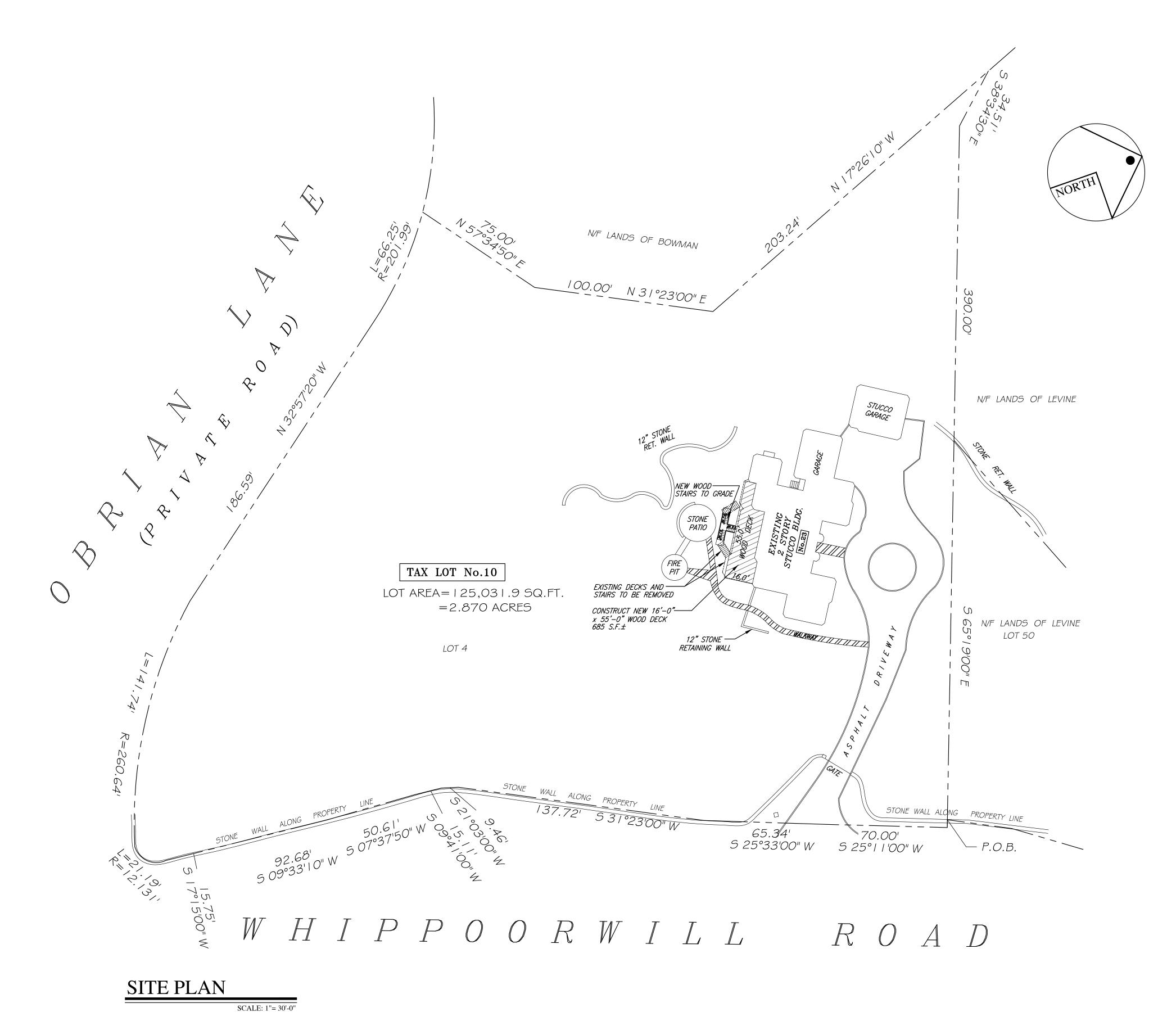


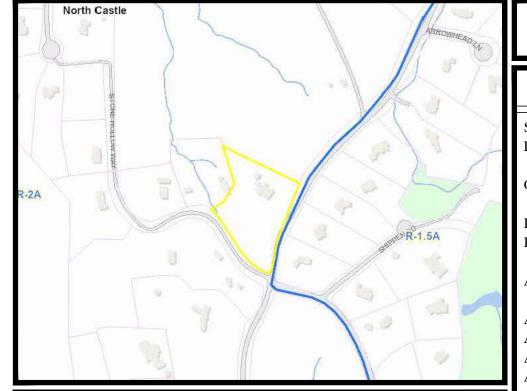
VINCENT M. TEUTONICO

N.Y.S. LIC. NO.050307

IG APPLE LAND SURV. D.
65 MEADOW LANE GROUND LEVEL
NEW ROCHELLE, NY 10805

OFF.(914)365-1847; FAX (914)365-1849
E-mail: BIGAPPLELS@YAHOO.COM





GIS AREA MAP



GOOGLE EARTH IMAGE

LIST OF DRAWINGS SP1 SITE PLAN AND SCHEDULES LC1 LOT COVERAGE SITE PLAN GN1 GENERAL NOTES SHEET No. 1

CERTIFICATION

WOOD DECK DETAILS

SECOND FLOOR DECK PLAN

REAR ELEVATION

DRAWING NAME

FIRST FLOOR DEMOLITION PLANS SECOND FLOOR DEMOLITION PLANS

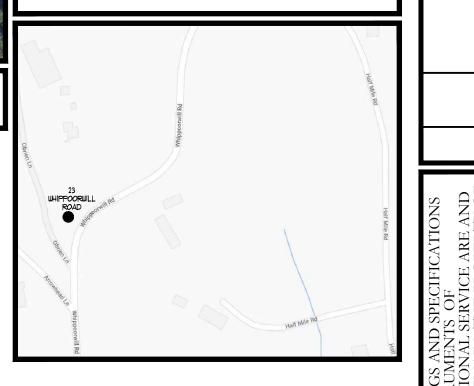
FIRST FLOOR DECK FOUNDATION AND FLOOR PLANS

WOOD DECK SECTION AND DETAILS

DECK RAILING AND STAIRS DETAILS

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY : BIG APPLE LAND SURVEYOR, LLC 65 MEADOW LANE - GROUND LEVEL NEW ROCHELLE, NEW YORK 10805 TEL.: (914) 365-1847 TITLED: SURVEY 23 WHIPPOORWILL ROAD, SITUATED IN THE TOWN OF NEW CASTLE, WESTCHESTER COUNTY, STATE OF NEW YORK DATED: FEBRUARY Ø3, 2022
LOT AREA: 125,031.9 S.F. (2.870 ACRES)
TAX S-B-L: 107.04-1-10
ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY
OF EXISTING CONDITIONS

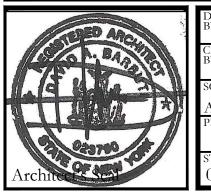
LOCATION MAP NO SCALE

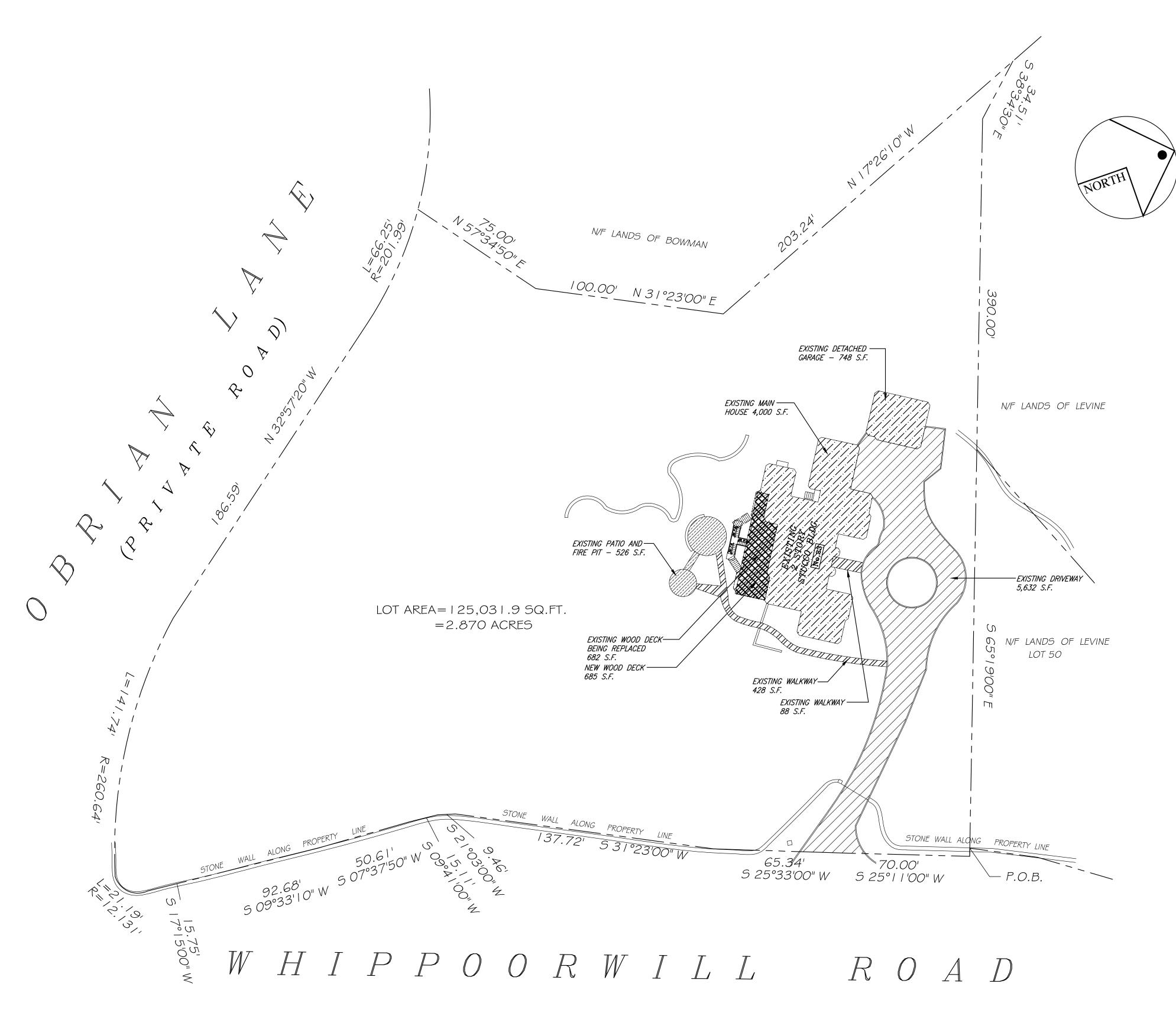


SHEET No.

	REV BY DATE: DESCRIPTION	REVISION	
1 05-16-22 RELEASED FOR OBTAINING BUILDING PERMIT	No. DATE: DESCRIPTION	DWGS ISSUED	

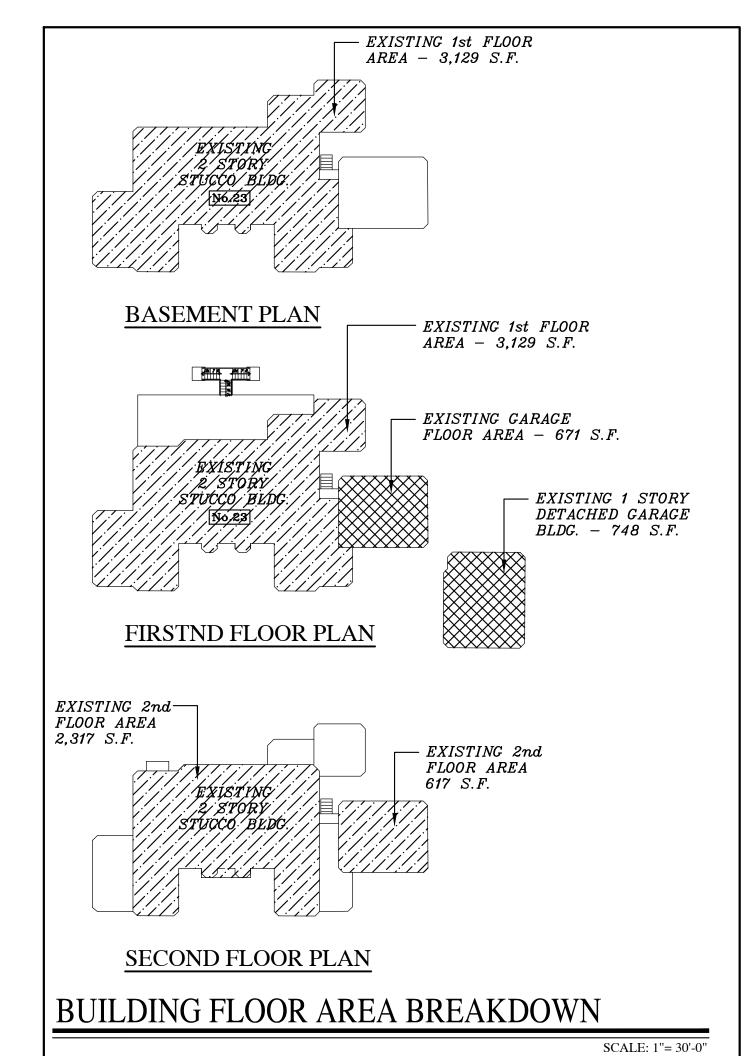
David A. Barbuti Architect,PC





SITE LOT COVERAGE PLAN

SCALE: 1"= 30'-0"



LOT COVERAGE BREAKDOWN

EXISTING LOT AREA = 125,031.9 S.F.

EXISTING HOUSE AREA = 4,000 S.F.

EXISTING DECK AREA = 682 S.F.

PROPOSED DECK AREA = 685 S.F.

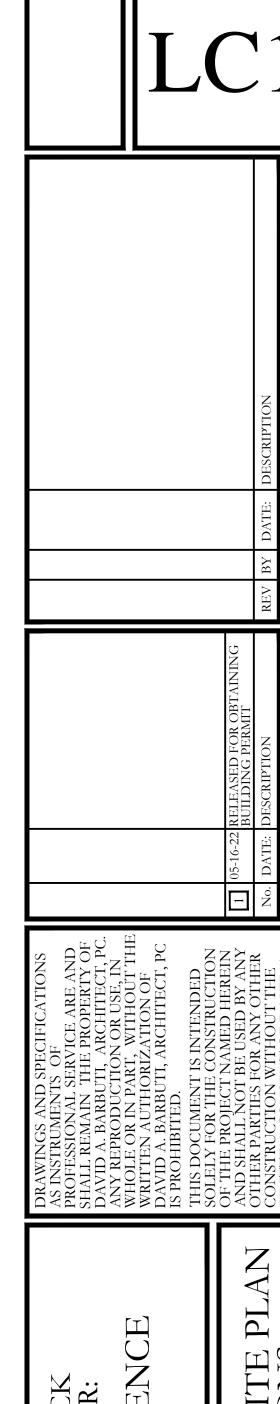
EXISTING DETACHED GARAGE AREA = 748 S.F.

EXISTING DRIVEWAY AREA = 5,632 S.F.

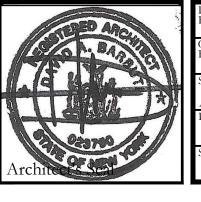
EXISTING FRONT WALKWAY AREA = 88 S.F.

EXISTING SIDE WALKWAY AREA = 428 S.F.

EXISTING PATIO AND FIRE PIT AREA = 526 S.F.



David A. Barbuti Architect,PC



DIVISION 1: GENERAL DATA

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE 2020 NEW YORK STATE CODES INCLUDING 2020 REGIDENTIAL CODE OF NYS (HEREIN AFTER REFERRED TO AS THE 2020-RCNYS), 2020 PLUMBING CODE OF NYS (2020-PCNYS), 2020 MECHANICAL CODE OF NYS (2020-MCNYS), 2020 FUEL GAS CODE OF NY5 (2020-FGCNY5), 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NY5 (2020-ECCCNY5 AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION, ALL CONTRACTORS AND SUB CONTRACTORS ARE TO COMPLY WITH ALL 0.5.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
- 2. THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON
- 3. THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES 5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME.
- 4. THE G.C. 16 TO FILE WORKER'S COMPENSATION WITH THE BUILDING DEPARTMENT.
- 5. THE G.C. IS TO IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO OBTAIN AND PAY FOR PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.
- 6. THE G.C. AND ALL SUBCONTRACTOR'S ARE TO ARRANGE FOR AND PAY ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS.
- 1. PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE BUILDING DEPARTMENT.
- 8. THE G.C., AND ALL SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS SPECIFICATIONS, NOTES AND ADDENDUM'S THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER
- THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION.
- DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF A DISCREPANCY IS DISCOVERED, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- 10. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATIONS AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER
- THE G.C. AND ALL SUBCONTRACTORS IS TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT
- 12. ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.
- 3. THE G.C. AND ALL SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES, SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK, THE ARCHITECT AND THE ARCHITECT'S AGENT'S ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON
- 14. THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 15. THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE FOOTINGS.
- 16. THE G.C. 15 TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S, AND APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT
- 17. NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT.
- 18. THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT IMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR HE ITEMS SPECIFIED ON THE DRAWINGS.
- 19. THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE
- 20. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS

DIVISION 2: SITE WORK

BACK FILLING AND COMPACTED FILL GENERAL NOTES

- PLACEMENT OF FOOTING TO BE ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2000 P.S.F. OR APPROVED COMPACTED FILL AS OUTLINED BELOW.
- PLACEMENT OF FLOOR SLABS AND PAVEMENTS ARE TO BE PLACED ON COMPACTED FILL AT 95% OF MAXIMUM DENSITY COMPLYING WITH ASTM DI557. LAWN AND UNPAYED AREAS ARE TO HAVE COMPACTED FILL AT 90% OF MAXIMUM DENSITY. PROVIDE MAXIMUM PERCENTAGE OF DENSITY AS SPECIFIED.
- BACK FILLING AND COMPACTION AT FOUNDATION WALLS AND PIERS ARE TO BE PERFORMED ON EACH SIDE SIMULTANEOUSLY. DIFFERENCES IN FILL ELEVATIONS ARE NOT TO EXCEED 8" ON EITHER SIDE OF THE FOUNDATION AT ANY TIME.
- 4. SOILS FOR BACK FILLING AND COMPACTION ARE TO BE FREE OF ORGANIC MATERIAL, ROCK OR LUMPS GREATER THAN 6", OF PREDOMINATELY GRANULAR NON-EXPANSIVE SOILS, FREE OF ROOTS AND OTHER DELETERIOUS MATTER, SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER AND THE
- 5. SOIL MOISTURE TO BE WITHIN OPTIMUM MOISTURE CONTENT. BEFORE COMPACTING MOISTEN OR AERATE EACH LAYER TO PROVIDE OPTIMUM MOISTURE CONTENT. ANY SOIL WHICH IS TO WET TO COMPACT MUST BE REMOVED, STOCKPILED AND SPREAD AND ALLOWED TO DRY PRIOR TO PLACEMENT
- 6. PLACE BACK FILL IN LAYERS NOT TO EXCEED 8" IN LOOSE DEPTH.
- 1. DO NOT PLACE BACK FILL MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST.

EXCAVATING AND GRADING GENERAL NOTES

- THE SITE CONTRACTOR IS TO PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT FOR EARTHWORK AS INDICATED ON THE DRAWINGS.
- 2. THE SITE CONTRACTOR IS TO EXAMINE EXISTING SITE CONDITIONS, SOIL CHARACTERISTICS, CONTOURS, TREE AND UTILITY LOCATIONS, AND OTHER OBSTRUCTIONS THAT MAY BE ENCOUNTERED ON THE SITE DURING EXCAYATING.
- 3. CLEARING AND GRUBBING: THE ENTIRE SITE IS TO BE CLEARED OF ALL VEGETATION, RUBBISH, FENCES, ABANDONED UNDERGROUND PIPES AND OBSTRUCTIONS.
- 4. REMOVE ALL STUMPS, ROOTS, AND DEBRIS TO A DEPTH OF 24' IN THE AFFECTED AREA.
- 5. STRIP ALL TOP SOIL AND ORGANIC SOILS FROM THE SITE. STOCKPILE AWAY FROM BUILDING SITE AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DO NOT BURY BASES OF TREES SCHEDULED TO REMAIN. PROTECT TREES TO REMAIN.
- 6. EXCAVATING AND TRENCHING OF UTILITY LINES IN LOCATIONS INDICATED ON THE SITE PLAN. DEPTHS TO BE AS REQUIRED FOR FROST PROTECTION, PITCH, AND UTILITY COMPANY REQUIREMENTS.
- 1. GRADE AREA TO ROUGH GRADES SLOPED PER SITE PLAN GRADING. SUB GRADES ARE TO BE 6" BELOW LAWN AREAS, AND 6" BELOW ASPHALTIC PAVEMENTS. SEE BACK FILLING AND COMPACTION NOTES FOR ADDITIONAL INFORMATION.
- 8. EXCAVATE FOR BUILDING FOUNDATION IN AREA INDICATED ON THE SITE PLAN. BOTTOM OF FOOTING ELEVATIONS ARE AS INDICATED ON THE CONSTRUCTION DOCUMENTS, SOIL AT BOTTOM OF FOOTING TO BE ACCEPTABLE UNDISTURBED SOIL OF THE BEARING CAPACITY INDICATED.
- 9. IF SOIL AT BOTTOM OF FOOTING ELEVATION IS NOT SUITABLE FOR BEARING OF FOOTING, REMOVE SOIL AS REQUIRED AND BACK FILL WITH APPROVED FILL AND COMPACT TO 95% OF MAXIMUM DENSITY.
- 10. AT THE APPROPRIATE TIME, THE SITE CONTRACTOR CONTRACTOR IS TO SPREAD STOCKPILED TOPSOIL OVER DISTURBED AREAS TO A MINIMUM THICKNESS OF 6' AFTER COMPACTION, GRADE TO MEET FINISHED GRADES AS INDICATED ON THE SITE PLAN. TOPSOIL IS TO BE FREE OF ROCKS LARGER THAN 3' IN DIAMETER, TREE ROOTS AND STUMPS AND OTHER UNACCEPTABLE
- 12. ANY REMAINING TOPSOIL IS TO BE DISPOSED OF AS DIRECTED BY THE ARCHITECT OR THE OWNER.
- 13. SEED AREAS WITH SEED MIXTURE AS INDICATED ON THE SITE PLAN.

DIVISION 3: CONCRETE

- ALL CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH ALL A.C.I. 318 BUILDING CODE REQUIREMENTS, CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS, CONCRETE FOR GARAGES SLABS, CARPORTS SLABS, STEPS PORCH SLABS, AND SIDEWALKS EXPOSED TO WEATHER IS TO BE MINIMUM OF 3,500 PSI CLASS "B" 'AIR-ENTRAINED' CONCRETE. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.
- . CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304, LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".
- 3. ALL POURS ARE TO BE TERMINATED BY FORMS, PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.
- 4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
- AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).
- 6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU. YDS, OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (1) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.
- 8. ALL STEEL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE 60. BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE
- ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FORMWORK, TWO WAY MATS OF
- STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY
- FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
- CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ------3
- EXPOSED TO EARTH OR WEATHER (*6 BAR OR LARGER) -----2"
- NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:
- SLABS, WALLS AND JOISTS ------
- BEAMS, GIRDERS, COLUMNS ----
- (PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS) -
- LENGTH OF REINFORCEMENT &PLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE
- 13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.
- 14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6x6 - WI.4/WI.4 W.W.F. FOR 4" SLABS.
- 15. FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED FOR WWF. IN 4" SLABS
- 16. WWF. 15 TO LAP ONE FULL MESH SQUARE AT ALL SIDE AND END LAPS, AND BE WIRED TOGETHER.
- POUR SLABS ON GRADE IN ALTERNATING LANE PATTERNS NOT TO EXCEED 800 SF. IN AREA, OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOINTS, PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD
- 18. PLACE A MINIMUM OF 4' CRUSHED STONE UNDER ALL SLABS ON GRADE.
- INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6'
- 20. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10'-0"
- PROVIDE 1/4" x 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
- 22. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES, SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.
- 23. NOTIFY THE BUILDING AS LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS
- 24. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY, DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.
- 25. ALL COLD WEATHER CONCRETING TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE
- 26. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.
- 27. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEEDED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR
- 28. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
- 29. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO

DIVISION 4: MASONRY

- ALL MAGONRY WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE 2020-RCNYS AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUB CONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
- 2. THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON DRAWINGS.
- 3. THE MAGONRY CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME. CONCRETE MASONRY UNITS (CMU) ARE TO BE GRADE 'N', TYPE'I' CONFORMING TO A.S.T.M. C-90, 'HOLLOW LOAD BEARING UNITS". CMU WIDTHS FOR WALL THICKNESS' AS INDICATED ON THE DRAWINGS, PROVIDE CORNER, SASH, HALF HEIGHT AND ALL OTHER TYPES OF CMU REQUIRED TO COMPLETE MASONRY WALLS
- AS INDICATED. 5. FACE BRICK IS TO BE OF TYPE, SIZE AND COLOR AS INDICATED ON THE DRAWINGS CONFORMING TO A.S.T.M. C-216 "FACING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE)".
- 6. MASONRY MANUFACTURERS: OBTAIN ALL FACE BRICK AND/OR CMU AS MAY BE SPECIFIED ON THE DRAWINGS FROM ONE MANUFACTURER BEING OF UNIFORM SIZE, COLOR AND TEXTURE FOR EACH BRICK OR CMU TYPE REQUIRED FOR EACH CONTINUOUS AREA AND EACH VISUAL RELATED AREAS. STORE ALL CMU AND BRICK OFF GROUND TO PREVENT CONTAMINATION. COVER CMU AND BRICK TO PROTECT FROM THE ELEMENTS.
- MORTAR IS TO BE TYPE "S" MORTAR IN CONFORMANCE WITH A.S.T.M. C-270 "MORTAR FOR UNIT MASONRY. AVERAGE COMPRESSIVE STRENGTH TO BE 1800 P.S.I. AT 28 DAYS.
- GROUT FOR FILLING CMU CORES SOLIDLY IS TO BE TYPE "M" OR TYPE "S" MORTAR IN CONFORMANCE WITH A.S.T.M. C-476 'GROUT FOR UNIT MASONRY' 10. DEFORMED REINFORCING BARS AS SPECIFIED ON THE DRAWINGS SHALL CONFORM TO ASTM A615 FOR STANDARD DEFORMED REINFORCING BARS, ASTM A161 FOR ZINC-COATED REINFORCING BARS AND ASTM A115 FOR EPOXY COATED REINFORCING BARS.
- JOINT REINFORCEMENT SHALL COMPLY WITH WITH ASTM A951 AND SHALL BE MANUFACTURED BY DUR-O-WAL OR APPROVED EQUAL ANCHORS, TIES AND ACCESSORIES SHALL CONFORM TO THE FOLLOWING STANDARDS: ASTM A36 FOR STRUCTURAL STEEL, ASTM A82 FOR PLAIN STEEL WIRE FOR CONCRETE REINFORCEMENT, ASTM A185 FOR PLAIN STEEL-WELDED WIRE FABRIC FOR CONCRETE REINFORCEMENT, ASTM A240 FOR CHROMIUM AND CHROMIUM-NICKEL STAINLESS STEEL PLATE, SHEET AND STRIP, ASTM A301 GRADE A FOR ANCHOR BOLTS
- AND ASTM A1008 FOR COLD ROLLED CARBON STEEL SHEETS. 13. JOINT REINFORCEMENT, WALL TIES, ANCHORS AND INSERTS SHALL BE EITHER MILL GALVANIZED COMPLYING WITH ASTM A641 OR HOT DIPPED GALVANIZED COMPLYING WITH ASTM A153 CLASS B. 14. FABRIC FLASHING AS MANUFACTURED BY 'NERVASTRAL' TYPE SEAL PRUF HD OR AN APPROVED EQUAL
- MAY BE USED UPON WRITTEN APPROVAL OF THE ARCHITECT. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS. 15. THE CONTRACTOR IS TO PROTECT ALL MASONRY WALLS FROM COLD WEATHER INSTALLATIONS TO

REINFORCEMENT SIZED FOR CMU THICKNESS' INDICATED.

- PREVENT MORTAR FROM FREEZING. 16. ALL CMU MASONRY WORK IS TO HAVE HORIZONTAL JOINT REINFORCEMENT "DUR-O-WAL" GALVANIZED STEEL TRUSS EVERY 2nd BLOCK BLOCK JOINT REINFORCEMENT IS TO BE PLACED IN FIRST AND SECOND BED JOINTS ABOVE AND BELOW OPENINGS. REINFORCEMENT IS TO BE LAPPED MINIMUM OF 6".
- 17. CMU AND BRICK VENEER WALLS BACKED BY 8' OR 12' CMU 15 TO HAVE 'DUR-O-WAL' DUR-O-EYE 370 TRUSS REINFORCEMENT EVERY SECOND BLOCK COURSE VENEER TIES 16" O.C. REINFORCEMENT SIZED FOR CMU THICKNESS' INDICATED.
- 18. FOR BRICK OF CMU VENEER WALLS BACKED BY WOOD OR STEEL STUD WALLS, INSTALL CORRUGATED GALVANIZED STEEL WALL TIES SCREWED TO STUDS 16" O.C. HORIZONTALLY AND 24" VERTICALLY MAX. (ONE TIE PER 3 S.F.)
- 19. PROVIDE "KOR-FIL" BLOCK INSULATION OR INJECTED FOAM INSULATION IN THE CORES OF CMU WALLS EXPOSED TO THE EXTERIOR AND AS NOTED. 20. ALL MASONRY WALLS TO BE PROPERLY SHORED AGAINST WIND AND OTHER LATERAL LOADS UNTIL

FLOOR AND ROOF CONSTRUCTION IS COMPLETELY INSTALLED. THE G.C. IS TO ASSUME FULL

- RESPONSIBILITY FOR MASONRY WALL STABILITY. 21. PROVIDE ALL ANCHOR BOLTS WITH NUTS AND WASHERS, IN SIZES AND QUANTITIES INDICATED ON THE DRAWINGS, THAT ARE TO BE EMBEDDED INTO MASONRY. ANCHOR BOLTS ARE TO CONFORM TO THE STANDARDS OF A.S.T.M. A-307.
- 22. COORDINATE INSTALLATION OF ALL EMBEDMENTS PROVIDED BY OTHER TRADES. CONSTRUCT ALL OPENINGS, SLEEVES, CHASES, ETC. REQUIRED BY OTHER TRADES AND AS INDICATED ON THE DRAWINGS.
- 24. MORTAR JOINTS ARE TO BE STRAIGHT AND LEVEL, OF A UNIFORM THICKNESS AND DEPTH. THICKNESS TO BE BETWEEN 3/8" AND 1/2". JOINTS AT INTERSECTING CORNERS MUST MEET. WHERE CMU FOUNDATION WALLS ARE SPECIFIED ON THE DRAWINGS, THE FIRST COURSE OF BLOCK IS TO BE
- FILLED SOLIDLY WITH CONCRETE. CMU BASEMENT WALLS ARE TO BE FILLED SOLIDLY WITH CONCRETE. 26. AS WORK PROGRESSES, INSTALL ALL BUILT IN ITEMS SPECIFIED ON THE DRAWINGS AN IN THE FILL CMU CORES SOLIDLY WITH GROUT A MINIMUM OF THREE (3) COURSES UNDER EACH LINTEL, BEARING PLATES, EMBEDMENTS, OR OTHER SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED. PROVIDE PRECAST REINFORCED CONCRETE LINTELS AS INDICATED ON THE DRAWINGS. AT THE OPTION OF
- THE G.C., STEEL ANGLES OR STEEL BEAM LINTELS, PROPERLY SIZED FOR THE REQUIRED LOADS MAY BE SUBSTITUTED. ALL STEEL LINTELS TO BEAR A MINIMUM OF 4" ONTO SUPPORTS, PRECAST CONCRETE LINTELS ARE TO BEAR A MINIMUM OF 8" ONTO SUPPORTS. 28. PROVIDE SPANDREL WATERPROOFING AT ALL STEEL LINTELS, DOOR AND WINDOW HEADS, MASONRY WINDOW SILLS AND WHERE EVER ELSE INDICATED ON THE DRAWINGS. USE NON FERROUS FLASHING. FABRIC FLASHING AS MANUFACTURED BY "NERVASTRAL" TYPE SEAL PRUF HD OR AN APPROVED EQUAL MAY BE
- USED UPON WRITTEN APPROVAL OF THE ARCHITECT. INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL WEEP HOLES WERE REQUIRED. INSTALL CONTINUOUS FLASHING AT BASE OF MASONRY VENEER WALLS AT FIRST COURSE ABOVE GRADE, AND IN OTHER LOCATIONS WERE SPECIFIED ON THE DRAWINGS, PROVIDE WEEP HOLES IN VERTICAL JOINTS
- EVERY 24 INCHES O.C. 30. PROVIDE VERTICAL AND HORIZONTAL CONTROL AND EXPANSION JOINTS IN ALL EXTERIOR MASONRY WALLS, MAXIMUM SPACING TO BE 20'-0' O.C. PROVIDE SASH BLOCK UNITS AND DUR-O-WAL OR EQUAL PRE FORMED REGULAR RAPID CONTROL JOINTS. PROVIDE CONTROL AND EXPANSION JOINTS EVEN IF NOT
- SPECIFIED ON THE DRAWINGS CAULKING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL. INSTALL WITH APPROPRIATE FOAM BACKER ROD IN ACCORDANCE WITH MANUFACTURER'S AT THE REQUEST OF THE ARCHITECT, THE MASONRY CONTRACTOR SHALL CONSTRUCT A 6'-0" WIDE X 4'-0"
- HIGH SAMPLE WALL SHOWING FACE BRICK AND/OR CMU WORK FOR APPROVAL. SUCH WALL IS TO REMAIN IN PLACE UNTIL IT'S REMOVAL IS AUTHORIZED BY THE ARCHITECT. 32. ALL MASONRY WORK SHALL BY GUARANTEED FOR A PERIOD OF (1) ONE YEAR FROM THE TIME OF THE PROJECT'S SUBSTANTIAL COMPLETION DATE.

DIVISION 5: METALS

- MATERIAL, FABRICATION AND ERECTION OF STRUCTURAL STEEL IS TO CONFORM TO THE LATEST REQUIREMENTS OF THE A.I.S.C. "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL
- THE STRUCTURAL STEEL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO TOP OF STEEL ELEVATIONS, COLUMN SPACING, STEEL SIZES AND LOCATIONS, AND BUILDING DIMENSIONS PRIOR TO STEEL FABRICATION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATIONS.
- THE STRUCTURAL STEEL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALI QUANTITIES AND DIMENSIONS, SELECTING FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION AND ADEQUACY OF CONNECTIONS, COORDINATE WORK UNDER STEEL CONTRACT WITH ALL OTHER TRADES AND PERFORM WORK IN A SAFE AND SATISFACTORY MANNER.

4. THE STRUCTURAL STEEL CONTRACTOR IS TO VERIFY THE FOUNDATION CONSTRUCTION FOR ANCHOR BOLT

- LOCATIONS, ELEVATIONS OF TOP OF CONCRETE AND/OR LEVELING PLATES AND BEARING PLATES PRIOR O THE START OF ERECTION. PROVIDE ALL ANCHOR BOLTS IN SIZES, LOCATIONS AND QUANTITIES AS SHOWN ON THE STRUCTURAL DRAWINGS.
- 5. ALL STRUCTURAL STEEL IS TO CONFORM TO ALL A.S.T.M. A36 ALL PURPOSE CARBON GRADE STEEL STANDARDS UNLESS OTHERWISE NOTED.
- 6. ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED WITH GRAY ZINC CHROMATE PRIMER 20 MILS THICKNESS. ALL FIELD WELDS SHALL RECEIVE TOUCH UP PAINT

1. ALL SHOP AND FIELD BOLTED CONNECTIONS ARE TO BE MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS

- (TYPE A-325) UNLESS OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS, INSTALL TO REQUIRED TORQUING VALUES PER A.I.S.C. SPECIFICATION. 8. ALL SHOP AND FIELD CONNECTIONS CALLED TO AS BEING WELDED ON THE STRUCTURAL DRAWINGS, WELDS
- ARE TO BE PRE QUALIFIED WELDS CONFORMING TO AMERICAN WELDING SOCIETY AND A.I.S.C. STANDARDS. WELDS ARE TO BE ARC WELDS USING ETØXX ELECTRODES.
- 9. PROVIDE HOLES AND/OR ANCHORS, AS REQUIRED, FOR ATTACHING OTHER MATERIAL TO STRUCTURAL STEEL REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. IØ. PROVIDE ALL TEMPORARY BRACING AND SUPPORTS AS REQUIRED TO RESIST ALL WIND. AND CONSTRUCTION LOADING DURING STEEL ERECTION. ALL BRACING IS TO REMAIN IN PLACE UNTIL THE

STRUCTURE IS CAPABLE OF SUSTAINING ALL LOADS.

- PROVIDE ALL LOOSE LINTELS IN SIZES, TYPES AND LENGTHS FOR ALL INTERIOR AND EXTERIOR MASONRY WALL AS SHOWN ON THE ARCHITECTURAL DRAWINGS. ALL LINTELS ARE TO BEAR A MINIMUM OF 4" ON MASONRY UNLESS OTHERWISE NOTED. LINTELS THAT CAN NOT PROPERLY BEAR ONTO MASONRY ARE TO BE
- TO HAVE AT LEAST ONE (1) 1/2" DIAMETER x 12" LONG ANCHOR BOLT WELDED TO THE BOTTOM OF THE BEARING PLATE, BEARING PLATE SIZES AS SHOWN ON THE STRUCTURAL PLANS, 13. PROVIDE ALL ANGLE FRAMING FOR ALL MECHANICAL EQUIPMENT. MINIMUM ANGLE 61ZE TO BE L3'x3'x1/4"

PROVIDE ALL BEARING PLATES FOR SUPPORT OF BEAMS BEARING ONTO MASONRY. BEARING PLATES ARE

- 14. ALL COLUMNS, UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD STEEL PIPE COLUMNS COLUMN TO HAVE MINIMUM BASE PLATE SIZE OF 10' X 10' X 34" THICK WITH (4) 16" DIAMETER ANCHOR BOLT HOLES FOR 1/4" DIAMETER ANCHOR BOLTS. 15. ALL COLUMNS ARE TO BE FURNISHED WITH BASE AND CAP PLATES, SIZES AS SHOWN IN THE COLUMN

SCHEDULE. PROVIDE 1/4" THICK LEVELING PLATES FOR EACH COLUMN.

DIVISION 6: WOOD AND PLASTICS

- FRAMING LUMBER FOR EXTERIOR DECKS, SILLS SITTING ON MASONRY, EXPOSED TO MOISTURE, WITHIN 8" OF FINISHED GRADE OR ANY OTHER EXTERIOR USE IS TO BE STRUCTURAL GRADE HEM - FIR # F6 - 1400 P.S.I. MINIMUM OR BETTER, PRESSURE TREATED (ACQ OR EQUAL), LUMBER 15 TO BE FREE FROM LOOSE KNOTS, SPLITS, CHECKS, WARPING AND OTHER IMPERFECTIONS THAT WILL IMPAIR ITS STRENGTH OR APPEARANCE.
- INSTALL ALL REQUIRED FIRE BLOCKING, NAILERS, BLOCKING AND GROUNDS AS REQUIRED BY CODE AND TO ATTACH ALL FINISHES AND ACCESSORIES.
- ALL WOOD BLOCKING AND GROUNDS TO BE PRESSURE TREATED PINE OR HEM-FIR PROVIDE AS REQUIRED TO RECEIVE FINISHES AND MOUNTING ALL ACCESSORIES.
- AVOID NOTCHING IN JOISTS, RAFTERS AND BEAMS IF POSSIBLE, NOTCHES (IF REQUIRED) IN THE TOP OF JOISTS. RAFTERS AND BEAMS ARE NOT TO EXCEED 1/6 (ONE SIXTH) THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 (ONE THIRD) OF THE SPAN. NOTCHES AT THE ENDS MAY BE TOP OR BOTTOM OF MEMBER AND 15 NOT TO EXCEED 1/4 (ONE QUARTER) THE DEPTH OF THE MEMBER.
- HOLES BORED INTO JOISTS, RAFTERS AND BEAMS FOR PIPING OR ELECTRICAL WIRING IS NOT TO BE CLOSER THAN 2' TO THE TOP OR BOTTOM OF THE MEMBER AND THE DIAMETER OF THE HOLE IS NOT TO EXCEED 1/3 (ONE
- 6. PROVIDE 2 X SOLID WOOD BLOCKING AT DECK JOISTS AT MID SPAN OR EACH 8'-0" OF SPAN MAXIMUM.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, INSTALL DOUBLE 2 X FRAMING AT ALL STAIR OPENINGS, FLOOR OPENINGS GREATER THAN 16", ACCESS HATCHES, SKYLIGHTS AND ANY OTHER SITUATION WERE FRAMING 15 HEADERED OFF. WHERE LYL HEADERS ARE NOTED ON THE DRAWINGS, PROVIDE NUMBER AND SIZE INDICATED.
- ALL JOISTS FRAMING INTO THE SIDES OF BEAMS AND LEDGER BOARDS ARE TO UTILIZED 'ZMAX' GALVANIZED JOIST HANGERS (SIMPSON STRONGTIE OR EQUAL) RATED FOR CONTACT WITH PRESSURE TREATED LUMBER TRIMMER AND HEADER BEAMS ARE TO BE CONNECTED WITH DOUBLE JOIST HANGERS.
- ALL METAL FASTENERS, ANCHORS, POST BASES, CONNECTORS, JOIST OR BEAM HANGERS, SHALL BE HOT DIPPED GALVANIZED, 'ZMAX' GALVANIZED OR STAINLESS STEEL AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL. ATTACH CONNECTORS TO FRAMING PER SIMPSON'S WRITTEN INSTRUCTIONS USING HOT DIPPED GALVANIZED COMMON NAILS OR SIMPSON PROPRIETARY "STRONG-DRIVE SD" SCREWS.
- IØ. DECK P.T. WOOD LEDGER BOARDS ARE TO BE SECURED TO HOUSE'S RIM JOIST AND/OR HOUSE'S FOUNDATION WALL WITH CODE APPROVED FASTENERS FOR SPECIFIC INSTALLATION SUCH AS GALVANIZED BOLTS, NUTS AND WASHERS, OR PROPRIETARY SCREWS SUCH AS SIMPSON "STRONG-DRIVE SD SCREWS" CARRIAGE BOLTS ARE NOT
- PERMITTED FOR ATTACHING LEDGER BOARDS. 11. WASHERS ARE REQUIRED UNDER THE HEADS AND NUTS OF ALL BOLTS.

THIRD) THE DEPTH OF THE MEMBER.

- 12. P.T. WOOD FRAMING MEMBERS SHALL BE ATTACHED WITH HOT DIPPED GALVANIZED COMMON NAILS.
- RAILING POSTS SHALL BE ATTACHED TO DECK FRAMING USING GALVANIZED THROUGH BOLTS, NUTS AND WASHERS. INSTALL SIMPSON DTT2Z DECK TENSION TIE AT TOP BOLT OF POST TO PROVIDE LATERAL SUPPORT TO RESIST 200 lb. CONCENTRATED LATERAL LOAD.
- BASE BID DECK BOARDS SHALL BE EITHER 5/2 × 6 OR 2 × 6 PRESSURE TREATED BOARDS ATTACHED TO DECK FRAMING WITH (2) 2½" COATED WOOD DECKING SCREWS PER JOIST. DECK BOARDS SHALL HAVE A MINIMUM SPACE
- AT OPTION OF OWNER, OR AS SPECIFICALLY NOTED ON THE PLANS, DECK BOARD MAY BY COMPOSITE DECK BOARD SUCH AS 'TREX' OR EQUAL, OR ANOTHER WOOD SPECIES SUCH AS RED CEDAR MAHOGANY. OR IPE. COMPOSITE BOARDS SHALL BE ATTACHED EITHER WITH MANUFACTURER APPROVED DECK SCREWS OR HIDDEN FASTENER SYSTEMS. OTHER WOOD SPECIES SHALL BE ATTACHED WITH APPROVED HIDDEN FASTENERS.

DIVISION 7: THERMAL AND MOISTURE PROTECTION

- BASEMENT FOUNDATION WALLS BELOW GRADE TO BE WATERPROOFED WITH AN APPROVED TYPE, BITUTHENE COATING OR RUB-R-WALL WITH PROTECTION BOARDS APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.
- 2. INSTALL 2" THICK BY 2'-0" WIDE RIGID INSULATION UNDER BASEMENT GLABS AT FOUNDATION PERIMETER.
- PROVIDE 4" PERFORATED PVC OR 4" CORRUGATED PERFORATED HPDE FOOTING DRAINS COVERED WITH FILTER FABRIC SOCK WITH MIN. OF 2'-0' OF CRUSHED STONE WRAPPED WITH FILTER FABRIC ALONG FOOTING PITCH OUT TO DAYLIGHT, CONNECTED TO SUMP PIT WITH SUMP PUMP OR TO PRECAST CONCRETE DRYWELL(S).
- 4. INSTALL 6 POLYETHYLENE VAPOR BARRIERS UNDER ALL SLABS ON GRADE U.O.N.
- INSTALL FIBERGLASS OR STYROFOAM "SILL SEALER" INSULATION UNDER ALL P.T. WOOD SILLS BEARING ON MASONRY OR CONCRETE FOUNDATION WALLS. ALL WINDOWS, DOORS AND SKYLIGHTS TO HAVE FACTORY INSTALLED WEATHER-STRIPPING AND CAULKED. INSTALL
- FLEXIBLE FLÄSHING BY GRACE OR EQUAL AROUND ALL OPENINGS PER WINDOW AND DOOR MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL SPACES BETWEEN WOOD FRAME AND WINDOWS AND DOORS SHALL BE FILLED WITH LOW EXPANSION WINDOW
- AND DOOR INSULATING FOAM SEALANT BY GREAT STUFF OR EQUAL. SIDING ON ADDITIONS WHERE EXISTING SIDING IS TO REMAIN THAN THE CONTRACTOR SHALL INSTALL NEW SIDING TO MATCH EXISTING. WHERE SIDING IS SPECIFIED TO BE COMPLETELY REPLACED ON HOUSE, THAN CONTRACTOR SHALL PROVIDE IN BASE BID PRICE SIDING AS BASED ON CERTAINEED 'CLASSIC' DOUBLE 4' CLAPBOARD VINYL SIDING UNLESS OTHERWISE SPECIFIED ON THE PLANS, COLOR TO BE SELECTED BY OWNER FROM STANDARD SELECTION, AT OWNER'S OPTION, ALTERNATIVE SIDING MAY BE SELECTED BY OWNER AND CONTRACTOR SHALL SUBMIT PRICE TO
- ALL SEALANTS TO BE SILICONE BASED, PAINTABLE OR COLORED TO MATCH SURROUNDING MATERIAL, OF
- APPROVED TYPES FOR SPECIFIC LOCATIONS AND CONDITIONS. ALL FLASHING SHALL BE NONFERROUS METAL (ALUMINUM OR COPPER) (UNLESS OTHERWISE NOTED). FABRIC
- FLASHING SHALL BE USED AT WINDOWS AND DOOR OPENINGS. ALL THERMAL INGULATION TO BE GLASS FIBER BATTS WITH A KRAFT PAPER TYPE VAPOR BARRIER WITH R-VALUES SPECIFIED ON PLANS FOR SPECIFIC LOCATIONS. VAPOR BARRIER IS TO BE INSTALLED ON THE HEATED SIDE (UNLESS OTHERWISE NOTED) AS MANUFACTURED BY CERTAINTEED, OWENS CORNING OR APPROVED EQUAL, WHEN UNFACED BATT INSULATION IS USED, PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIERS ON HEATED SIDE OF
- CEILING AND WALLS. INSTALL SOUND ATTENUATION BATT INSULATION IN ALL INTERIOR BATHROOM WALLS AND CEILINGS AND IN OTHER
- ROOM NOTED ON THE PLANS. DO NOT SUBSTITUTE WITH REGULAR BATT INSULATION. ROOFS THAT PITCH LESS THAN 3 ON 12 SHALL HAVE ASPHALT TORCHED DOWN ROOF SYSTEM INSTALL PER
- MANUFACTURER'S INSTRUCTIONS AND HAVE A 20 YEAR WARRANTY MINIMUM. ROOFS THAT PITCH 3 ON 12 OR GREATER SHALL HAVE ASPHALT SHINGLES, ROOFS ON ADDITIONS WHERE EXISTING ROOFING 15 TO REMAIN THAN THE CONTRACTOR SHALL INSTALL NEW ASPHALT ROOFING TO MATCH EXISTING. WHERE ROOF IS SPECIFIED TO BE COMPLETELY RE-ROOFED, THAN CONTRACTOR SHALL INSTALL 30 YEAR ARCHITECTURAL
- SHINGLES EQUAL TO GAF TIMBERLINE. COLOR TO BE SELECTED BY OWNER FROM STANDARD SELECTION. 15. ALL ROOF TO ROOF, AND ROOF TO WALL JOINTS SHALL BE CONTINUOUSLY FLASHED.
- ALL ROOFS DESIGNATED AS HAVING ASPHALTIC FIBERGLASS SHINGLE ROOFING SHALL HAVE ICE AND WATER SHIELD BY "GRACE" OR APPROVED EQUAL A MINIMUM OF 36" WIDE INSTALLED AT EAVES, VALLEYS AND WALL
- INTERSECTIONS AND I (ONE) LAYER OF #30 ROOF FELT OVER PLYWOOD SHEATHING ELSEWHERE.

OWNER BASED ON SIDING SELECTED.

- PROVIDE PROPER VENTILATION AT ALL ROOF CONDITIONS. PROVIDE A MINIMUM OF I' AIR SPACE BETWEEN BATT INSULATION AND UNDERSIDE OF ROOFING SHEATHING FOR VENTILATION. INSTALL I' DEEP VENT RAFTER BAFFLES IN EACH RAFTER BAY STAPLED TO PLYWOOD ROOD
- 19. ALL PERIMETERS OF ROOF CORNICES SHALL HAVE ONE LAYER OF ICE AND WATER SHIELD FROM FASCIA IN TO EXTERIOR WALL (OR AS NOTED ON DRAWINGS).

DIVISION 8: WINDOWS AND DOORS

1. NO WORK UNDER THIS SECTION.

DIVISION 9 : FINISHES

DIVISION 10: SPECIALTIES

DIVISION 11: EQUIPMENT

1. NO WORK UNDER THIS SECTION.

1. NO WORK UNDER THIS SECTION.

1. NO WORK UNDER THIS SECTION.

DIVISION 12: FURNISHING

. NO WORK UNDER THIS SECTION.

DIVISION 13: SPECIAL CONSTRUCTION

NO WORK UNDER THIS SECTION.

DIVISION 14: CONVEYING SYSTEMS

1. NO WORK UNDER THIS SECTION.

TO ALL FIXTURES NEW OR OLD.

DIVISION 15: MECHANICAL

<u>PLUMBING</u>

- ALL PLUMBING WORK IS TO COMPLY WITH THE 2020 PLUMBING CODE OF NYS (2020-PCNYS), 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (2020-ECCCNYS) AND THE REQUIREMENTS OF ALL LOCAL CODES AND AGENCIES HAVING JURISDICTION.
- THE PLUMBING CONTRACTOR (P.C.) IS TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS PERTAINING TO THE PLUMBING WORK, THE P.C. 16 TO ARRANGE FOR ALL REQUIRED INSPECTIONS AND OBTAIN ALL APPROVALS.
- THE P.C. 15 TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM.
- FOR ALTERATIONS AND/OR ADDITIONS TO AN EXISTING RESIDENCE, THE PLUMBING CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS, MODIFY EXISTING PLUMBING SYSTEM TO PROVIDE ADEQUATE PLUMBING
- ALL VALVES, TRAPS, CLEAN OUTS, ETC. AND OTHER WORK IS TO BE INSTALLED TO BE READILY
- ACCESSIBLE FOR OPERATION, REPAIR AND MAINTENANCE. ALL PIPING 15 TO RUN CONCEALED. 6. ALL UNDERGROUND SANITARY SEWER PIPING TO BE SCHEDULE 40 PVC PIPING WITH PVC FITTINGS UNLESS
- OTHERWISE NOTED. INSTALL CLEAN OUTS AT ALL DEAD ENDS, AT TRAPS, AT BASE OF STACKS, AT CHANGES IN DIRECTION AND HORIZONTAL RUN SPACED 50'-0" MAXIMUM FOR PIPES 4" OR SMALLER AND 100'-0" MAXIMUM FOR PIPES
- ABOVE GROUND SANITARY WASTE PIPING AND VENT PIPING TO BE SCHEDULE 40 PVC PIPING WITH PVC
- ALL VENT PIPES TO BE A MINIMUM OF 12" ABOVE THE ROOF, THE P.C. IS TO PROVIDE VENT FLASHING. COORDINATE WITH G.C. FOR TYPE OF ROOF SPECIFIED. WATER SERVICE AND DISTRIBUTION PIPING TO BE COPPER, TYPE "K" FOR BELOW GROUND AND TYPE "L" FOR ABOVE GROUND. FITTINGS TO BE COPPER OR BRASS, ALL JOINTS TO BE PROPERLY CLEANED, FLUXED
- AND SOLDERED USING LEAD FREE SOLDER CONFORMING TO A.S.T.M. B32. FLARED FITTINGS AND THREADED FITTINGS ARE ALSO PERMITTED HANGER AND SUPPORTS FOR WATER PIPING TO BE OF AN APPROVED TYPE, SPACED 6'-0" O.C. MAXIMUM
- FOR PIPES SMALLER THAN 2" AND 10'-0" O.C. MAXIMUM FOR PIPES 2" AND LARGER. ALL HOT AND COLD WATER PIPING TO BE INSULATED WITH THE N.Y.S. ENERGY CONSERVATION
- CONSTRUCTION CODE. THE INSULATION 15 TO BE FIBERGLASS, FOAM OR ANOTHER APPROVED MATERIAL. EXCAVATIONS FOR UNDERGROUND PIPING TO BE OF THE REQUIRED DEPTH, PITCH AND LOCATIONS WITH A FIRM BED TAMPED AS REQUIRED, BACK FILL TO BE CLEAN EARTH WITH STONE SIZES NOT TO EXCEED 2" IN DIAMETER, SAND OR GRAVEL, BACK FILLING AND COMPACTION ARE TO BE PERFORMED IN SUCH A METHOD TO ASSURE PROPER COMPACTNESS WITHOUT DAMAGE TO THE PIPE. THE P.C. IS TO PROVIDE DEWATERING
- AS MAY BE REQUIRED PROVIDE CHROME PLATED SHUT OFF VALVES WITH CHROME PLATED ESCUTCHEON PLATES AT EACH
- FIXTURE'S HOT AND COLD WATER LINES. 15. ALL FLOOR DRAINS ARE TO HAVE DEEP TRAP WATER SEALS OF 4" MINIMUM AND ADJUSTABLE STRAINERS
- WITH BRASS FINISH. PROVIDE REMOTE VENT UNDER SLAB AT EACH FLOOR DRAIN TYPICAL. 16. NO WATER PIPES OR WASTES LINES ARE TO EXPOSED IN UNHEATED CRAWL SPACES OR UNINSULATED
- WHERE DIRECTED BY THE OWNER, INSTALL TWO NON-FREEZE HOSE BIBS. INCLUDE (2) NON-FREEZE HOSE BIBS IN BASE BID. 18. WHERE INDICATED ON THE DRAWINGS OR REQUIRED, PROVIDE WATER HEATER(S) BY A.O. SMITH OR EQUAL, SIZED BY THE PLUMBING CONTRACTOR, WATER HEATER IS TO BE PROVIDED WITH A TEMPERATURE AND
- 19. ALL KITCHEN AND BATHROOM PLUMBING FIXTURES ARE TO BE SELECTED BY THE OWNER AND PURCHASE SEPARATELY FROM THE CONTRACTOR'S BASE BID. THE PLUMBING CONTRACTOR IS TO INCLUDE IN THE BASE BID INSTALLATION OF ALL NEW PLUMBING FIXTURES INDICATED.

20. THE PLUMBING CONTRACTOR IS TO GUARANTEE ALL PLUMBING WORK FOR A PERIOD OF (1) ONE YEAR FROM

VALVES AND UNIONS AT SUPPLY AND OUTFLOW PIPES FOR EASY REMOVAL OF THE WATER HEATER.

PRESSURE RELIEF VALVE WITH A OUTLET PIPE TO WITHIN 6" OF THE FINISHED FLOOR. PROVIDE WITH SHUT OFF

DIVISION 16: ELECTRICAL

1. ALL LIGHT FIXTURES ARE TO BE SELECTED BY THE OWNER.

DATE OF ACCEPTANCE BY THE OWNER.

HE ELECTRICAL WORK REQUIRED.

BASEMENTS. PROTECT ALL PIPING FORM FREEZING.

THE ELECTRICAL CONTRACTOR (E.C.) IS TO OBTAIN ALL PERMITS AND PAY ALL FEES IN CONNECTION WITH

- ALL ELECTRICAL WORK IS TO CONFORM TO THE 2020-RCNYS, THE NFPA 10 NATIONAL ELECTRIC CODE (N.E.C.), AND LOCAL CODES, AND THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.
- THE E.C. 19 TO FIELD VERIFY ALL CONDITIONS IN CONNECTION WITH THE ELECTRICAL WORK SPECIFIED PRIOR TO SUBMITTING BID. NOTIFY THE ARCHITECT AND THE OWNER OF ANY DISCREPANCIES.
- THE E.C. 16 TO VERIFY EXISTING ELECTRICAL SERVICE PANELS HAVE SPARE CIRCUIT BREAKER SPACES FOR ELECTRICAL WORK PROPOSED BY THIS PROJECT, NOTIFY OWNER IF ADDITIONAL ELECTRICAL WORK (I.E. INSTALLING SUB-PANEL) WOULD BE REQUIRED
- 5. ELECTRICAL LAYOUT IS TO BE BY E.C. COORDINATE LIGHT FIXTURE LOCATIONS WITH OWNER. 6. ALL ELECTRICAL FIXTURES AND EQUIPMENT IS TO BEAR THE UNDERWRITER'S LABORATORY (U.L.) LABELS.
- 8. THE E.C. 19 TO INSTALL INITIAL LAMPING OF ALL NEW LIGHT FIXTURES AND PROVIDE REQUIRED LAMPS OF ALL LIGHT FIXTURES SPECIFIED.

THE E.C. 19 TO FILL IN PANEL DIRECTORIES FOR ALL PANELS TO CONFORM TO FINAL ARRANGEMENT OF

10. MINIMUM WIRE SIZE TO BE * 14 AWG FOR 15A. CIRCUITS AND A MINIMUM OF * 12 AWG. FOR 20A. CIRCUITS. SIZE

OTHER CONDUCTORS FOR DEMAND OF SPECIFIC APPLIANCE OR USE.

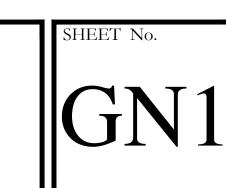
- ALL FEEDER CONDUCTORS TO BE TYPE 'THUN' 600 YOLT RATED COPPER ALL BRANCH CIRCUIT CONDUCTORS TO BE TYPE "TW" 600 VOLT RATED COPPER. ALL FEEDER WIRING FOR INSIDE WORK TO BE NON METALLIC (NM) SHEATHING CONDUCTORS, OR AS
- THE E.C. 19 TO COORDINATE ELECTRICAL CONNECTIONS WITH ALL OTHER TRADES SUPPLYING ELECTRICAL EQUIPMENT UNDER THEIR CONTRACTS. 14. RECEPTACLES BEING INSTALL OUTSIDE SHALL BE GFCI AND BE IN WATER PROOF BOX.

REQUIRED BY NEC. ELECTRIC FEEDERS EXPOSED TO THE WEATHER SHALL BE DIRECT BURIAL OR

- PROVIDE AND INSTALL ALL HIGH AND LOW VOLTAGE (CONTROL) WIRING FOR ELECTRICAL EQUIPMENT THE E.C. IS TO FIRE STOP ALL ELECTRICAL PENETRATIONS THROUGH FLOOR AND WALL ASSEMBLIES BY
- ALL SWITCHES/DIMMER ARE TO BE MOUNTED +3'-2" A.F.F. TO CENTERLINE OF SWITCH/DIMMER. MULTIPLE SWITCHES AND/OR DIMMERS ARE TO BE GANGED AND PROVIDED WITH SINGLE GANG PLATE.

FILLING ALL VOIDS, GAPS, AND OPENINGS USING APPROVED FIRE STOPPING MATERIALS AND METHODS.

- THE E.C. 16 TO OBTAIN AND PAY FEE FOR ALL CERTIFICATES OF INSPECTION BY APPROVED THIRD PARTY INSPECTION SERVICES, AND ALL BOARDS OR AGENCIES HAVING JURISDICTION. SUBMIT COPIES OF THE CERTIFICATE OF INSPECTION TO THE OWNER AND ARCHITECT PRIOR TO REQUEST FOR FINAL ACCEPTANCE
- THE ELECTRICAL CONTRACTOR IS TO GUARANTEE ALL ELECTRICAL WORK FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE INSTALLATION.

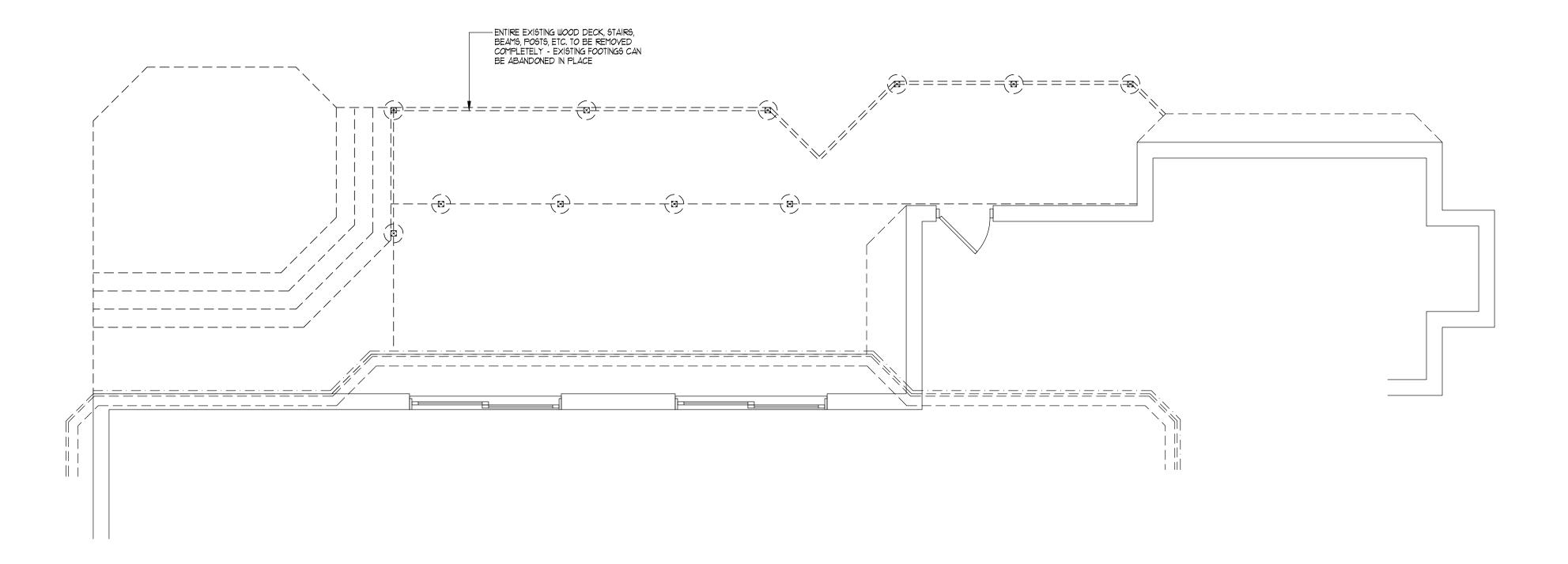


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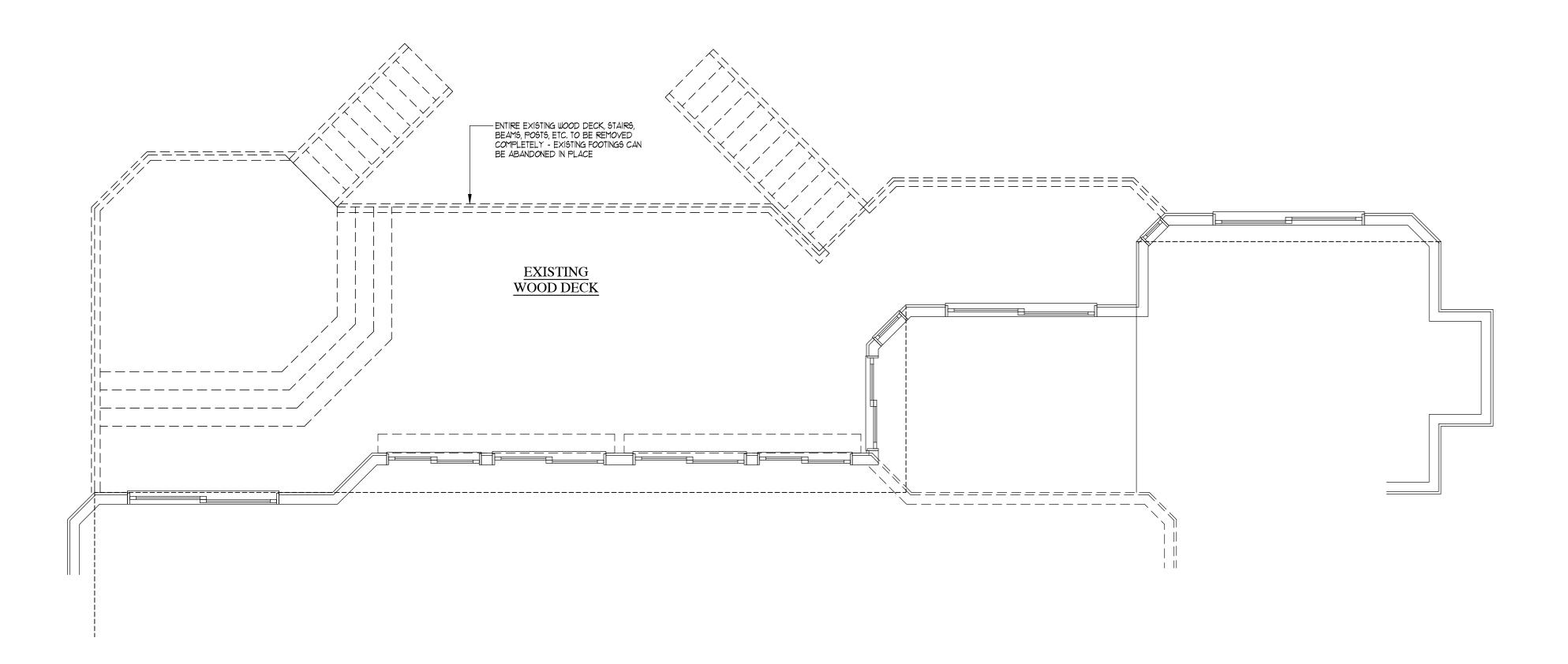
Architect,PC





FOUNDATION DEMOLITION PLAN

SCALE: 1/4"= 1'-0"



FIRST FLOOR DECK DEMOLITION PLAN

SCALE: 1/4"= 1'-0"

DEMOLITION NOTES: (RESIDENTIAL INTERIOR ALTERATIONS)

1. THE GENERAL CONTRACTOR (G.C.) IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE ALL REQUIRED DEMOLITION.

- ASBESTOS ABATEMENT:

 a. PRIOR TO THE START OF WORK, THE CONTRACTOR OR THE OWNER SHALL RETAIN A LICENSE ASBESTOS TESTING COMPANY TO TEST FOR THE PRESENCE OF ASBESTOS WITHIN THE BUILDING AND HAVE A REPORT PREPARED INDICATED LOCATIONS, MATERIALS AND AMOUNTS WHERE ASBESTOS HAS BEEN FOUND. THE TEST RESULT REPORT SHALL BE SUBMITTED TO THE OWNER AND TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR THEIR RECORDS.
- b. WHERE MATERIALS WITHIN THE WORK AREA ARE FOUND TO
 CONTAIN ASBESTOS THE CONTRACTOR IS TO RETAIN A LICENSED
 ASBESTOS ABATEMENT CONTRACTOR TO REMOVE SAID
 MATERIALS.
- SAFE ACCESS OF HOMEOWNERS, WORKERS AND OTHER PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIAN SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WHO IS TO PROVIDE AND MAINTAIN SAFE MEANS OF ACCESS TO AND FROM ALL POINTS IN THE BUILDING.
 THE G.C. IS TO BE RESPONSIBLE FOR THE PROTECTION OF ALL
- EXISTING CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE G.C. IS TO DESIGN AND INSTALL ADEQUATE PROTECTIVE STRUCTURES FOR ALL REMOVAL TASKS. THE G.C. IS TO HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURY CAUSED BY OR DURING THE EXECUTION OF THE DEMOLITION WORK.
- 5. THE SCOPE OF WORK INCLUDES THE REMOVAL AND LEGAL DISPOSAL OF ALL DEMOLITION MATERIALS AS INDICATED ON THE DRAWINGS, LISTED HEREIN, AND AS MAY BE REQUIRED FOR THE FACILITATION OF THE NEW CONSTRUCTION.
- 6. PERFORM ALL DEMOLITION WORK IN A SAFE NEAT MANNER. FOLLOW ALL ACCEPTABLE PRACTICES, STATE AND LOCAL CODES, RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION IN REGARDS TO THE DEMOLITION WORK.
- REFUSE FROM THE DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL CONSTRUCTION REFUSE IN A LEGAL MANNER.
 ANY SALVAGEABLE MATERIALS OR ITEMS THAT ARE TO BE SAVED
- ARE TO AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE.

 9. TEMPORARY SHORING, BRACING AND STRUCTURAL SUPPORTS:

 a. PRIOR TO THE DEMOLITION OF ALL STRUCTURAL SUPPORTS DESIGNATED TO BE REMOVED, THE G.C. IS TO INSTALL ALL NECESSARY TEMPORARY STRUCTURAL SHORING, SUPPORTS AND
- REMOVED UNTIL PROPER SHORING IS INSTALLED.

 b. CONTRACTOR SHALL SHORE UP EXISTING ROOF, FLOORS AND WALLS AT AREAS WHERE NEW MASONRY AND/OR WOOD STUD FRAMED OPENINGS ARE CALLED FOR AS WELL AS ON BOTH SIDES OF BEARING WALLS CALLED TO BE REMOVED.

BRACING. NO EXISTING STRUCTURAL ELEMENTS ARE TO BE

- c. ALL TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL SUPPORT ELEMENTS (INCLUDING BUT NOT LIMITED TO JOISTS, BEAMS, LINTELS, HEADERS, STEEL COLUMNS,
- WOOD POSTS, NEW FOOTINGS) ARE INSTALLED.

 10. DEMOLITION WORK IS TO INCLUDE BUT NOT BE LIMITED TO EXTERIOR MASONRY OR WOOD STUD WALLS, INTERIOR PARTITIONS, DOORS AND FRAMES, WINDOWS, FLOOR, WALL AND CEILING FINISHES, TRIM, STRUCTURAL ELEMENTS, AND M.E.P. DEMOLITION LISTED AND AS INDICATED ON THE DRAWINGS, AND AS MAY BE REQUIRED.
- II. WHERE FLOORING FINISHES ARE NOTED TO BE REMOVED OR NEW FLOORING IS SPECIFIED TO BE INSTALLED IN THE FINISH SCHEDULE, REMOVE EXISTING FLOORING DOWN TO CONCRETE SLAB. REMOVE ALL ADHESIVES, MORTAR BEDS AND PREPARE SLAB FOR THE INSTALLATION OF THE NEW FLOORING. PER THE FLOORING MANUFACTURER'S INSTRUCTIONS.
- MANUFACTURER'S INSTRUCTIONS.

 12. ALL SURFACES AND FINISHES SCHEDULED TO REMAIN, IF DAMAGED DURING THE DEMOLITION OR ANY STAGE OF THE WORK IS TO BE REPAIRED BY THE G.C. AT HIS EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE G.C.'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH
- DAMAGE PRIOR TO PRICING OR BIDDING.

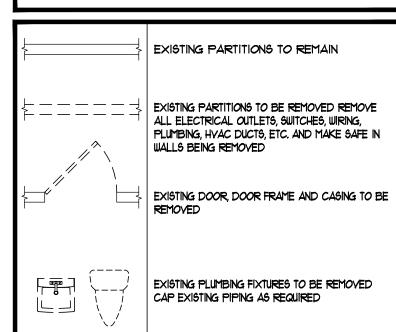
 13. ALL PLUMBING FIXTURES, SANITARY, VENT, AND WATER SUPPLY PIPING, VALVES, GAS PIPING AND VALVES AND PLUMBING EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE PLUMBING CONTRACTOR (P.C.). PROPERLY CAP ANY REMAINING PIPING AS REQUIRED. SANITARY WASTE DEAD END RUNS CREATED BY DEMOLITION WORK ARE TO HAVE CLEANS OUTS INSTALL BY PLUMBING CONTRACTOR PER CODE. SEE PLUMBING DRAWINGS FOR
- ADDITIONAL INFORMATION.

 14. ALL ELECTRICAL LIGHT FIXTURES, WIRING, RECEPTACLES, CIRCUIT PANELS, FEEDERS, BRANCH CIRCUITS, CONDUIT, HANGERS AND SUPPORTS, AND EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE ELECTRICAL CONTRACTOR (E.C.). TERMINATE AND MAKE SAFE ANY REMAINING BRANCH CIRCUITS TO A POINT OF CONCEALMENT. PROPERLY CAP AND TERMINATE BRANCH CIRCUITS AS REQUIRED PER CODE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 15. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED AS PER APPLICABLE CODES.
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 16. ALL HVAC EQUIPMENT, DUCTWORK, ETC. SCHEDULED FOR DEMOLITION IS TO BE PERFORMED BY EITHER THE G.C. OR THE HVAC CONTRACTOR. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE WITH PLUMBING. AND ELECTRICAL CONTRACTORS FOR TERMINATING. AND MAKING. SAFE ANY
- ELECTRICAL FEEDS AND GAS PIPING TO SAID HVAC EQUIPMENT.

 17. THE G.C. IS TO CLEAN ENTIRE BUILDING EACH DAY OF ALL DEBRIS DURING THE DEMOLITION. BROOM SWEEP AND CLEAN BUILDING AS REQUIRED AT THE END OF DEMOLITION PHASE.

DEMOLITION LEGEND



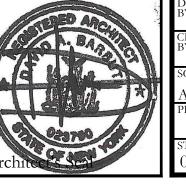
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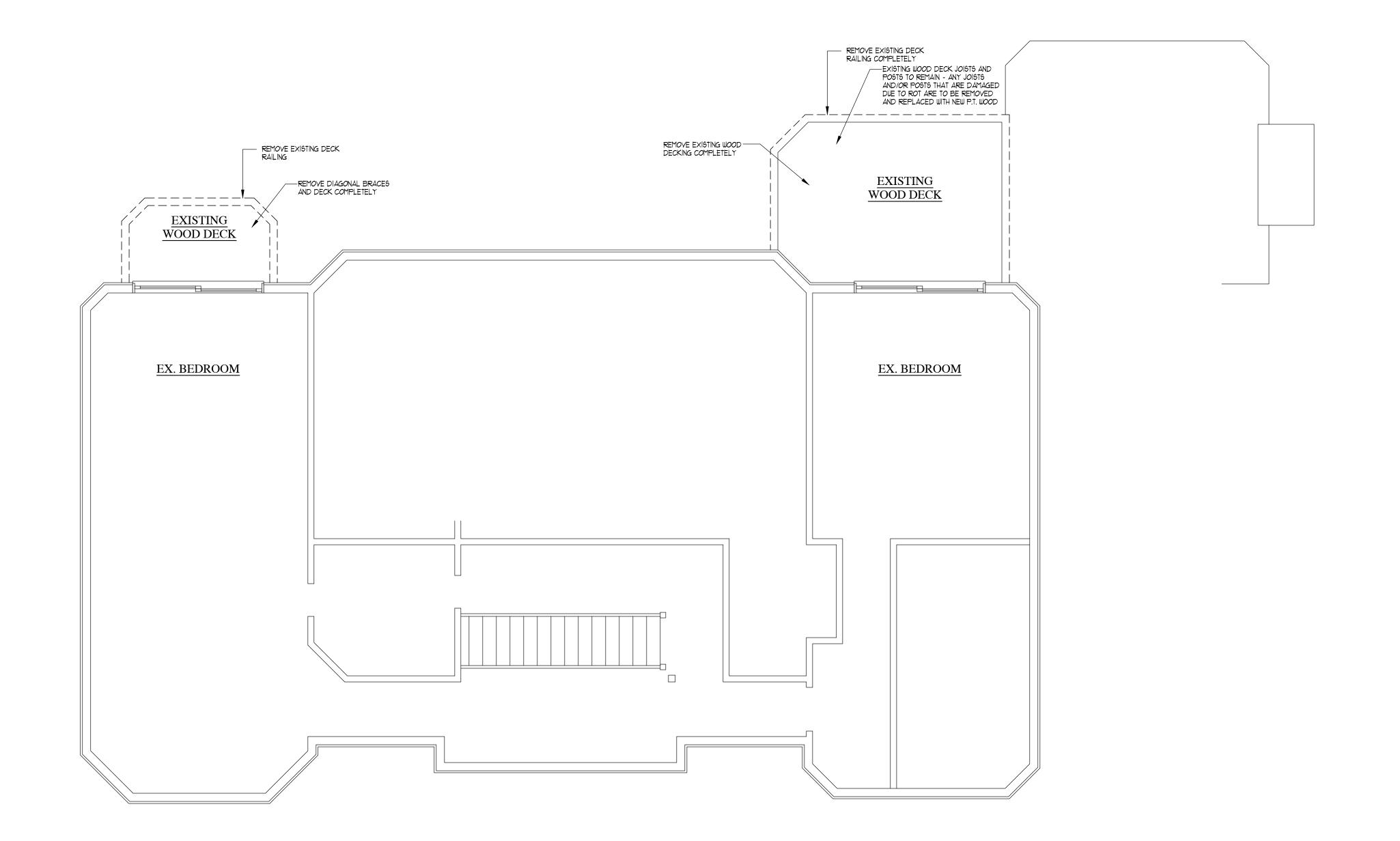
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PROJECT NAME:
PROJECT NAME:
PROPOSED WOOD DECK
RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK
DWG. TITLE:
LOWER DECK

David A. Barbuti Architect,PC





SECOND FLOOR DECK DEMOLITION PLAN

SCALE: 1/4"= 1'-0"

DEMOLITION NOTES: (RESIDENTIAL INTERIOR ALTERATIONS)

I. THE GENERAL CONTRACTOR (G.C.) IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE ALL REQUIRED DEMOLITION.

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- b. WHERE MATERIALS WITHIN THE WORK AREA ARE FOUND TO CONTAIN ASBESTOS THE CONTRACTOR IS TO RETAIN A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO REMOVE SAID MATERIALS.
- 3. SAFE ACCESS OF HOMEOWNERS, WORKERS AND OTHER PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIAN SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WHO IS TO PROVIDE AND MAINTAIN SAFE MEANS OF ACCESS TO AND FROM ALL POINTS IN THE BUILDING.

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- 6. PERFORM ALL DEMOLITION WORK IN A SAFE NEAT MANNER FOLLOW ALL ACCEPTABLE PRACTICES, STATE AND LOCAL CODES, RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION IN REGARDS TO THE DEMOLITION WORK.
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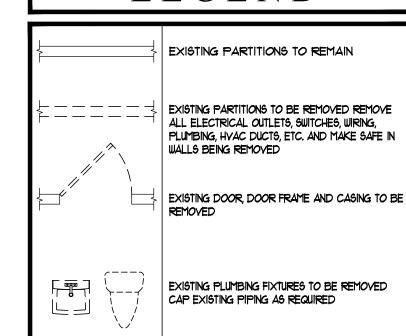
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 17. THE G.C. IS TO CLEAN ENTIRE BUILDING EACH DAY OF ALL DEBRIS DURING THE DEMOLITION. BROOM SWEEP AND CLEAN BUILDING AS REQUIRED AT THE END OF DEMOLITION PHASE.

DEMOLITION LEGEND



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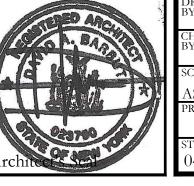
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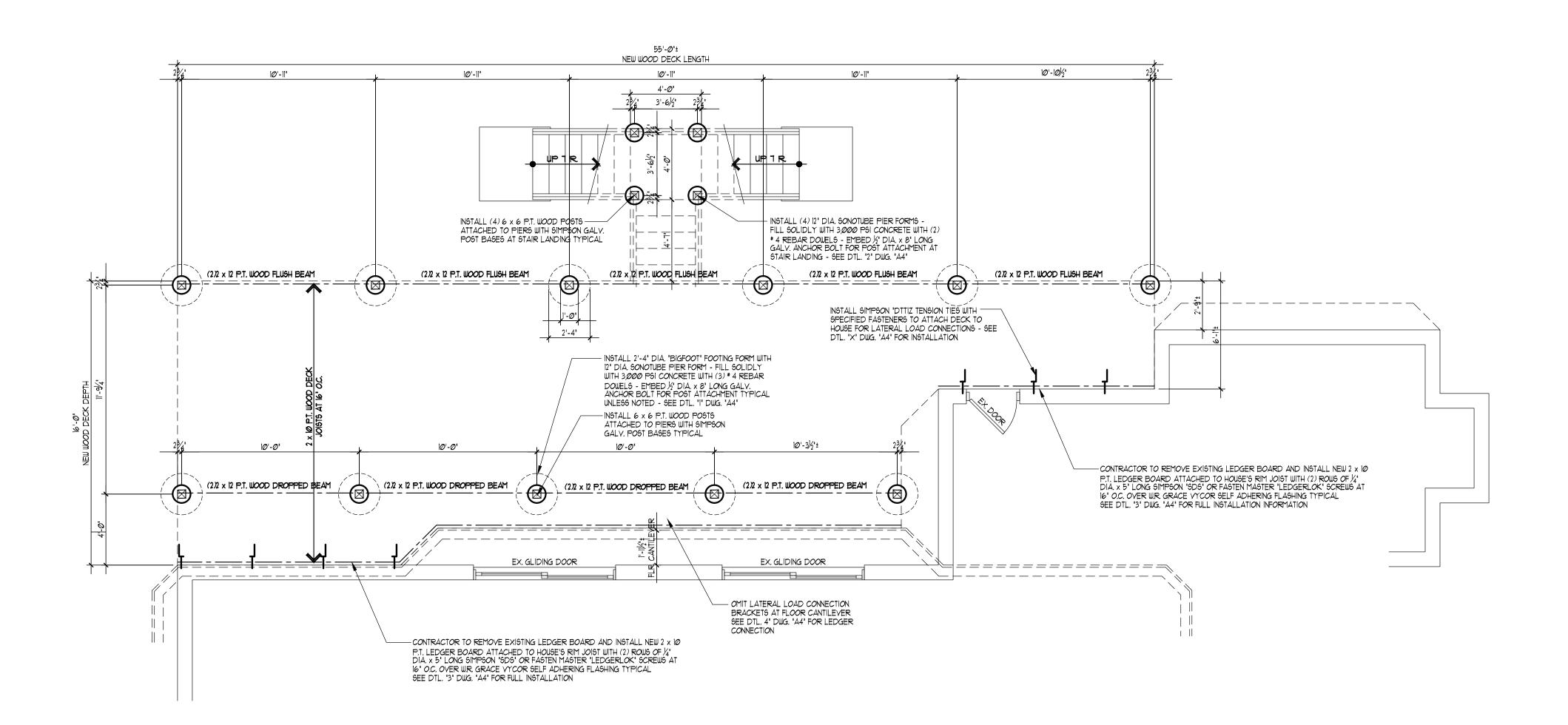
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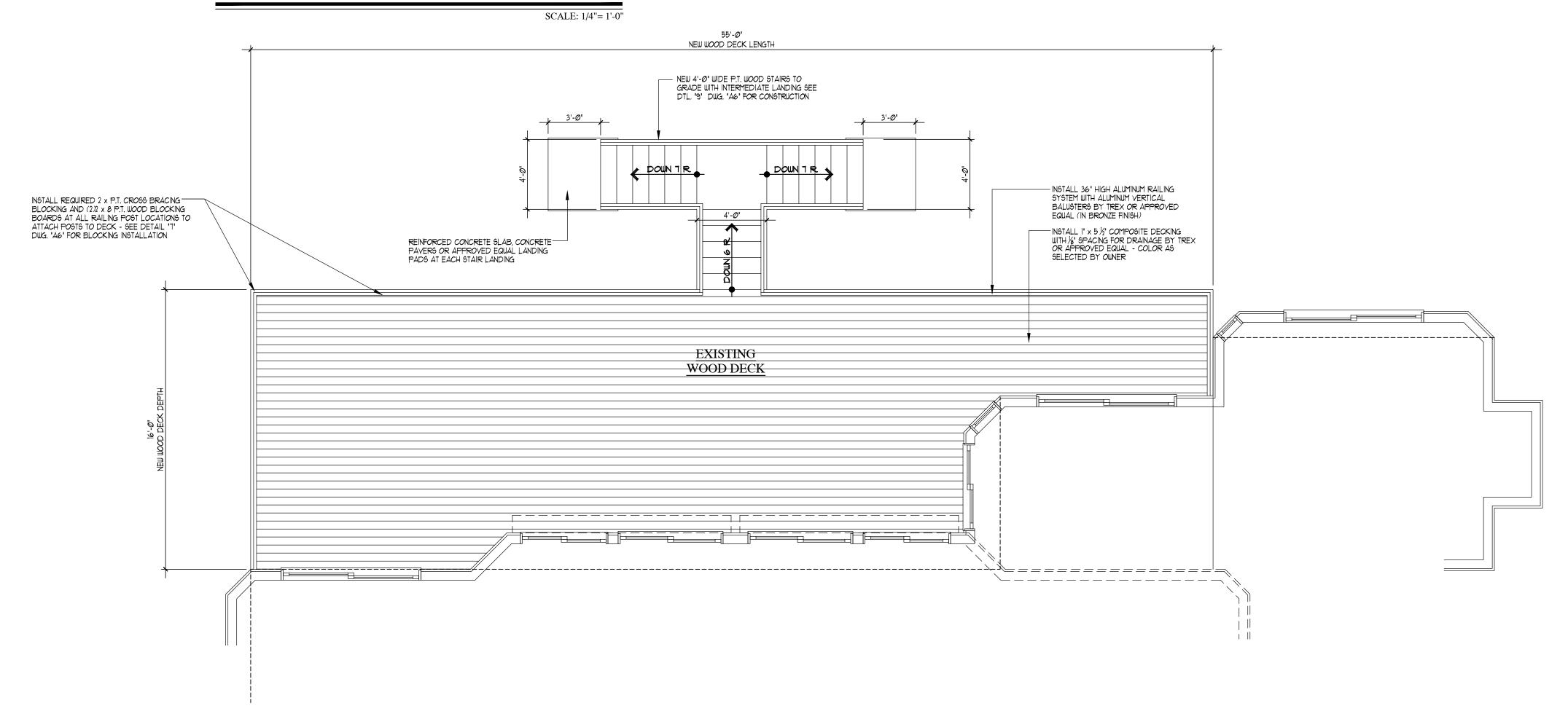
PROJECT NAME:
PROPOSED WOOD DECK
RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK
UPPER DECKS

David A. Barbuti Architect,PC





DECK FOUNDATION PLAN

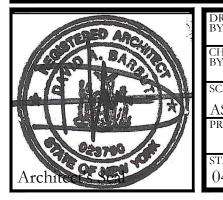


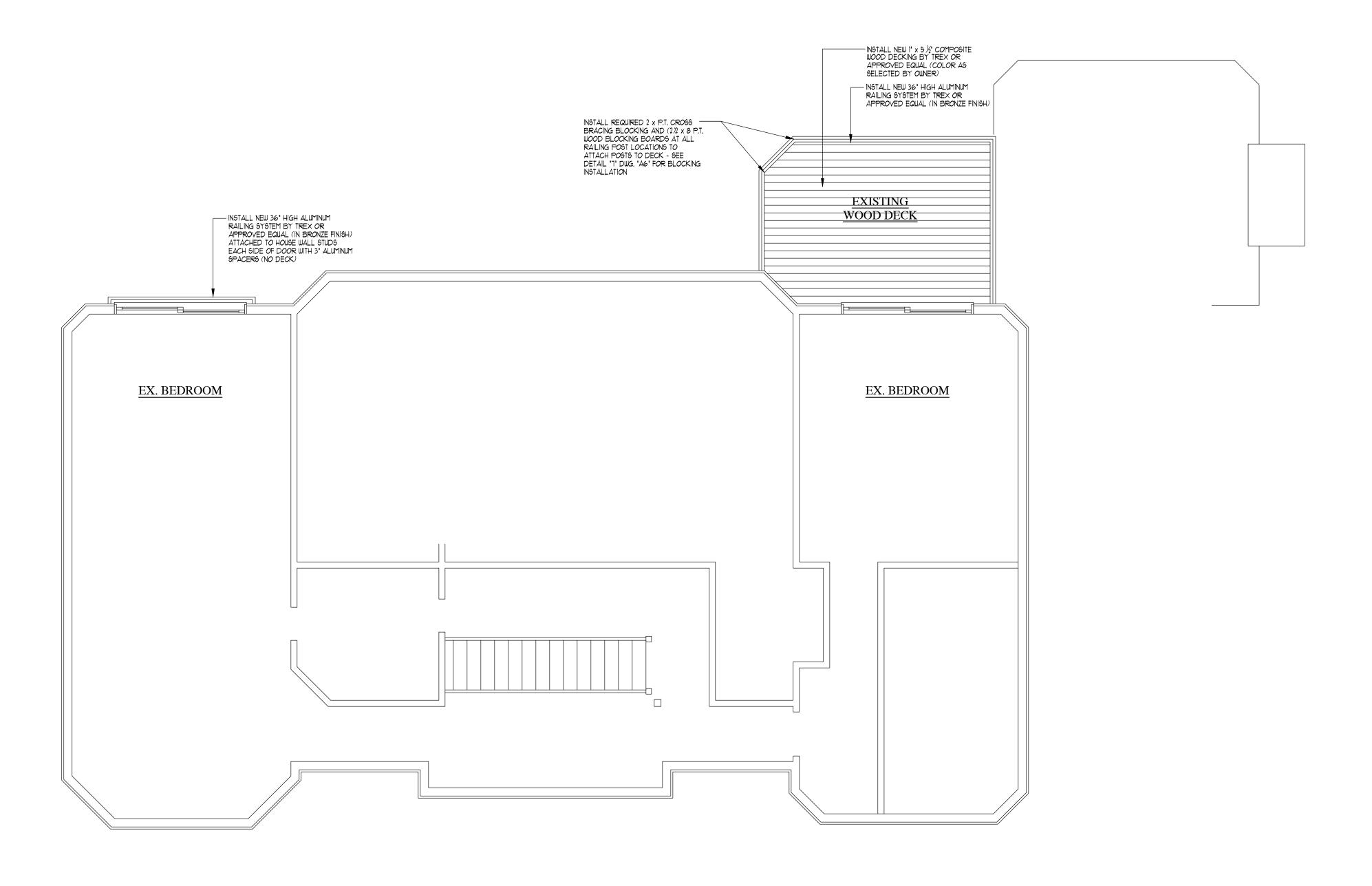
FIRST FLOOR DECK PLAN

SCALE: 1/4"= 1'-0"

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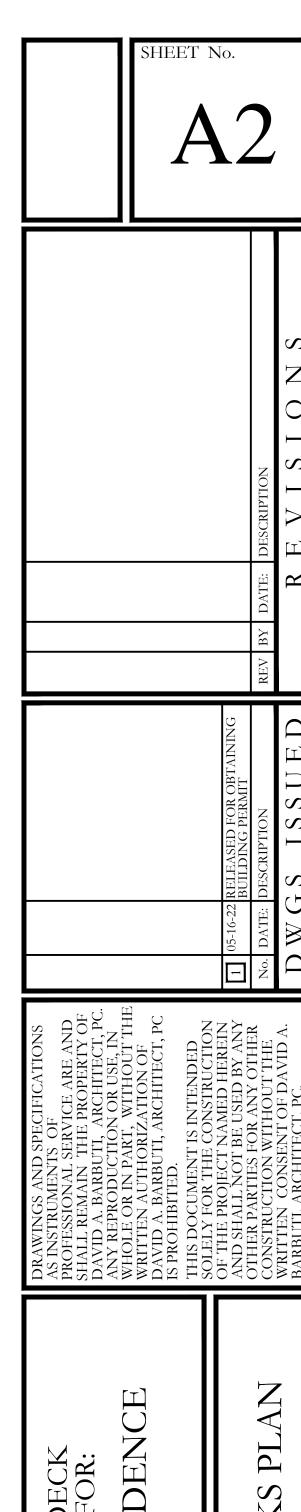
David A. Barbu Architect,PC





SECOND FLOOR DECK PLAN

SCALE: 1/4"= 1'-0"

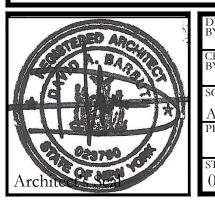


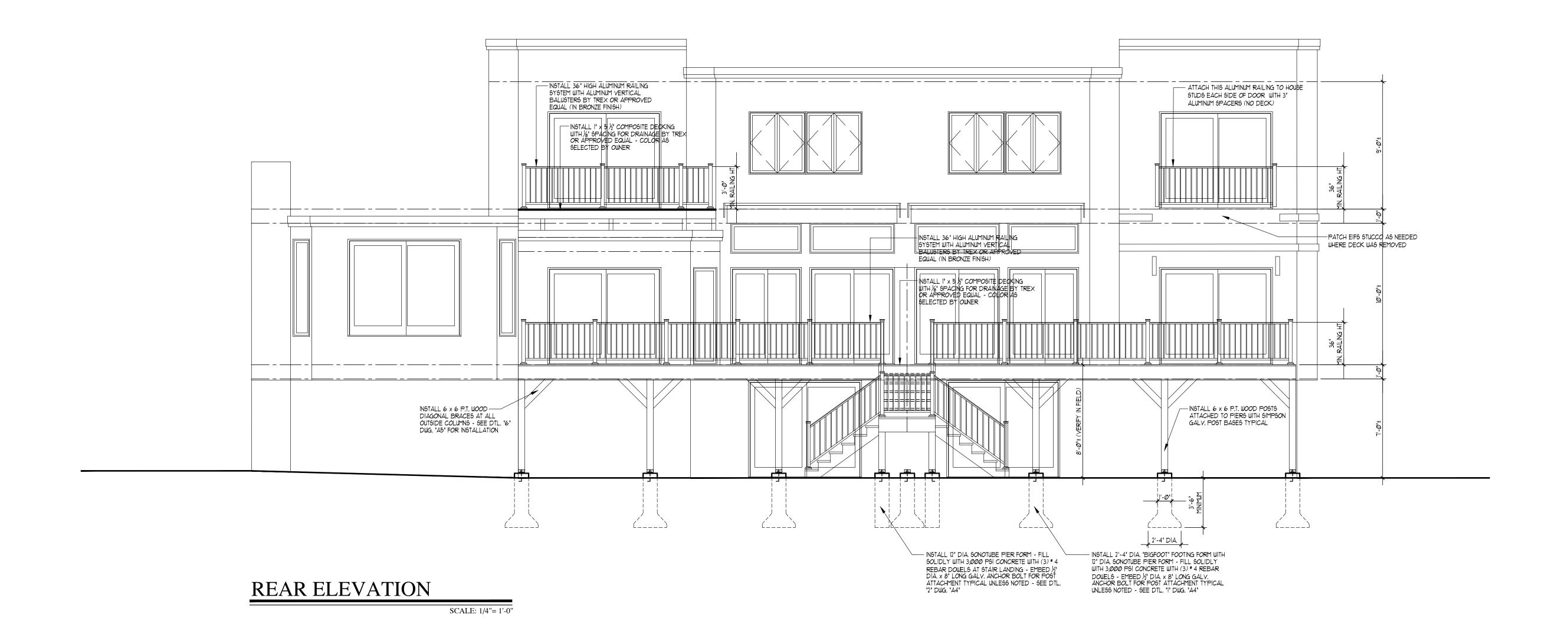
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THE SEREL RESIDENCE
3 WHIPPOORWILL ROAD
RMONK, NEW YORK

WG. TITLE:

David A. Barbuti Architect,PC





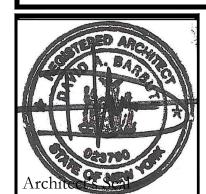
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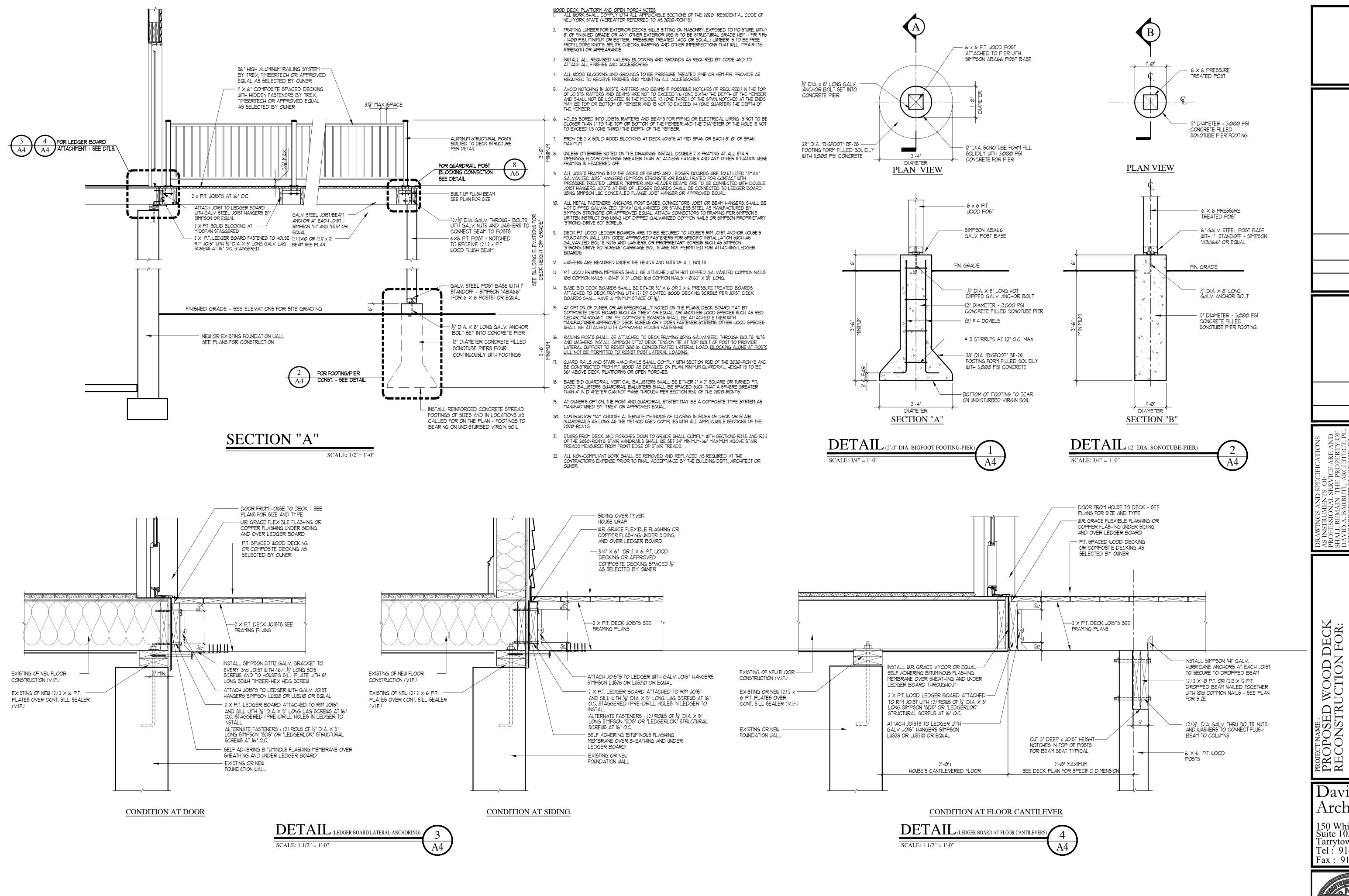
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DRAWINGS AND SPECIFICATIONS
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PROJECT NAME:
PROPOSED WOOD DECK
RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK
DWG. TITLE:
REAR ELEVATION

David A. Barbuti Architect,PC





BE DESCRIPTION

No. DATE: DESCRIPTION

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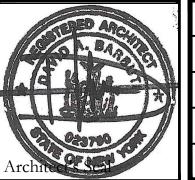
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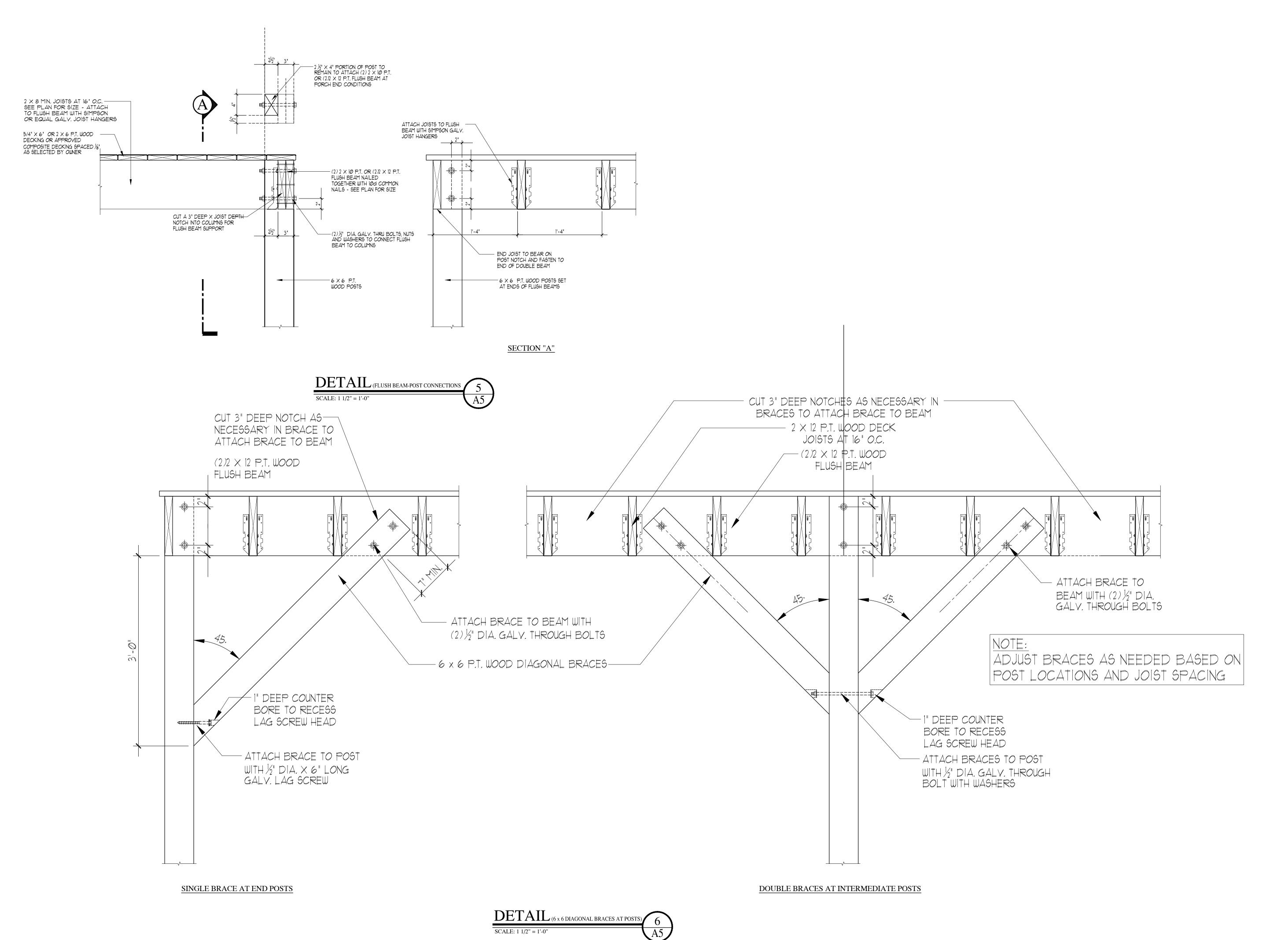
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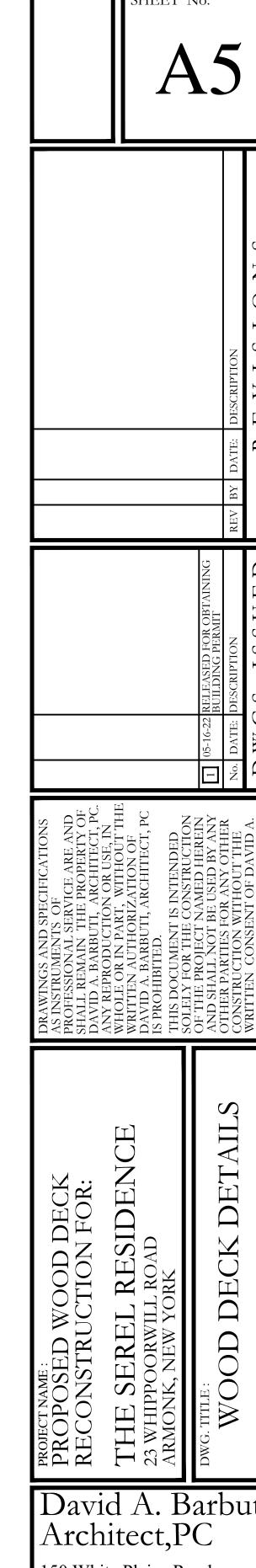
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RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK
WOOD DECK SECTION

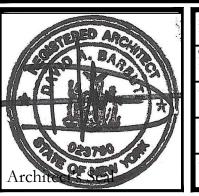
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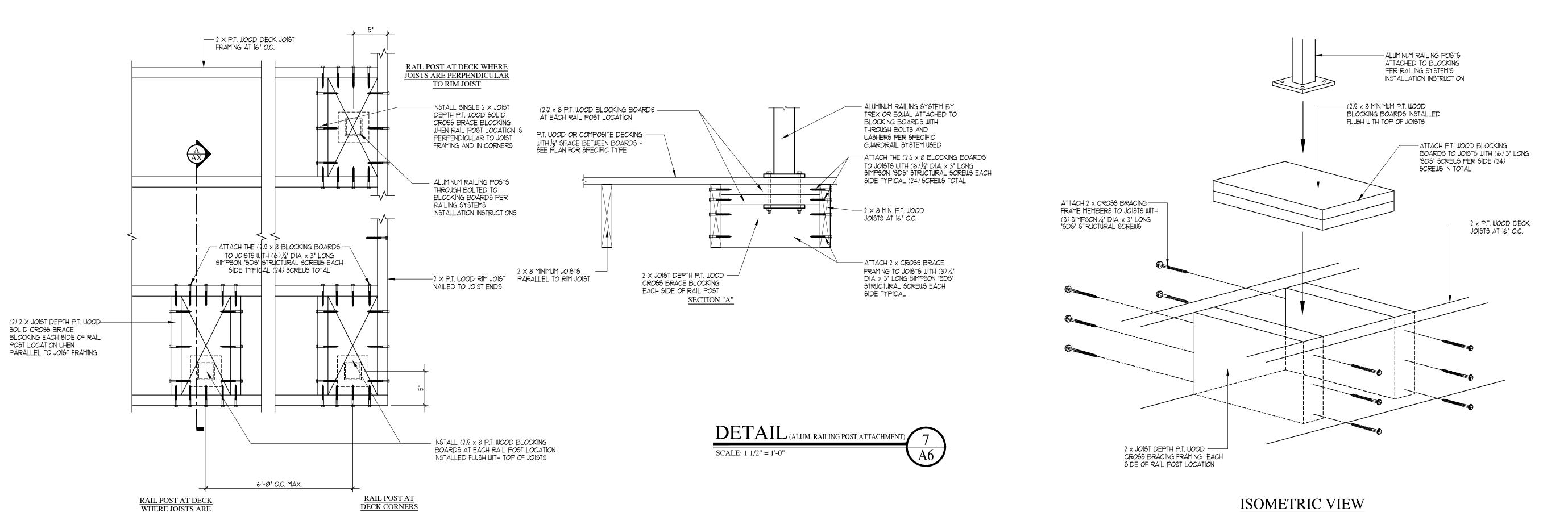


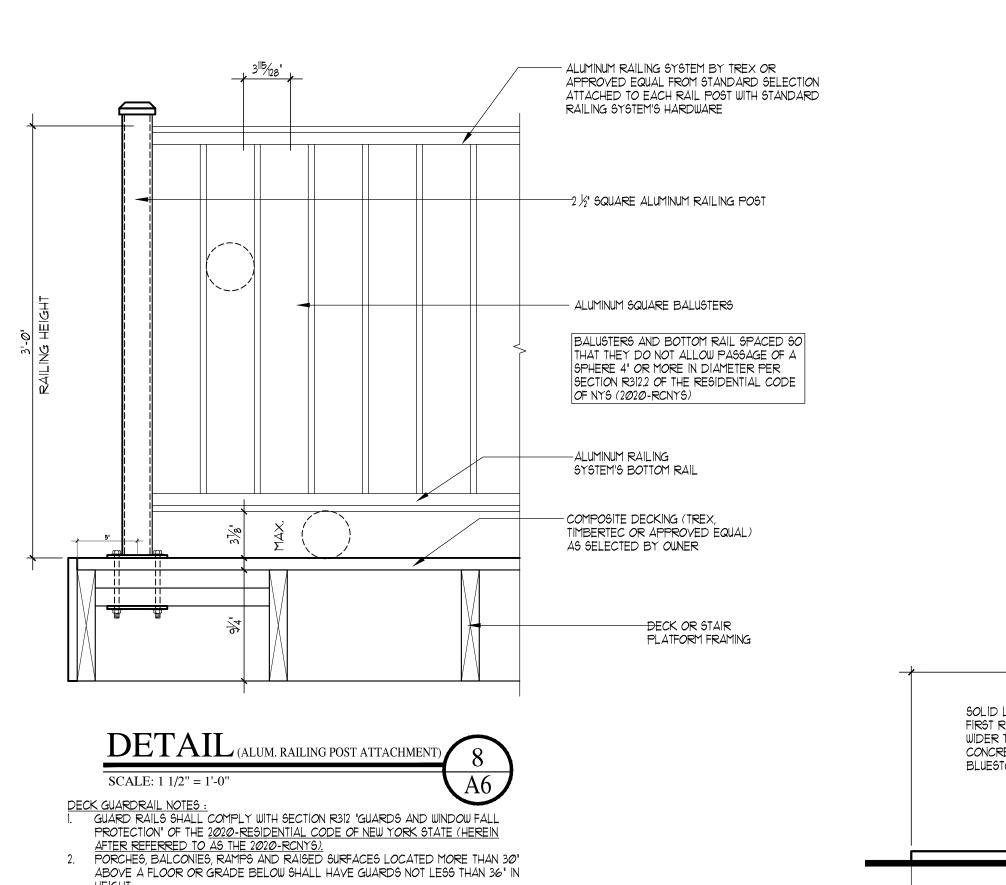




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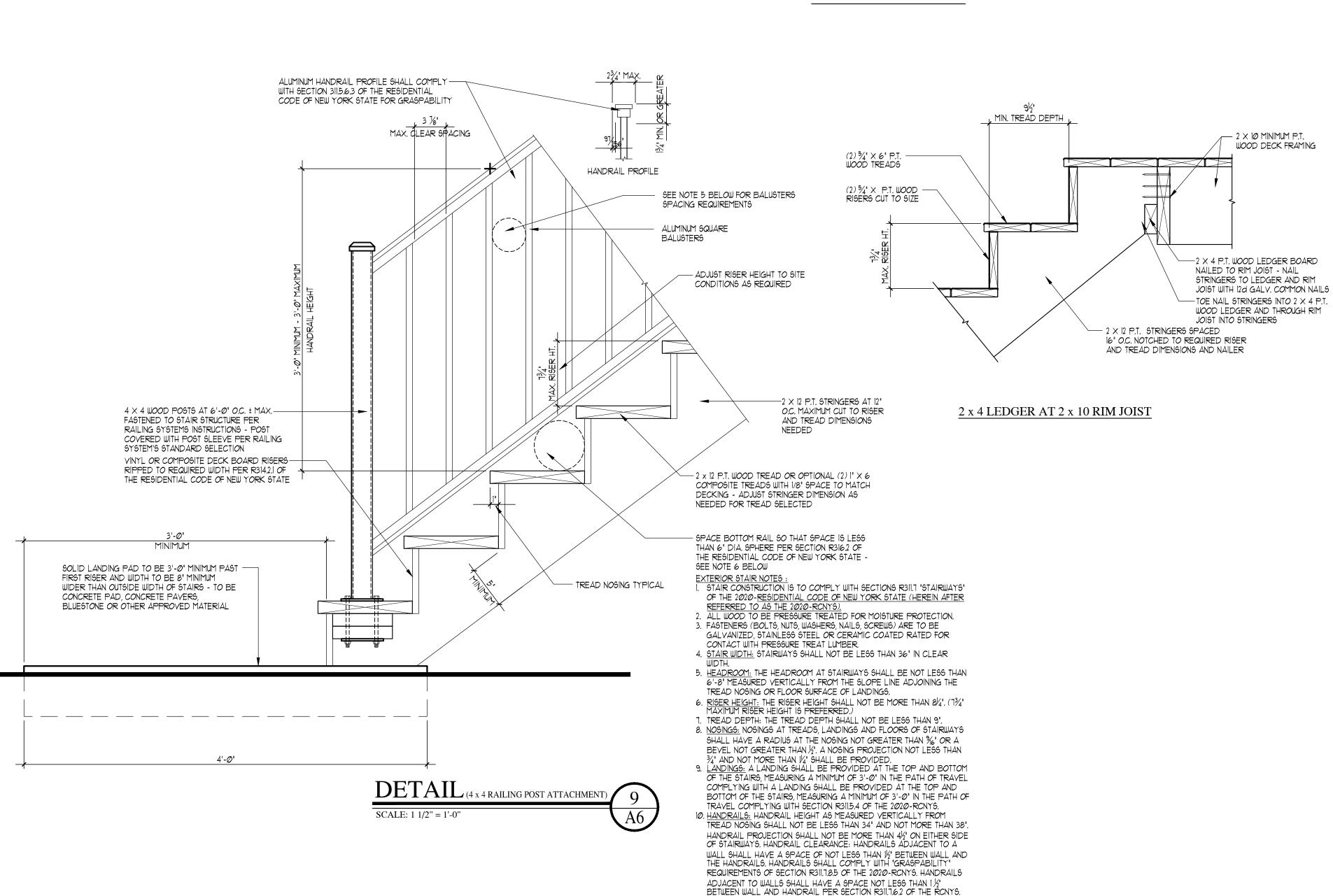


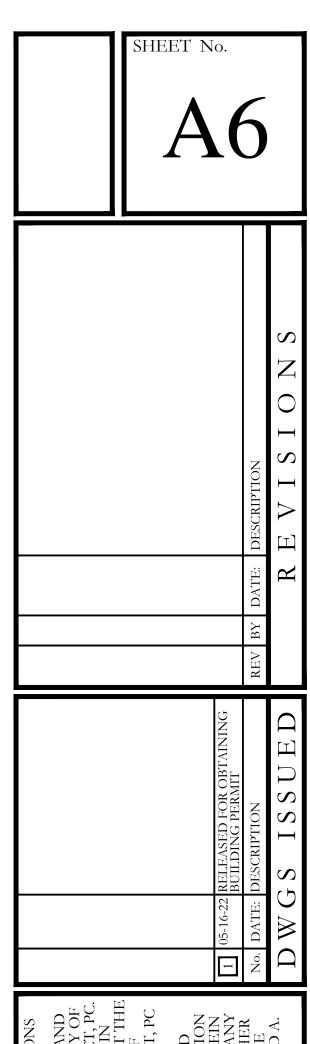


PARALLEL TO RIM JOIST

- GUARD RAIL OPENING LIMITATION SHALL COMPLY WITH SECTION R312.2 OF THE 2020-RCNYS WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4' OR MORE IN
- 4. ALL STRUCTURAL WOOD TO BE PRESSURE TREATED (P.T.) FOR EXPOSURE TO MOISTURE. AT OWNER'S OPTION, GUARD RAILS MAY BE CONSTRUCTED FROM RED CEDAR OR USE AN APPROVED MAN MADE GUARD RAIL SYSTEM COMPLY WITH
- 5. AT OWNERS OPTION, $2' \times 2'$ TURNED BALUSTERS CAN BE SUBSTITUTED FOR $2' \times 2'$
- SQUARE BALUSTERS INDICATED MAINTAIN MAXIMUM CLEAR OPENING AT 31/8".

 6. ALL CONNECTIONS AT WOOD GUARD RAILS ARE TO BE MADE WITH STAINLESS STEEL OR EXTERIOR COATED DECK SCREWS, INSTALL (2) SCREWS PER
- BALUSTER TO PREVENT BALUSTERS FROM SPINNING. MANUFACTURER GUARD RAIL SYSTEMS SHALL BE INSTALLED PER
- MANUFACTURER'S WRITTEN INSTRUCTIONS. 8. HANDRAILS SHALL COMPLY WITH 'GRASPABILITY' REQUIREMENTS OF SECTION R311.7. OF THE 2020-RCNYS. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE NOT LESS THAN 1 ½" BETWEEN WALL AND HANDRAIL PER SECTION R311.1.6.2
- 9. BALUSTERS SHALL BE SPACE SO THAT A SPHERE 4" OR MORE IN DIAMETER CAN NOT PASS THROUGH PER SECTION R3122 OF THE RCNYS. AT OWNERS OPTION, SUBSTITUTE 2' × 2' SQUARE BALUSTERS WITH 2" × 2' TURNED BALUSTERS. MAINTAINING 3 1/8" MAX. CLEAR OPENING SPACING BETWEEN BALUSTERS.





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