



RESREAL DESIGNS
Architecture & Engineering Services
For Homes

Town of North Castle
Building Dept.
17 Bedford Road
Armonk, NY 10504

SUBJECT: 2 Shoemaker Lane Armonk NY 10504 – OWNER AUTHORIZATION

To whom it may concern,

I, Jaime Salomon, as the owner of 2 Shoemaker Lane Armonk NY 10504, authorize John M. Scavelli, PE of ResReal Designs to serve as the agent/applicant in submitting the Residential Project Review Committee (RPRC) and Building Permit Applications to the Town of North Castle on my behalf.

Note: It is the responsibility of the homeowner and/or contractor to schedule all required inspections with the Town, and to complete all related Certificate of Occupancy/Compliance paperwork to close out the permits. All related fees required by Authorities Having Jurisdiction are the responsibility of the homeowner.

Very Respectfully,

Owner Signature: Jaime Salomon Date: 5/18/2022

On behalf of the owner above, thank you.

Sincerely,

John M. Scavelli, PE
JMS Engineering Services, PC
ResReal Designs
John@resreal.com
www.resreal.com
State of New York Professional Engineering License 11095178



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 2 Shoemaker Lane Armonk 10504

Section III- DESCRIPTION OF WORK:

Proposed 800 sf 20' x 40' in-ground concrete pool with surrounding patio at single family dwelling

Section III- CONTACT INFORMATION:

APPLICANT: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____ EMAIL: john@resreal.com

PROPERTY OWNER: Adam Salomon

ADDRESS: 2 Shoemaker Lane Armonk 10504

PHONE: 917-922-7405 MOBILE: _____ EMAIL: jsalomon@fanatics.com
adam.salomon@tscmlc.com

PROFESSIONAL: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: _____

EMAIL: john@resreal.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 101.03-2-7.6



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

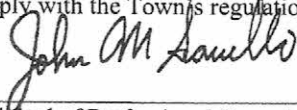
Application Name or Identifying Title: 2 Shoemaker Lane Armonk Date: 05/05/2022

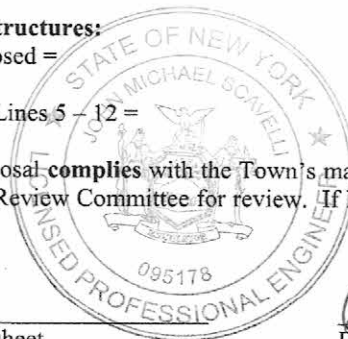
Tax Map Designation or Proposed Lot No.: 101.03-2-7.6

Gross Lot Coverage

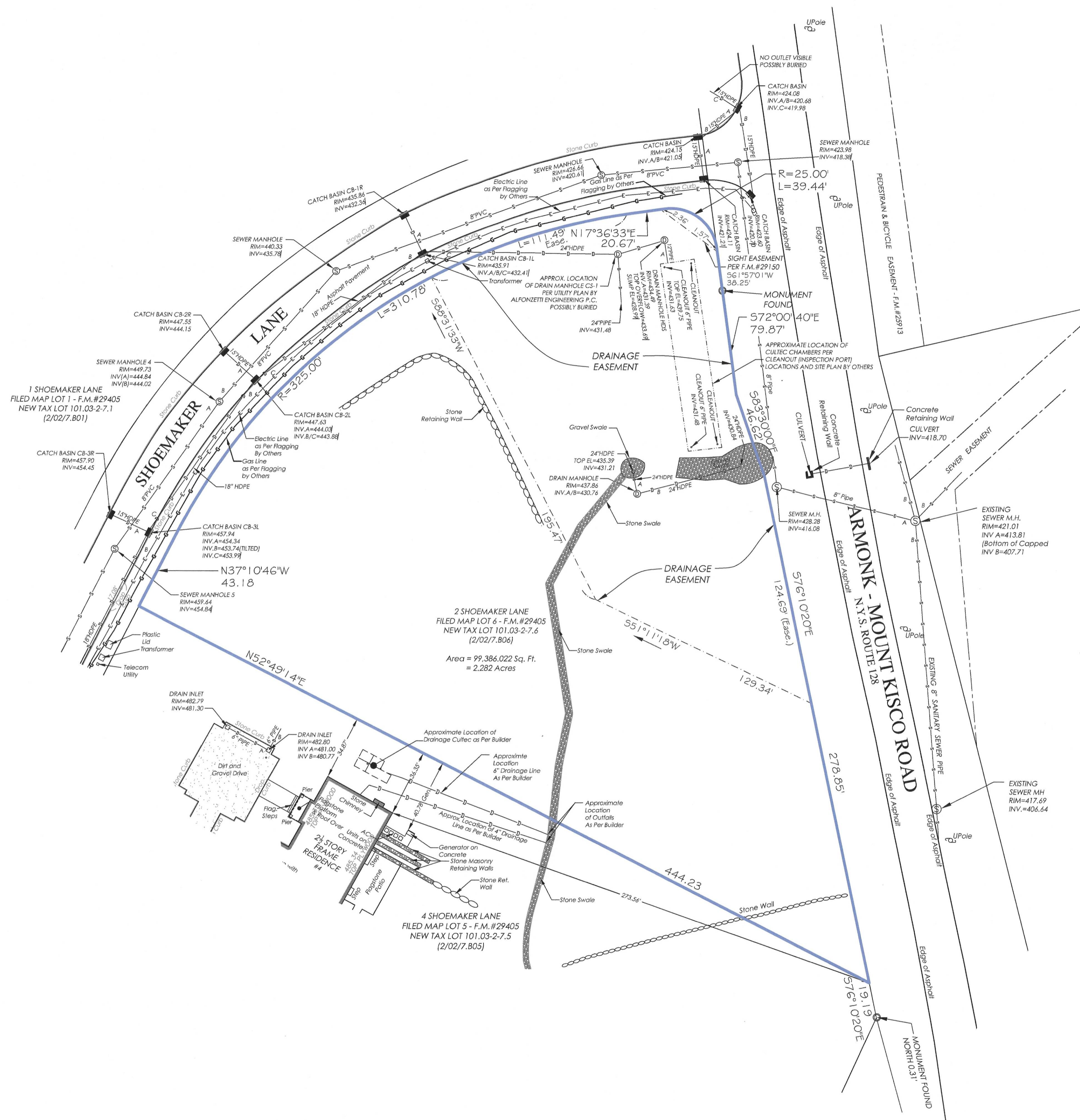
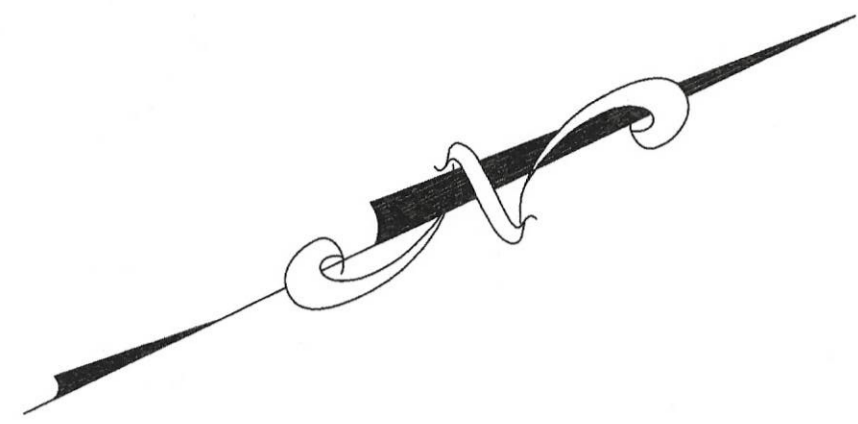
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,870
2. **Maximum** permitted gross land coverage (per Section 213-22.2C): 13,270
3. **BONUS** maximum gross land cover (per Section 213-22.2C):
Distance principal home is beyond minimum front yard setback
21.5 x 10 = 215
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 13,485
5. Amount of lot area covered by **principal building**:
3,579 existing + 0 proposed = 3,579
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
3,150 existing + 0 proposed = 3,150
10. Amount of lot area covered by **terraces**:
434 existing + 1,388 proposed = 1,822
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 969 proposed = 969
12. Amount of lot area covered by **all other structures**:
0 existing + 299 proposed = 299
13. Proposed **gross land coverage**: Total of Lines 5 - 12 = 9,819

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


Signature and Seal of Professional Preparing Worksheet



6/1/22
Date



Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 6 as shown on a certain map entitled, "Final Resubdivision Plat, Wampus Mills Subdivision." Said map filed in the Westchester County Clerk's Office, Division of Land Records March 22, 2020, as map number 29405.

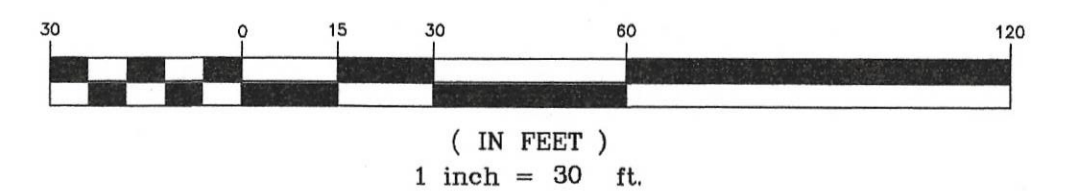
Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 101.03, Block 2, Lot 7.6.

Property Address: 2 Shoemaker Lane, Armonk, NY, 10504

**SURVEY OF PROPERTY
PREPARED FOR
ADAM & JAIME SALOMON**
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE

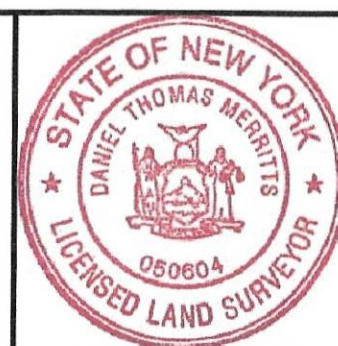


Certified to:
Adam Salomon and Jaime Solomon
Webster Bank
Thoroughbred Title Services, LLC
Radian Title Insurance Inc.
Title #TBT45116



TC MERRITTS LAND SURVEYORS

394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

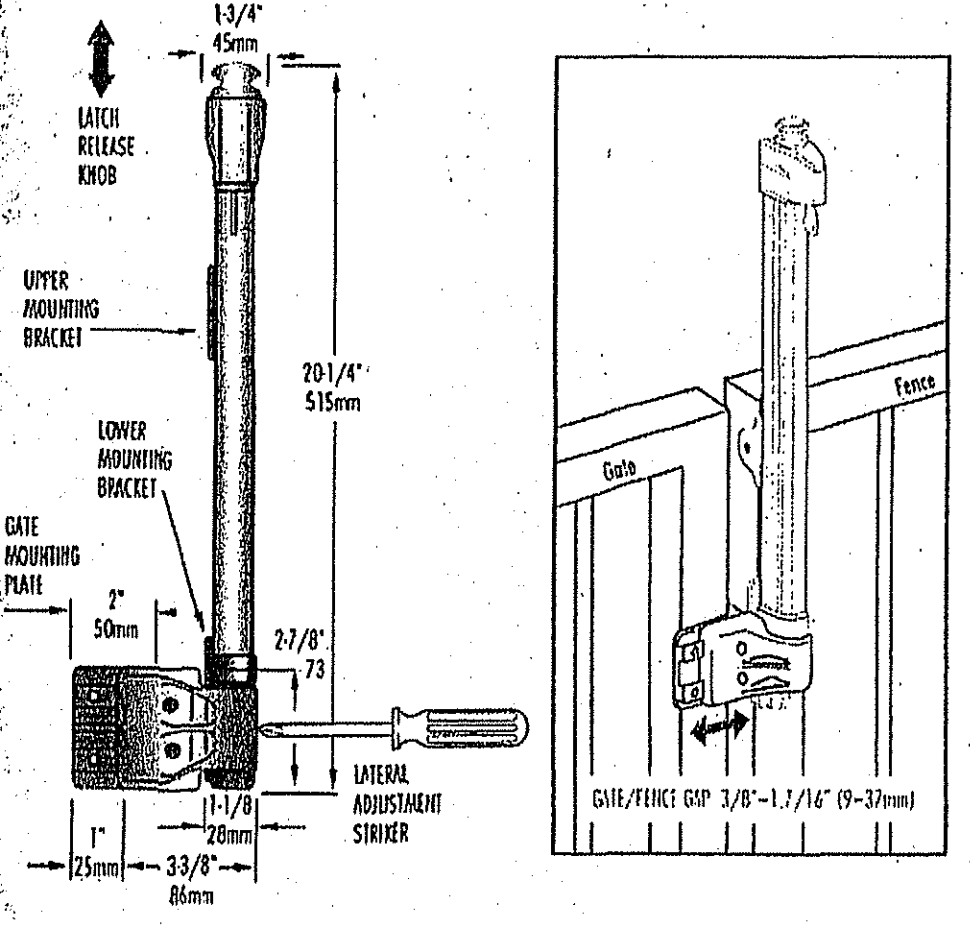


Surveyed: September 26, 2019
Map Prepared: September 27, 2019
Map Revised: May 28, 2021 to show update and certifications

By: *Daniel T. Merritt*
New York State Licensed Land Surveyor No. 050604

COPYRIGHT © 2021
TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.

Project: 14-271	Field Survey By: BC/FT/AP
Drawn By: DA/BIC	Checked By: DM



GATE MAGNA-LATCH (top pull)
As per NYS code

PERMANENT POOL FENCE:
There shall be installed and maintained on said lot, and completely enclosing the pool and pool equipment pad, fencing and gates, all fencing shall meet (NY R326.4.2), that shall be 4'-0" high, black - Jerith Aluminum picket fence - as noted on the plan. Hardware and supports shall also be black vinyl coated. Gates shall be self-closing and self-latching AND LOCKABLE, designed to keep and capable of keeping such gates securely closed and locked at all times, when not in actual use. Latch shall be Magna-Latch as approved by 2020 NYS pool enclosure code. Gates shall open away from pool area as per NYS code. Bottom of the fence shall not exceed 2" from finished grade. AS PER (NYS R326.4.2.3 THROUGH NYS R326.4.2.7.3)

CONTRACTOR SHALL PROVIDE PROTECTION OF ADJOINING PROPERTIES AS PER B3307.1 of the 2015 international building code.

PLANT SCHEDULE

KEY	QUAN.	BOTANICAL / COMMON NAME	SIZE
TREES FOR SITE AND HOUSE			
AH	6	Carpinus caroliniana - American Hornbeam	21/2"-3" Cal.
AR	10	Acer rubrum "October Glory"	31/2"-4" Cal.
BH	3	Betula nigra - Heritage Birch	10"-12" HT.
CC	4	Carya cordiformis - Bitternut Hickory	21/2"-3" Cal.
CF	3	Cornus florida "Rutgers" - Native Dogwood	21/2"-3" Cal.
PA	23	Picea abies - Norway Spruce	9'-10" HT.
TH	27	Thuja p. "Green Giant" - Green Giant Arborvitae	6'-7" HT.
QC	3	Quercus rubra - Northern Red Oak	3"-31/2" Cal.
SHRUBS FOR SITE AND HOUSE:			
BUX	14	Buxus "Green Gem"	18"-24" HT.
BAM	41	Buxus "Green Mountain" (not conical)	24"-30" HT.
HYQ	10	Hydrangea "Quick Fire"	5 Gal.
HYL	22	Hydrangea "LimeLight"	5 Gal.
HLL	4	Hydrangea "Broomstruck"	5 Gal.
IKH	2	Ilex x "Keokhneana" (Not Nelli Stevens) specimen	6'-7" HT.
ILX	17	Ilex glabra "Densa" - Densa Inkberry	5 Gal.
ILS	5	Ilex c. "Steads" - Steeds upright holly	4'-5" HT.

It should be noted that 14 Spruce, 15 Arborvitae, and 3 Red Oak, included on this plan were part of the Master Landscape Plan dated February 7, 2020.

ALL THE PLANTS ABOVE, HAVE PROVEN TO BE DEER RESISTANT ON THE ADJACENT PROPERTIES AND BY RUTGERS UNIVERSITY.

PLANTING SPECIFICATIONS:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner.

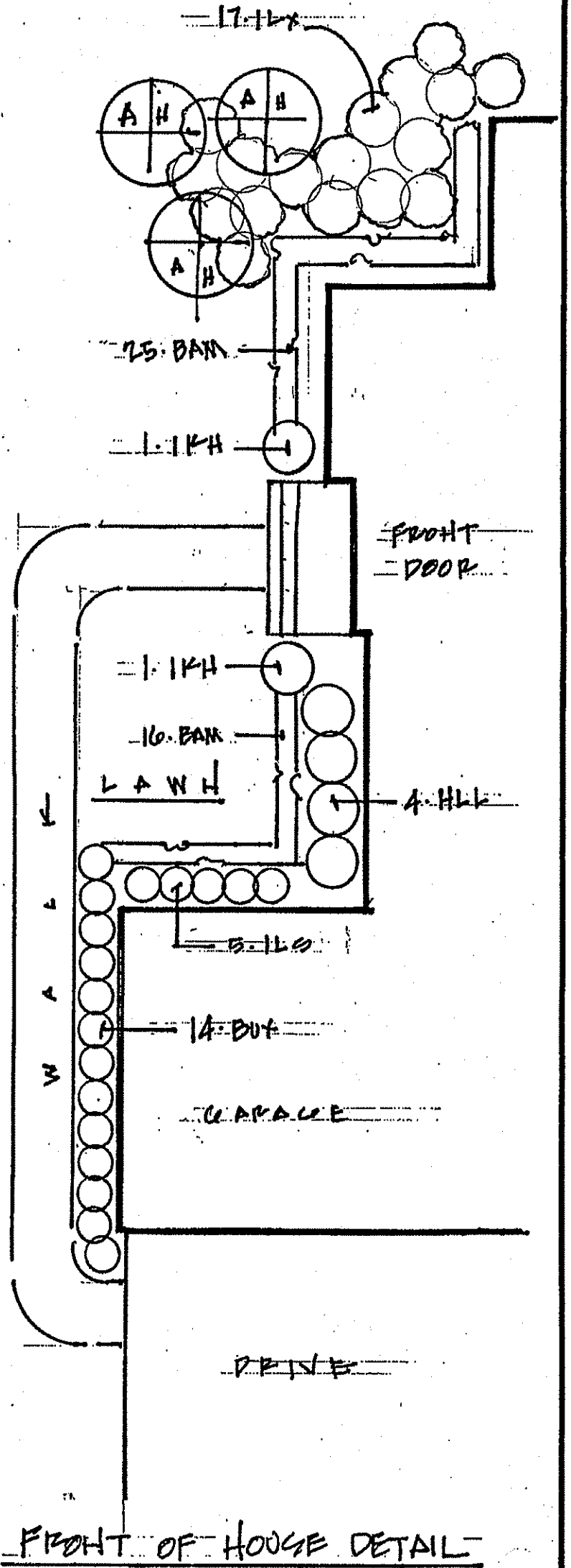
PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. The plants shall be planted at the same grade as they were in the container or nursery. Backfill for all planting pits shall be as follows: Two parts native soil, one-part screened topsoil and one-part peat moss or humus. "Roots Plus" shall be added to all backfill, as per label directions.

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark (not colored mulch). All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.

TOP SOIL: All topsoil shall be screened, native soil, free of any stones over 1" diameter. Top soil shall be spread and fine graded.

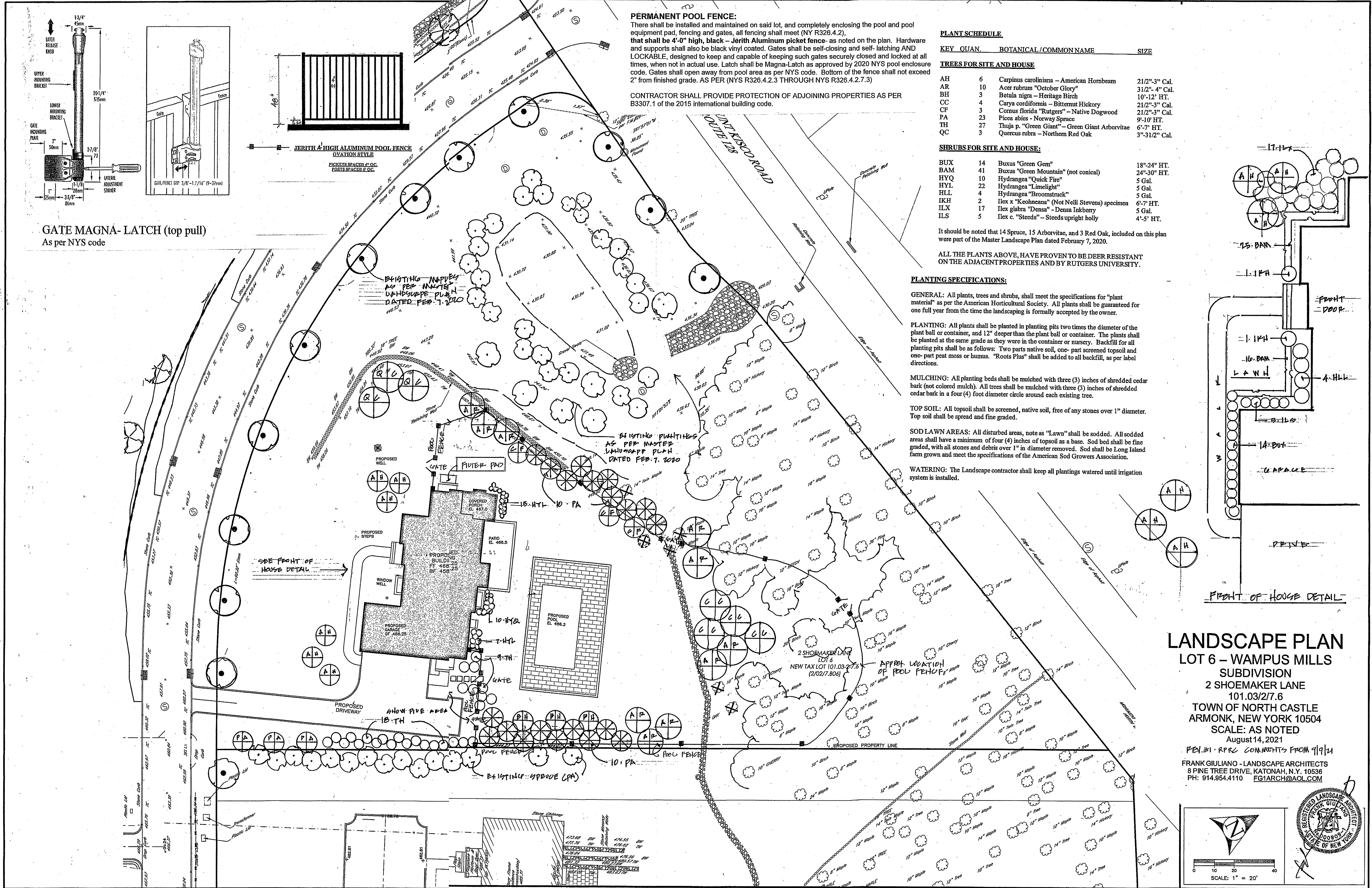
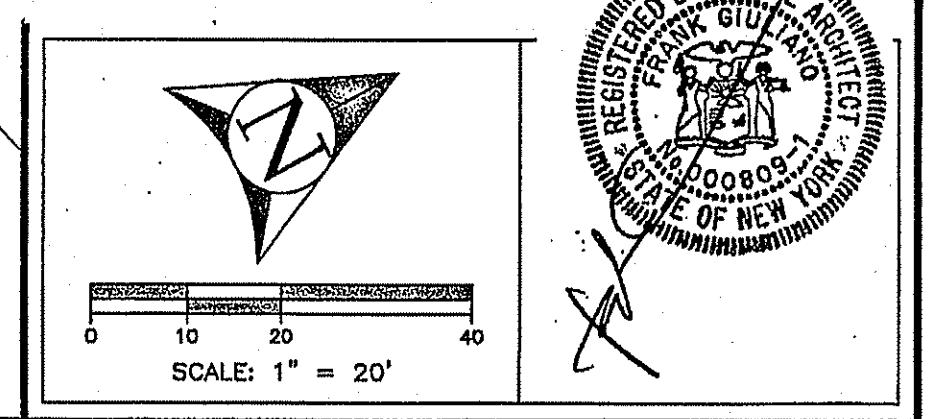
SOD LAWN AREAS: All disturbed areas, note as "Lawn" shall be sodded. All sodded areas shall have a minimum of four (4) inches of topsoil as a base. Sod bed shall be fine graded, with all stones and debris over 1" in diameter removed. Sod shall be Long Island farm grown and meet the specifications of the American Sod Growers Association.

WATERING: The Landscape contractor shall keep all plantings watered until irrigation system is installed.



LANDSCAPE PLAN
LOT 6 - WAMPUS MILLS
SUBDIVISION
2 SHOEMAKER LANE
101.03/27.6
TOWN OF NORTH CASTLE
ARMONK, NEW YORK 10504
SCALE: AS NOTED
August 14, 2021

REV.#1 - RPR COMMENTS FROM 9/19/21
FRANK GIULIANO - LANDSCAPE ARCHITECTS
8 PINE TREE DRIVE, KATONAH, N.Y. 10536
PH: 914.854.4110 FGIARCH@AOL.COM



SITE DEVELOPMENT POOL PLANS : 2 SHOEMAKER LANE ARMONK, NY 10504

OVERVIEW OF WORK:

- NEW BELOW GROUND POOL AND SURROUNDING POOL PATIO

BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
- ALL DIMENSIONS ARE TO ROUGH FRAMING
- CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
- CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
- THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
- ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
- DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL AND STATE LAW AND ORDINANCES.
- POOLS WITH DIVING BOARDS SHALL MEET DIVING BOARD MANUFACTURER'S POOL GEOMETRIC STANDARDS AND/OR LOCAL CODES.
- SIGNS & SAFETY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR OR OWNER SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS AT JOB SITE.
- POOL LENGTH, GRADE BREAK LOCATIONS & DEPTH DIMENSIONS AS NOTED ON THE PLOT PLAN SHALL COMPLY WITH APSP SUGGESTED MINIMUM STANDARDS FOR RESIDENTIAL POOLS OR APPLICABLE STATE AND LOCAL HEALTH DEPARTMENTS REGULATIONS AND MANUFACTURERS RECOMMENDATIONS.
- A SITE SPECIFIC SOILS INVESTIGATION MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION
- WHERE FREEZING TEMPERATURES OCCUR, THE POOL SHALL BE WINTERIZED TO PREVENT DAMAGE TO THE POOL STRUCTURE, PLUMBING, AND POOL EQUIPMENT, CONTACT LOCAL PROFESSIONAL FOR PROPER WINTERIZATION PROCEDURES.
- NO GROUND WATER SHALL BE ABOVE ANY PORTION OF THE POOL CONSTRUCTION.
- ALL SURFACE WATER SHALL DRAIN AWAY FROM THE POOL.
- ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
- THE NOISE LEVEL FROM THE POOL EQUIPMENT LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE OF AN ADJOINING PROPERTY, SHALL NOT EXCEED AMBIENT NOISE LEVEL BY MORE THAN FIVE DECIBELS.
- CONTINUOUS INSPECTION IS REQUIRED FOR SHOTCRETE/GUNITE POOLS.

POOL FOUNDATION NOTES:

- ALL FOUNDATIONS, FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED, NON-ORGANIC MATERIALS, COMPACTED STRUCTURAL FILL OR CRUSHED STONE.
- THE GENERAL CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA REGARDING OPEN HOLES, SLOPE STABILITY AND EXCAVATION PROCEDURES.
- BACKFILLING OF FOUNDATIONS SHALL NOT EXCEED MORE THAN 2'-0" UNBALANCED BACK FILL CONDITIONS WITHOUT TEMPORARY SHORING OF FOUNDATIONS WALLS, UNLESS FLOOR SYSTEM HAS BEEN FRAMED OR DECKED.
- WHEREVER BEDROCK IS ENCOUNTERED THE ROCK SHALL BE REMOVED TO 2'-0" BELOW BOTTOM OF FOOTINGS OR 1'-0" BELOW BOTTOM OF SLAB AND RESTORED IN 8" LIFTS OF COMPACTED CRUSHED STONE.
- A GEOTECHNICAL EXPLORATION AND TESTING HAS NOT BEEN UNDERTAKEN. IT IS RESPONSIBILITY OF OWNER OR CONTRACTOR TO UNDERTAKE ANY ADDITIONAL TEST PITS, BORINGS OR INVESTIGATION AS NECESSARY TO ASSURE MINIMUM BEARING CAPACITY.

ENTRAPMENT PROTECTION REQUIREMENTS

- SUCTION OUTLETS MUST BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA.
- SINGLE OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE MUST BE PROTECTED AGAINST USER ENTRAPMENT.
- ALL POOL AND SPA SUCTION OUTLETS (EXCEPT SURFACE SKIMMERS) MUST BE PROVIDED WITH:
 - A COVER THAT CONFORMS WITH REFERENCE STANDARD ASME/ANSI A112.19.8M, ENTITLED SUCTION FITTINGS FOR THE USE IN SWIMMING POOLS, WADING POOLS, SPAS, HOT TUBS, AND WHIRLPOOL BATH TUB APPLIANCES, OR
 - A DRAIN GATE THAT IS 12" x 12" OR LARGER, OR
 - A CHANNEL DRAIN SYSTEM APPROVED BY THE LOCAL CODE ENFORCEMENT OFFICIAL.
- ALL POOL AND SPA SINGLE OR MULTIPLE OUTLET CIRCULATION SYSTEMS MUST BE EQUIPPED WITH ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
 - SAFETY VACUUM RELEASE SYSTEM CONFORMING TO REFERENCE STANDARD ASME A112.19.17, ENTITLED MANUFACTURERS SAFETY VACUUM RELEASE SYSTEMS (SVRS) FOR RESIDENTIAL AND COMMERCIAL SWIMMING POOL, SPA, HOT TUB AND WADING POOL, OR
 - A GRAVITY DRAINAGE SYSTEM APPROVED BY THE LOCAL CODE ENFORCEMENT OFFICIAL.
- SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS MUST BE PROVIDED WITH A MINIMUM OF TWO (2) SUCTION OUTLETS OF THE APPROVED TYPE.
- THE SUCTION OUTLETS MUST BE SEPARATED BY A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF THREE (3) FEET.
- THESE SUCTION OUTLETS MUST BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.
- IF THE POOL OR SPA IS EQUIPPED WITH VACUUM OR PRESSURE CLEANER FITTING(S), EACH FITTING MUST BE LOCATED:
 - IN AN ACCESSIBLE POSITION WHICH IS AT LEAST SIX (6) INCHES AND NOT GREATER THAN TWELVE (12) INCHES BELOW THE MINIMUM OPERATIONAL WATER LEVEL, OR
 - AS AN ATTACHMENT TO THE SKIMMER(S).

STRUCTURAL NOTES

- SOIL SHALL HAVE A MINIMUM BEARING VALUE OF 2000 PSF, CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL OR BUILDING DEPARTMENT APPROVED 90% COMPACT FILL. THIS PLAN IS NOT SUITABLE WHERE POTENTIAL EXISTS FOR DIFFERENTIAL MOVEMENT FROM DISSIMILAR SOIL CONDITIONS UNDER POOL. SUCH AS CUT-FILL TRANSITIONS.
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS & CONFORM TO ASTM A615 GRADE 40 #4 BARS, SPLICES TO BE LAPPED A MINIMUM OF 24". MINIMUM CLEARANCE BETWEEN PARALLEL BARS IS 2-1/2".
- #4 BARS SHALL BE USED FOR THE BASIC GRID. THE MAXIMUM SPACING IS #4 BARS AT 18" O.C..
- THE PLAN TABLES SPECIFY THE MINIMUM REQUIRED REINFORCEMENT. FOR CONVENIENCE OF THE INSTALLER, THERE MAY BE MORE REINFORCEMENT THAN SPECIFIED AT ANY GIVEN POINT IN THE POOL STRUCTURE.
- GROUNDING/BONDING (PER THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE) OF THE STRUCTURAL REINFORCING MUST BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE.
- SHOTCRETE (GUNITE) OR CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. WHERE APPLICABLE, SHOTCRETE (GUNITE) TO BE IN CONFORMANCE WITH IBC SECTION 1904 DURABILITY REQUIREMENTS. CONCRETE THAT WILL BE EXPOSED TO FREEZING AND THAWING, DEICING CHEMICALS OR OTHER CONCRETE THAT WILL BE SUBJECT TO THE FOLLOWING EXPOSURES SHALL CONFORM TO THE CORRESPONDING MAXIMUM WATER-CEMENTITIOUS MATERIALS RATIOS AND MINIMUM SPECIFIED CONCRETE COMPRESSIVE STRENGTH REQUIREMENTS OF ACI 318; CONCRETE INTENDED TO HAVE LOW PERMEABILITY WHERE EXPOSED TO WATER, CONCRETE EXPOSED TO FREEZING AND THAWING IN A MOIST CONDITION OR DEICER CHEMICALS, OR CONCRETE WITH REINFORCEMENT WHERE THE CONCRETE IS EXPOSED TO CHLORIDES FROM DEICING CHEMICALS, SALT, SALT WATER, BRACKISH WATER, SEAWATER OR SPRAY FROM THESE SOURCES. CEMENT SHALL CONFORM TO ACI 318 SECTION 3.2, ASTM C 150.
- SHOTCRETE/GUNITE IN CONTACT WITH SOIL SHALL BE IN ACCORDANCE WITH ACI 318 SECTION 4.3 FOR CONCRETE EXPOSURE TO SULFATE AND AS DIRECTED BY LOCAL BUILDING OFFICIAL.
- KEEP CONCRETE DAMP CONTINUOUSLY FOR 14 DAYS.
- ALL INTERIOR SURFACES OF POOL/SPA SHALL BE COATED WITH A WATER-RESISTANT SURFACE.
- FLOOR TO WALL TRANSITION RADIUS MAY VARY DEPENDING ON CONTRACTOR OR OWNER DESIGN INTENT. RADIUS SHALL NOT BE LESS THAN 1-FOOT AND SHALL NOT EXCEED 5- FEET.
- IN AREAS WITH SOIL CONDITIONS SUBJECT TO FROST-HEAVE, THE FOLLOWING REQUIREMENTS APPLY:
 - IN ACCORDANCE WITH BUILDING CODE REQUIRMENT, THE ENTIRE BOTTOM OF POOL STRUCTURE AND OR PLUMBING MUST EXTEND BELOW THE FROST LINE OF THE LOCALITY.
 - ALTERNATIVELY, WHERE DAMAGE TO THE POOL STRUCTURES, PLUMBING, ADJACENT STRUCTURES AND SURFACE IMPROVEMENTS IS A CONCERN, SELF-DRAINING GRANULAR BACKFILL MAY BE EXTENDED BELOW THE FROST-LINE WITH A MEANS TO PRECLUDE BUILD-UP OF WATER.

POOL ALARM REQUIREMENTS:

EVERY SWIMMING POOL THAT IS INSTALLED, CONSTRUCTED OR SUBSTANTIALLY MODIFIED AFTER DECEMBER 14, 2006 MUST BE EQUIPPED WITH AN APPROVED POOL ALARM WHICH:

- IS CAPABLE OF DETECTING A CHILD ENTERING THE WATER AND GIVING AN AUDIBLE ALARM WHEN IT DETECTS A CHILD ENTERING THE WATER;
- IS AUDIBLE POOLSIDE AND AT ANOTHER LOCATION ON THE PREMISES WHERE THE SWIMMING POOL IS LOCATED;
- IS INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS;
- IS CLASSIFIED TO REFERENCE STANDARD ASTM F2208, ENTITLED *STANDARD SPECIFICATION FOR POOL ALARMS* (EITHER THE VERSION ADOPTED IN 2002 AND EDITORIALY CORRECTED IN JUNE 2005, OR THE VERSION ADOPTED IN 2007); AND
- IS NOT AN ALARM DEVICE WHICH IS LOCATED ON PERSON(S) OR WHICH IS DEPENDENT ON DEVICE(S) LOCATED ON PERSON(S) FOR ITS PROPER OPERATION.

ELECTRICAL AND PLUMBING

ALL ELECTRICAL SHALL BE IN CONFORMANCE WITH NEC.

- IN ACCORDANCE WITH NEC REQUIRMENTS ALL METAL WITHIN 5' HORIZ. OF INSIDE WALL OF POOL AND 12' VERT. ABOVE WATER LINE MUST BE BONDED VIA EQUIPOTENTIAL BONDING GRID. BONDING GRID SHALL EXTEND UNDER PAVED WALKING SURFACES 3' HORIZ. BEYOND INSIDE WALL OF POOL. CONCRETE REINFORCING TIE WIRES SHALL BE MADE TIGHT FOR BONDING PURPOSES.
- OBTAIN ELECTRICAL AND PLUMBING PERMITS ALONG WITH POOL BUILDING PERMIT.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH LOCAL REGULATIONS.
- POOLS SHALL BE EQUIPPED WITH A FILTERING SYSTEM & A DRAIN.
- BACKWASH SHALL BE DISPOSED OF IN AN APPROVED MANNER.
- POOL/SPA WATER HEATER AND GAS PIPING INSTALLATION TO BE IN CONFORMANCE WITH ALL LOCAL CODE REQUIREMENTS.
- WHERE REINFORCING STEEL IS ENCAPSULATED WITH A NONCONDUCTIVE COMPOUND, PROVISIONS SHALL BE MADE FOR AN ALTERNATIVE MEANS TO ELIMINATE VOLTAGE GRADIENTS THAT WOULD OTHERWISE BE PROVIDED BY BONDED REINFORCING STEEL.

ENERGY STATEMENT:

I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.

CLIMATE ZONE: ZONE (4) WESTCHESTER

BUILDING TYPE: 1- FAMILY RESIDENTIAL

TEMPORARY POOL ENCLOSURES:

- DURING THE INSTALLATION OR CONSTRUCTION OF A SWIMMING POOL, THE SWIMMING POOL MUST BE ENCLOSED BY A TEMPORARY ENCLOSURE. THE TEMPORARY MAY CONSIST OF A TEMPORARY FENCE, A PERMANENT FENCE, THE WALL OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE, OR ANY COMBINATION OF THE FOREGOING, HOWEVER:
- ALL PORTIONS OF THE TEMPORARY ENCLOSURE MUST BE AT LEAST FOUR(4) FEET HIGH, AND
- ALL COMPONENTS OF THE TEMPORARY ENCLOSURE MUST BE SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL BY ANY PERSON NOT ENGAGED IN THE INSTALLATION OR CONSTRUCTION PROCESS AND TO PROVIDE FOR THE SAFETY OF ALL SUCH PERSONS.
- THE TEMPORARY ENCLOSURE MUST REMAIN IN PLACE THROUGHOUT THE PERIOD OF INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, AND THEREAFTER UNTIL THE INSTALLATION OR CONSTRUCTION OF A PERMANENT ENCLOSURE HAS BEEN COMPLETED. THE TEMPORARY ENCLOSURE MUST BE REPLACED BY A PERMANENT ENCLOSURE. THE PERMANENT ENCLOSURE MUST COMPLY WITH ALL APPLICABLE NEW YORK STATE CODES OR REGULATIONS APPLICABLE TO SWIMMING POOL ENCLOSURES OR BY ANY LOCAL LAW APPLICABLE TO SWIMMING POOL ENCLOSURES AND IN EFFECT IN THE LOCATION WHERE THE SWIMMING POOL HAS BEEN INSTALLED OR CONSTRUCTED.
- THE PERMANENT ENCLOSURE MUST BE COMPLETE WITHIN NINETY DAYS AFTER THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, OR THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, WHICHEVER IS LATER.

ENCLOSURES AND SAFETY DEVICES

- PRIOR TO FILLING, THE POOL AND OR SPA SHALL BE COMPLETELY ENCLOSED BY 4' MIN. HIGH FENCING & GATES WITH NO OPENINGS GREATER THAN 4". GATES TO BE SELF-CLOSING & SELF-LATCHING WITH LATCH A MIN. OF 4' HIGH. WHERE THIS VARIES FROM LOCAL CODES, THE LOCAL CODES SHALL PREVAIL.

SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE SHALL BE PROTECTED AGAINST USER ENTRAPMENT. ALL POOL AND SPA SUCTION OUTLETS SHALL BE PROVIDED WITH A COVER THAT CONFORMS TO ASME A112.19.8M, A 12-INCH BY 12-INCH DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM WITH THE EXCEPTION OF SURFACE SKIMMERS.

IN ADDITION, WHEN REQUIRED BY CODE, ALL POOL AND SPA SINGLE- OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH AN ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS: 1. SAFETY VACUUM RELEASE SYSTEMS CONFORMING TO ASME A112.19.17S; OR 2. APPROVED GRAVITY DRAINAGE SYSTEM.

IN ADDITION, WHERE PROVIDED, VACUUM OR PRESSURE CLEANER FITTINGS(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES AND NOT GREATER THAN 12 INCHES BELOW THE MINIMUM OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

BARRIER REQUIREMENTS: OUTDOOR RESIDENTIAL SWIMMING POOLS

AN OUTDOOR RESIDENTIAL SWIMMING POOL MUST BE PROVIDED WITH A BARRIER WHICH COMPLETELY SURROUNDS THE SWIMMING POOL AND OBSTRUCTS ACCESS TO THE SWIMMING POOL. PROPOSED BARRIER FOR THIS POOL INSTALLATION SHALL BE BY MEANS OF FENCING

BARRIERS PROVIDED FOR OUTDOOR RESIDENTIAL SWIMMING POOLS MUST SATISFY THE FOLLOWING REQUIREMENTS:

- THE BARRIER MUST COMPLETELY SURROUND THE SWIMMING POOL AND MUST OBSTRUCT ACCESS TO THE SWIMMING POOL.
- THE BARRIER MUST BE AT LEAST 4 FEET (48 INCHES) HIGH.
- THE SPACE BETWEEN THE BOTTOM OF THE BARRIER AND THE GROUND CANNOT EXCEED 2 INCHES.

DWELLING WALL AS BARRIER

- WALLS OF DWELLING THAT SERVE AS PART OF BARRIER SHALL COMPLY WITH RCNYS R326.4.2.8 REQUIREMENTS.
- ANY DOOR & WINDOW WITH DIRECT ACCESS TO POOL SHALL BE EQUIPPED WITH AUDIBLE ALARM IN ACCORDANCE WITH UL 2017
- ACTIVATION TIMING SHALL BE IN COMPLIANCE WITH R326.4.2.6 A
- ANY OPERABLE WINDOWS IN THE WALL SHALL HAVE LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE FLOOR.
- OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4 INCH DIA. SPHERE TO PASS THROUGH\
- WHERE AN ALARM IS PROVIDE THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES OR MORE ABOVE THE THRESHOLD OF THE DOOR.

POOL HEATER NOTES:

- A READILY ACCESSIBLE ON-OFF SWITH THAT IS AN INTEGRAL PART OF THE HEATER SHALL BE PROVIDED IN COMPLIANCE WITH 2020 RCNYS N1103.10.1
- A TIME SWITCH WITH PRE-SET SCHEDULE CONTROL SHALL BE INSTALLED FOR HEATER AND PUMP MOTORS.
- POOL COVER SHALL BE PROVIDED FOR HEATED POOL WITH MINIMUM R-VALUE OF R-12.
- ENERGY CONSUMPTION OF POOLS SHALL BE IN ACCORDANCE WITH RCNYS SECTION N1103.10.1-3

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	SETBACK
	FENCING
	SILT FENCING
	EXISTING GRADE
	PROPOSED GRADE
	DRAIN PIPE
	GRAVEL
	TRENCH DRAIN
	PATIO
	POOL WATER
	COPING
	ELEV. +252.0

PRESUMPTIVE SOIL LOAD BEARING VALUES				
CLASS OF MATERIALS	VERTICAL PRESSURE	LATERAL PRESSURE	COEFFICIENT OF FRICTION	COHESION
4. SANDS, SILTS, SANDS, CLAYEY SAND, SILTY GRAVEL, & CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000 PSF	150 PSF/FT BELOW GRADE	0.25	130 PSF

*As per New York State International Building Code Table 1906.2

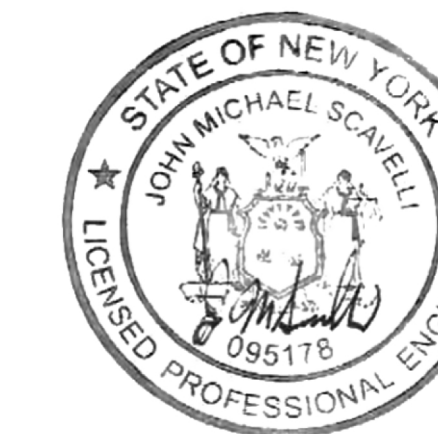


www.ResReal.com
(914)-330-7712
 2875 Route 35
 Katonah, NY 10536

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 2 SHOEMAKER LANE
 PROJECT TOWN: ARMONK, NY
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 10L03-2-7.6
 OCCUPANCY: SINGLE-FAMILY DWELLING
 ZONING CODE: R-2A

ISSUE	DATE	BY	CHECKED	APPROVED
0	06/01/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
2 Shoemaker Lane
Armonk, NY 10504

DRAWING TITLE:
SITE IMPROVEMENTS
POOL PLANS

S -101

NOTES: **SALOMON**

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 2 SHOEMAKER LANE
 PROJECT TOWN: ARMONK, NY
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 101.03-2-7.6
 OCCUPANCY: SINGLE-FAMILY DWELLING
 ZONING CODE: R-2A

ISSUE	DATE	BY	CHECKED	APPROVED
0	06/01/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
 JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
**2 Shoemaker Lane
 Armonk, NY 10504**

DRAWING TITLE:
**SITE IMPROVEMENTS
 DETAILS SHEET 2**

S -102

NOTES: **SALOMON**

EROSION CONTROL MEASURE NOTES:

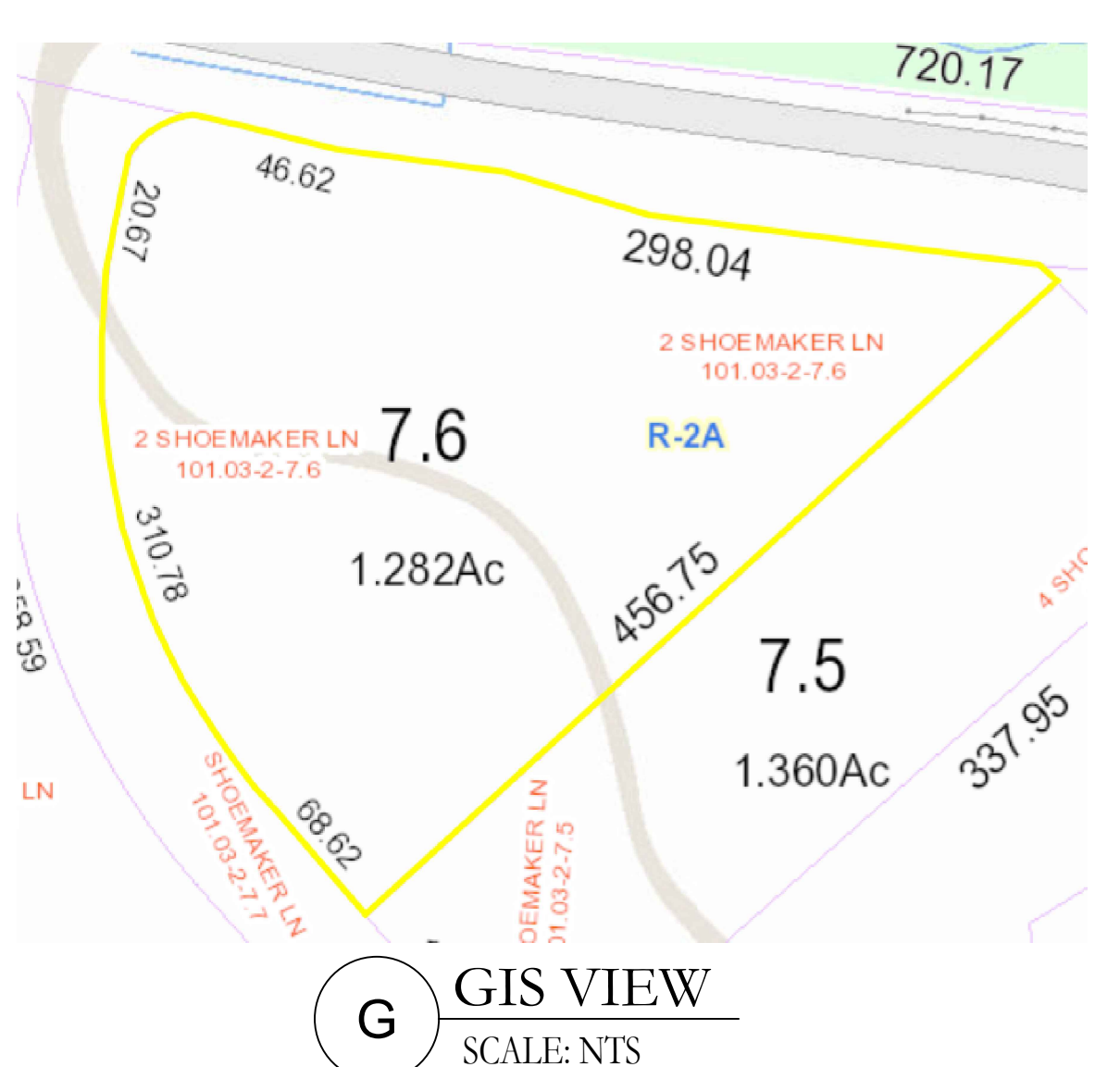
- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION..
- APPROVAL OF THIS EROSION CONTROL MEASURES DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES SHALL BE ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING .
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE EROSION CONTROL FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10 FEET, PER THE INTERNATIONAL RESIDENTIAL CODE R401.3.

LANDSCAPING NOTES:

- FURNISH ALL MATERIALS, LABOR AND RELATED ITEMS AS REQUIRED FOR LANDSCAPING FINISHES AROUND PREMISES.
- ALL DISTURBED GRASS AREAS SHALL BE REPLANTED WITH NEW GRASS SEED AND SHALL BE APPROPRIATELY COVERED TO FACILITATE NEW SEASONAL GRASS GROWTH.
- ALL DEBRIS, ROCKS, FOREIGN OBJECTS OVER 2" DIAMETER SHALL BE REMOVED FROM TOP SURFACE OF ALL PREPARED LANDSCAPE AREAS PRIOR TO ANY NEW LANDSCAPING WORK.
- SEED MIXTURE CONTAINING 40% PERENNIAL RYE GRASS, 25% CHEWING FESCUE AND 10% OF MIXED CLOVER OR SIMILAR COVERAGE SHALL BE SPREAD OVER EXCAVATED PREMISES AT THE RATE OF 100 POUNDS PER ACRES. SEED SHALL BE BRUSHED IN LIGHTLY AND ROLLED FIRM.
- EXISTING TREES AND SHRUBS ON SITE SHALL BE PROTECTED DURING CONSTRUCTION.
- EXISTING SHRUBS AND TREES SHALL BE GROOMED AND TRIMMED AND ALL ADDITIONAL DEBRIS TO BE REMOVED FROM SITE.

MATERIAL REMOVAL NOTES:

- NO MATERIALS SHALL BE EXCAVATED OR REMOVED EXCEPT FROM THOSE AREAS AND PORTIONS OF EXCAVATED PREMISES AS ARE INDICATED FOR EXCAVATION OR REMOVAL ON SITE PLAN.
- NO MATERIALS SHALL BE EXCAVATED OR REMOVED FROM ANY AREA OR PORTION OF THE EXCAVATED PREMISES AT ANY DEPTH BELOW THE PROPOSED GRADE SHOWN FOR SUCH AREA OR PORTION OF AREA.
- THE GRADES AND SLOPES OF THE EXCAVATED PREMISES SHALL BE FINISHED IN ACCORDANCE WITH ALL DETAILS SHOWN ON TOPOGRAPHICAL MAP.



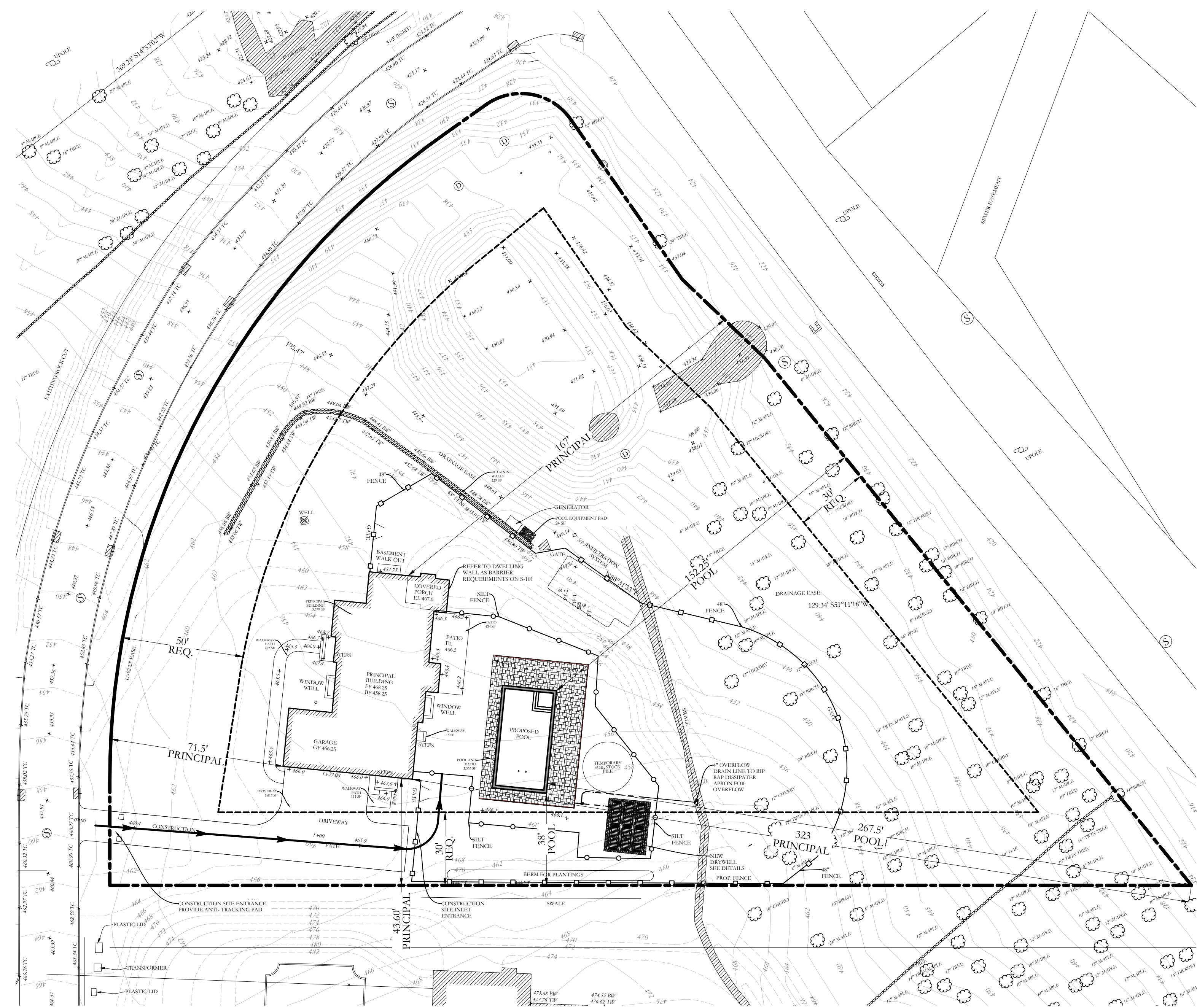
G GIS VIEW
 SCALE: NTS

AREA OF DISTURBANCE: 6,675 SF DISTURBANCE SHALL BE STAKED IN FIELD SILT FENCE TO SURROUND CONSTRUCTION SITE	PERCOLATION TEST DATE: TBD REFER TO SITE PLAN FOR FINAL TEST LOCATION
MIN 48" POOL FENCE BARRIER AROUND PROPERTY	FOR PROPOSED REGRADING REFER TO SITE PLAN
ELECTRICAL INSTALLATION SHALL BE INSTALLED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NYSRC CHAPTER 42-SWIMMING POOLS	NO TREES TO BE REMOVED AS PART OF PROJECT
POTABLE WATER PROTECTION FOR POOL TO COMPLY WITH P2902 OF NYSRC	POOL BARRIER MUST BE AT LEAST 48" ABOVE GRADE AND MUST COMPLETELY SURROUND SWIMMING POOL AREA POOL ENCLOSURE TO COMPLY WITH R326-4.2 PERMANENT BARRIERS
A STORM WATER AND EROSION CONTROL PERMIT SHALL BE REQUIRED	ALL SUCTION FITTINGS SHALL COMPLY WITH ANSI SPSP/ICC PER CODE SECTION R326.5.1. ENTRAPMENT PROTECTION SHALL COMPLY WITH R326.5
ALIGN POOL EDGE PARALLEL TO PRINCIPAL BUILDING	

ZONING CONFORMANCE TABLE				
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA [SF]	87,120	N/A	87,870	NO
LOT AREA [ACRES]	2	N/A	2	NO
FRONT YARD 1 [FT]	50	N/A	71.5	NO
SIDE YARD 1 [FT]	30	N/A	43.60	NO
SIDE YARD 2 [FT]	30	N/A	167	NO
REAR YARD [FT]	30	N/A	323	NO
MAX BUILDING COVERAGE [%]	8%	N/A	4%	NO
POOL SIDE YARD 1 [FT]	25	N/A	38	NO
POOL SIDE YARD 2 [FT]	25	N/A	152.25	NO
POOL REAR YARD [FT]	25	N/A	267.5	NO

Z ZONING REQUIREMENTS
 SCALE: NTS

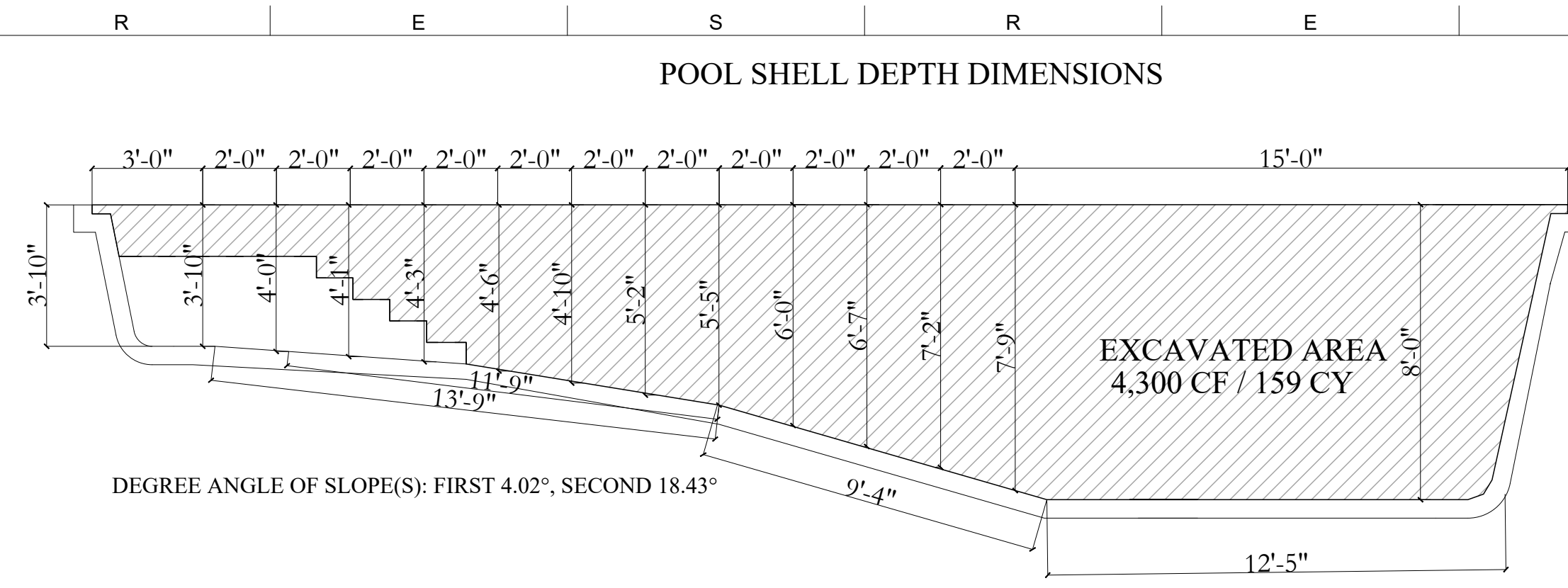
GROSS LAND COVERAGE:
 PRINCIPAL BUILDING (EXISTING) - 3,579 SF
 ASPHALT DRIVEWAY (EXISTING) - 2,617 SF
 TERRACES (EXISTING) - 434 SF
 WALKWAYS (EXISTING) - 533 SF
 RETAINING WALLS (EXISTING) - 299 SF
 EQUIPMENT (PROPOSED) - 24 SF
 POOL & PATIO (PROPOSED) 2,333 SF
 TOTAL COVERAGE: 9,819 SF



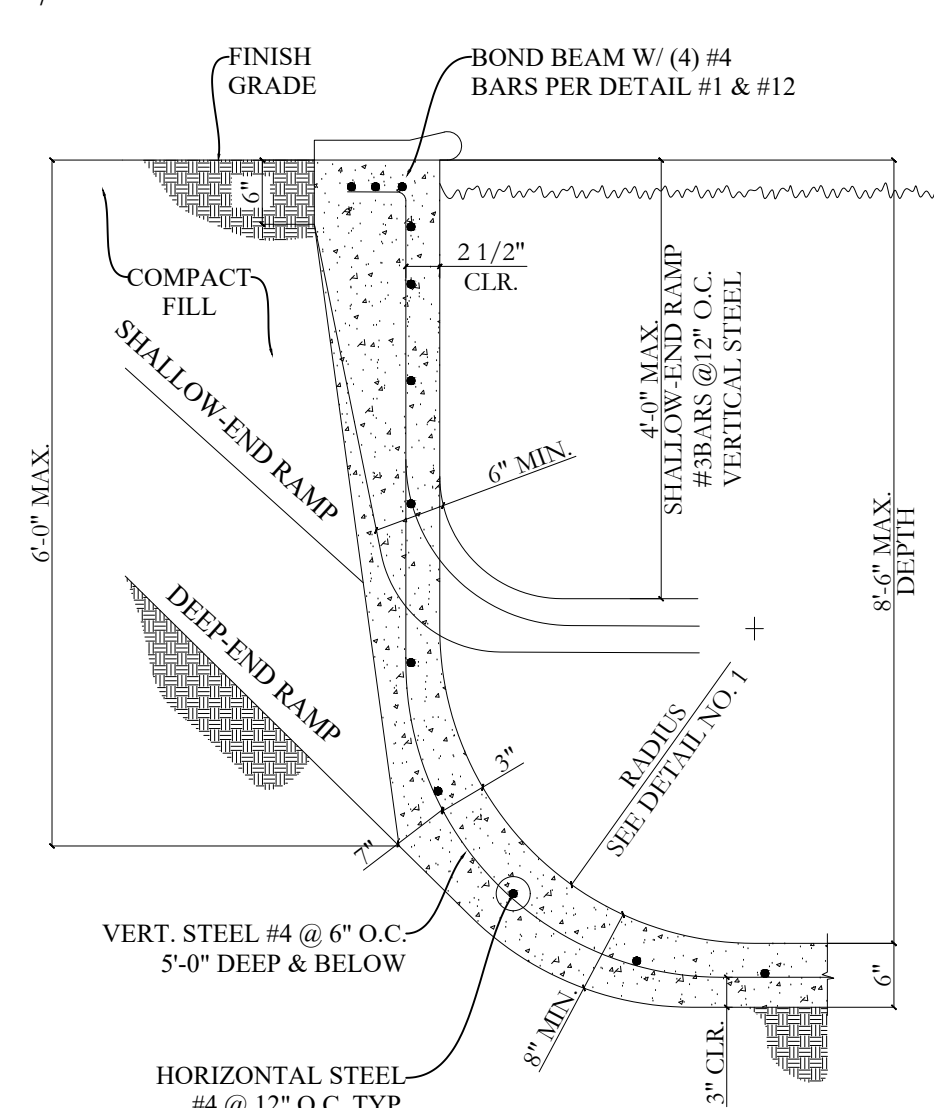
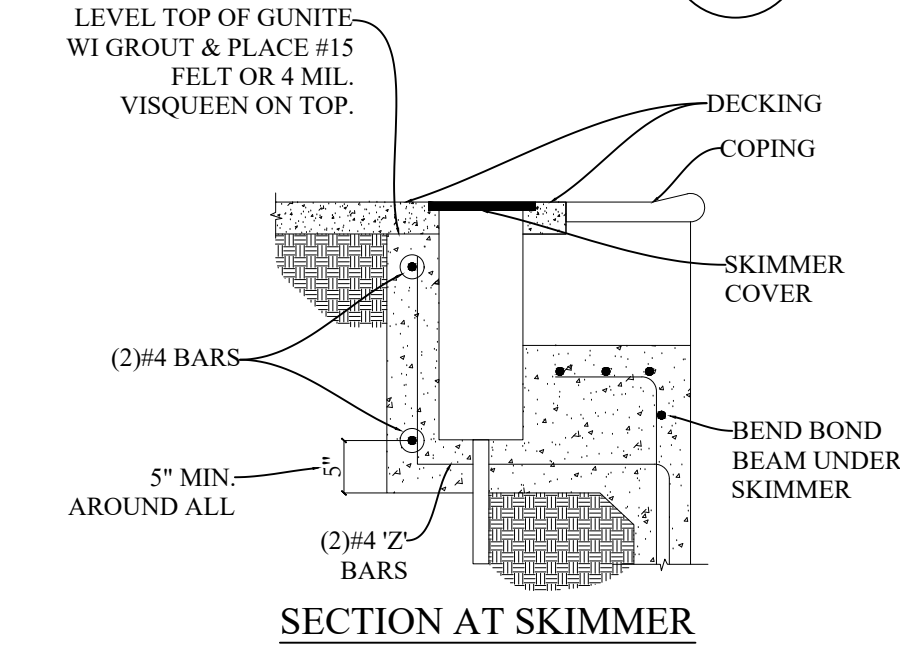
S-1 SITE PLAN
 SCALE: 1"=30'-0"

THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.

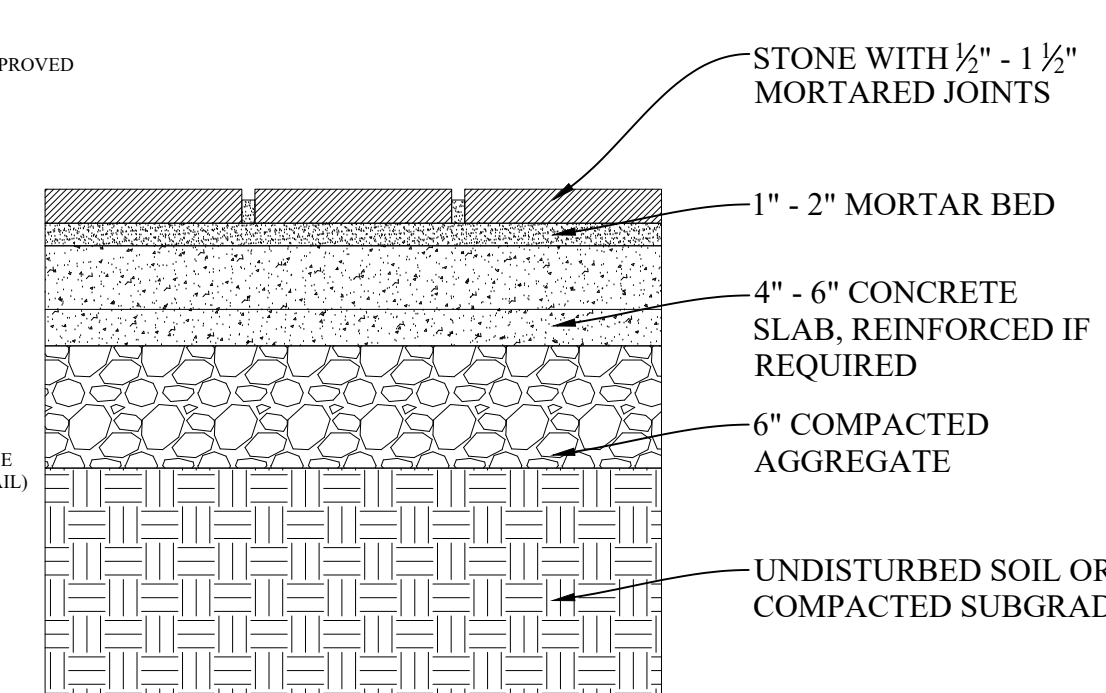
PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 2 SHOEMAKER LANE
PROJECT TOWN: ARMONK, NY
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 10L03-2-7-6
OCCUPANCY: SINGLE-FAMILY DWELLING
ZONING CODE: R-2A



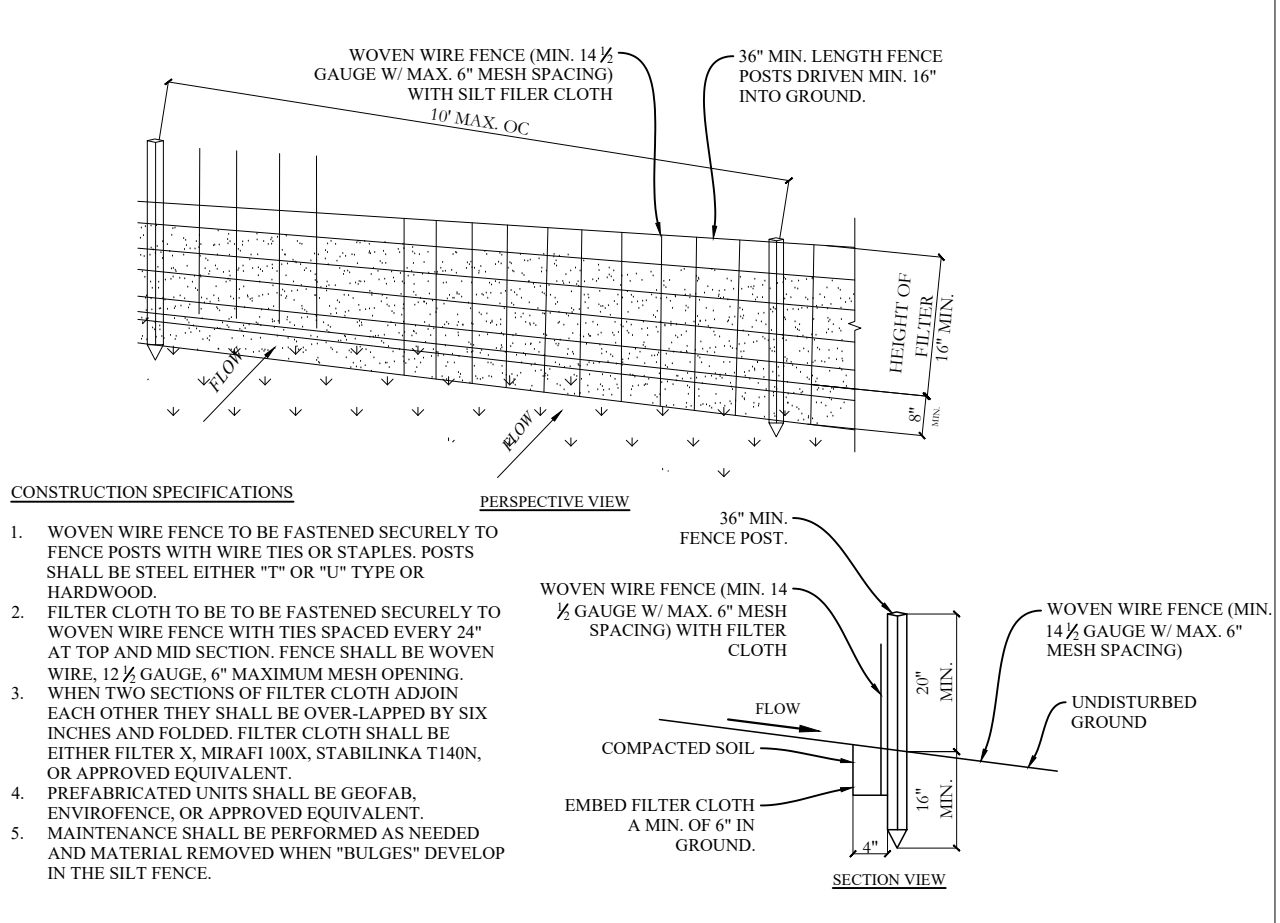
DEPTH OF POOL SECTION
SCALE: 1/4" = 1'-0"



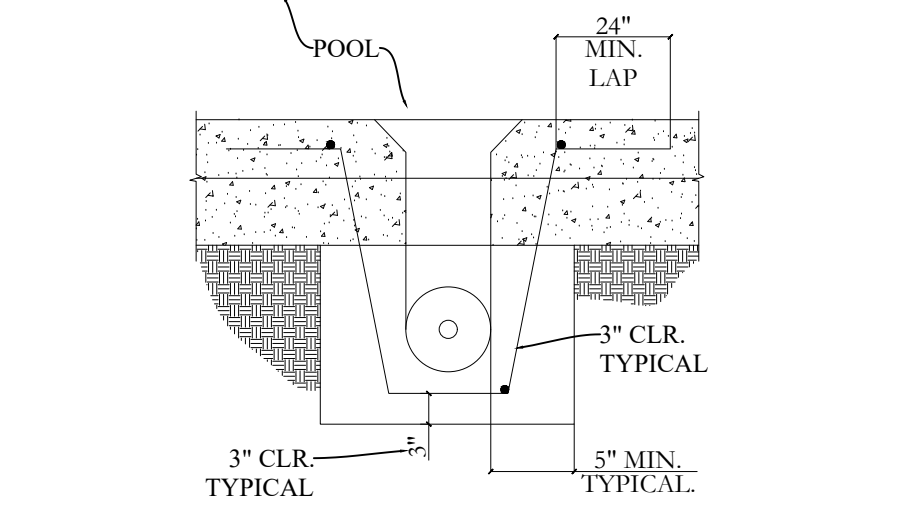
SOIL STOCK PILE DETAIL
SCALE: NTS



PATIO DETAILS
SCALE: NTS



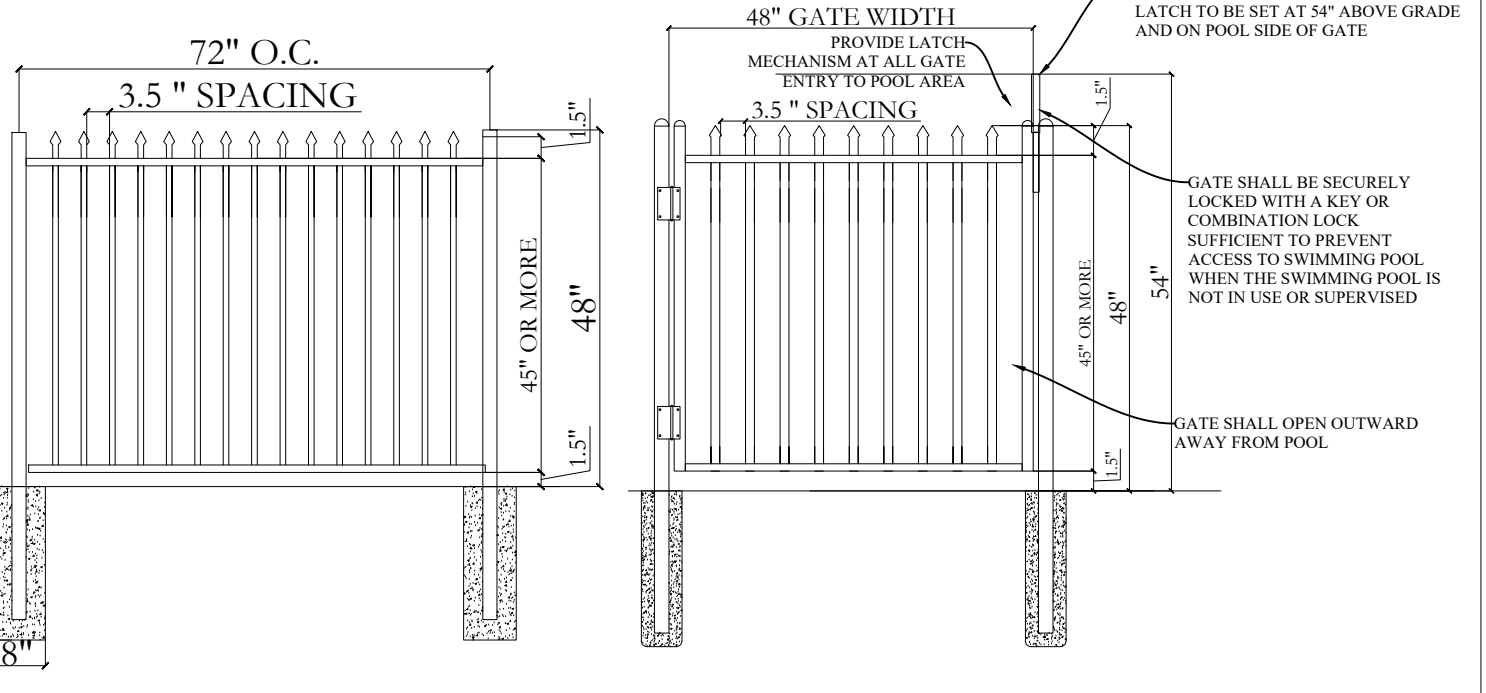
SILT FENCE DETAILS
SCALE: NTS



SECTION AT SKIMMER

- BENCH AND STEP OPTIONS:**
- UNDISTURBED EARTH MAY BE LEFT IN PLACE TO FORM THE STEPS OR BENCHES. REINFORCING STEEL SHOULD BE PLACED AROUND THE STEP OR BENCH SHAPED EARTH (3" CLEAR FROM EARTH).
 - THE EARTH MAY BE REMOVED AND BENCHES AND STEPS MAY BE FORMED OF SHOTCRETE (GUNITE) WITHIN THE STRUCTURAL POOL SHELL. REINFORCING AT THE SURFACE OF THE BENCHES AND STEPS IS OPTIONAL.

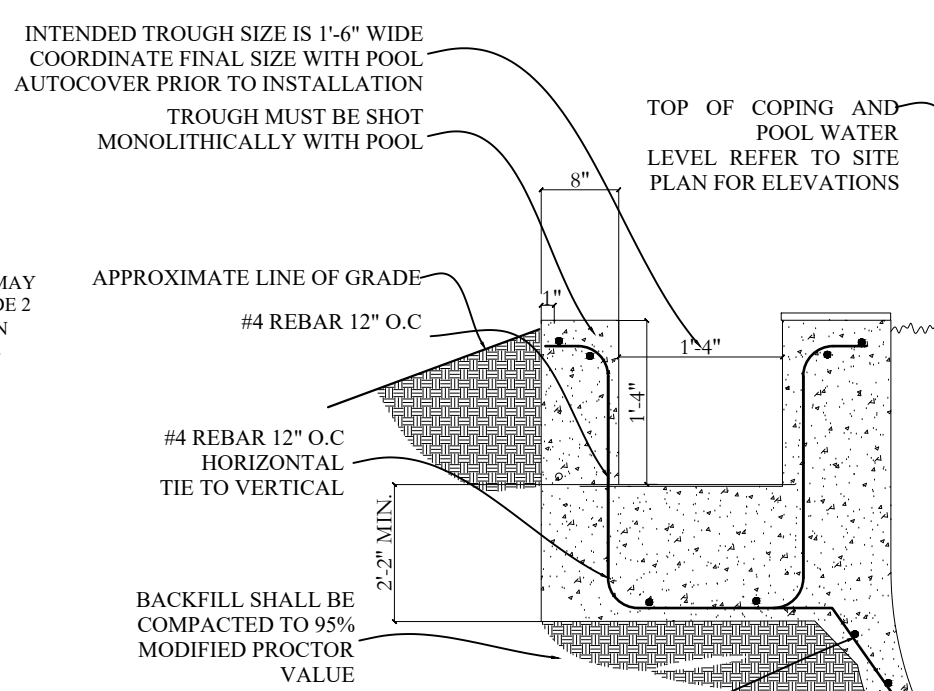
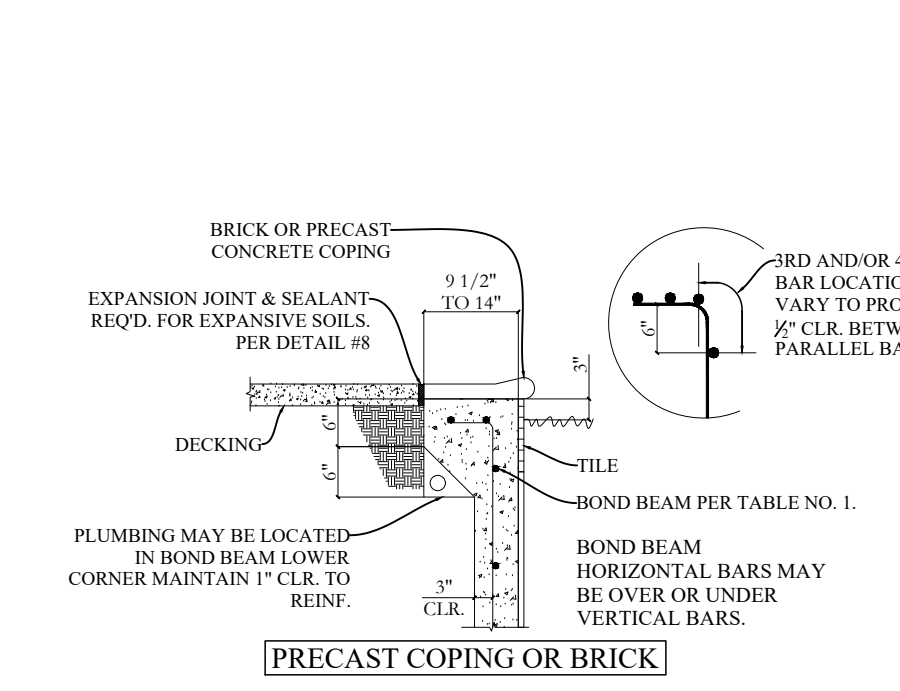
- FENCE NOTES:**
- FENCING SHALL BE 48" IN HEIGHT.
 - FENCE GATES SHALL BE 48"x48" AND SWING OUTWARD DIRECTION AWAY FROM POOL AREA.
 - SPACE BETWEEN BOTTOM OF FENCE BARRIER AND GROUND SHALL NOT EXCEED 2".
 - FENCE POSTS SHALL BE SET IN 8"x42" 3,000 PSI CONCRETE PIERS.
 - FENCING SHALL BE BLACK ALUMINUM.
 - FENCE STYLE SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
 - FENCING SHALL BE INSTALLED IN COMPLIANCE WITH NEW YORK STATE BUILDING CODE REQUIREMENTS.
 - FENCING AND GATES SHALL BE INSTALLED AND PERMITTED AS REQUIRED BY LOCAL JURISDICTION.



FENCE/GATE DETAILS
SCALE: NTS

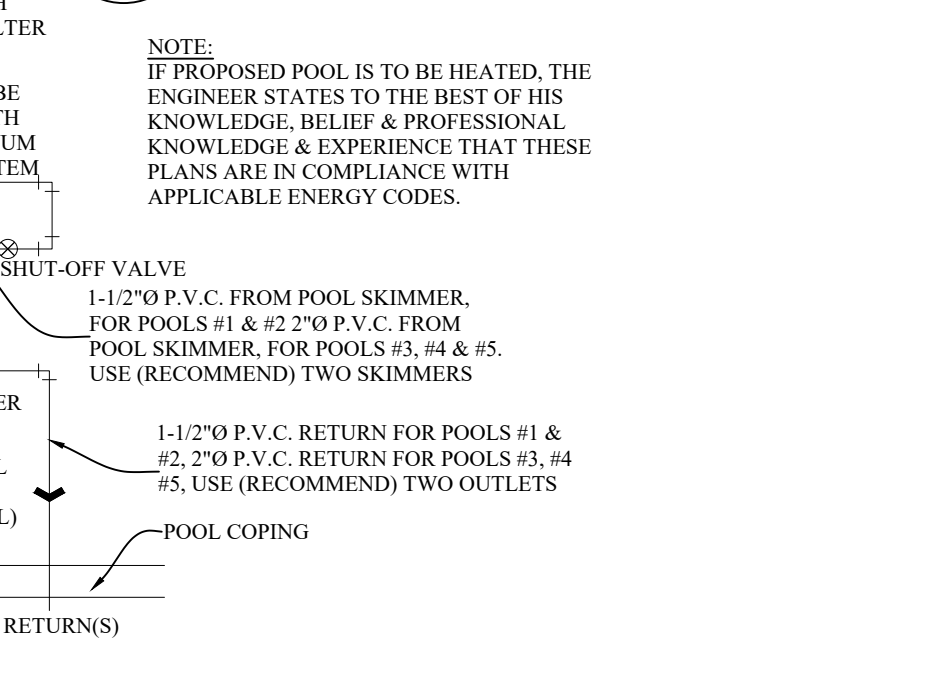
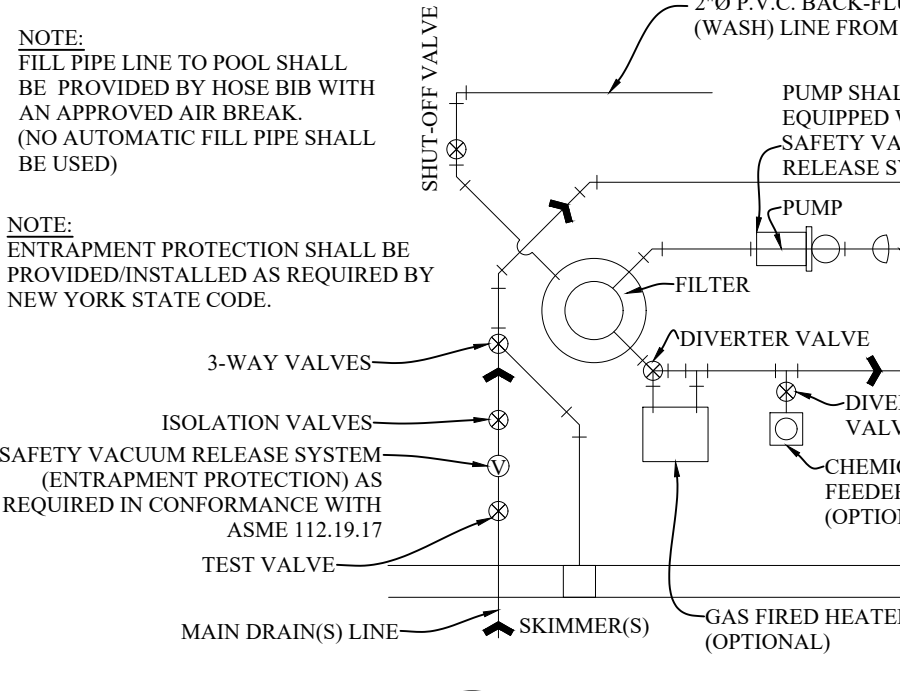
SKIMMER DETAIL
SCALE: NTS

LIGHT DETAILS
SCALE: NTS



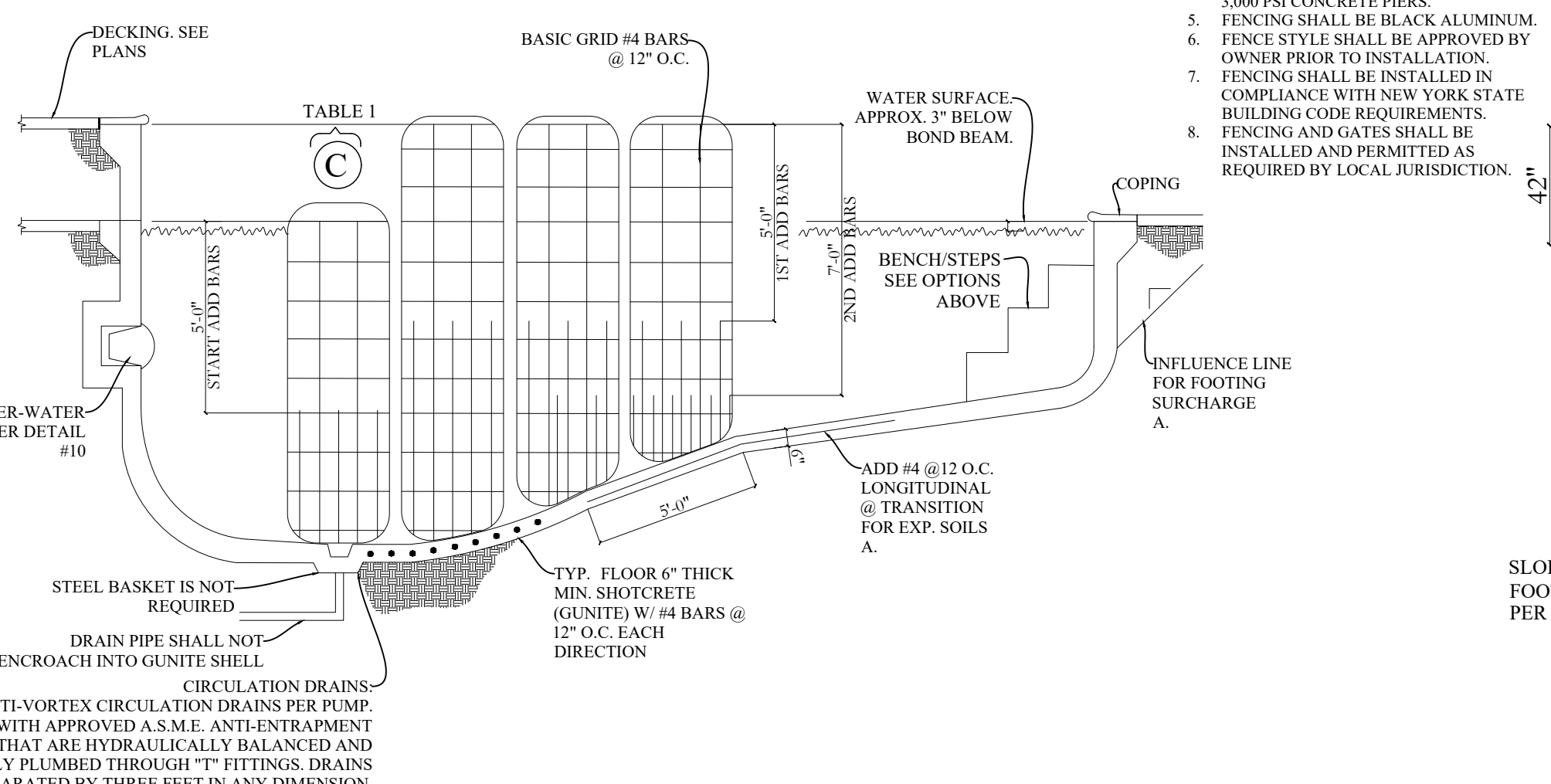
BOND BEAM/COPING DETAILS
SCALE: NTS

POOL COVER TROUGH DETAIL
SCALE: NTS

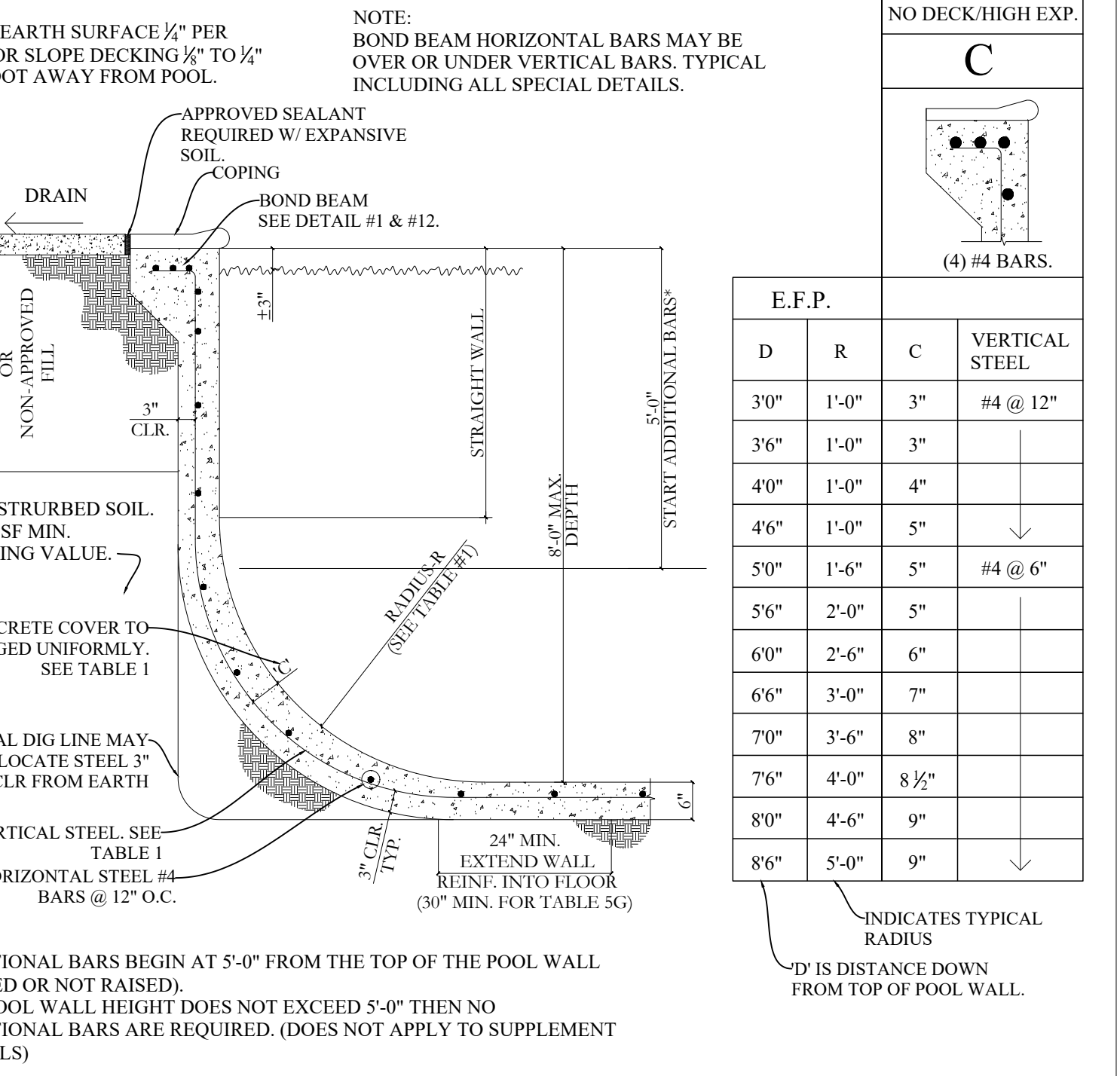


FILTER SCHEMATIC
SCALE: NTS

SPA DETAILS
SCALE: NTS

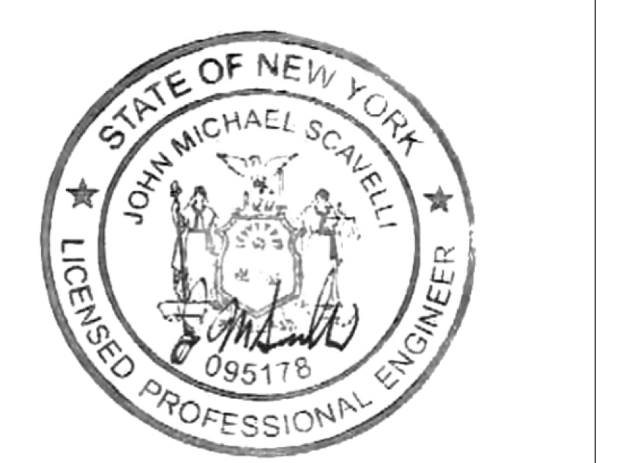


LONGITUDINAL SECTION DETAILS
SCALE: NTS



STANDARD WALL REINFORCEMENT DETAILS
SCALE: NTS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
2 Shoemaker Lane
Armonk, NY 10504

DRAWING TITLE:
SITE IMPROVEMENTS
DETAILS SHEET 4

S -104
NOTES:
SALOMON

CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS

GENERAL
 CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC.
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMED.
- THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES TALL, 52 INCHES WIDE AND 8.5 FEET LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET.
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES HDPE.
- THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES HIGH BY 11.5 INCHES WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES TALL, 16 INCHES WIDE AND 24.2 INCHES LONG.
- THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT³ / FT² - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT - WITHOUT STONE.
- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT² - WITHOUT STONE.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES HIGH X 34.5 INCHES WIDE.
- THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES HIGH X 34.5 INCHES WIDE.
- THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER SHALL HAVE A 6 INCH DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
- MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET
- THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

STORM WATER RETENTION NOTES

- THE STORM WATER RETENTION SYSTEM SHALL NOT BE CONNECTED FOR USE UNTIL CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- EXISTING DRAINAGE SYSTEM NOTES**
- THE CURRENT SITE DOES NOT HAVE A MEANS OF STORM WATER RETENTION.
 - A NEW STORM WATER SYSTEM IS PROPOSED FOR ADDITIONAL SITE COVERAGE.

CULTEC NO. 66™ WOVEN GEOTEXTILE

GENERAL
 CULTEC NO. 66™ WOVEN GEOTEXTILE IS UTILIZED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE.

GEOTEXTILE PARAMETERS

- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 315 LBS (1.40KN) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TENSILE ELONGATION RESISTANCE OF 15% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A MULLEN BURST RESISTANCE OF 600PSI (4138 KPA) PER ASTM D3786 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TEAR RESISTANCE OF 115 LBS (0.51 KN) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PUNCTURE RESISTANCE OF 150 LBS (0.66 KN) PER ASTM D4833 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 900 LBS (4.00 KN) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 70% @ 500 HRS. PER ASTM D4355 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.05 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 4 GPM/FT2 (160 LPM/M2) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERCENT OPEN AREA OF <1% PER CW-02215 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL CONSIST OF A 100% HIGH-TENACITY, SILT-FILM POLYPROPYLENE YARNS.

POST STORM WATER MANAGEMENT MAINTENANCE NOTES:

- SYSTEM SHOULD BE INSPECTED PRIOR TO SYSTEM OPERATION.
- STORMWATER INSPECTION PORTS ARE TO BE MONITORED ON A ROUTINE BASIS.
- ALL GUTTERS AND DOWNSPOUT SYSTEMS LEADING TO STORMWATER RETENTION AREAS SHOULD BE MAINTAINED FREE OF DEBRIS AND CLEANED ON A ROUTINE BASIS.
- OVERFLOW PORTS SHOULD BE MONITORED.
- SYSTEM RECOMMENDED TO BE CLEANED :
 - WHERE SYSTEM IS EXPERIENCING SILT AND/OR SOIL BUILD UP AS NOTED THROUGH THE INSPECTION PORT OR PRETREATMENT HOOD.
 - IF OUTLET PIPING IS NOTED TO BE CLOGGED AND WATER DISCHARGE IS NOTED FROM OVERFLOW SURCHARGE PIPING EXTREME PRECIPITATION TABLE

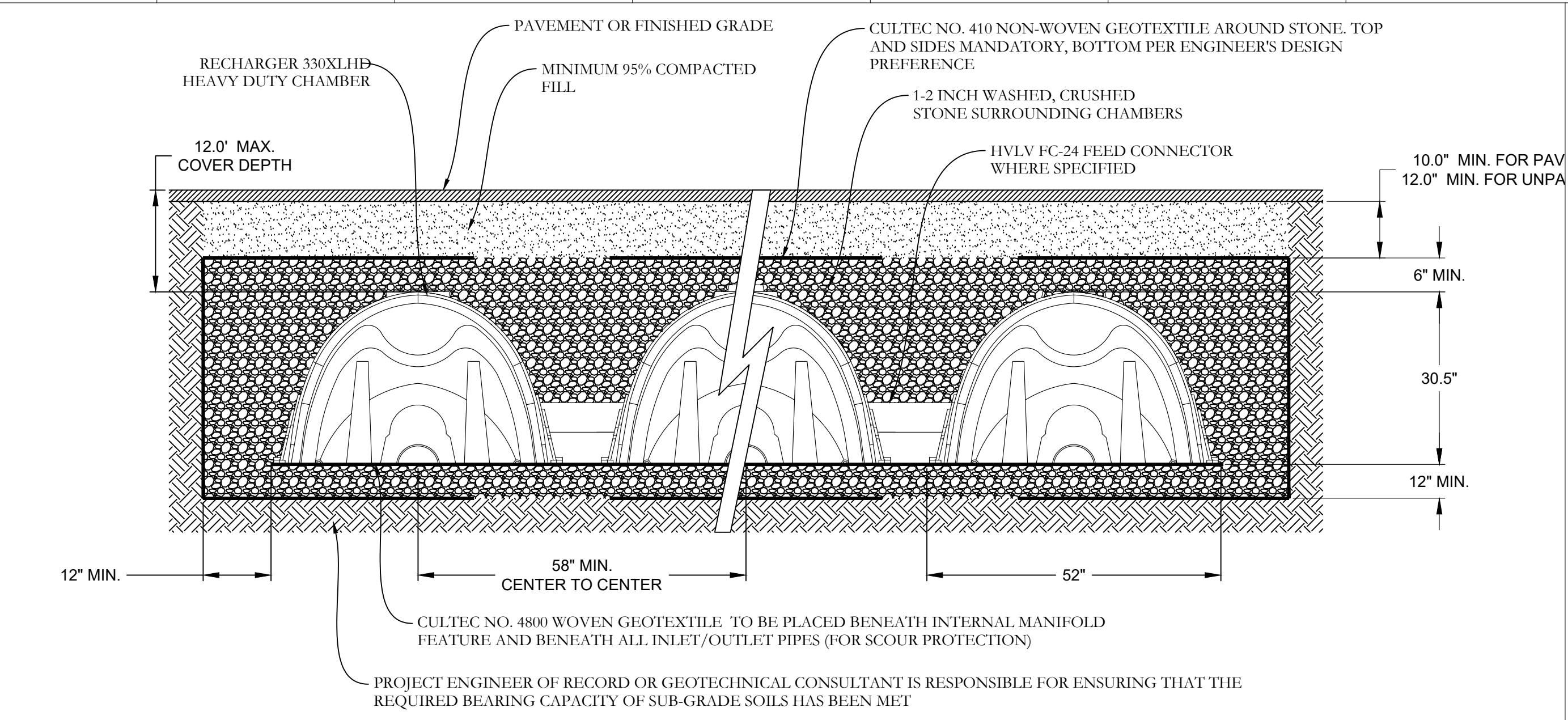
STATE:	NEW YORK
LONGITUDE:	73.71 WEST
LATITUDE:	41.140 NORTH
25 YEAR/24HR - 6.46INCHES/HR	
SOURCE:	NORTHEAST REGIONAL CLIMATE CENTER (NRCC)
	NATURAL RESOURCES CONSERVATION SERVICE (NRCS)

STORM WATER RETENTION NOTES			
METHOD:	TR-55		
PROPOSED CURVE NUMBER (CN):	98		
PROPOSED CURVE NUMBER (CN):	DRIVEWAYS/ROOFS		
EXISTING CURVE NUMBER (CN):	75		
CURVE NUMBER (CN):	RESIDENTIAL		
SOIL TYPE:	LpC URBAN LAND -PAXTON COMPLEX 8-15% HYDROLOGIC SOIL- GROUP B		
SOIL SURVEY WESTCHESTER COUNTY:	PaB -0.6-2.0 IN/HR		

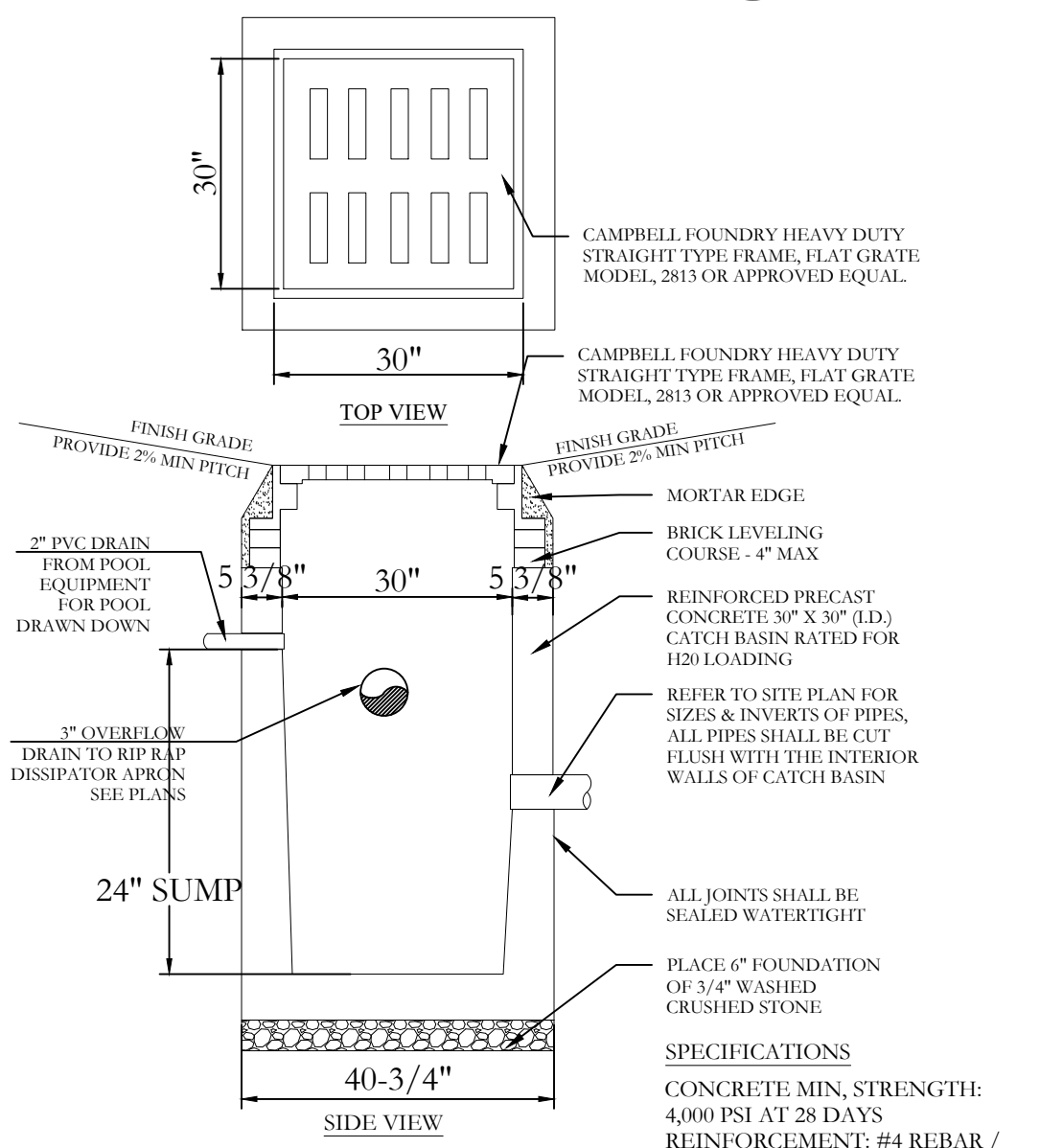
STORM WATER RETENTION CALCULATIONS			
Cultec 330XLHD Capacity per Unit	86.03	CF	
Area of Impervious	2333	SF	
Location Longitude/Latitude	73.7114W / 41.140N		
Rainfall Event	25	Yrs	
Rainfall Duration	24	Hrs	
Rainfall Rate	6.46	IN/HR	
New Impervious - Paved/Roofs/Patio	95	CN	
Q/ Direct Runoff	6.19	IN	
Flowing Feet @ Peak CN 75	1.63	IN	
Net Increase	2.56	IN	
Increase in Run Off	497.76	CF	
Loss Reduction/Abatement*	0	CF	
NET PERCOLATION CREDIT USED	0	CF	
15" Covered Reservoir			
Type	CF Capacity/Unit	Required # of Units	
Cultec 330XLHD Capacity per Unit	86.03	5.70	
Total # of Required Units	48		
Total Required Capacity for 6"	400		
Drawdown mitigation practice	400		
Increase in Run Off	497.76	CF	
Proposed # of Units	48		
Proposed Capacity	518.18	CF	
Total Capacity	1014.1%		

STORM WATER RETENTION MATERIAL					
AREA [SF]	CHAMBERS [QTY]	CHAMBER VOLUME	STONE VOLUME	STONE VOID	
(DW-1)	2333	6	516.18 ^{cuft}	18.78 ^{cuft}	40%

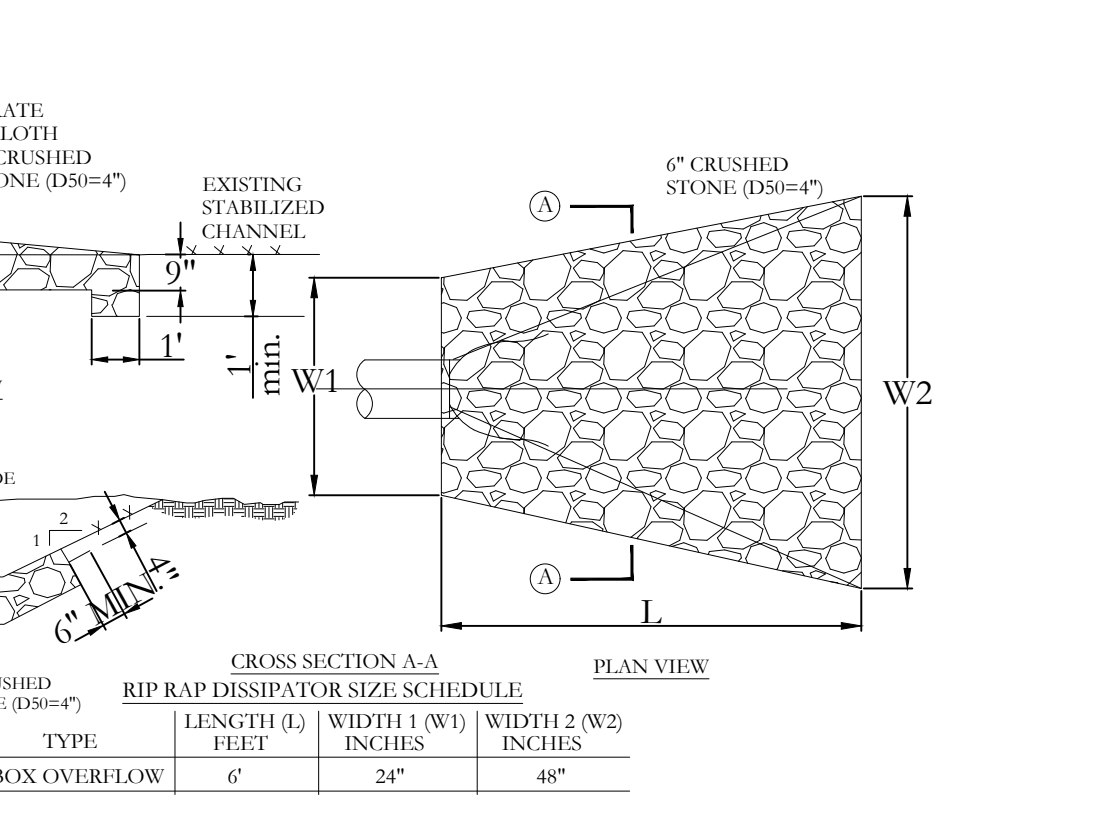
*12" STONE ABOVE CROWN, 18" STONE FOUNDATION DEPTH, 12" SIDE COVER



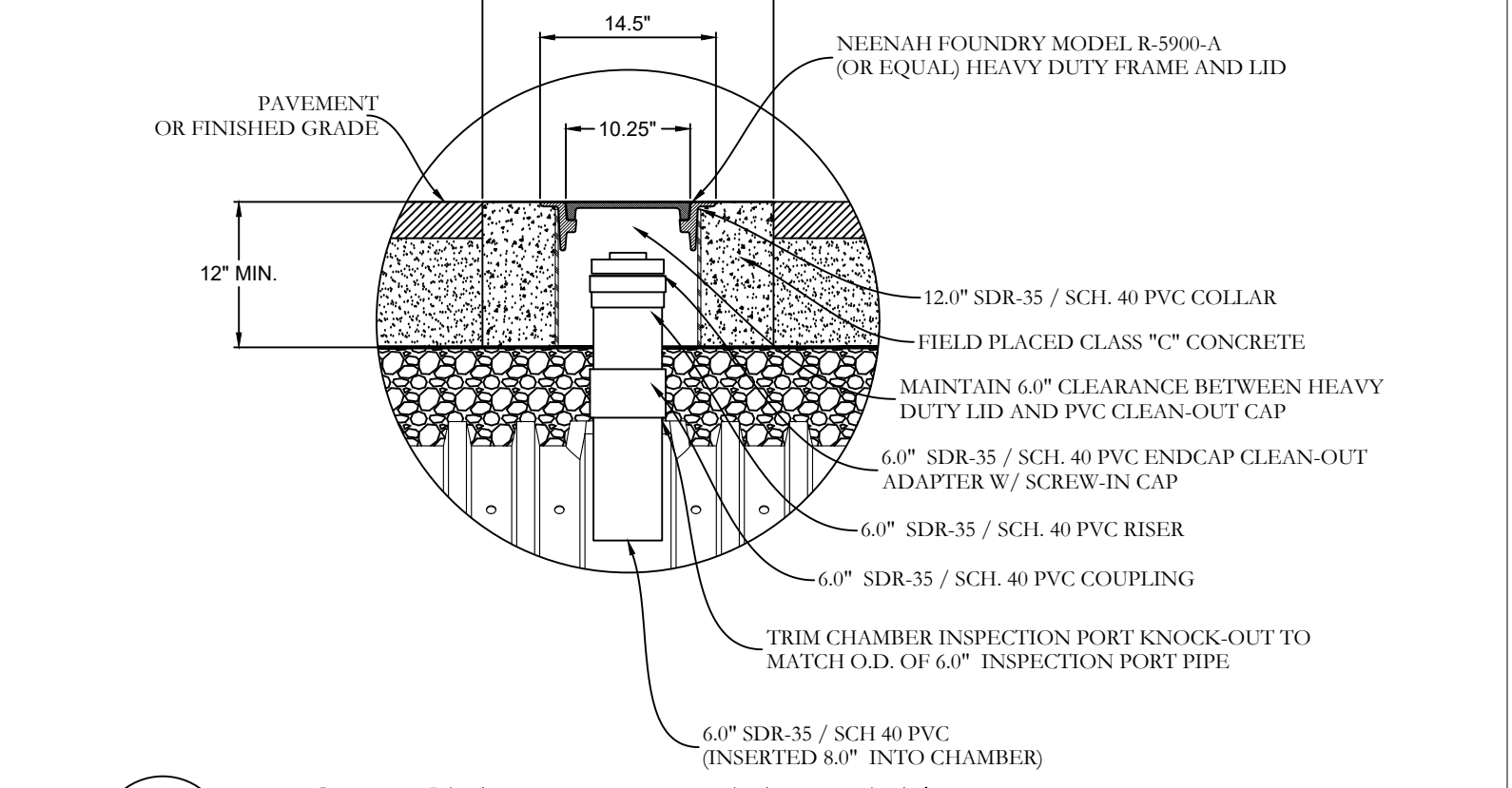
DRYWELL DETAILS
 SCALE: NTS



DRYWELL PRETREATMENT DETAIL
 SCALE: NTS

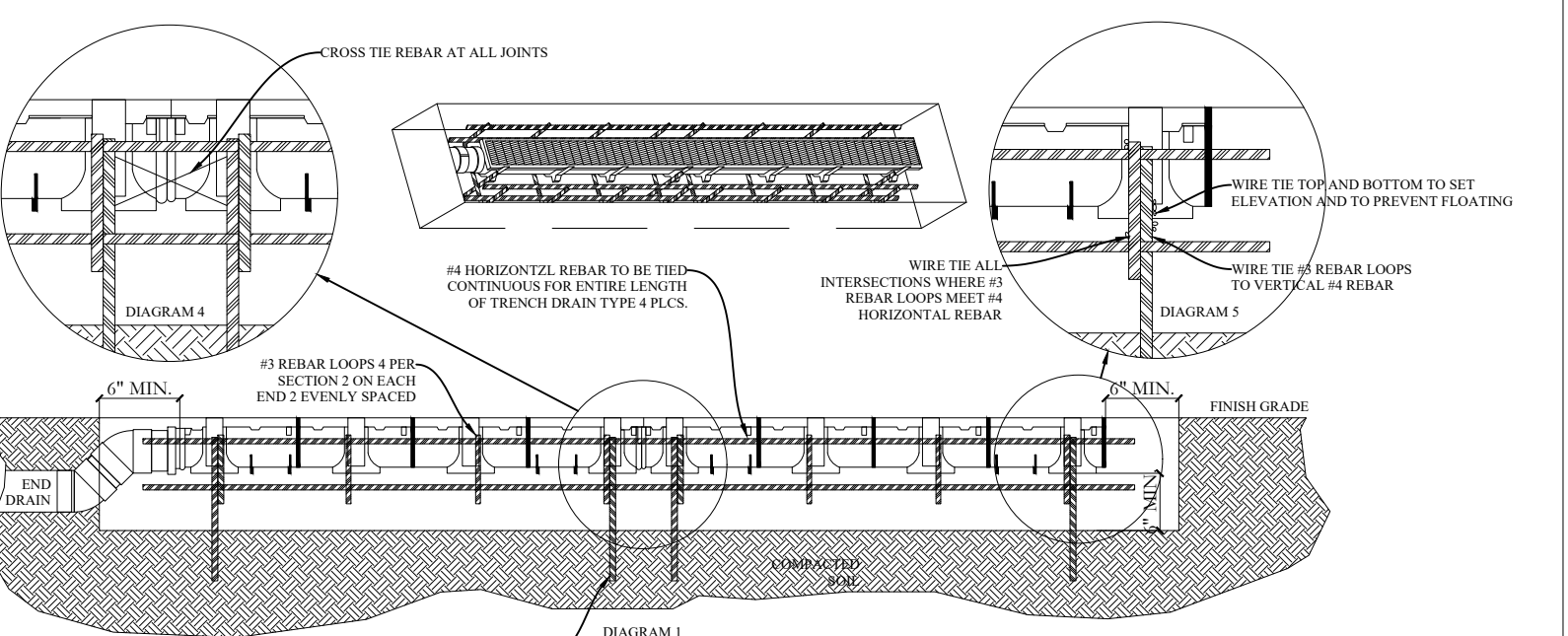


INSPECTION PORT DETAIL
 SCALE: NTS



TRENCH DRAIN NOTES:

- TRENCH DRAINS SYSTEM SHALL BE POLYLOK HEAVY DUTY TRENCH DRAIN PL-90860 OR APPROVED EQUAL
- TRENCH DRAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR H-20 LOADING.
- TRENCH DRAIN SYSTEM SHALL BE SET IN 6" CONCRETE SURROUNDING BASE.
- CONCRETE TO BE MINIMUM 5,000 AIR ENTRAINED CONCRETE MIX.
- TRENCH DRAIN SHALL HAVE MINIMUM QTY (4) #4 VERTICAL REBARS INSTALLED PER EACH TRENCH DRAIN SECTION. REBAR SHALL BE CROSS TIED AS PER DETAILS.
- PROVIDE MINIMUM OF 8" COMPACTED BASE OF 3/4" WASHED GRAVEL BELOW TRENCH DRAIN INSTALLATION



TRENCH DRAIN DETAIL
 SCALE: NTS

- TRENCH DRAIN NOTES:**
- TRENCH DRAIN SYSTEM SHALL BE POLYLOK HEAVY DUTY TRENCH DRAIN PL-90860 OR APPROVED EQUAL.
 - TRENCH DRAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR H-20 LOADING.
 - TRENCH DRAIN SYSTEM SHALL BE SET IN 6" CONCRETE SURROUNDING BASE.
 - CONCRETE TO BE MINIMUM 5,000 AIR ENTRAINED CONCRETE MIX.
 - TRENCH DRAIN SHALL HAVE MINIMUM QTY (4) #4 VERTICAL REBARS INSTALLED PER EACH TRENCH DRAIN SECTION. REBAR SHALL BE CROSS TIED AS PER DETAILS.
 - PROVIDE MINIMUM OF 8" COMPACTED BASE OF 3/4" WASHED GRAVEL BELOW TRENCH DRAIN INSTALLATION



www.ResReal.com
 (914)-330-7712
 2875 Route 35
 Katonah, NY 10536

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 2 SHOEMAKER LANE
 PROJECT TOWN: ARMONK, NY
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 101.03-2-7.6
 OCCUPANCY: SINGLE FAMILY DWELLING
 ZONING CODE: R-2A

ISSUE	DATE	BY	CHECKED	APPROVED
0	06/01/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
 JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
**2 Shoemaker Lane
 Armonk, NY 10504**

DRAWING TITLE:
**SITE IMPROVEMENTS
 DETAILS SHEET 5**

S -105
 NOTES:
SALOMON

GROSS LAND COVERAGE:
PRINCIPAL BUILDING (EXISTING) - 3,579 SF
ASPHALT DRIVEWAY (EXISTING) - 2,617 SF
TERRACES (EXISTING) - 434 SF
WALKWAYS (EXISTING) - 533 SF
RETAINING WALLS (EXISTING) - 299 SF
EQUIPMENT (PROPOSED) - 24 SF
POOL & PATIO (PROPOSED) 2,333 SF
TOTAL COVERAGE: 9,819 SF

ISSUE	DATE	BY	CHECKED	APPROVED
0	06/01/2022	JMS	JMS	JMS

SEAL &
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

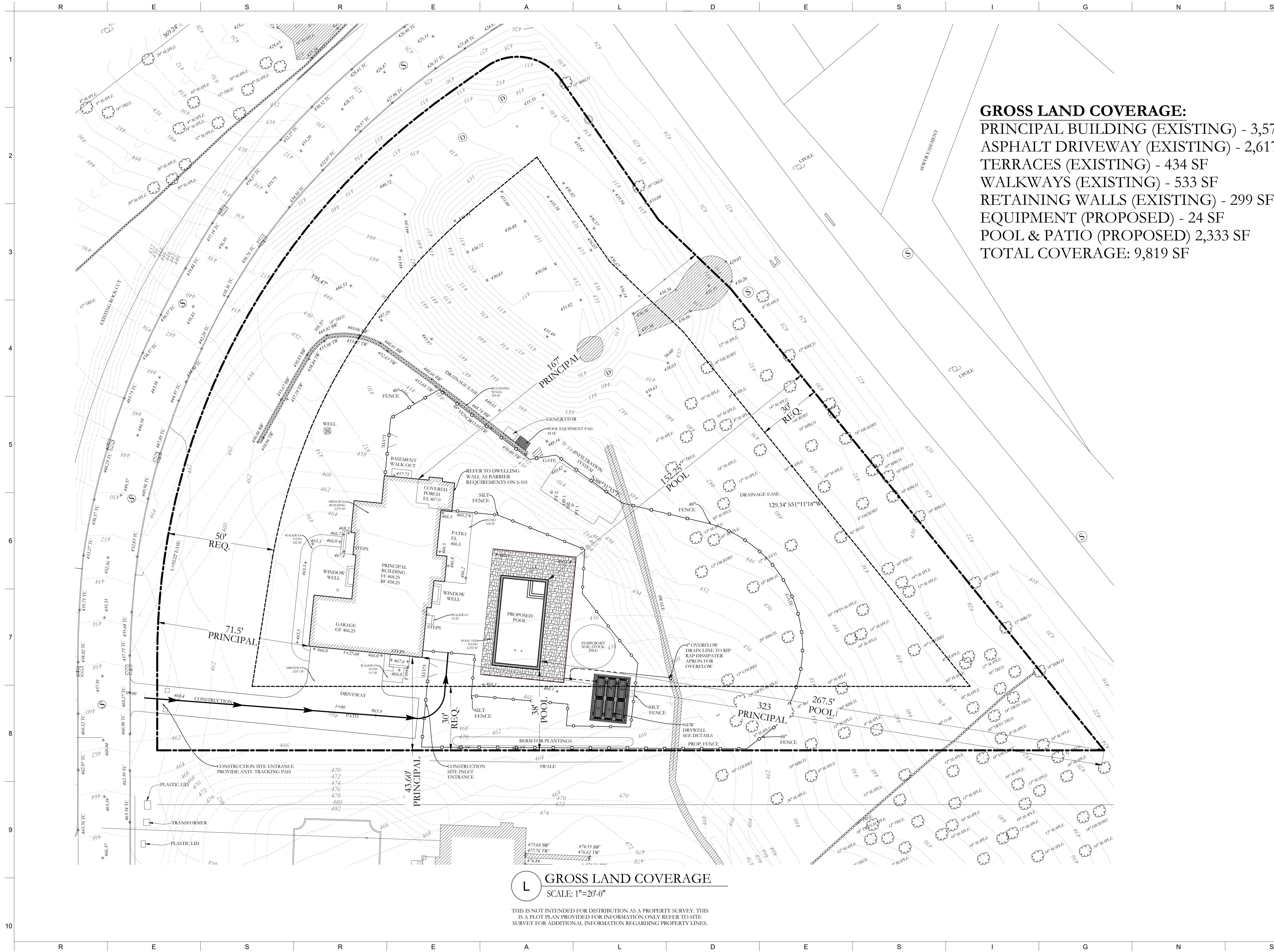
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON
UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

PROJECT:
**2 Shoemaker Lane
Armonk, NY 10504**

DRAWING TITLE:
**GROSS LAND COVERAGE
WORKSHEET**

GLC -101

NOTES:
SALOMON



L GROSS LAND COVERAGE
SCALE: 1"=20'-0"

THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.