



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 23 Whipperwhil RD Armonk, NY

Section III- DESCRIPTION OF WORK:

Extend EXIST. 1ST FLOOR DECK, RENOVATE (2) two
EXIST. 2ND FLOOR DECKS.

Section III- CONTACT INFORMATION:

APPLICANT: DAVID A. BARBUTI, IZA
ADDRESS: 150 WHITE PLAINS RD #103 Tarrytown, NY 10591
PHONE: 914-909-5143 MOBILE: 914-760-1120 EMAIL: dave@barbutiarchitects.com

PROPERTY OWNER: M/R SEREI
ADDRESS: 23 Whipperwhil RD Armonk, NY
PHONE: 516-659-5080 MOBILE: _____ EMAIL: Mattjseriel@gmail.com

PROFESSIONAL: DAVID A. BARBUTI, PA.
ADDRESS: 150 WHITE PLAINS RD #103 Tarrytown, NY 10591
PHONE: 914-909-5143 MOBILE: 914-760-1120
EMAIL: dave@barbutiarchitects.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 107.04-1-10



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

MR/MRS. M. SEREL

Initial Submittal Revised Preliminary

Street Location:

23 WHIPPOORWHIL RD

Zoning District:

R2A

Property Acreage:

2.870

Tax Map Parcel ID:

107.04-1-10

Date:

5/12/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenny.com

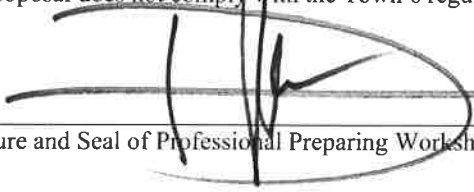
FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: SEBEL Date: 5/12/22
 Tax Map Designation or Proposed Lot No.: 107.04-1-10

Floor Area

- | | | |
|-----|--------------------------------------------------------------------------------------------------------------------------------|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>125,031.9</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>11,437.88</u> |
| 3. | Amount of floor area contained within first floor:
<u>3129</u> existing + <u>0</u> proposed = | <u>3129.0</u> |
| 4. | Amount of floor area contained within second floor:
<u>2934</u> existing + <u>0</u> proposed = | <u>2934.0</u> |
| 5. | Amount of floor area contained within garage:
<u>671</u> existing + <u>0</u> proposed = | <u>671.0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>3129</u> existing + <u>0</u> proposed = | <u>3129.0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>748</u> existing + <u>0</u> proposed = | <u>748.0</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>10,411.0</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



5/12/22
 Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
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 Director of Planning

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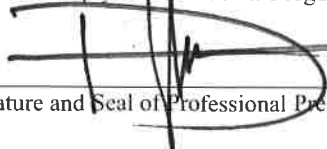
GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: SEREL Date: 5/6/22
 Tax Map Designation or Proposed Lot No.: 107.04-1-10

Gross Lot Coverage

- | | | |
|-----|--------------------------------------------------------------------------------------------------------------------|---------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>2.87 Acre / 125,031.9 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>16,112.29</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>600</u> x 10 = <u>6000</u> | <u>6000</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>16,712.29</u> |
| 5. | Amount of lot area covered by principal building:
<u>4000</u> existing + <u>0</u> proposed = | <u>4000.0</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>748</u> existing + <u>0</u> proposed = | <u>748.0</u> |
| 7. | Amount of lot area covered by decks:
<u>682</u> existing + <u>3.0</u> proposed = | <u>685.0</u> |
| 8. | Amount of lot area covered by porches:
<u>0</u> existing + <u>0</u> proposed = | <u>0.0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>6,674</u> existing + <u>0</u> proposed = | <u>6,674.0</u> |
| 10. | Amount of lot area covered by terraces:
<u>526</u> existing + <u>0</u> proposed = | <u>526.0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>0</u> existing + <u>0</u> proposed = | <u>0.0</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>0</u> proposed = | <u>0.0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 = | <u>12,633.0</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Work



5/12/22
 Date



(FOR TITLE PURPOSES)

LEGEND

No.	So.	E.	F.E.	W.W.	C.D.	ENT.UND.	ENT.	LA.	A.	CL.	RT.
NORTH	SOUTH	EAST	FIRE ESCAPE	WINDOW WELL	CELLAR DOOR	ENT. UNDER	ENTRANCE	LOW AREA	AREAWAY	CLEAR	RIGHT

LIGHT POST
 UTILITY POLE
 CATCH BASIN
 WATER VALVE
 GAS VALVE
 PARKING METER
 TRAFFIC SIGN
 HYDRANT HYD.
 ELECTRIC BOX
 TREE PIT
 SEWER MANHOLE
 ELECTRIC MANHOLE
 TELEPHONE MANHOLE
 D.W.S. WATER

JOB # 21633-W

TOWN OF NEW CASTLE
WESTCHESTER COUNTY
STATE OF NEW YORK

SURVEYED
FEBRUARY 03, 2022

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

BLOCK: _____ 1
 LOT (s): _____ 10
 SECTION: _____ 107.04
 COUNTY: _____ WESTCHESTER
 DWG BY: _____ Srdjan B.
 CHK'D BY: _____

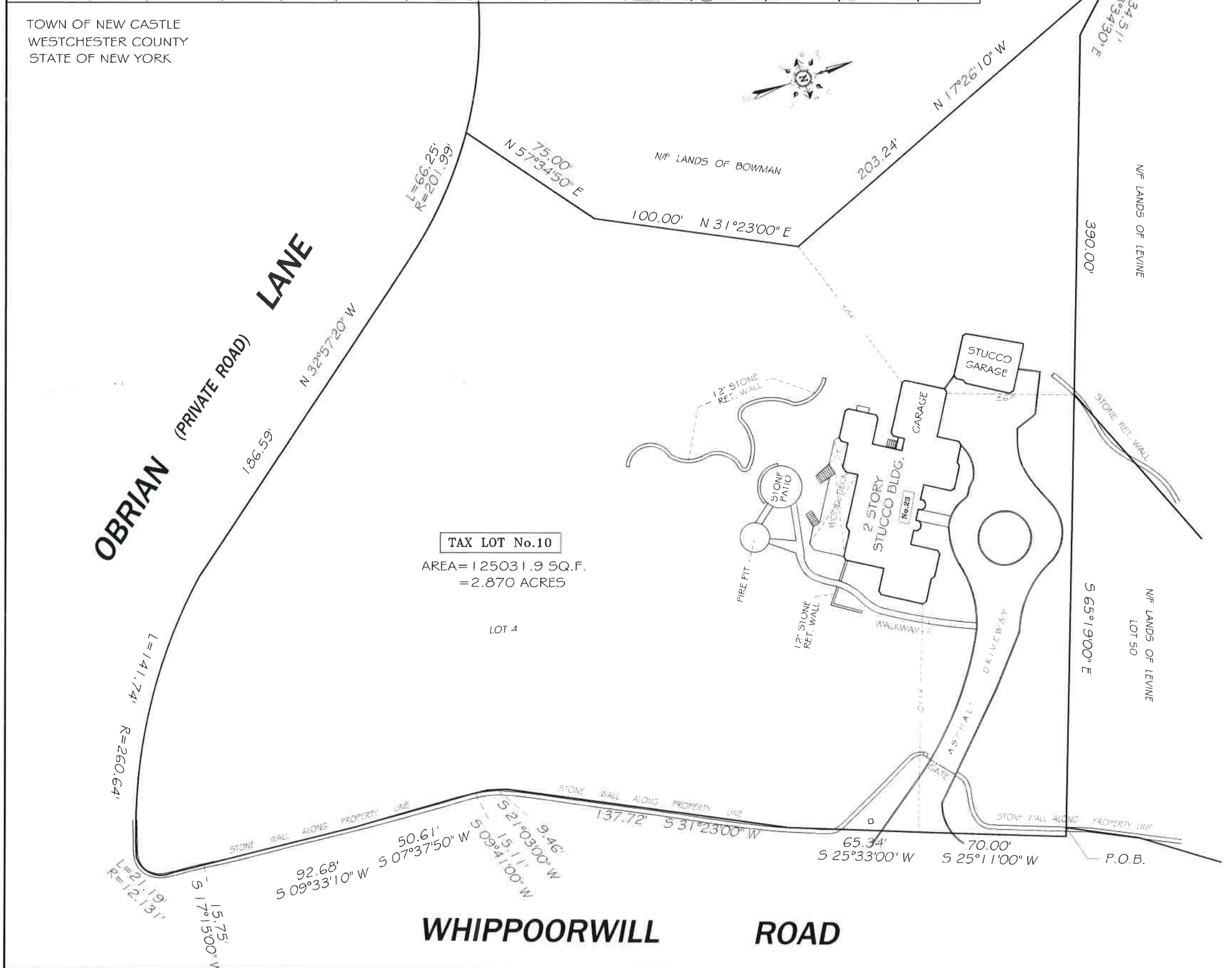
CERTIFIED ONLY TO:

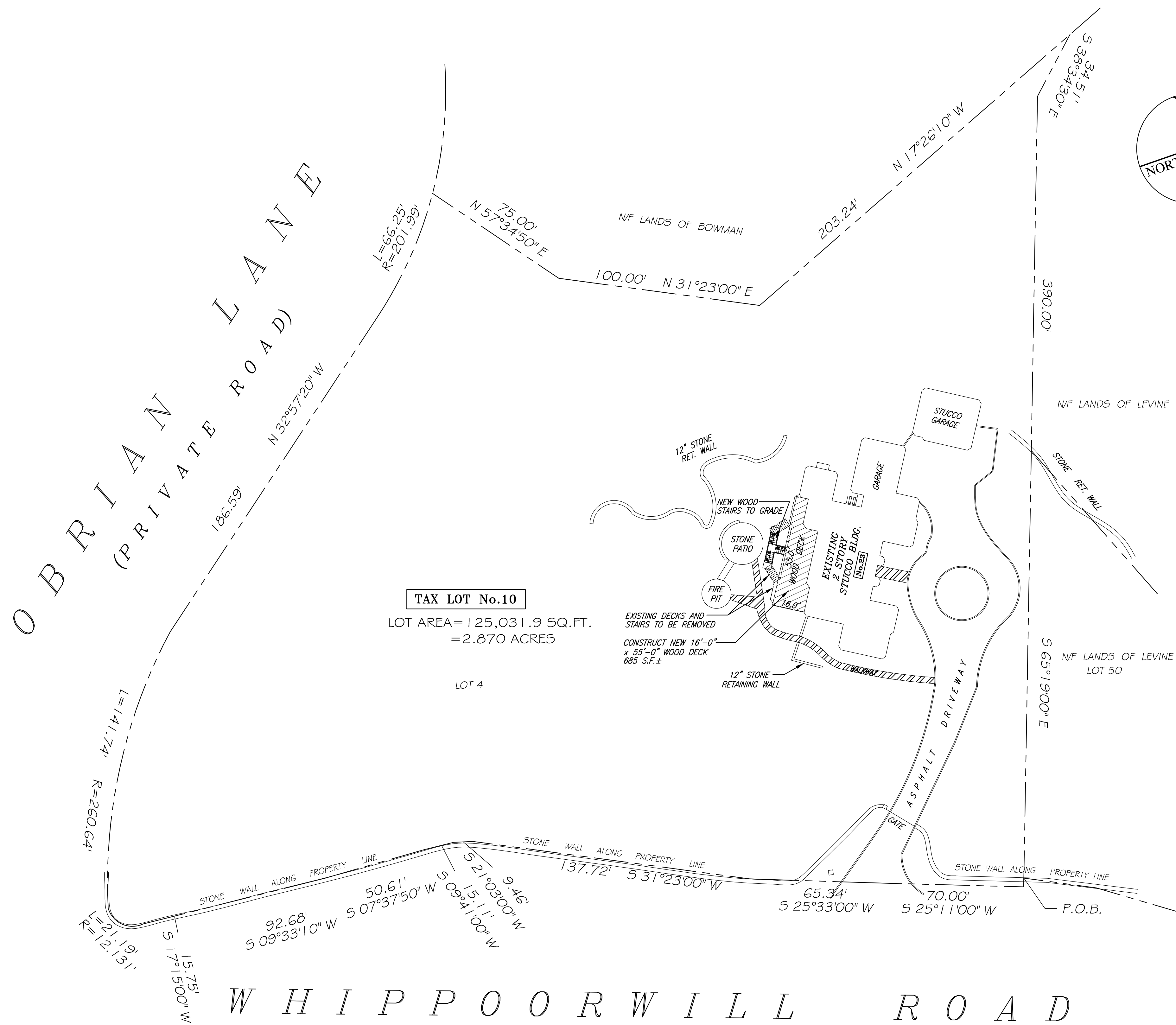
- * MATTHEW JASON SEREL
- * REBECCA SHIRA SEREL
- * BENCHMARK TITLE AGENCY, LLC
- * FIRST AMERICAN TITLE INSURANCE COMPANY
- * TITLE No. BTA81104

SCALE: 1"=50'



VINCENT M. TEUTONICO
 N.Y.S. LIC. No. 050307
 BIG APPLE LAND SURV. D.
 65 MEADOW LANE GROUND LEVEL
 NEW ROCHELLE, NY 10805
 OFF: (914) 365-1847 ; FAX: (914) 365-1849
 E-mail: BIGAPPLES@YAHOO.COM

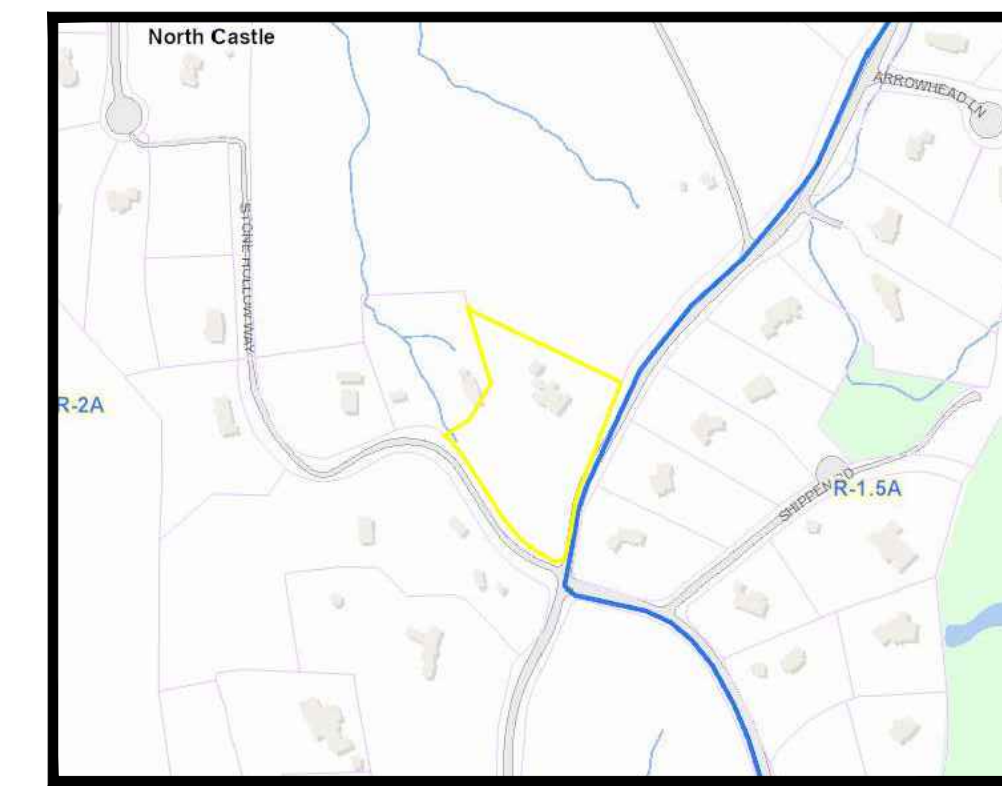




TAX LOT No.10
 LOT AREA= 125,031.9 SQ.FT.
 =2.870 ACRES

EXISTING DECKS AND STAIRS TO BE REMOVED
 CONSTRUCT NEW 16'-0" x 55'-0" WOOD DECK 885 S.F.±

SITE PLAN
 SCALE: 1"= 30'-0"



GIS AREA MAP

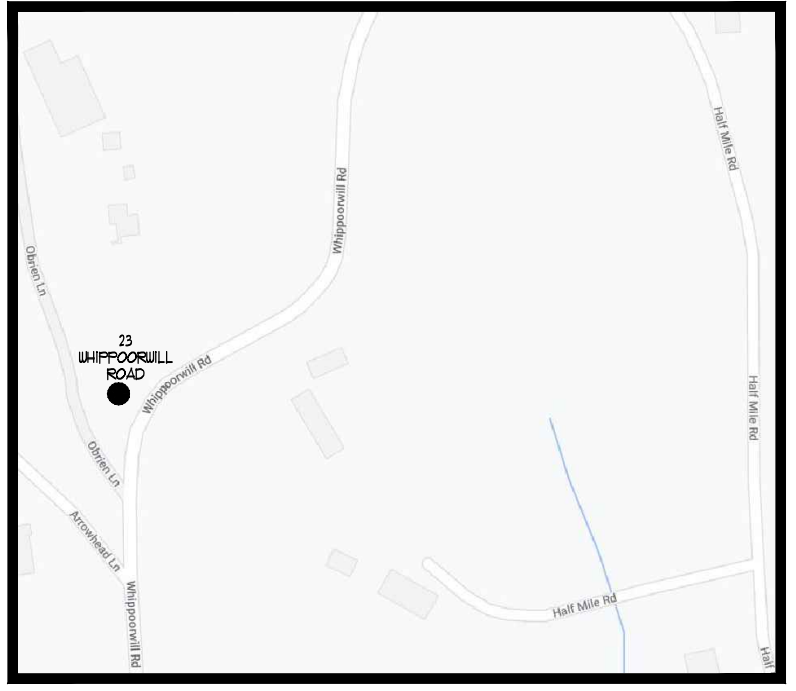


GOOGLE EARTH IMAGE

LIST OF DRAWINGS	
No.	DRAWING NAME
SP1	SITE PLAN AND SCHEDULES
LC1	LOT COVERAGE SITE PLAN
GN1	GENERAL NOTES SHEET No. 1
D1	FIRST FLOOR DEMOLITION PLANS
D2	SECOND FLOOR DEMOLITION PLANS
A1	FIRST FLOOR DECK FOUNDATION AND FLOOR PLANS
A2	SECOND FLOOR DECK PLAN
A3	REAR ELEVATION
A4	WOOD DECK SECTION AND DETAILS
A5	WOOD DECK DETAILS
A6	DECK RAILING AND STAIRS DETAILS

CERTIFICATION	
ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A SURVEY PREPARED BY :	
BIG APPLE LAND SURVEYOR, LLC 68 MEADOW LANE - GROUND LEVEL NEW ROCHELLE, NEW YORK 10805 TEL: (914) 365-1841	
TITLED: SURVEY 23 WHIPPOORWILL ROAD, SITUATED IN THE TOWN OF NEW CASTLE, WESTCHESTER COUNTY, STATE OF NEW YORK	
DATED: FEBRUARY 03, 2022 LOT AREA: 125,031.9 SF. (2.870 ACRES) TAX 5-B-L: 107.04-1-10 ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS	

LOCATION MAP NO SCALE



SHEET No.
SP1

REV	BY	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

DWG'S ISSUED

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DAVID A. BARBUTI, ARCHITECT, P.C. ANY REPRODUCTION OR USE IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, P.C. IS PROHIBITED.
 THIS DOCUMENT IS INTENDED FOR THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, P.C.

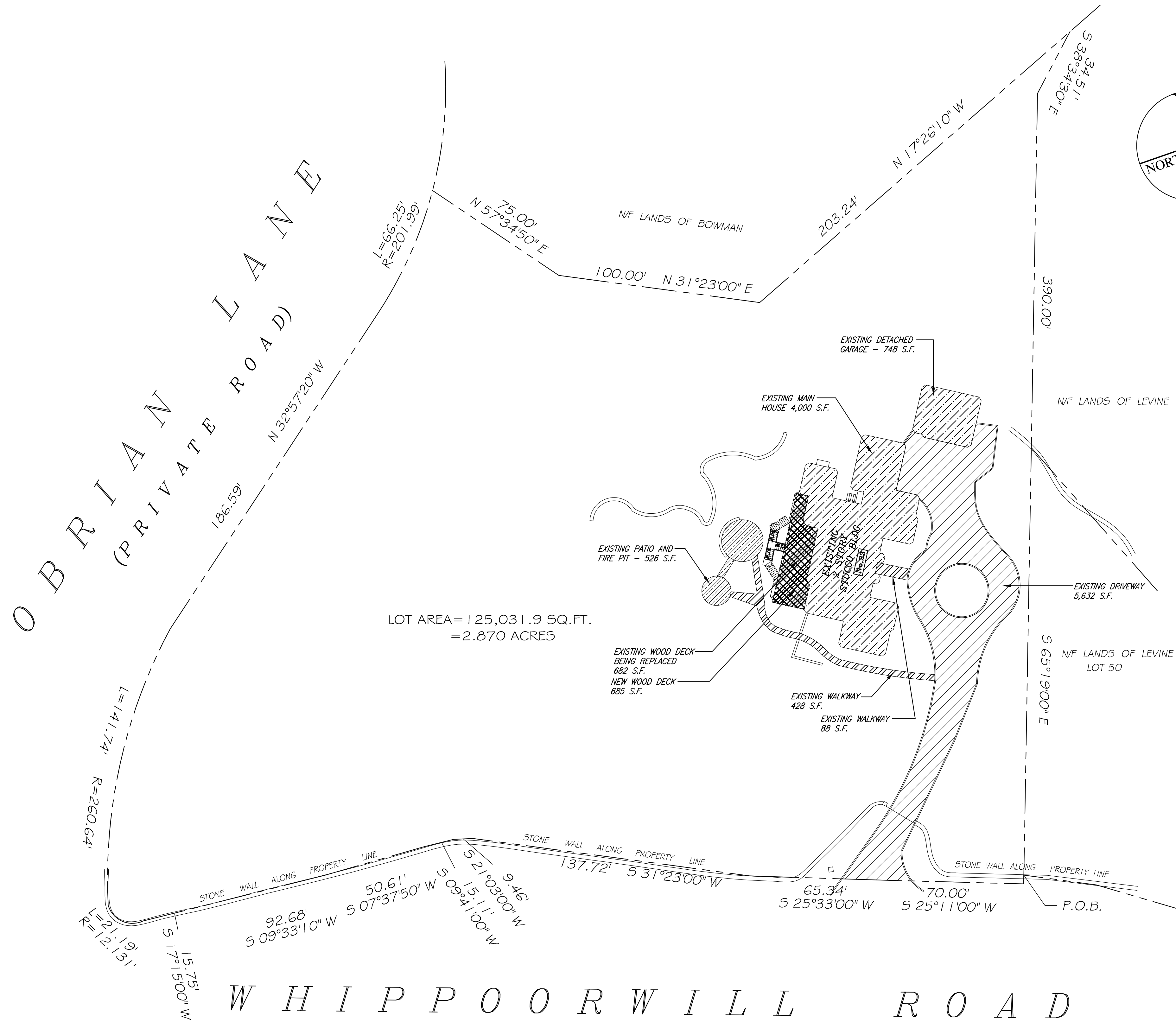
PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
 23 WHIPPOORWILL ROAD
 ARMONK, NEW YORK

DWG. TITLE:
SITE PLAN AND SCHEDULES

David A. Barbuti
 Architect, PC

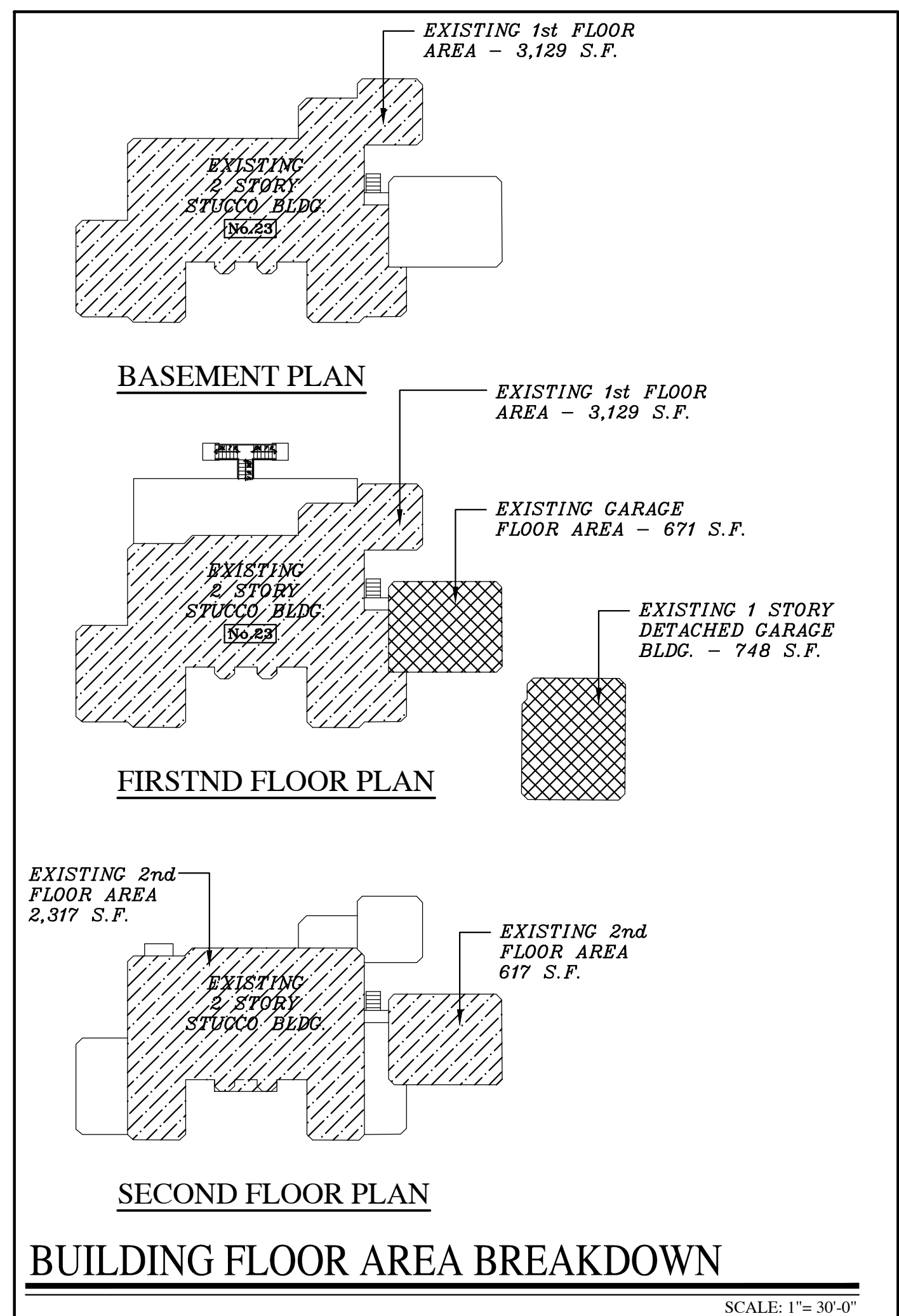
150 White Plains Road
 Suite 103
 Tarrytown, NY 10591
 Tel : 914-909-5143
 Fax : 914-909-5144

DRAWN BY:	C.R.P.
CHECKED BY:	
SCALE:	AS NOTED
PROJECT NO.:	220402
START DATE:	04-12-2022



SITE LOT COVERAGE PLAN

SCALE: 1"= 30'-0"



BUILDING FLOOR AREA BREAKDOWN

SCALE: 1"= 30'-0"

LOT COVERAGE BREAKDOWN
 EXISTING LOT AREA = 125,031.9 S.F.
 EXISTING HOUSE AREA = 4,000 S.F.
 EXISTING DECK AREA = 682 S.F.
 PROPOSED DECK AREA = 685 S.F.
 EXISTING DETACHED GARAGE AREA = 748 S.F.
 EXISTING DRIVEWAY AREA = 5,632 S.F.
 EXISTING FRONT WALKWAY AREA = 88 S.F.
 EXISTING SIDE WALKWAY AREA = 428 S.F.
 EXISTING PATIO AND FIRE PIT AREA = 526 S.F.

SHEET No.
LC1

REV. NO.	DATE	DESCRIPTION	REVISIONS

NO.	DATE	DESCRIPTION	DWGS ISSUED

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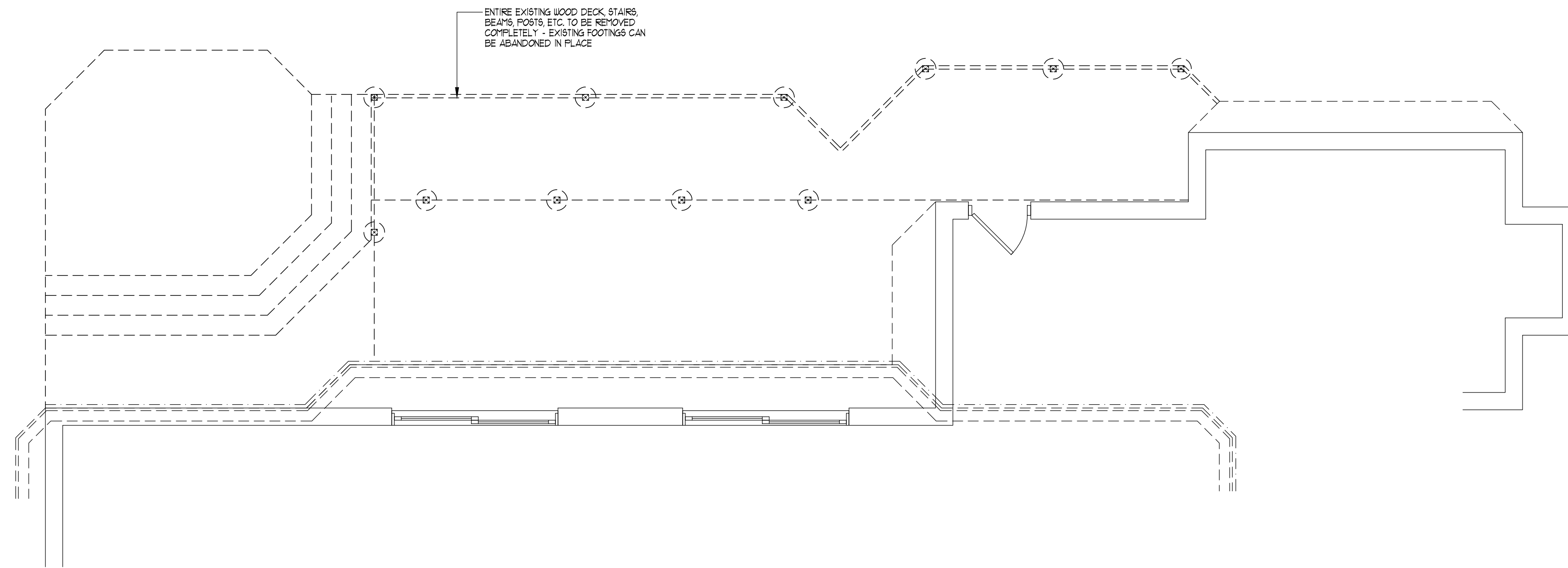
PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK

DWG. TITLE:
LOT COVERAGE SITE PLAN CALCULATIONS

David A. Barbuti
Architect, PC

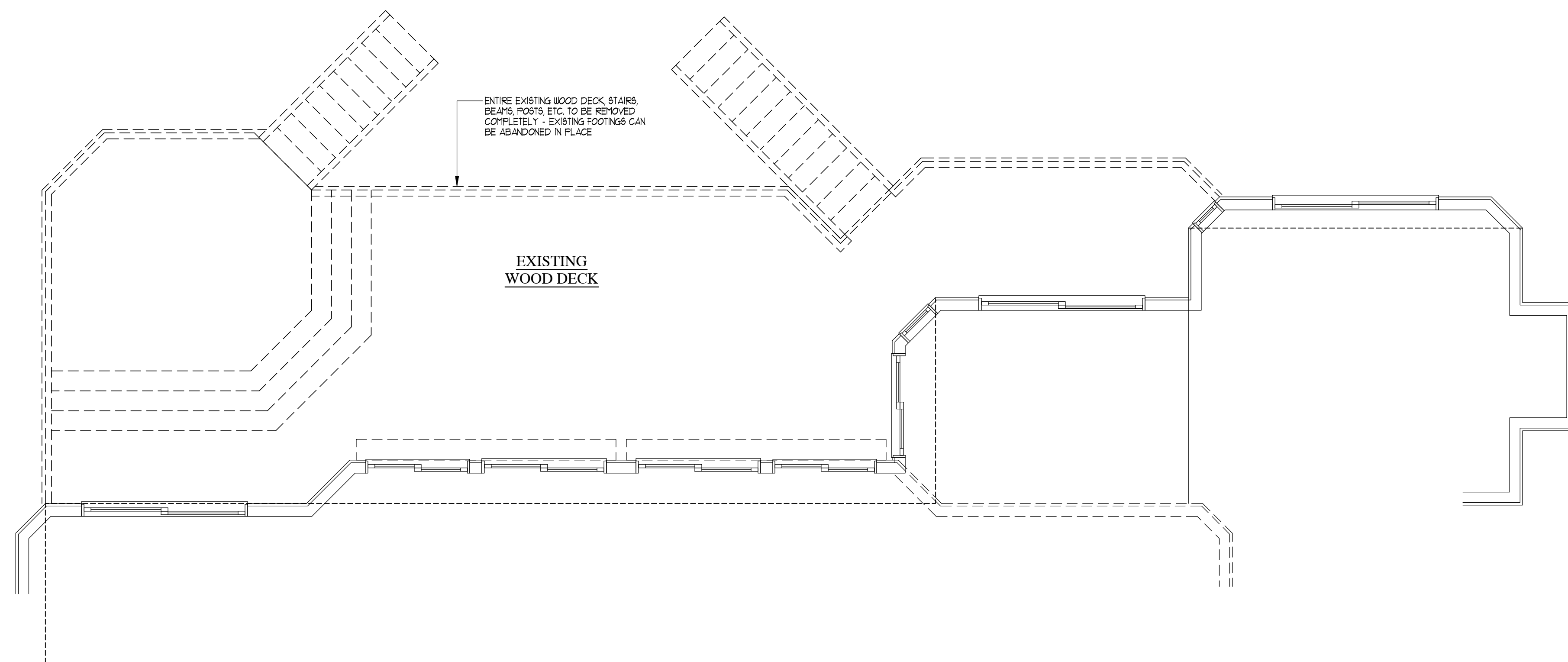
150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

	DRAWN BY: C.R.P.
	CHECKED BY:
	SCALE: AS NOTED
	PROJECT NO: 220402
Architect	START DATE: 04-12-2022



FOUNDATION DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR DECK DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES: (RESIDENTIAL INTERIOR ALTERATIONS)

1. THE GENERAL CONTRACTOR (G.C.) IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE ALL REQUIRED DEMOLITION.
2. ASBESTOS ABATEMENT:
 - a. PRIOR TO THE START OF WORK, THE CONTRACTOR OR THE OWNER SHALL RETAIN A LICENSED ASBESTOS TESTING COMPANY TO TEST FOR THE PRESENCE OF ASBESTOS WITHIN THE BUILDING AND HAVE A REPORT PREPARED INDICATING LOCATIONS MATERIALS AND AMOUNTS WHERE ASBESTOS HAS BEEN FOUND. THE TEST RESULT REPORT SHALL BE SUBMITTED TO THE OWNER AND TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR THEIR RECORDS.
 - b. WHERE MATERIALS WITHIN THE WORK AREA ARE FOUND TO CONTAIN ASBESTOS THE CONTRACTOR IS TO RETAIN A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO REMOVE SAID MATERIALS.
3. SAFE ACCESS OF HOMEOWNERS, WORKERS AND OTHER PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIAN SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO IS TO PROVIDE AND MAINTAIN SAFE MEANS OF ACCESS TO AND FROM ALL POINTS IN THE BUILDING.
4. THE G.C. IS TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE G.C. IS TO DESIGN AND INSTALL ADEQUATE PROTECTIVE STRUCTURES FOR ALL REMOVAL TASKS. THE G.C. IS TO HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURY CAUSED BY OR DURING THE EXECUTION OF THE DEMOLITION WORK.
5. THE SCOPE OF WORK INCLUDES THE REMOVAL AND LEGAL DISPOSAL OF ALL DEMOLITION MATERIALS AS INDICATED ON THE DRAWINGS, LISTED HEREIN, AND AS MAY BE REQUIRED FOR THE FACILITATION OF THE NEW CONSTRUCTION.
6. PERFORM ALL DEMOLITION WORK IN A SAFE NEAT MANNER FOLLOW ALL ACCEPTABLE PRACTICES, STATE AND LOCAL CODES, RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION IN REGARDS TO THE DEMOLITION WORK.
 7. REFUSE FROM THE DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL CONSTRUCTION REFUSE IN A LEGAL MANNER. ANY SALVAGEABLE MATERIALS OR ITEMS THAT ARE TO BE SAVED ARE TO BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE.
 8. TEMPORARY SHORING, BRACING AND STRUCTURAL SUPPORTS:
 - a. PRIOR TO THE DEMOLITION OF ALL STRUCTURAL SUPPORTS DESIGNATED TO BE REMOVED, THE G.C. IS TO INSTALL ALL NECESSARY TEMPORARY STRUCTURAL SHORING, SUPPORTS AND BRACING. NO EXISTING STRUCTURAL ELEMENTS ARE TO BE REMOVED UNTIL PROPER SHORING IS INSTALLED.
 - b. CONTRACTOR SHALL SHORE UP EXISTING ROOF, FLOORS AND WALLS AT AREAS WHERE NEW MASONRY AND/OR WOOD STUD FRAMED OPENINGS ARE CALLED FOR AS WELL AS ON BOTH SIDES OF BEARING WALLS CALLED TO BE REMOVED.
 - c. ALL TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL SUPPORT ELEMENTS (INCLUDING BUT NOT LIMITED TO JOISTS, BEAMS, LINTELS, HEADERS, STEEL COLUMNS, WOOD POSTS, NEW FOOTINGS) ARE INSTALLED.
 9. DEMOLITION WORK IS TO INCLUDE BUT NOT BE LIMITED TO EXTERIOR MASONRY OR WOOD STUD WALLS, INTERIOR PARTITIONS, DOORS AND FRAMES, WINDOW FLOOR, WALL AND CEILING FINISHES, TRIM, STRUCTURAL ELEMENTS, AND M.E.P. DEMOLITION LISTED AND AS INDICATED ON THE DRAWINGS, AND AS MAY BE REQUIRED.
 10. WHERE FLOORING FINISHES ARE NOTED TO BE REMOVED OR NEW FLOORING IS SPECIFIED TO BE INSTALLED IN THE FINISH SCHEDULE, REMOVE EXISTING FLOORING DOWN TO CONCRETE SLAB, REMOVE ALL ADHESIVES, MORTAR BEDS AND PREPARE SLAB FOR THE INSTALLATION OF THE NEW FLOORING PER THE FLOORING MANUFACTURER'S INSTRUCTIONS.
 11. ALL SURFACES AND FINISHES SCHEDULED TO REMAIN, IF DAMAGED DURING THE DEMOLITION OR ANY STAGE OF THE WORK IS TO BE REPAIRED BY THE G.C. AT HIS EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE G.C.'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
 12. ALL PLUMBING FIXTURES, SANITARY, VENT, AND WATER SUPPLY PIPING, VALVES, GAS PIPING AND VALVES AND PLUMBING EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE PLUMBING CONTRACTOR (P.C.). PROPERLY CAP ANY REMAINING PIPING AS REQUIRED. SANITARY WASTE DEAD END RUNS CREATED BY DEMOLITION WORK ARE TO HAVE CLEANS OUTS INSTALL BY PLUMBING CONTRACTOR PER CODE. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 13. ALL ELECTRICAL LIGHT FIXTURES, WIRING, RECEPTACLES, CIRCUIT PANELS, FEEDERS, BRANCH CIRCUITS, CONDUIT, HANGERS AND SUPPORTS, AND EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE ELECTRICAL CONTRACTOR (E.C.). TERMINATE AND MAKE SAFE ANY REMAINING BRANCH CIRCUITS TO A POINT OF CONCEALMENT. PROPERLY CAP AND TERMINATE BRANCH CIRCUITS AS REQUIRED PER CODE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 14. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CARPED OR PLUGGED AS PER APPLICABLE CODES.
 15. ALL HVAC EQUIPMENT, DUCTWORK, ETC. SCHEDULED FOR DEMOLITION IS TO BE PERFORMED BY EITHER THE G.C. OR THE HVAC CONTRACTOR. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE WITH PLUMBING AND ELECTRICAL CONTRACTORS FOR TERMINATING AND MAKING SAFE ANY ELECTRICAL FEEDS AND GAS PIPING TO SAID HVAC EQUIPMENT. THE G.C. IS TO CLEAN ENTIRE BUILDING EACH DAY OF ALL DEBRIS DURING THE DEMOLITION. BROOM SUEEP AND CLEAN BUILDING AS REQUIRED AT THE END OF DEMOLITION PHASE.
 17. THIS DOCUMENT IS INTENDED TO BE USED ONLY FOR THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC. THIS DOCUMENT IS INTENDED TO BE USED ONLY FOR THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN AUTHORIZATION OF DAVID A. BARBUTI, ARCHITECT, PC.

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PROJECT NAME:
 PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
 23 WHIPPOORWILL ROAD
 ARMONK, NEW YORK

DWG. TITLE:
 LOWER DECK DEMOLITION PLAN

David A. Barbuti Architect, PC

150 White Plains Road
 Suite 103
 Tarrytown, NY 10591
 Tel : 914-909-5143
 Fax : 914-909-5144

DEMOLITION LEGEND

	EXISTING PARTITIONS TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, WIRING, PLUMBING, HVAC DUCTS, ETC. AND MAKE SAFE IN WALLS BEING REMOVED
	EXISTING DOOR, DOOR FRAME AND CASING TO BE REMOVED
	EXISTING PLUMBING FIXTURES TO BE REMOVED CAP EXISTING PIPING AS REQUIRED

	DRAWN BY: C.R.P.
	CHECKED BY:
SCALE:	AS NOTED
PROJECT NO.:	220402
START DATE:	04-12-2022

REVISIONS

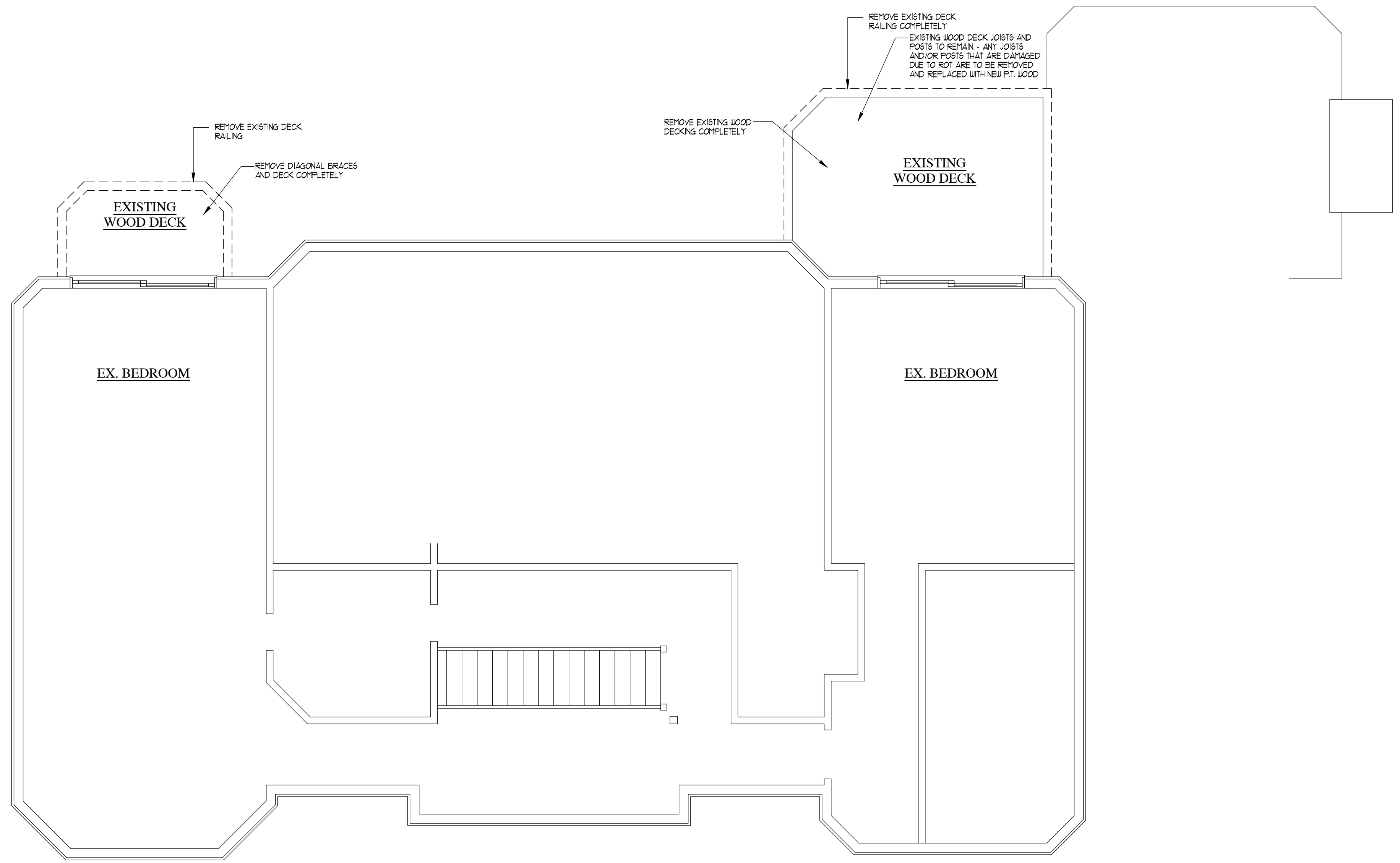
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NO.	DATE	DESCRIPTION

DEMOLITION NOTES: (RESIDENTIAL INTERIOR ALTERATIONS)

- THE GENERAL CONTRACTOR (G.C.) IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND SCOPE OF DEMOLITION RESPONSIBILITIES TO COMPLETE ALL REQUIRED DEMOLITION ASBESTOS ABATEMENT.
- PRIOR TO THE START OF WORK, THE CONTRACTOR OR THE OWNER SHALL RETAIN A LICENSE ASBESTOS TESTING COMPANY TO TEST FOR THE PRESENCE OF ASBESTOS WITHIN THE BUILDING AND HAVE A REPORT PREPARED INDICATING LOCATIONS, MATERIALS AND AMOUNTS WHERE ASBESTOS HAS BEEN FOUND. THE TEST RESULT REPORT SHALL BE SUBMITTED TO THE OWNER AND TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR THEIR RECORDS.
 - WHERE MATERIALS WITHIN THE WORK AREA ARE FOUND TO CONTAIN ASBESTOS THE CONTRACTOR IS TO RETAIN A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO REMOVE SAID MATERIALS.
- SAFE ACCESS OF HOMEOWNERS, WORKERS AND OTHER PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES. PEDESTRIAN SAFETY IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO IS TO PROVIDE AND MAINTAIN SAFE MEANS OF ACCESS TO AND FROM ALL POINTS IN THE BUILDING.
- THE G.C. IS TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE G.C. IS TO DESIGN AND INSTALL ADEQUATE PROTECTIVE STRUCTURES FOR ALL REMOVAL TASKS. THE G.C. IS TO HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURY CAUSED BY OR DURING THE EXECUTION OF THE DEMOLITION WORK.
- THE SCOPE OF WORK INCLUDES THE REMOVAL AND LEGAL DISPOSAL OF ALL DEMOLITION MATERIALS AS INDICATED ON THE DRAWINGS, LISTED HEREIN, AND AS MAY BE REQUIRED FOR THE FACILITATION OF THE NEW CONSTRUCTION.
- PERFORM ALL DEMOLITION WORK IN A SAFE NEAT MANNER FOLLOW ALL ACCEPTABLE PRACTICES, STATE AND LOCAL CODES, RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION IN REGARDS TO THE DEMOLITION WORK.
- REFUSE FROM THE DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL CONSTRUCTION REFUSE IN A LEGAL MANNER. ANY SALVAGEABLE MATERIALS OR ITEMS THAT ARE TO BE SAVED ARE TO BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE.
- TEMPORARY SHORING, BRACING AND STRUCTURAL SUPPORTS:
 - PRIOR TO THE DEMOLITION OF ALL STRUCTURAL SUPPORTS DESIGNATED TO BE REMOVED, THE G.C. IS TO INSTALL ALL NECESSARY TEMPORARY STRUCTURAL SHORING, SUPPORTS AND BRACING. NO EXISTING STRUCTURAL ELEMENTS ARE TO BE REMOVED UNTIL PROPER SHORING IS INSTALLED.
 - CONTRACTOR SHALL SHORE UP EXISTING ROOF, FLOORS AND WALLS AT AREAS WHERE NEW MASONRY AND/OR WOOD STUD FRAMED OPENINGS ARE CALLED FOR AS WELL AS ON BOTH SIDES OF BEARING WALLS CALLED TO BE REMOVED.
 - ALL TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL SUPPORT ELEMENTS (INCLUDING BUT NOT LIMITED TO JOISTS, BEAMS, LINTELS, HEADERS, STEEL COLUMNS, WOOD POSTS, NEW FOOTINGS) ARE INSTALLED.
- DEMOLITION WORK IS TO INCLUDE BUT NOT BE LIMITED TO EXTERIOR MASONRY OR WOOD STUD WALLS, INTERIOR PARTITIONS, DOORS AND FRAMES, WINDOW FLOOR, WALL AND CEILING FINISHES, TRIM, STRUCTURAL ELEMENTS, AND M.E.P. DEMOLITION LISTED AND AS INDICATED ON THE DRAWINGS, AND AS MAY BE REQUIRED.
- WHERE FLOORING FINISHES ARE NOTED TO BE REMOVED OR NEW FLOORING IS SPECIFIED TO BE INSTALLED IN THE FINISH SCHEDULE, REMOVE EXISTING FLOORING DOWN TO CONCRETE SLAB, REMOVE ALL ADHESIVES, MORTAR BEDS AND PREPARE SLAB FOR THE INSTALLATION OF THE NEW FLOORING PER THE FLOORING MANUFACTURER'S INSTRUCTIONS.
- ALL SURFACES AND FINISHES SCHEDULED TO REMAIN, IF DAMAGED DURING THE DEMOLITION OR ANY STAGE OF THE WORK, IS TO BE REPAIRED BY THE G.C. AT HIS EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE G.C.'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
- ALL PLUMBING FIXTURES, SANITARY, VENT, AND WATER SUPPLY PIPING, VALVES, GAS PIPING AND VALVES AND PLUMBING EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE PLUMBING CONTRACTOR (P.C.). PROPERLY CAP ANY REMAINING PIPING AS REQUIRED. SANITARY WASTE DEAD END RUNS CREATED BY DEMOLITION WORK ARE TO HAVE CLEANS OUTS INSTALL BY PLUMBING CONTRACTOR PER CODE. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL ELECTRICAL LIGHT FIXTURES, WIRING, RECEPTACLES, CIRCUIT PANELS, FEEDERS, BRANCH CIRCUITS, CONDUIT, HANGERS AND SUPPORTS, AND EQUIPMENT SCHEDULED FOR DEMOLITION IS TO BE REMOVED BY THE ELECTRICAL CONTRACTOR (E.C.). TERMINATE AND MAKE SAFE ANY REMAINING BRANCH CIRCUITS TO A POINT OF CONCEALMENT, PROPERLY CAP AND TERMINATE BRANCH CIRCUITS AS REQUIRED PER CODE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CARPED OR PLUGGED AS PER APPLICABLE CODES.
- ALL HVAC EQUIPMENT, DUCTWORK, ETC. SCHEDULED FOR DEMOLITION IS TO BE PERFORMED BY EITHER THE G.C. OR THE HVAC CONTRACTOR. SEE HVAC DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE WITH PLUMBING AND ELECTRICAL CONTRACTORS FOR TERMINATING AND MAKING SAFE ANY ELECTRICAL FEEDS AND GAS PIPING TO SAID HVAC EQUIPMENT. THE G.C. IS TO CLEAN ENTIRE BUILDING EACH DAY OF ALL DEBRIS DURING THE DEMOLITION, BROOM SWEEP AND CLEAN BUILDING AS REQUIRED AT THE END OF DEMOLITION PHASE.



SECOND FLOOR DECK DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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REVISIONS

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PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
 23 WHIPPOORWILL ROAD
 ARMONK, NEW YORK

DWG. TITLE:
UPPER DECKS DEMOLITION PLAN

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 Suite 103
 Tarrytown, NY 10591
 Tel : 914-909-5143
 Fax : 914-909-5144

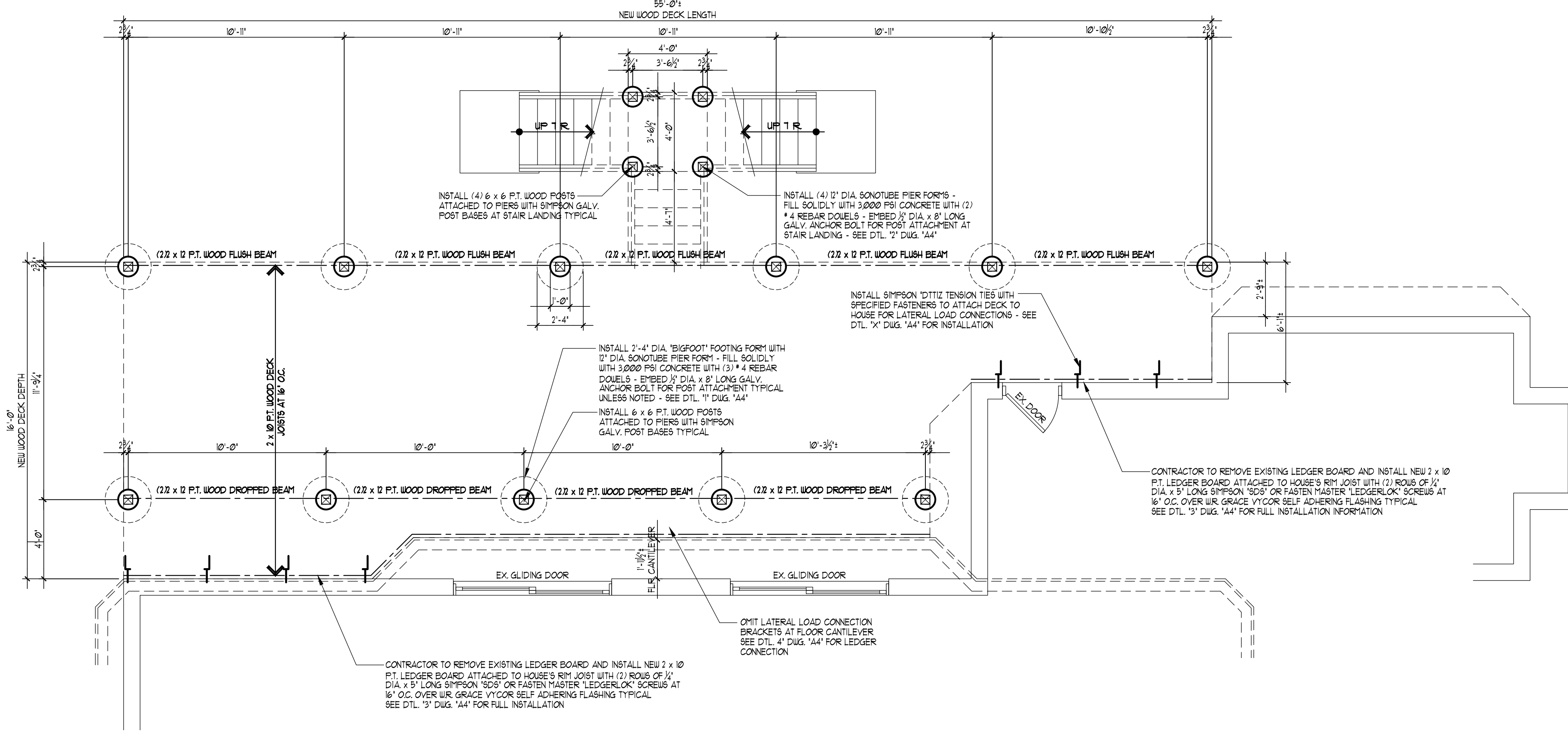
DEMOLITION LEGEND

	EXISTING PARTITIONS TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED REMOVE ALL ELECTRICAL OUTLETS, SWITCHES, WIRING, PLUMBING, HVAC DUCTS, ETC. AND MAKE SAFE IN WALLS BEING REMOVED
	EXISTING DOOR, DOOR FRAME AND CASING TO BE REMOVED
	EXISTING PLUMBING FIXTURES TO BE REMOVED CAP EXISTING PIPING AS REQUIRED

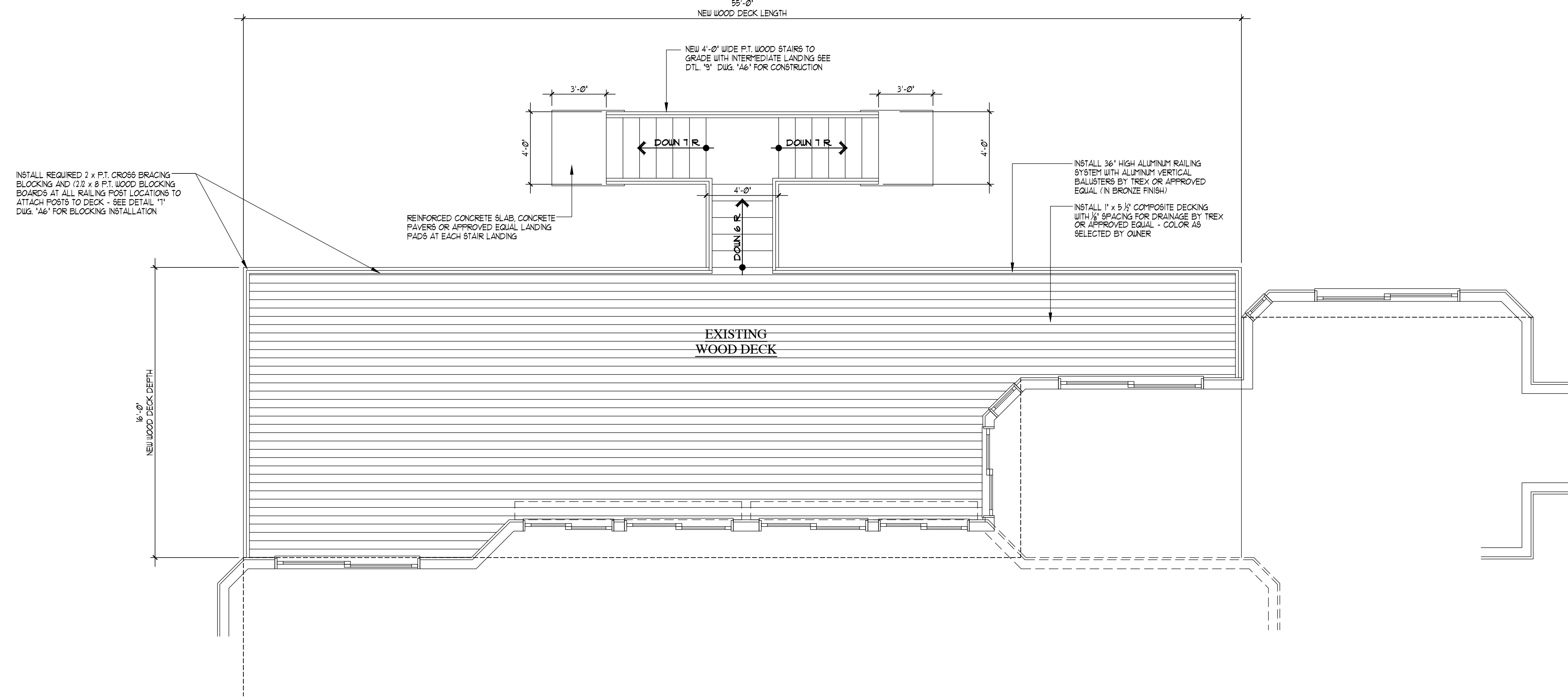
Architect's Seal: DAVID A. BARBUTI ARCHITECT, PC, STATE OF NEW YORK, 022790

Architect: David A. Barbuti

DRAWN BY: C.R.P.
 CHECKED BY:
 SCALE:
 AS NOTED
 PROJECT NO.: 220402
 START DATE: 04-12-2022



DECK FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR DECK PLAN
SCALE: 1/4" = 1'-0"

SHEET No.
A1

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REVISIONS			

NO.	DATE	DESCRIPTION
1	05-16-22	RELEASED FOR OBTAINING DISSEMINATION PERMIT

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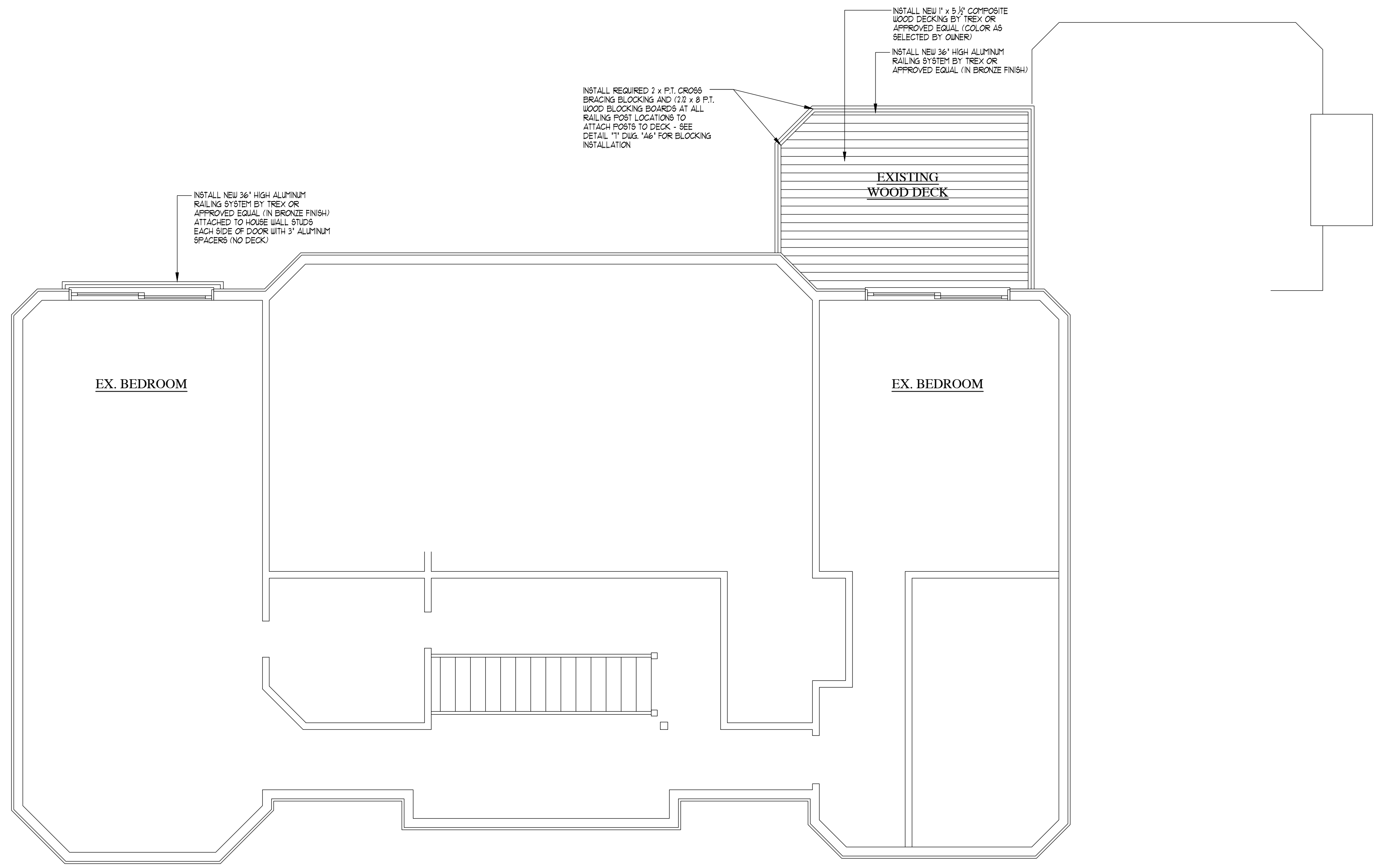
PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK

DWG. TITLE:
NEW LOWER DECK FOUNDATION & FLOOR PLANS

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Architect

DRAWN BY:	C.R.P.
CHECKED BY:	
SCALE:	AS NOTED
PROJECT NO.:	220402
START DATE:	04-12-2022



SECOND FLOOR DECK PLAN
SCALE: 1/4" = 1'-0"

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REVISIONS			

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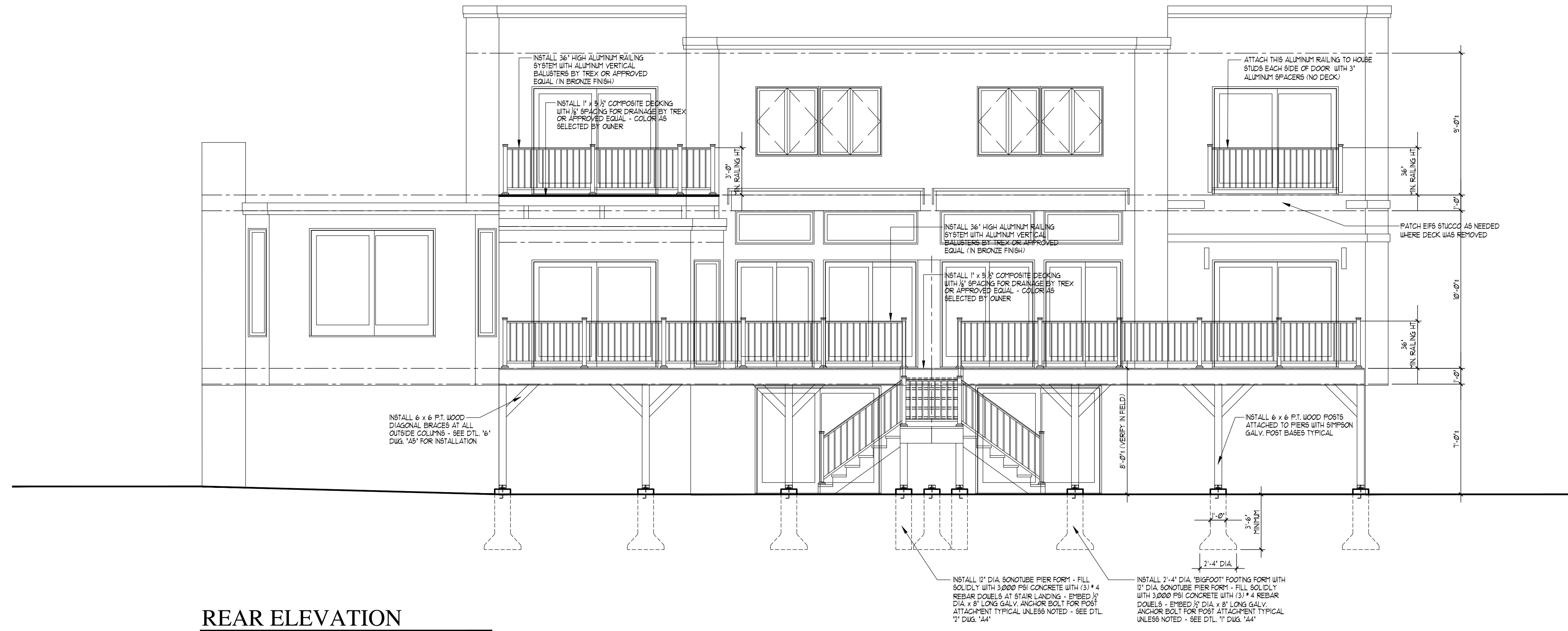
PROJECT NAME:
PROPOSED WOOD DECK
RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK

DWG. TITLE:
UPPER DECKS PLAN

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	DRAWN BY: C.R.P.
	CHECKED BY:
	SCALE: AS NOTED
	PROJECT NO: 220402
START DATE: 04-12-2022	



REAR ELEVATION

SCALE: 1/4"= 1'-0"

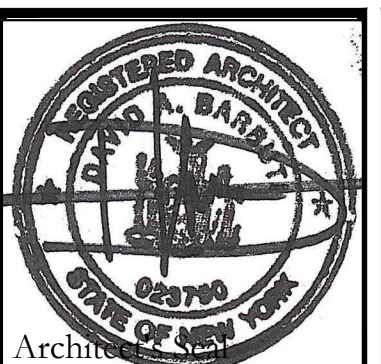
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PROJECT NAME:
**PROPOSED WOOD DECK
 RECONSTRUCTION FOR:
 THE SEREL RESIDENCE**
 23 WHIPPOORWILL ROAD
 ARMONK, NEW YORK

DWG. TITLE:
REAR ELEVATION

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Architect, PC**

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DRAWN BY: C.R.P.
 CHECKED BY:
 SCALE: AS NOTED
 PROJECT NO: 220402
 START DATE: 04-12-2022

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1	10-16-22
DESCRIPTION	RELEASED FOR OBTAINING PERMIT

REVISIONS	
REV. NO.	DATE
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DESCRIPTION	

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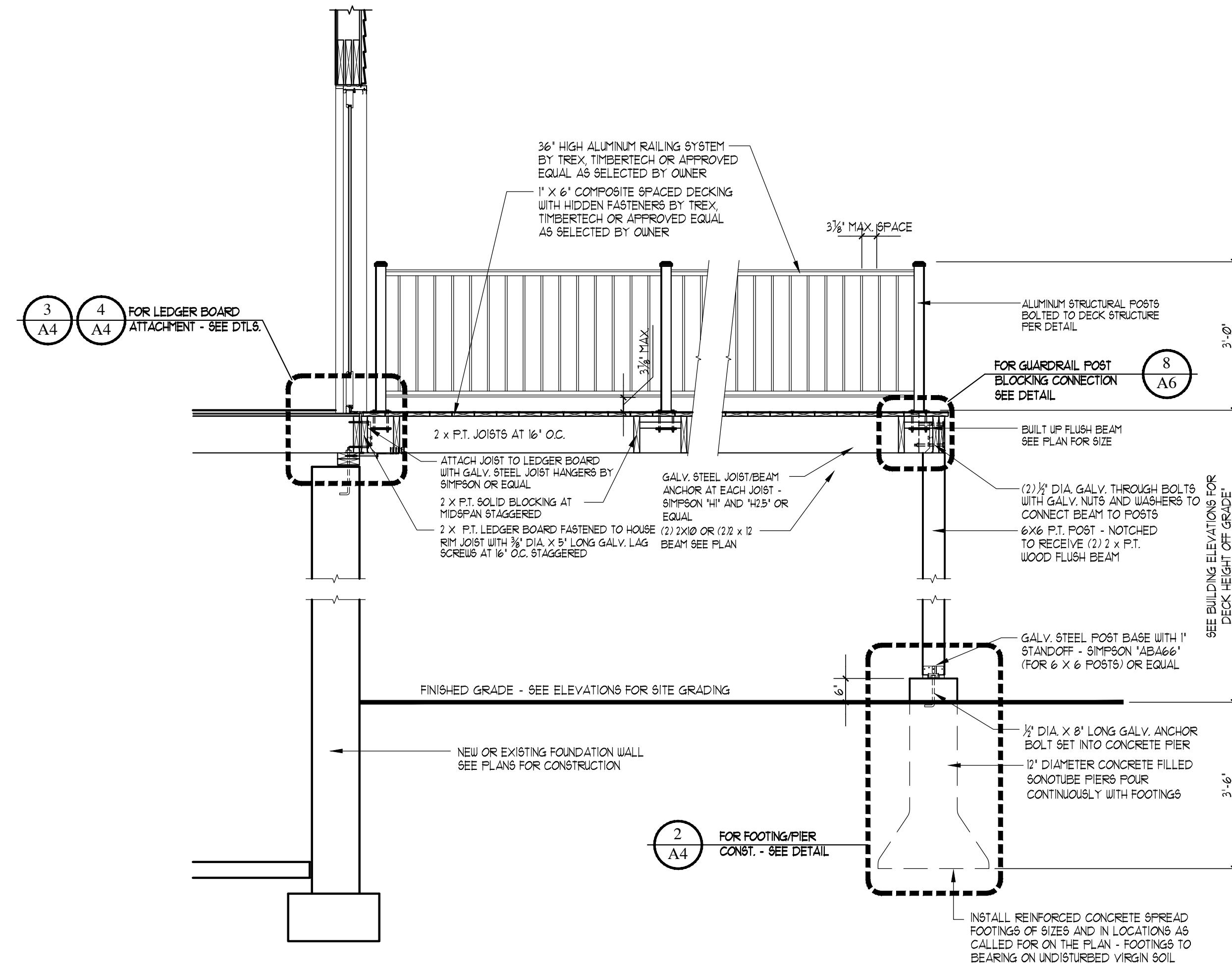
PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK

DWG. TITLE:
WOOD DECK SECTION AND DETAILS

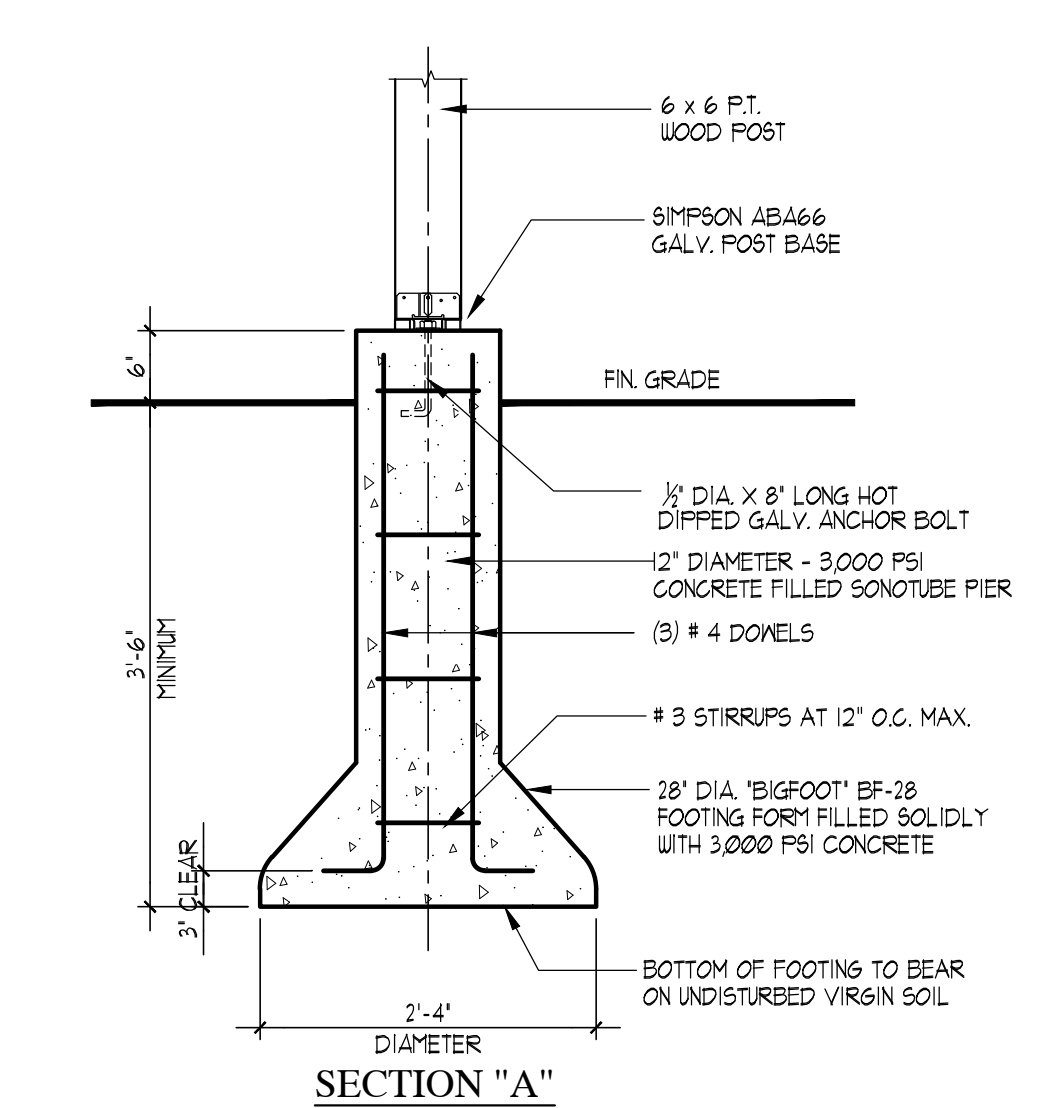
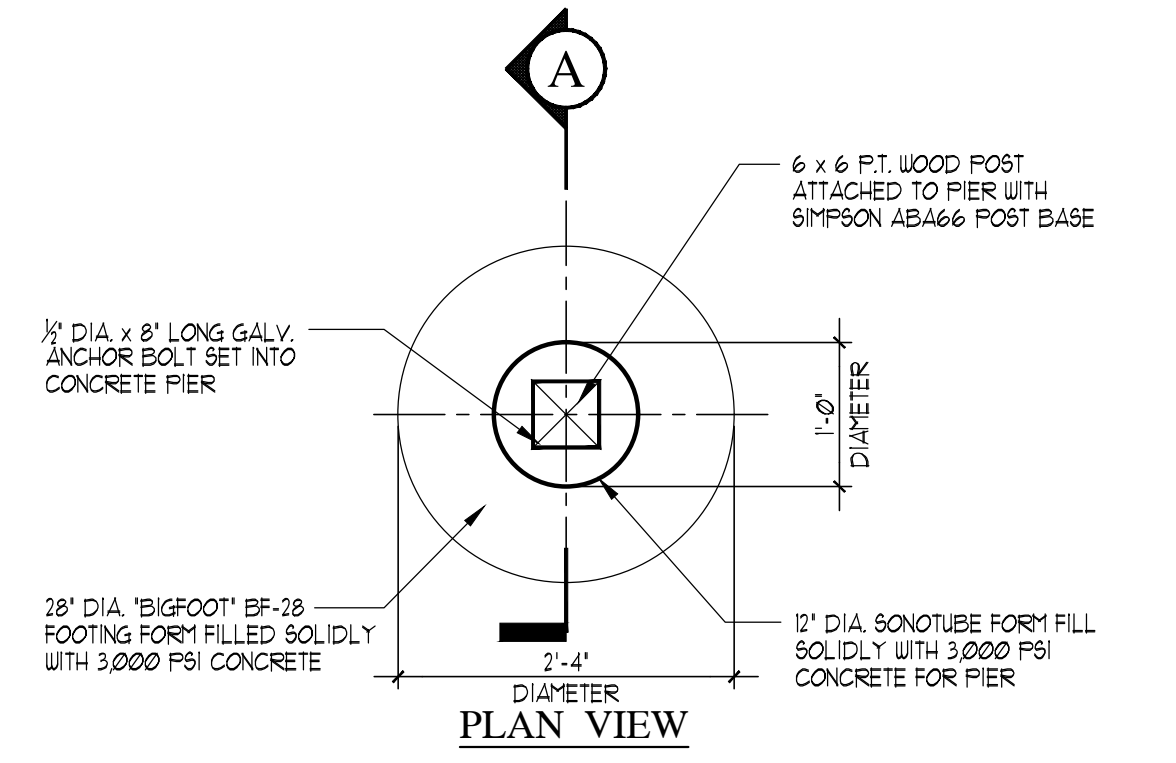
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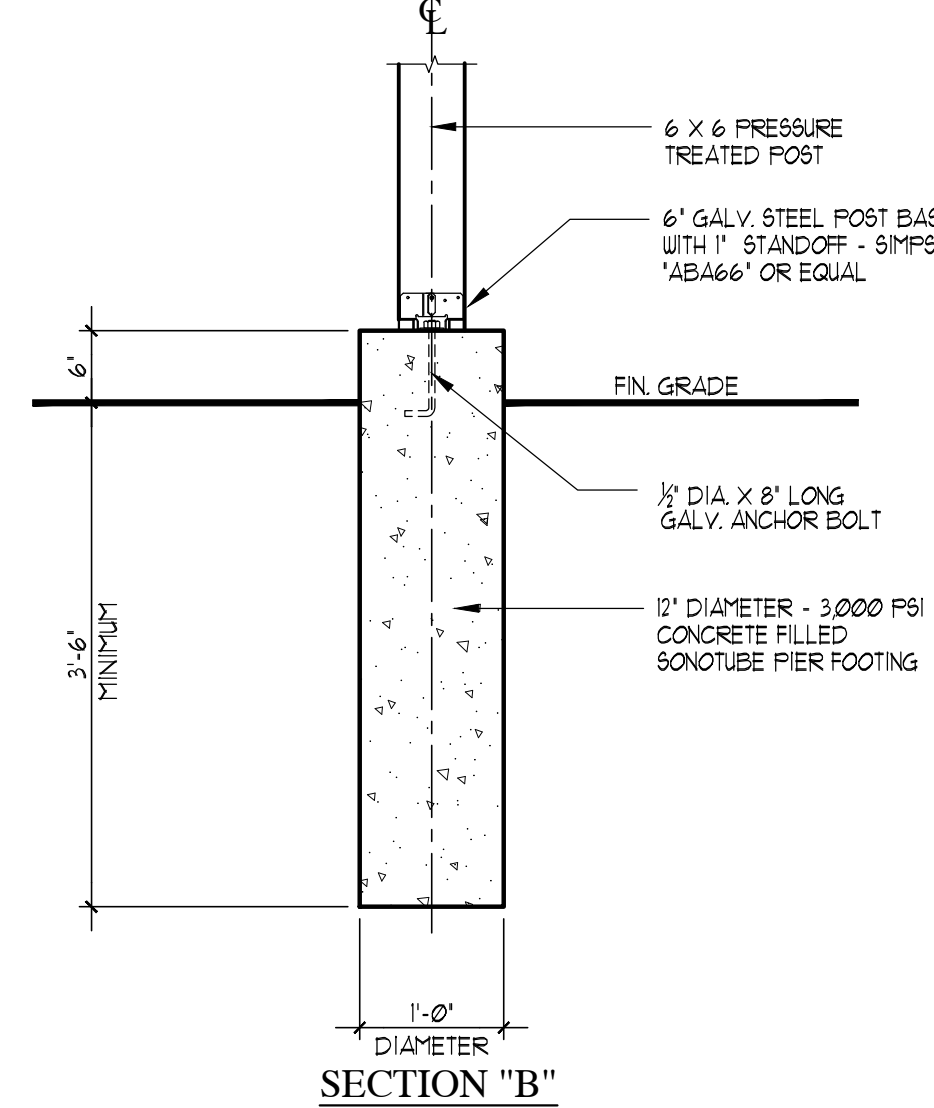
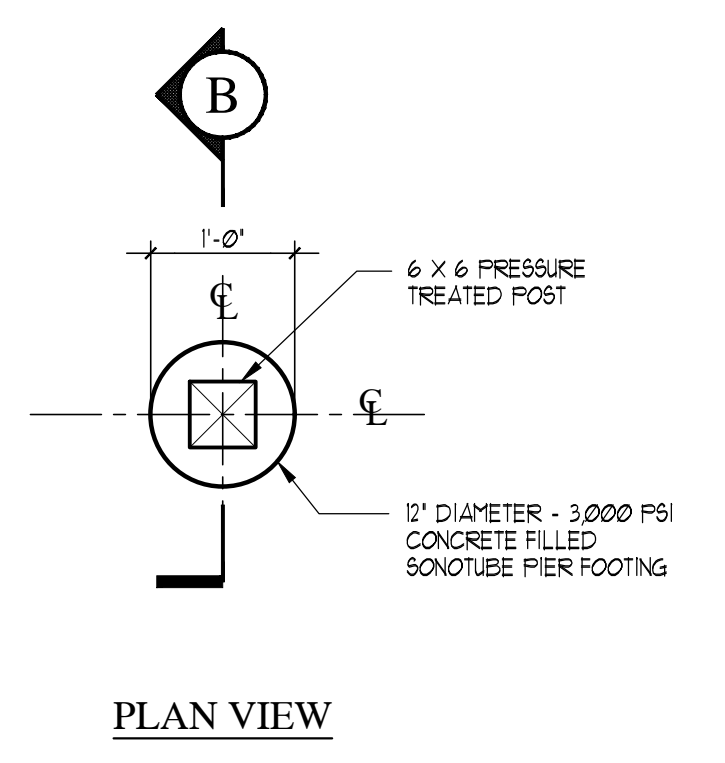
- WOOD DECK PLATFORM AND OPEN PORCH NOTES**
ALL WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (HEREAFTER REFERRED TO AS 2020-RCCNTS).
- FRAMING LUMBER FOR EXTERIOR DECKS SHALL SITTING ON MASONRY, EXPOSED TO MOISTURE WITHIN 8" OF FINISHED GRADE OR ANY OTHER EXTERIOR USE IS TO BE STRUCTURAL GRADE HEM - FIR #1 PD - 1400 P.S.I. MINIMUM OR BETTER. PRESURE TREATED (ACO OR EQUAL) LUMBER IS TO BE FREE FROM LOOSE KNOTS AND CHECKS, WARPING AND OTHER IMPERFECTIONS THAT WILL IMPAIR ITS STRENGTH OR APPEARANCE.
 - INSTALL ALL REQUIRED NAILERS, BLOCKING AND GROUNDS AS REQUIRED BY CODE AND TO ATTACH ALL FINISHES AND ACCESSORIES.
 - ALL WOOD BLOCKING AND GROUNDS TO BE PRESURE TREATED PINE OR HEM-FIR PROVIDED AS REQUIRED TO RECEIVE FINISHES AND MOUNTING ALL ACCESSORIES.
 - AVOID NOTCHING IN JOISTS, RAFTERS AND BEAMS IF POSSIBLE. NOTCHES (IF REQUIRED) IN THE TOP OF JOISTS, RAFTERS AND BEAMS ARE NOT TO EXCEED 1/8" (ONE EIGHTH) THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE (1/3 ONE THIRD) OF THE SPAN. NOTCHES AT THE ENDS MAY BE TOP OR BOTTOM OF MEMBER AND IS NOT TO EXCEED 1/4" (ONE QUARTER) THE DEPTH OF THE MEMBER.
 - HOLE BORED INTO JOISTS, RAFTERS AND BEAMS FOR PIPING OR ELECTRICAL WIRING IS NOT TO BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER AND THE DIAMETER OF THE HOLE IS NOT TO EXCEED 1/3 (ONE THIRD) THE DEPTH OF THE MEMBER.
 - PROVIDE 2 X SOLID WOOD BLOCKING AT DECK JOISTS AT MID SPAN OR EACH 8'-0" OF SPAN MAXIMUM.
 - UNLESS OTHERWISE NOTED ON THE DRAWINGS, INSTALL DOUBLE 2 X FRAMING AT ALL STAIR OPENINGS, FLOOR OPENINGS GREATER THAN 16" ACCESS HATCHES AND ANY OTHER SITUATION WHERE FRAMING IS HEADERED OFF.
 - ALL JOISTS FRAMING INTO THE SIDES OF BEAMS AND LEDGER BOARDS ARE TO UTILIZED "2H4X" GALVANIZED JOIST HANGERS (SIMPSON STRONGTIE OR EQUAL) RATED FOR CONTACT WITH PRESURE TREATED LUMBER. TRIMMER AND HEADER BEAMS ARE TO BE CONNECTED WITH DOUBLE JOIST HANGERS. JOISTS AT END OF LEDGER BOARDS SHALL BE CONNECTED TO LEDGER BOARD USING SIMPSON LUG CONCEALED FLANGE JOIST HANGERS OR APPROVED EQUAL.
 - ALL METAL FASTENERS, ANCHORS, POST BASES, CONNECTORS, JOIST OR BEAM HANGERS SHALL BE HOT DIPPED GALVANIZED, "2H4X" GALVANIZED OR STAINLESS STEEL AS MANUFACTURED BY SIMPSON STRONGTIE OR APPROVED EQUAL. ATTACH CONNECTORS TO FRAMING PER SIMPSON'S WRITTEN INSTRUCTIONS USING HOT DIPPED GALVANIZED COMMON NAILS OR SIMPSON PROPRIETARY "STRONG-DRIVE SD" SCREWS.
 - DECK P.T. WOOD LEDGER BOARDS ARE TO BE REQUIRED TO HOUSE'S RIM JOIST AND/OR HOUSE'S FOUNDATION WALL WITH CODE APPROVED FASTENERS FOR SPECIFIC INSTALLATION SUCH AS GALVANIZED BOLTS, NUTS AND WASHERS OR PROPRIETARY SCREWS SUCH AS SIMPSON "STRONG-DRIVE SD" SCREWS. CARTRIDGE BOLTS ARE NOT PERMITTED FOR ATTACHING LEDGER BOARDS.
 - WASHERS ARE REQUIRED UNDER THE HEADS AND NUTS OF ALL BOLTS.
 - P.T. WOOD FRAMING MEMBERS SHALL BE ATTACHED WITH HOT DIPPED GALVANIZED COMMON NAILS 10d COMMON NAILS + @18" X 3" LONG, 16d COMMON NAILS + @16" X 3" LONG.
 - BASE BID DECK BOARDS SHALL BE EITHER 3/4" X 6" OR 2 X 6 PRESSURE TREATED BOARDS ATTACHED TO DECK FRAMING WITH (2) 2" DIA. GALV. ANCHOR BOLTS PER JOIST. DECK BOARDS SHALL HAVE A MINIMUM SPACE OF 1/8".
 - AT OPTION OF OWNER OR AS SPECIFICALLY NOTED ON THE PLANS, DECK BOARD MAY BY COMPOSITE DECK BOARD SUCH AS TREX OR EQUAL, OR ANOTHER WOOD SPECIES SUCH AS RED CEDAR, MAHOGANY, OR P.E. COMPOSITE BOARDS SHALL BE ATTACHED EITHER WITH MANUFACTURER APPROVED DECK SCREWS OR HIDDEN FASTENER SYSTEMS. OTHER WOOD SPECIES SHALL BE ATTACHED WITH APPROVED HIDDEN FASTENERS.
 - RAILING POSTS SHALL BE ATTACHED TO DECK FRAMING USING GALVANIZED THROUGH BOLTS, NUTS AND WASHERS. INSTALL SIMPSON DTTIZ DECK TENSION TIE AT TOP OF POST TO PROVIDE LATERAL SUPPORT TO RESIST 200 LB. CONCENTRATED LATERAL LOAD. BLOCKING ALONE AT POSTS WILL NOT BE PERMITTED TO RESIST POST LATERAL LOADS.
 - GUARD RAILS AND STAIR HAND RAILS SHALL COMPLY WITH SECTION R302 OF THE 2020-RCCNTS AND BE CONSTRUCTED FROM P.T. WOOD AS DETAILED ON PLAN. MINIMUM GUARDRAIL HEIGHT IS TO BE 36" ABOVE DECK PLATFORMS OR OPEN PORCHES.
 - BASE BID GUARDRAIL, VERTICAL BALUSTERS SHALL BE EITHER 2" X 2" SQUARE OR TURNED P.T. WOOD BALUSTERS. GUARDRAIL BALUSTERS SHALL BE SPACED SUCH THAT A SPHERE GREATER THAN 4" IN DIAMETER CAN NOT PASS THROUGH PER SECTION R302 OF THE 2020-RCCNTS.
 - AT OWNER'S OPTION, THE POST AND GUARDRAIL SYSTEM MAY BE A COMPOSITE TYPE SYSTEM AS MANUFACTURED BY TREX OR APPROVED EQUAL.
 - CONTRACTOR MAY CHOOSE ALTERNATE METHODS OF CLOSING IN SIDES OF DECK OR STAIR GUARDRAILS AS LONG AS THE METHOD USED COMPLES WITH ALL APPLICABLE SECTIONS OF THE 2020-RCCNTS.
 - STAIRS FROM DECK AND PORCHES DOWN TO GRADE SHALL COMPLY WITH SECTIONS R315 AND R312 OF THE 2020-RCCNTS. STAIR HANDRAILS SHALL BE SET 34" MINIMUM-36" MAXIMUM ABOVE STAIR TREADS MEASURED FROM FRONT EDGE OF STAIR TREADS.
 - ALL NON-COMPLIANT WORK SHALL BE REMOVED AND REPLACED AS REQUIRED AT THE CONTRACTOR'S EXPENSE PRIOR TO FINAL ACCEPTANCE BY THE BUILDING DEPT., ARCHITECT OR OWNER.



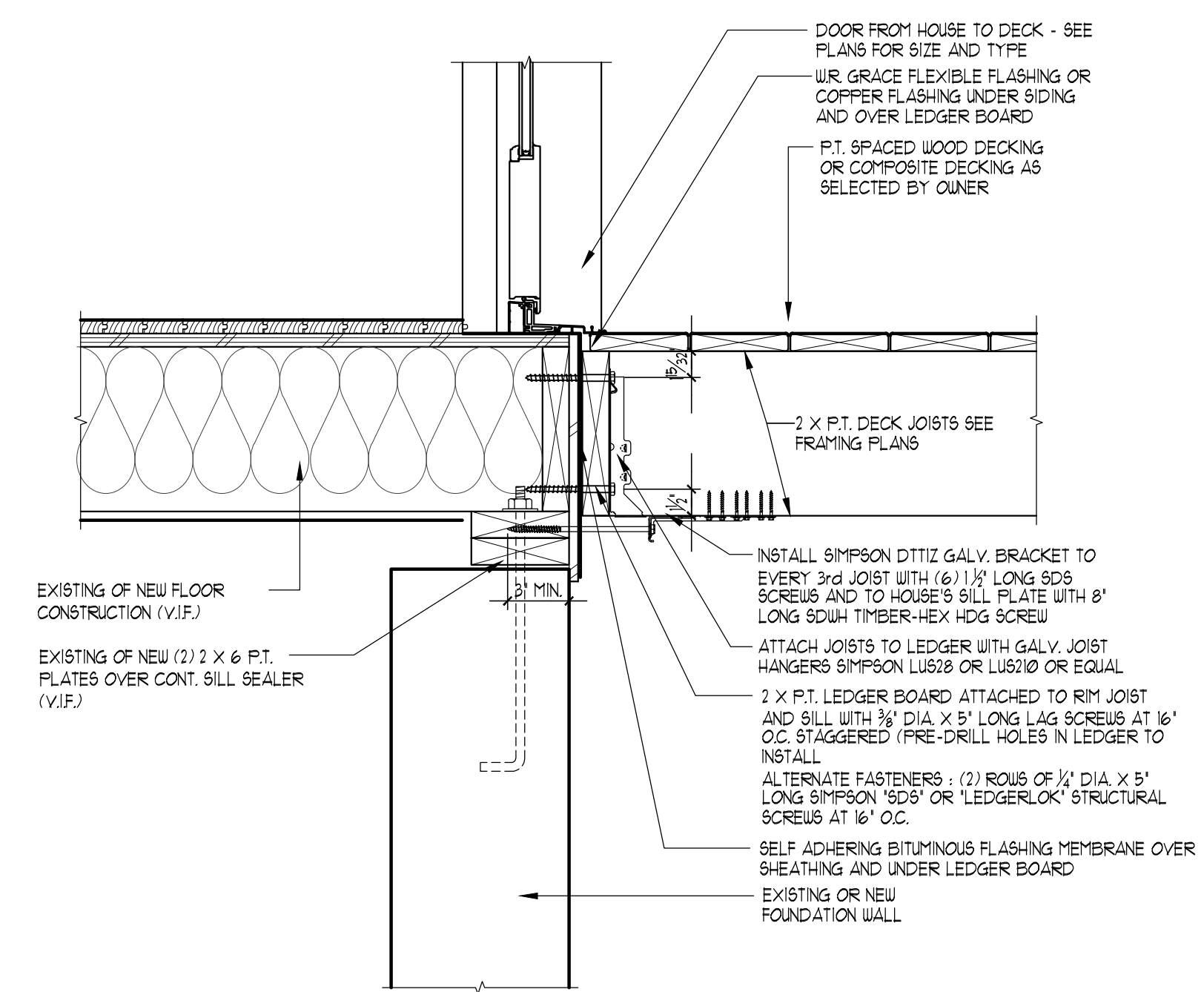
SECTION "A"
SCALE: 1/2" = 1'-0"



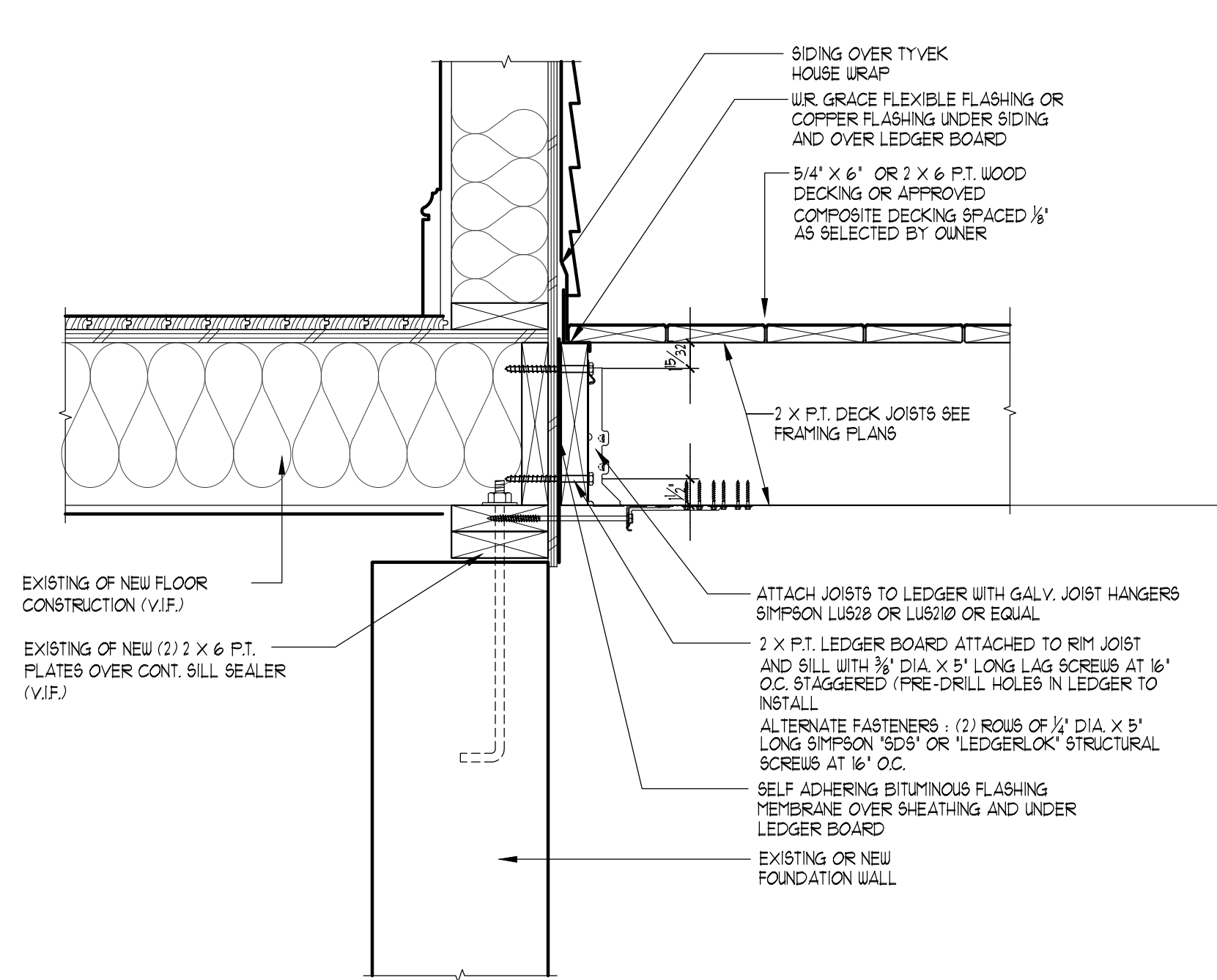
DETAIL (2-4\"/> SCALE: 3/4" = 1'-0"



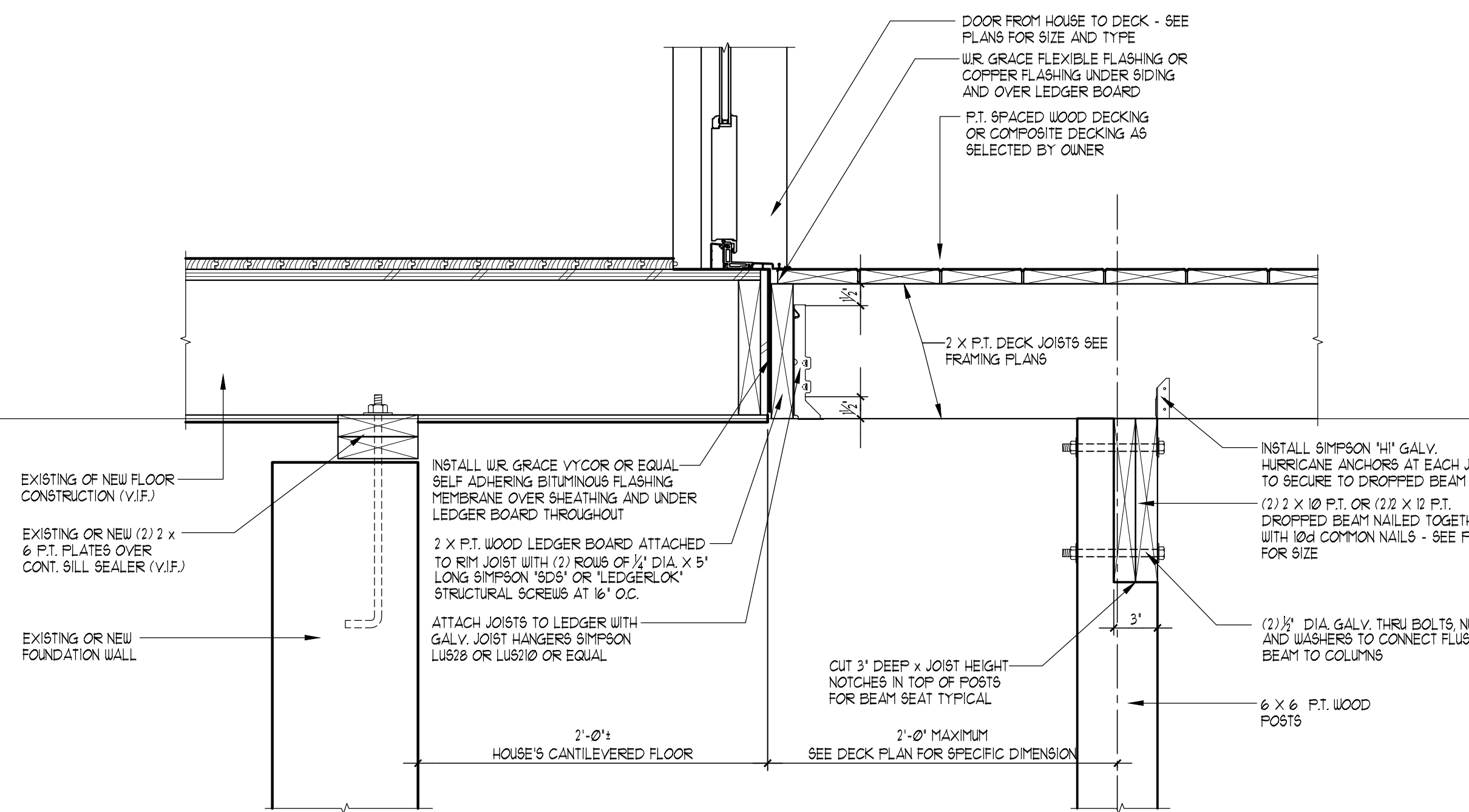
DETAIL (12\"/> SCALE: 3/4" = 1'-0"



CONDITION AT DOOR



CONDITION AT SIDING



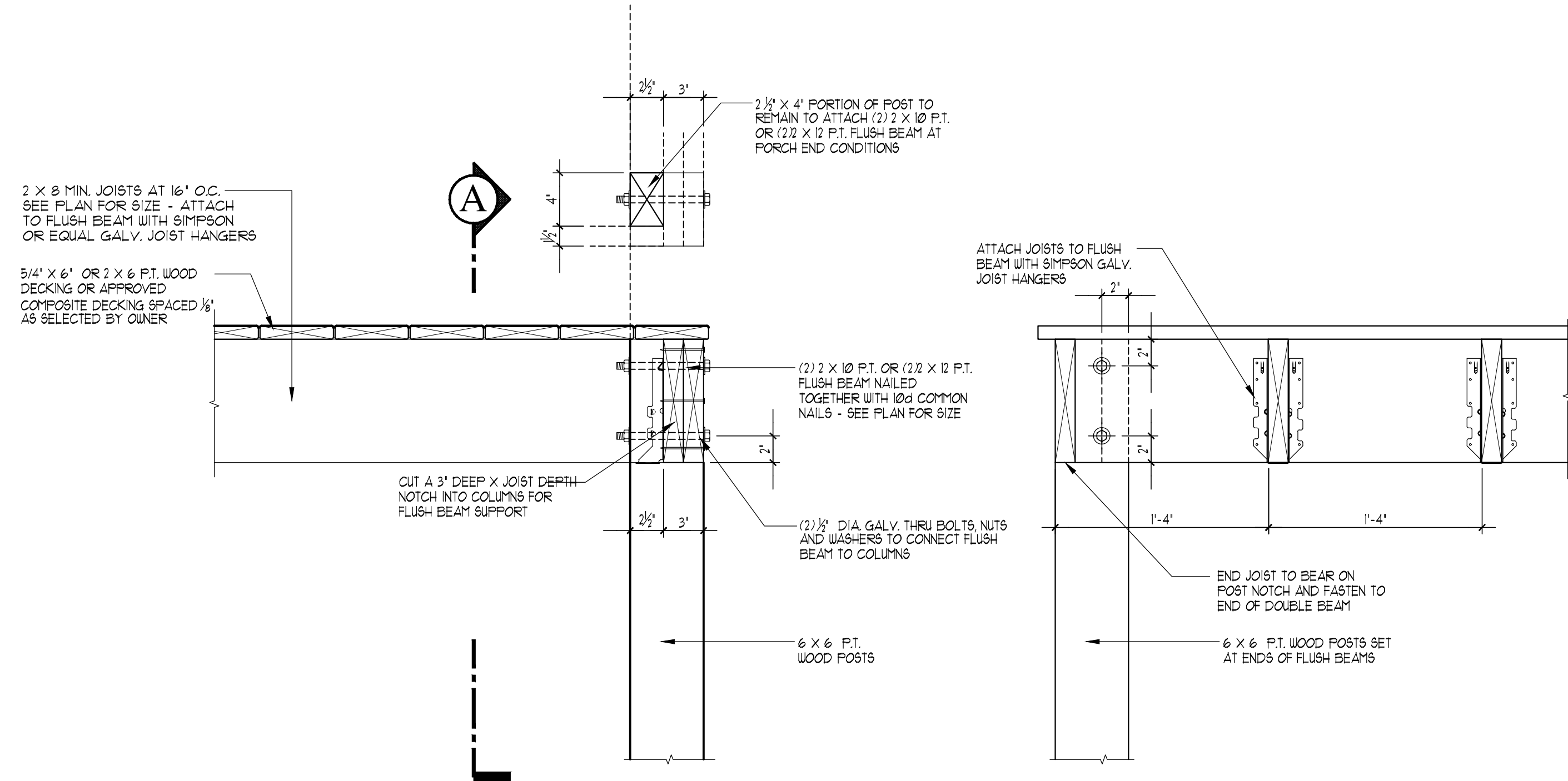
CONDITION AT FLOOR CANTILEVER



DETAIL (LEDGER BOARD LATERAL ANCHORING)
SCALE: 1 1/2" = 1'-0"

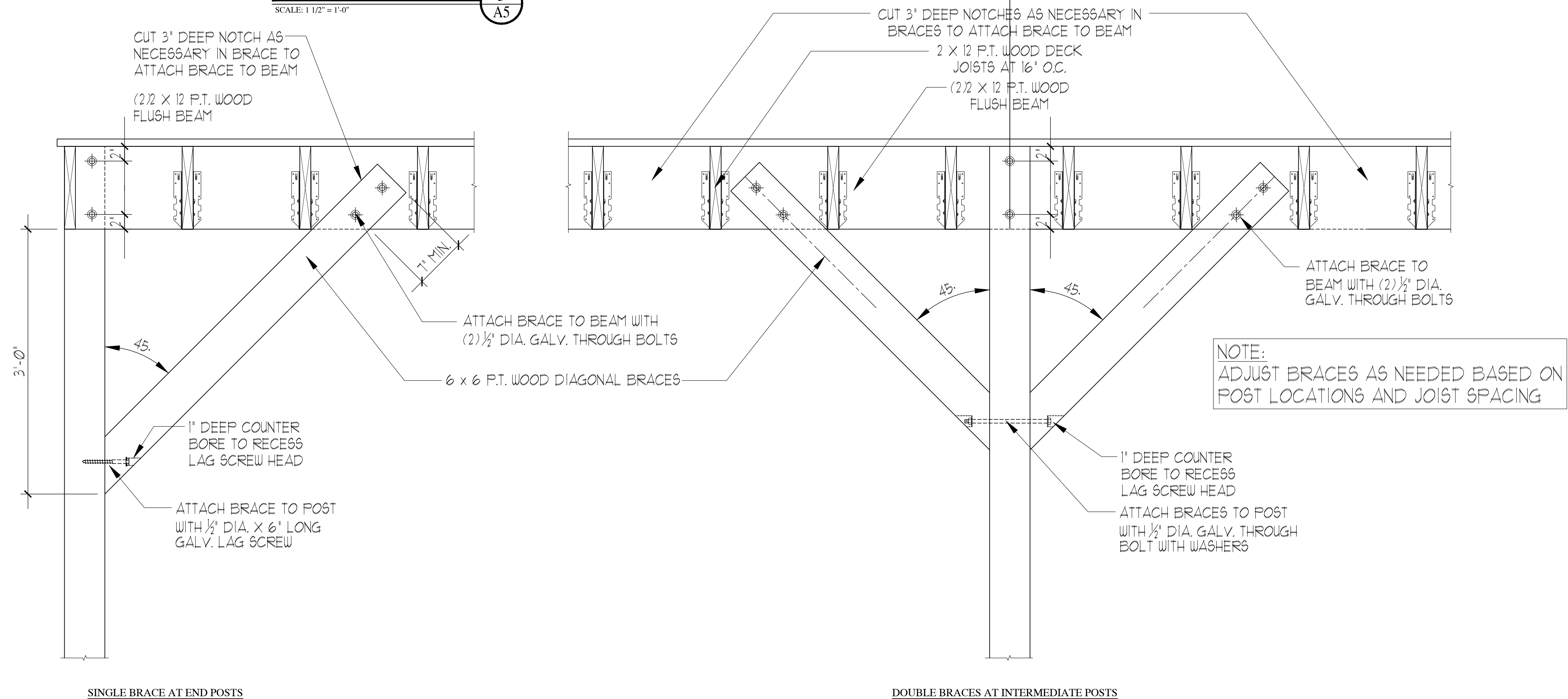


DETAIL (LEDGER BOARD AT FLOOR CANTILEVERS)
SCALE: 1 1/2" = 1'-0"



SECTION "A"

DETAIL (FLUSH BEAM-POST CONNECTIONS)
 SCALE: 1 1/2" = 1'-0"
 5
 A5



SINGLE BRACE AT END POSTS

DOUBLE BRACES AT INTERMEDIATE POSTS

DETAIL (6 x 6 DIAGONAL BRACES AT POSTS)
 SCALE: 1 1/2" = 1'-0"
 6
 A5

REV	BY	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

DWGS ISSUED

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PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
 23 WHIPPOORWILL ROAD
 ARMONK, NEW YORK

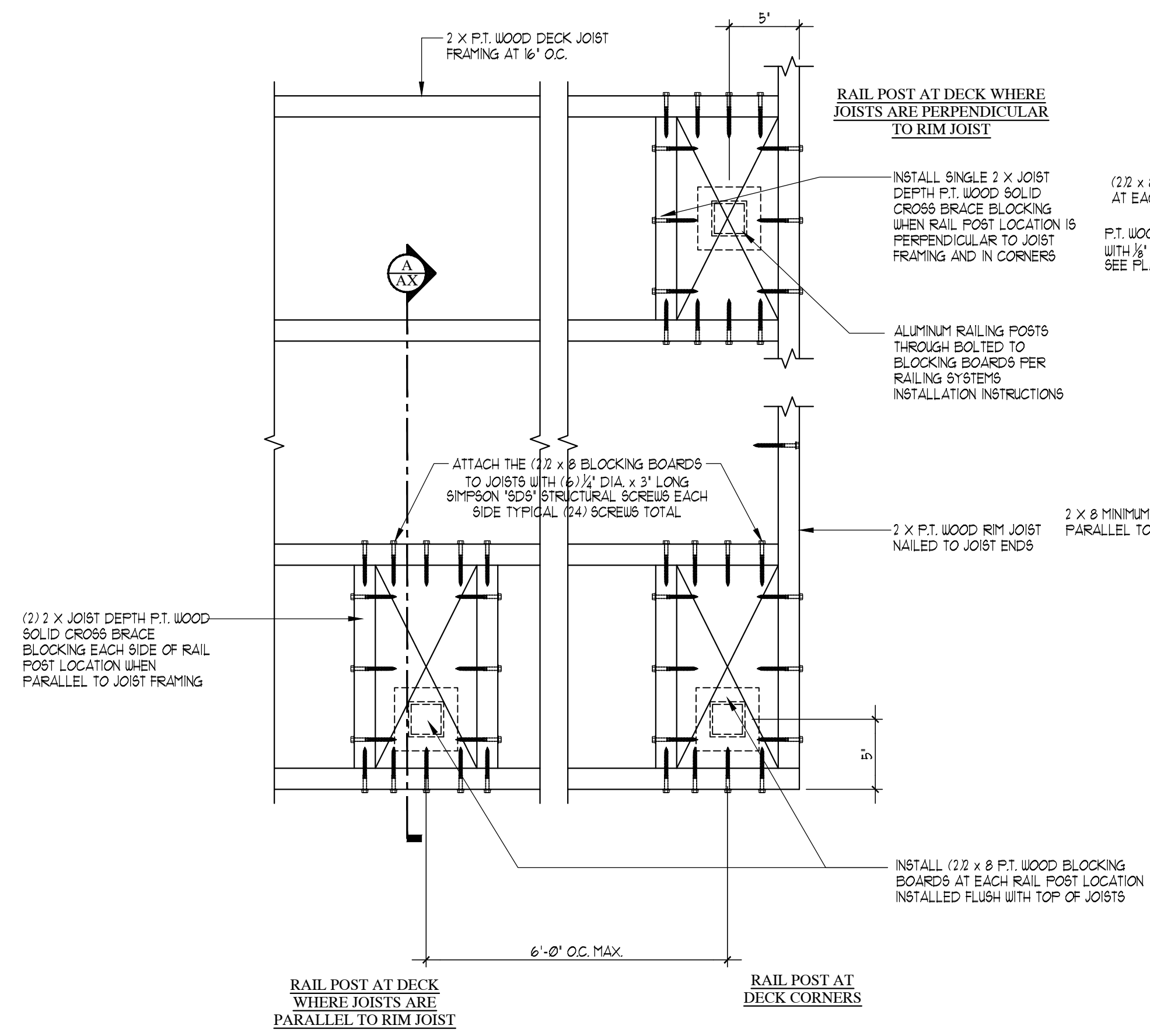
DWG. TITLE:
WOOD DECK DETAILS

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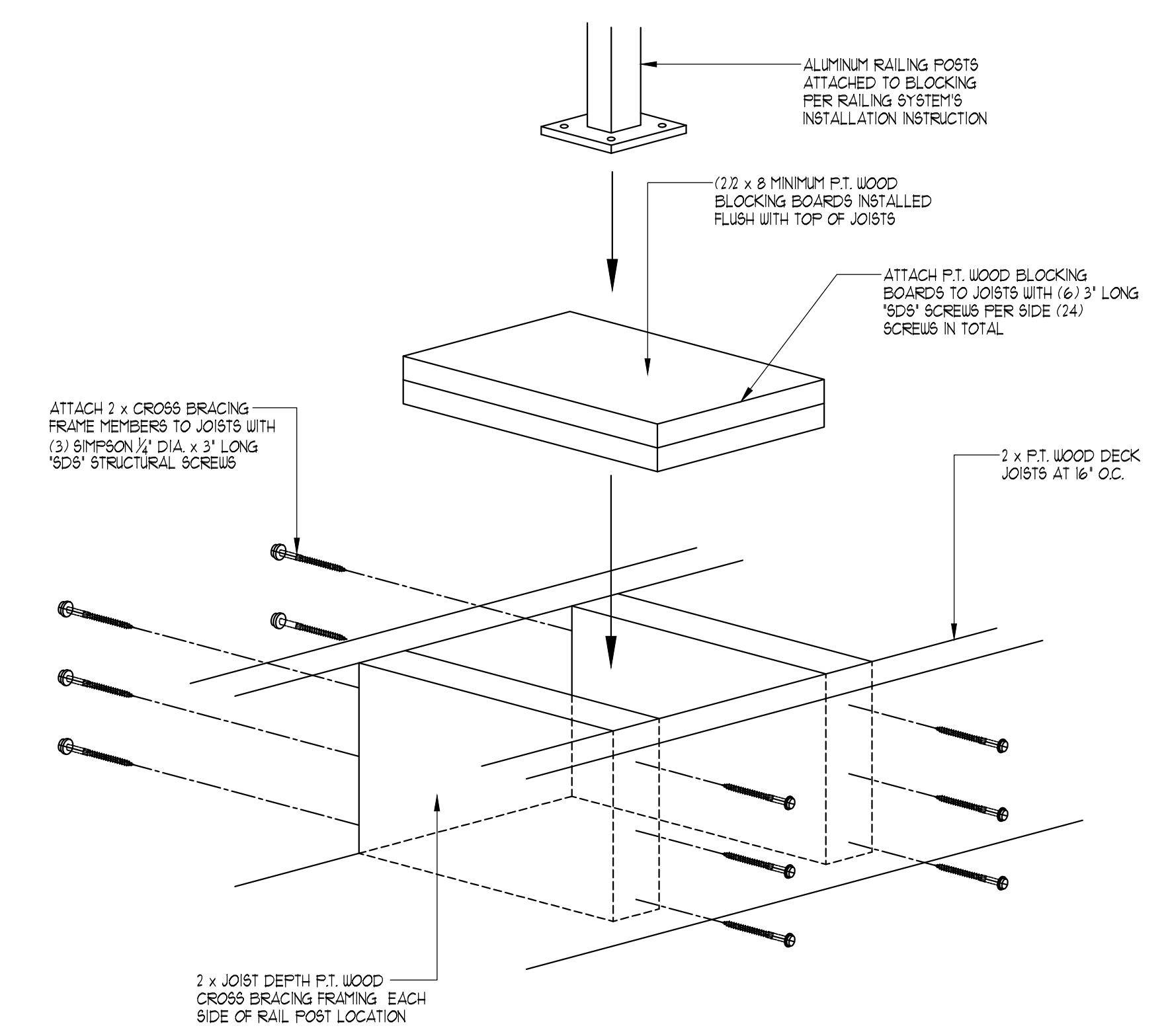
Architect

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SCALE:	
AS NOTED PROJECT NO.:	220402
START DATE:	04-12-2022

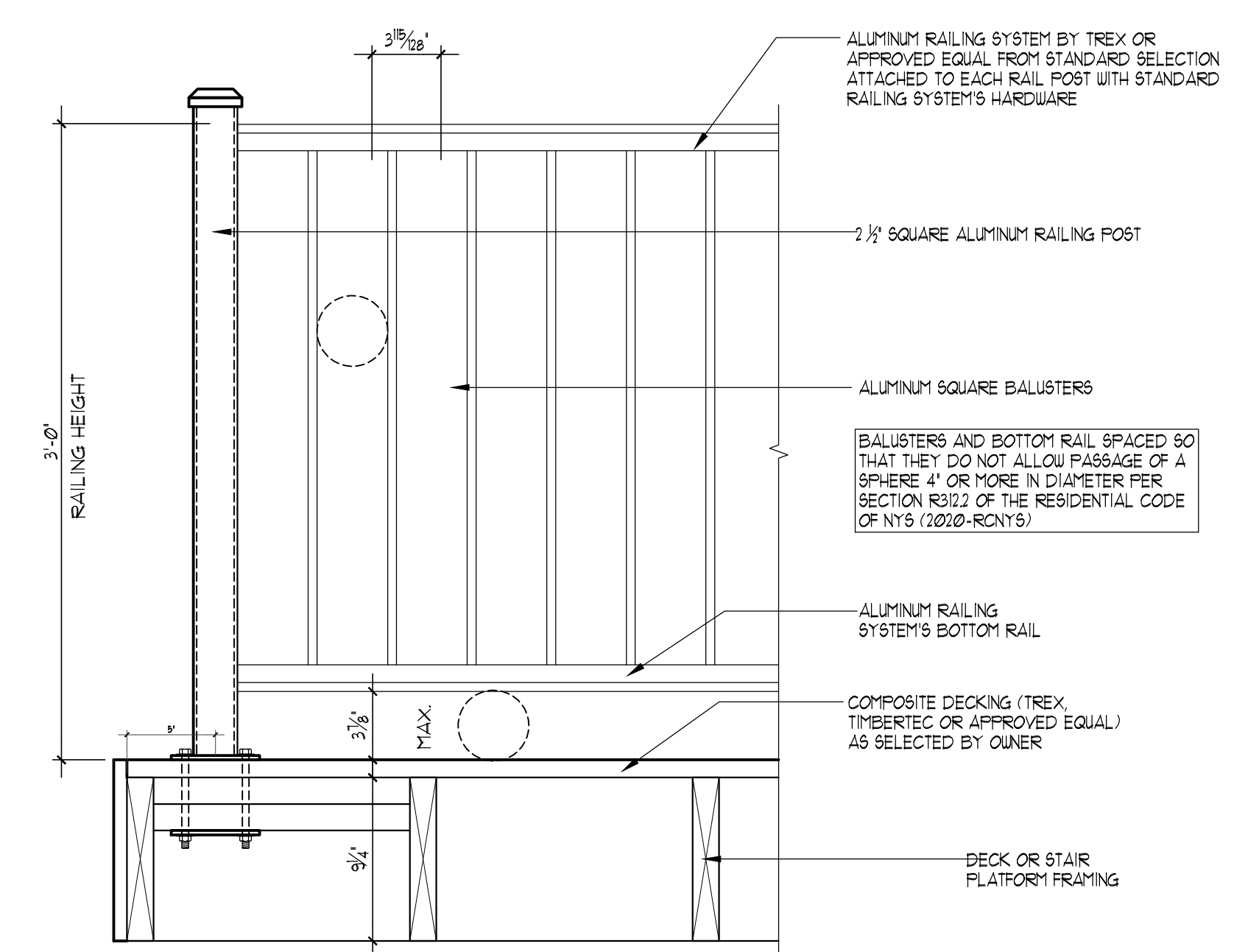
NOTE:
 ADJUST BRACES AS NEEDED BASED ON POST LOCATIONS AND JOIST SPACING



DETAIL (ALUM. RAILING POST ATTACHMENT)
SCALE: 1 1/2" = 1'-0"
7
A6

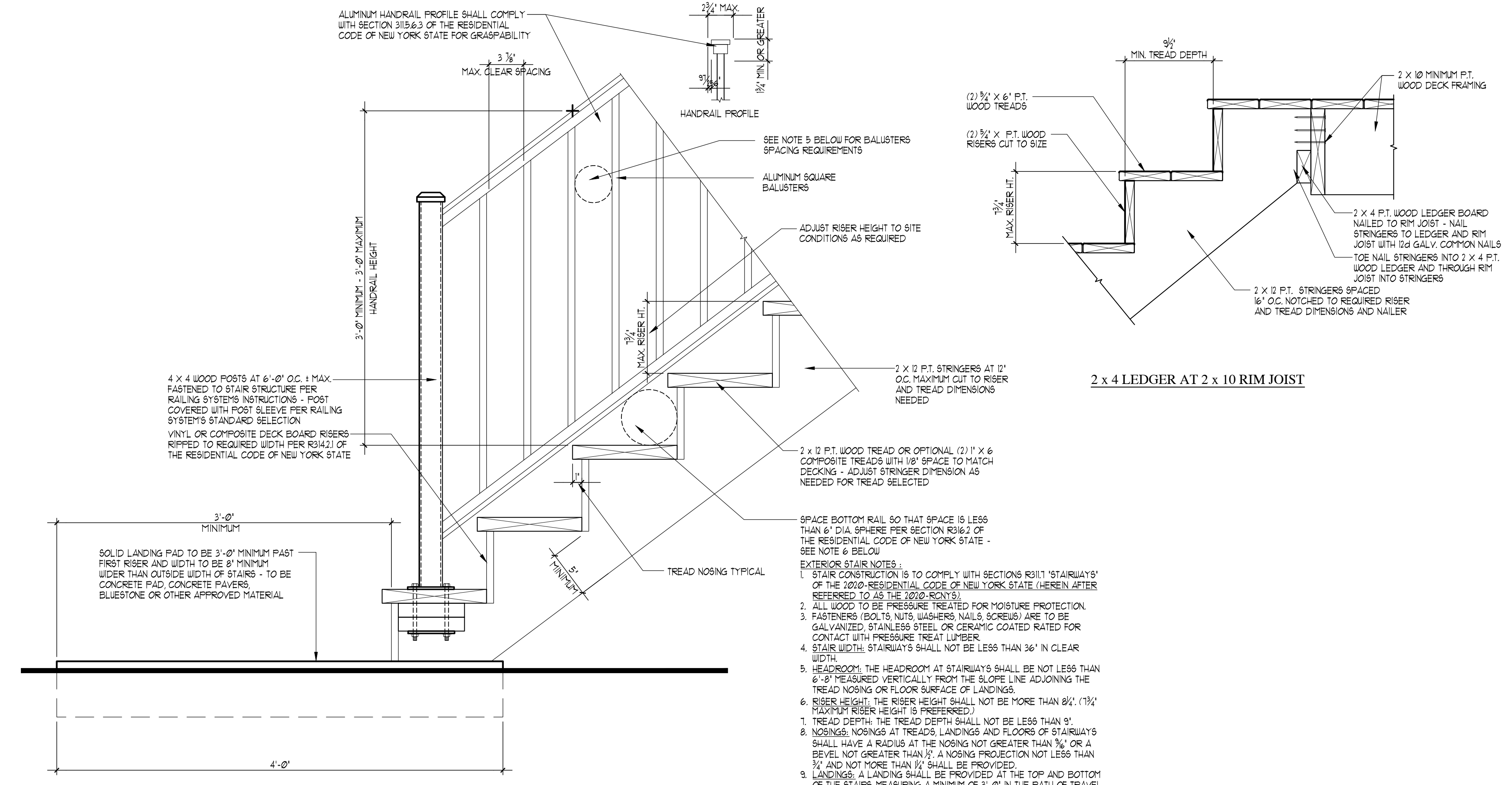


ISOMETRIC VIEW



DETAIL (ALUM. RAILING POST ATTACHMENT)
SCALE: 1 1/2" = 1'-0"
8
A6

- DECK GUARDRAIL NOTES:**
- GUARD RAILS SHALL COMPLY WITH SECTION R310 'GUARDS AND WINDOW FALL PROTECTION' OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (HEREIN AFTER REFERRED TO AS THE 2020-RCNY'S).
 - FORCHES, BALCONIES, RAMPS AND RAISED SURFACES LOCATED MORE THAN 30' ABOVE A FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT.
 - GUARD RAIL OPENING LIMITATION SHALL COMPLY WITH SECTION R312.2 OF THE 2020-RCNY'S WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4' OR MORE IN DIAMETER.
 - ALL STRUCTURAL WOOD TO BE PRESSURE TREATED (P.T.) FOR EXPOSURE TO MOISTURE. AT OWNER'S OPTION, GUARD RAILS MAY BE CONSTRUCTED FROM RED CEDAR OR USE AN APPROVED MAN MADE GUARD RAIL SYSTEM COMPLY WITH THE CODE.
 - AT OWNER'S OPTION, 2" X 2" TURNED BALUSTERS CAN BE SUBSTITUTED FOR 2" X 2" SQUARE BALUSTERS INDICATED. MAINTAIN MAXIMUM CLEAR OPENING AT 3 3/8".
 - ALL CONNECTIONS AT WOOD GUARD RAILS ARE TO BE MADE WITH STAINLESS STEEL OR EXTERIOR COATED DECK SCREWS INSTALL (7) SCREWS PER BALUSTER TO PREVENT BALUSTERS FROM SPINNING.
 - MANUFACTURER GUARD RAIL SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - HANDRAILS SHALL COMPLY WITH 'GRASPABILITY' REQUIREMENTS OF SECTION R311.1 OF THE 2020-RCNY'S. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN WALL AND HANDRAIL PER SECTION R311.1.2 OF THE RCNY'S.
 - BALUSTERS SHALL BE SPACE SO THAT A SPHERE 4' OR MORE IN DIAMETER CAN NOT PASS THROUGH PER SECTION R312.2 OF THE RCNY'S. AT OWNER'S OPTION, SUBSTITUTE 2" X 2" SQUARE BALUSTERS WITH 2" X 2" TURNED BALUSTERS, MAINTAINING 3 3/8" MAX. CLEAR OPENING SPACING BETWEEN BALUSTERS.



DETAIL (4 x 4 RAILING POST ATTACHMENT)
SCALE: 1 1/2" = 1'-0"
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- EXTERIOR STAIR NOTES:**
- STAIR CONSTRUCTION IS TO COMPLY WITH SECTIONS R311.1 'STAIRWAYS' OF THE 2020-RESIDENTIAL CODE OF NEW YORK STATE (HEREIN AFTER REFERRED TO AS THE 2020-RCNY'S).
 - ALL WOOD TO BE PRESSURE TREATED FOR MOISTURE PROTECTION.
 - FASTENERS (BOLTS, NUTS, WASHERS, NAILS, SCREWS) ARE TO BE GALVANIZED, STAINLESS STEEL OR CERAMIC COATED RATED FOR CONTACT WITH PRESSURE TREAT LUMBER.
 - STAIR WIDTH: STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH.
 - HEADROOM: THE HEADROOM AT STAIRWAYS SHALL BE NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPE LINE ADJOINING THE TREAD NOSING OR FLOOR SURFACE OF LANDINGS.
 - RISER HEIGHT: THE RISER HEIGHT SHALL NOT BE MORE THAN 8 1/2" (7 1/2" MAXIMUM RISER HEIGHT IS PREFERRED).
 - TREAD DEPTH: THE TREAD DEPTH SHALL NOT BE LESS THAN 9".
 - NOSINGS: NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS AT THE NOSING NOT GREATER THAN 3/8" OR A BEVEL NOT GREATER THAN 1/2". A NOSING PROJECTION NOT LESS THAN 1/2" AND NOT MORE THAN 1/2" SHALL BE PROVIDED.
 - LANDINGS: A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF THE STAIRS, MEASURING A MINIMUM OF 3'-0" IN THE PATH OF TRAVEL COMPLYING WITH A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF THE STAIRS, MEASURING A MINIMUM OF 3'-0" IN THE PATH OF TRAVEL. HANDRAIL CLEARANCE: HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN WALL AND THE HANDRAILS. HANDRAILS SHALL COMPLY WITH 'GRASPABILITY' REQUIREMENTS OF SECTION R311.1.5 OF THE 2020-RCNY'S. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE NOT LESS THAN 1/2" BETWEEN WALL AND HANDRAIL PER SECTION R311.1.2 OF THE RCNY'S.

REV	BY	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

DWG'S ISSUED

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PROJECT NAME:
PROPOSED WOOD DECK RECONSTRUCTION FOR:
THE SEREL RESIDENCE
23 WHIPPOORWILL ROAD
ARMONK, NEW YORK

DWG. TITLE:
WOOD DECK RAILING AND STAIR DETAILS

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SCALE:	
AS NOTED PROJECT NO.:	220402
START DATE:	04-12-2022