

# GROSS LAND COVERAGE

SCALE: 1" = 20'

# SITE PLAN

SCALE: 1" = 20'

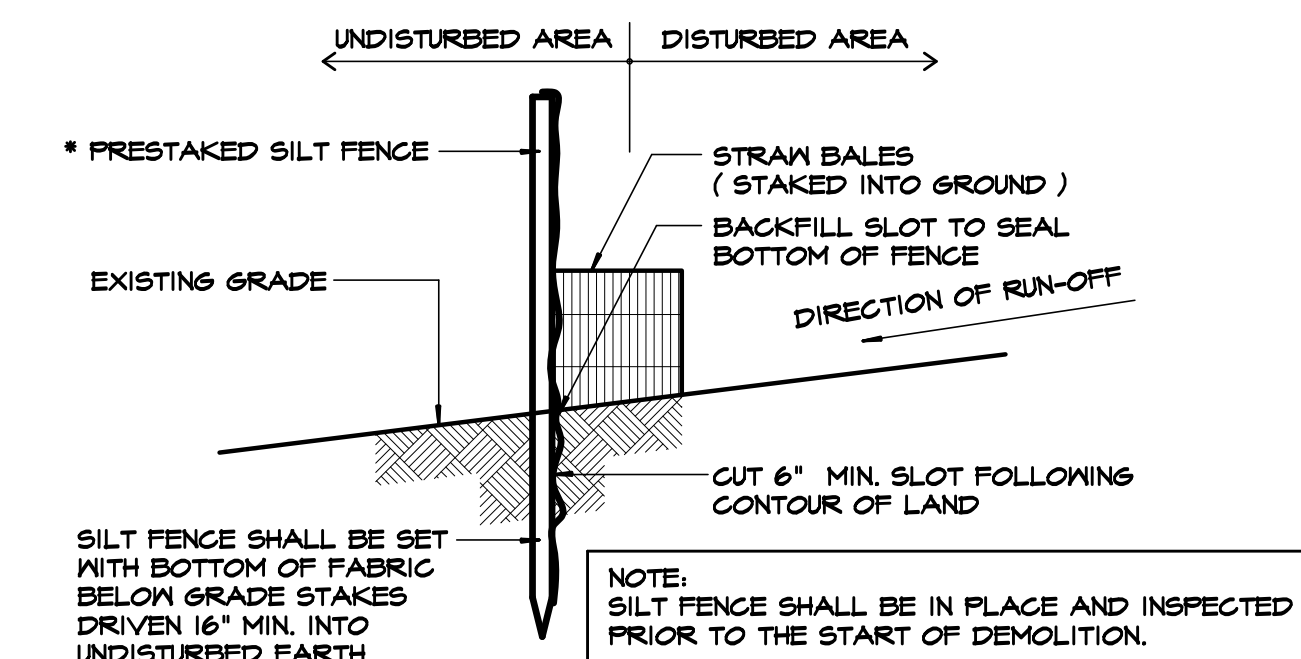
# GENERAL NOTES

1. Site plan is based on survey by Link Land Surveyors, P.C. 21 Clark Place, Suite 1-B Mahopac NY Prepared on January 3, 2022.
2. The Architect shall assume no responsibility for the accuracy of the original survey. Refer to the original survey for additional information.
3. The General Contractor shall strictly adhere to all rules and regulations having jurisdiction.
4. The General Contractor shall review plans and specifications prior to start of work. Architect shall be immediately notified by the G. C. of any discrepancies.
5. The General Contractor shall be responsible to secure all required permits for construction.
6. The General Contractor shall obtain a certificate of compliance or occupancy upon completion of work and submit to the Owner.
7. The General Contractor shall install all sedimentation and erosion control measures as required by local code prior to construction. All controls shall be maintained throughout the construction process and inspected periodically.

# EROSION CONTROL NOTES

1. Prior to the start of construction erosion control devices shall be in place as shown on these plans.
2. Final grades shall be established as soon as possible with a thoroughly seeded top soil to provide a turf, which will stabilize slopes and prevent erosion.
3. Slopes that will remain open for more than three weeks shall be protected with temporary seeding or staked netting.
4. Erosion control devices shall be inspected after each rainfall and shall be cleaned, repaired or replaced as necessary.
5. All erosion control measures shall be installed and maintained in accordance with "Westchester County Best Management" practices manual for erosion and sediment control.
6. The engineer/architect may at his or her discretion require additional erosion control measures throughout construction to mitigate unforeseen erosion and siltation.

# SILT FENCE DETAIL

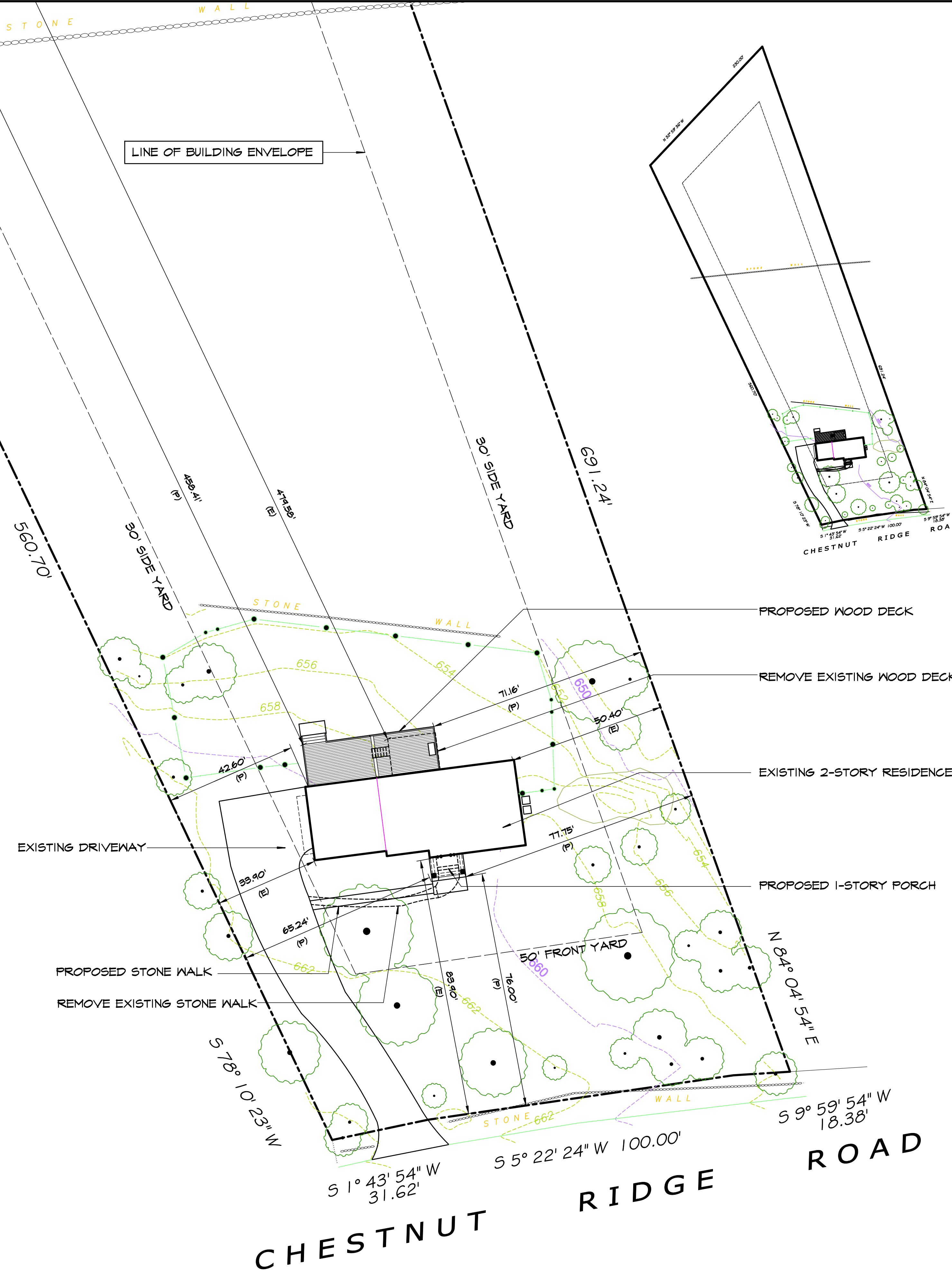


# ZONING DATA

ZONE: R-2A (ONE-FAMILY RESIDENCE)  
SECTION: 94.04    BLOCK: 1    LOT: 37

| BULK REGULATION |      | CODE                | EXISTING                | PROPOSED           |
|-----------------|------|---------------------|-------------------------|--------------------|
| LOT AREA        | MIN. | 2 ac. (87,120 S.F.) | 2.54 ac. (110,749 S.F.) | N/C                |
| LOT FRONTAGE    | MIN. | 150'                | 150'                    | N/C                |
| LOT WIDTH       | MIN. | 150'                | 150'                    | N/C                |
| LOT DEPTH       | MIN. | 150'                | 560.70' / 691.24'       | N/C                |
| STEEP SLOPE     |      |                     |                         |                    |
| LOT AREA        | NET  | N.A.                |                         |                    |
| LAND COVERAGE   |      |                     |                         |                    |
| BONUS           |      | 260 S.F.            |                         |                    |
| BUILDING        | MAX. | 8,860 S.F. (8%)     | 1,776 S.F. (1.60%)      | 1,857 S.F. (1.67%) |
| GROSS LOT       | MAX. | 15,302 S.F.         | 4,889 S.F.              | 5,455 S.F.         |
| YARD SETBACKS   |      |                     |                         |                    |
| FRONT (1)       | MIN. | 50'                 | 83.9'                   | 76.00'             |
| FRONT (2)       | MIN. | N.A.                | N.A.                    | N.A.               |
| SIDE (1)        | MIN. | 30'                 | 33.90'                  | 42.60'             |
| SIDE (2)        | MIN. | 30'                 | 50.40'                  | 71.16'             |
| REAR            | MIN. | 50'                 | 479.58'                 | 458.41'            |
| BUILDING HEIGHT |      |                     |                         |                    |
| ROOF MID-POINT  | MAX. | 30'                 | 25'-10"                 | 15'-6"             |
| STORIES         | MAX. | 2-1/2 STORIES       | 2 STORIES               | 1 STORIES          |
| FLOOR AREA      |      |                     |                         |                    |
| TOTAL           | MAX. | 11,067 S.F.         | 2,996 S.F.              | 3,077 S.F.         |
| ADDITION        |      |                     |                         | 81 S.F.            |

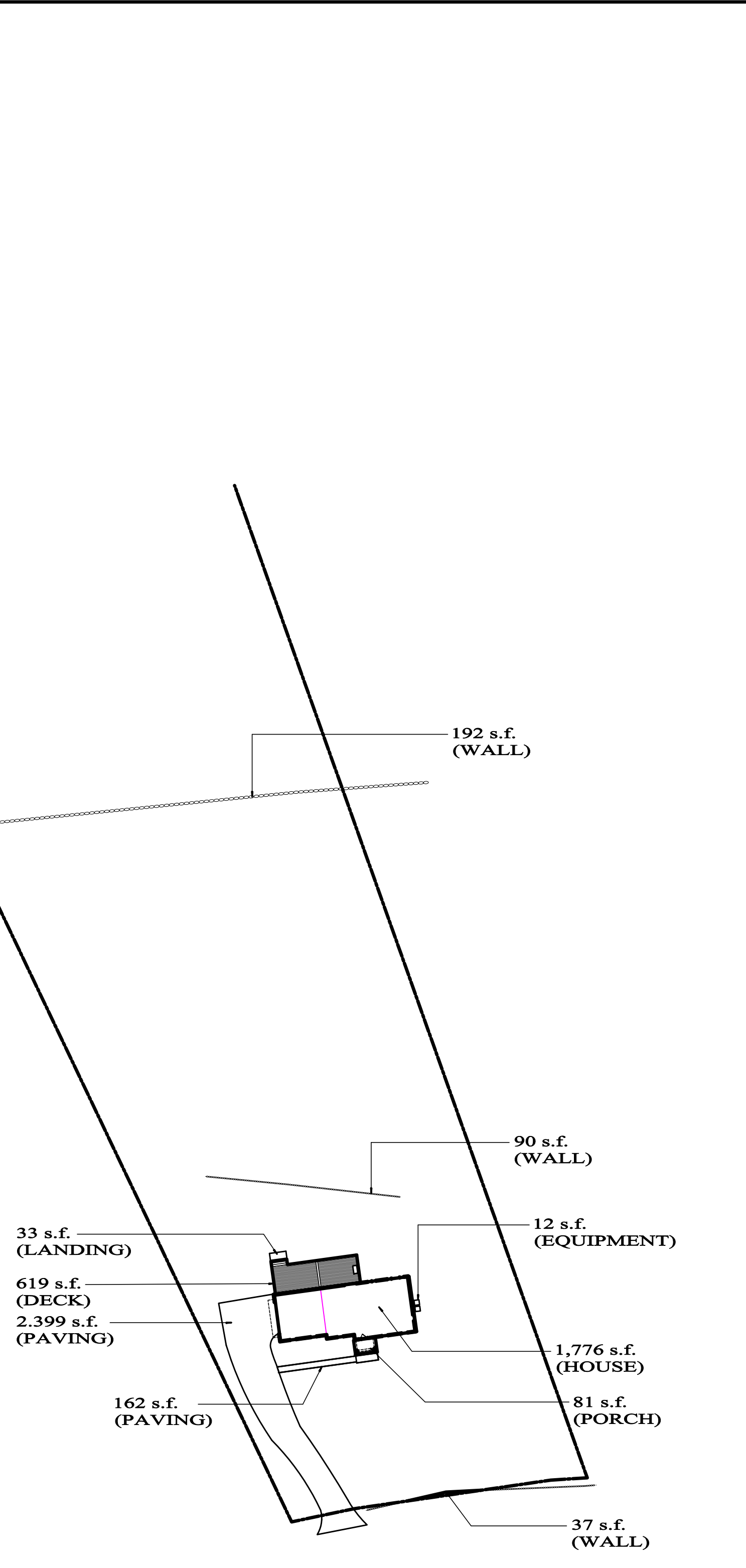
DO NOT SCALE PRINTS



# KEY

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO BE REMOVED
- PROPOSED ONE STORY ADDITION
- PROPOSED IMPERVIOUS SURFACE
- PROPOSED TWO STORY ADDITION
- PROPOSED SECOND STORY ADDITION
- (E) EXISTING YARD SETBACK
- (P) PROPOSED YARD SETBACK

REFER TO ENGINEER'S SITE PLAN FOR INFORMATION ON GRADE ELEVATIONS, DRAINAGE, UTILITIES CONNECTION, EROSION CONTROLS, ETC..



# AREA SCHEDULE

|                                    |            |
|------------------------------------|------------|
| PRINCIPAL BUILDING                 | 1,776 S.F. |
| ACCESSORY BUILDING                 | 0 S.F.     |
| PORCH                              | 81 S.F.    |
| TOTAL BUILDING AREA                | 1,857 S.F. |
| WOOD DECK                          | 619 S.F.   |
| DRIVEWAY, PARKING AREAS & WALKWAYS | 2,648 S.F. |
| MECHANICAL EQUIPMENT               | 12 S.F.    |
| WALLS (37 + 90 + 192)              | 319 S.F.   |
| TERRACE                            | 0 S.F.     |
| TOTAL PAVED AREA                   | 3,598 S.F. |
| TOTAL GROSS LAND COVERAGE          | 5,455 S.F. |

Proposed Addition & Alteration to

**Raffel Residence**  
30 Chestnut Ridge Road

JUSTIN F. MINIERI, AIA  
NCARB MEMBER

P.O. BOX 1439 • NEW ROCHELLE NY 10802  
914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT PREPARED BY JUSTIN F. MINIERI, AIA  
Copyright laws shall remain the property of Justin F. Minieri, AIA  
Unauthorized reproduction by contract is strictly prohibited.

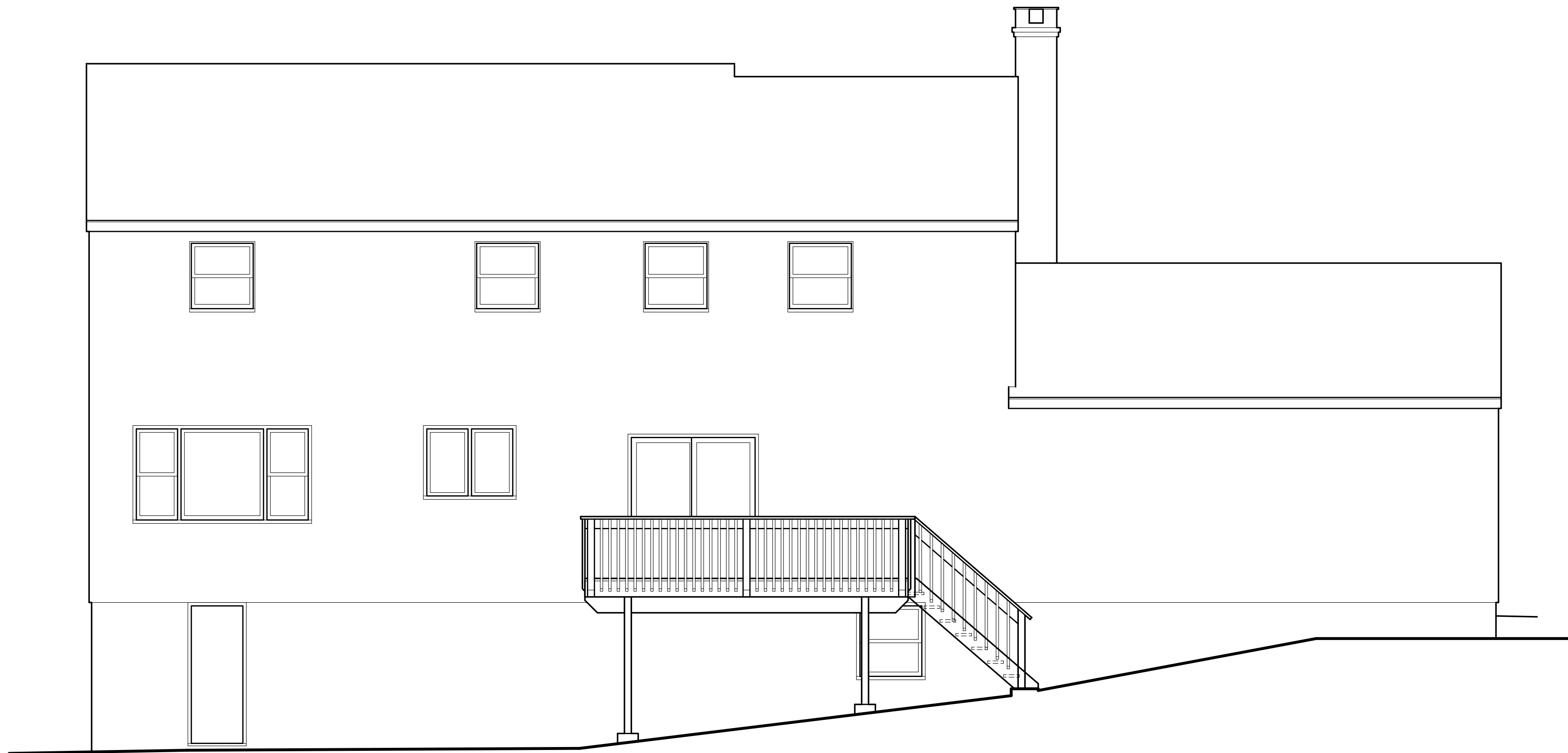
DATE: 5/06/22

REVISIONS:



DWG No. **A02**  
SITE PLAN  
Raffel/230046

Armonk, NY



**REAR ELEVATION**

SCALE: 1/4" = 1'-0" EXISTING



**REAR ELEVATION**

SCALE: 1/4" = 1'-0" PROPOSED

**GENERAL NOTES**

1. PROVIDE ICESHIELD WATERPROOF MEMBRANE BY DU PONT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOFS. STANDARD "ICESHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ALL EXTERIOR TRIM SHALL BE "AZEK" OR EQUAL.
4. ROOFING SHALL BE ARCHITECTURAL ASPHALT SHINGLES.
5. ROOFING SHALL BE STANDING SEAM ALUMINUM W/ MECHANICAL DOUBLE LOCK SYSTEM. ALUMINUM PANELS SHALL BE .032 IN. WITH KYNAR 500/ HYLAR 5000 FINISH. SUBMIT SAMPLES FOR OWNER'S REVIEW & APPROVAL.
6. GUTTERS AND LEADERS SHALL BE BAKED ALUMINUM. GUTTER SHALL BE 6-IN. WIDE K-STYLE.
7. FLASHING SHALL BE 16 OZ. COPPER.
8. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL. AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
9. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
10. PROVIDE "AIR & VAPOR BARRIER" WRAP BY "GRACE" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL.
11. SIDING SHALL BE HARDIE-PLANK.
12. PROVIDE 5/4" AZEK" KICK BOARD AT EACH DOORSILL.
13. PROVIDE COPPER DRIP EDGE FLASHING AT ALL FRIEZE, COLUMN CAPS, AND WINDOW & DOOR HEAD TRIM.
14. PROVIDE "AZEK" J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC... AS PER DETAIL.
15. PROVIDE SPECIFICATIONS FOR PAINTING AND STAINING. SCHEDULE SUBMIT SAMPLES AS REQUESTED, FOR REVIEW AND APPROVAL.

**FINISH SCHEDULE**

| BUILDING COMPONENT | NAME         | TYPE                           | COLOR       |
|--------------------|--------------|--------------------------------|-------------|
| ROOFING            | GAF ALUMINUM | ASPHALT SHINGLE STANDING SEAM  |             |
| SIDING             | JAMES HARDIE | HARDIE-PLANK                   |             |
| TRIM               | "AZEK"       | FLAT STOCK & MOULDING PROFILES | WHITE       |
| WINDOWS            | N.A.         |                                |             |
| SHUTTER            | ATLANTIC     | PANEL                          |             |
| ENTRY DOOR         | N.A.         |                                |             |
| COLUMN             | TURNCRAFT    | TUSCAN                         | WHITE       |
| MASONRY VENEER     | FIELDSTONE   | CONNECTICUT                    | GRAY/ BROWN |

Proposed Addition & Alteration to

**Raffel Residence**  
30 Chestnut Ridge Road

Armonk, NY

JUSTIN F. MINIERI, AIA  
NCARB MEMBER

P.O. BOX 1439 - NEW ROCHELLE NY 10802  
914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT COPYRIGHT © Drawing and specifications are prepared by  
copyright laws and shall remain the property of Justin F. Minieri, AIA  
authorization by contract is strictly prohibited.

DATE: 5/06/22

REVISIONS:



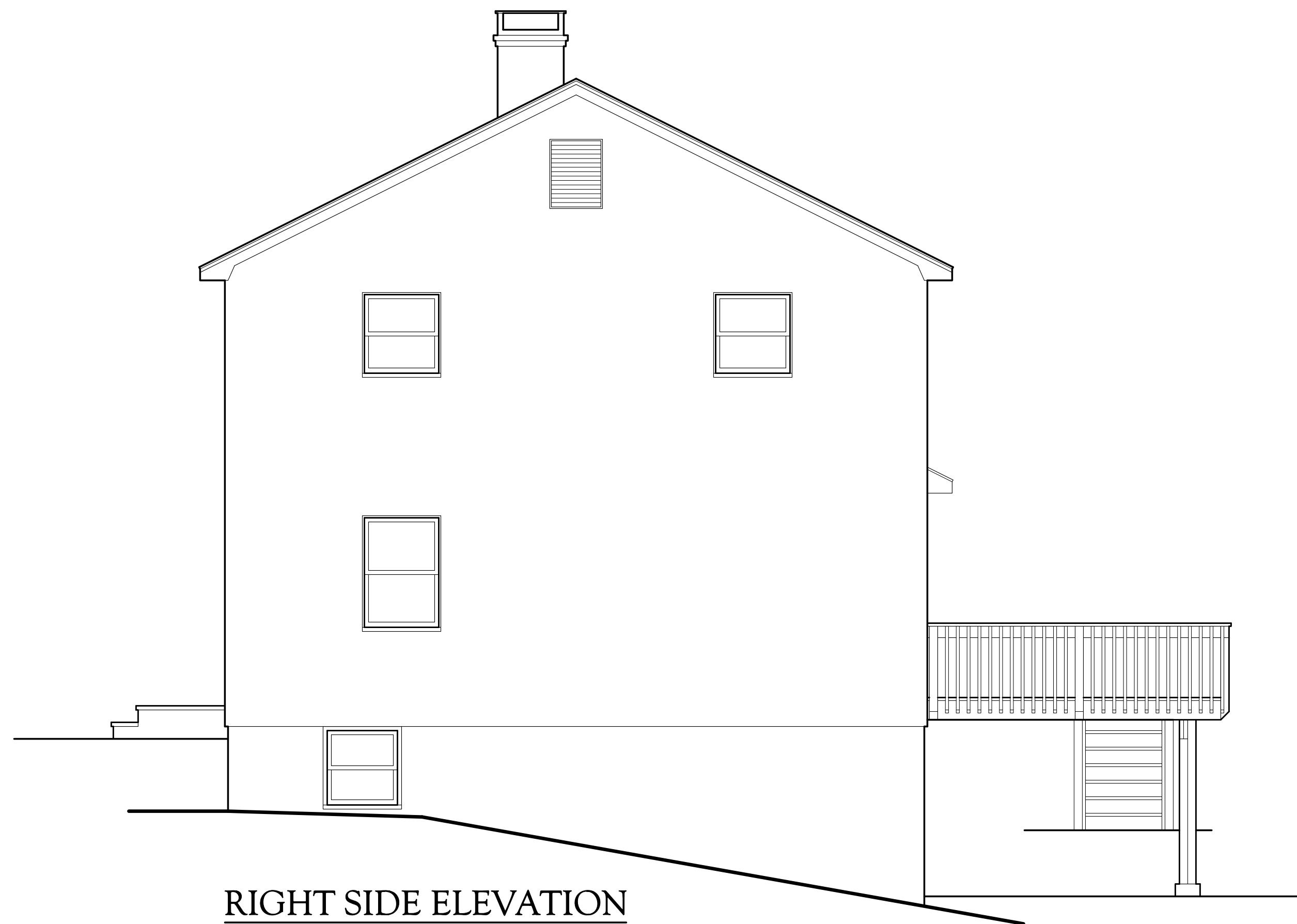
DWG No.

**A11**

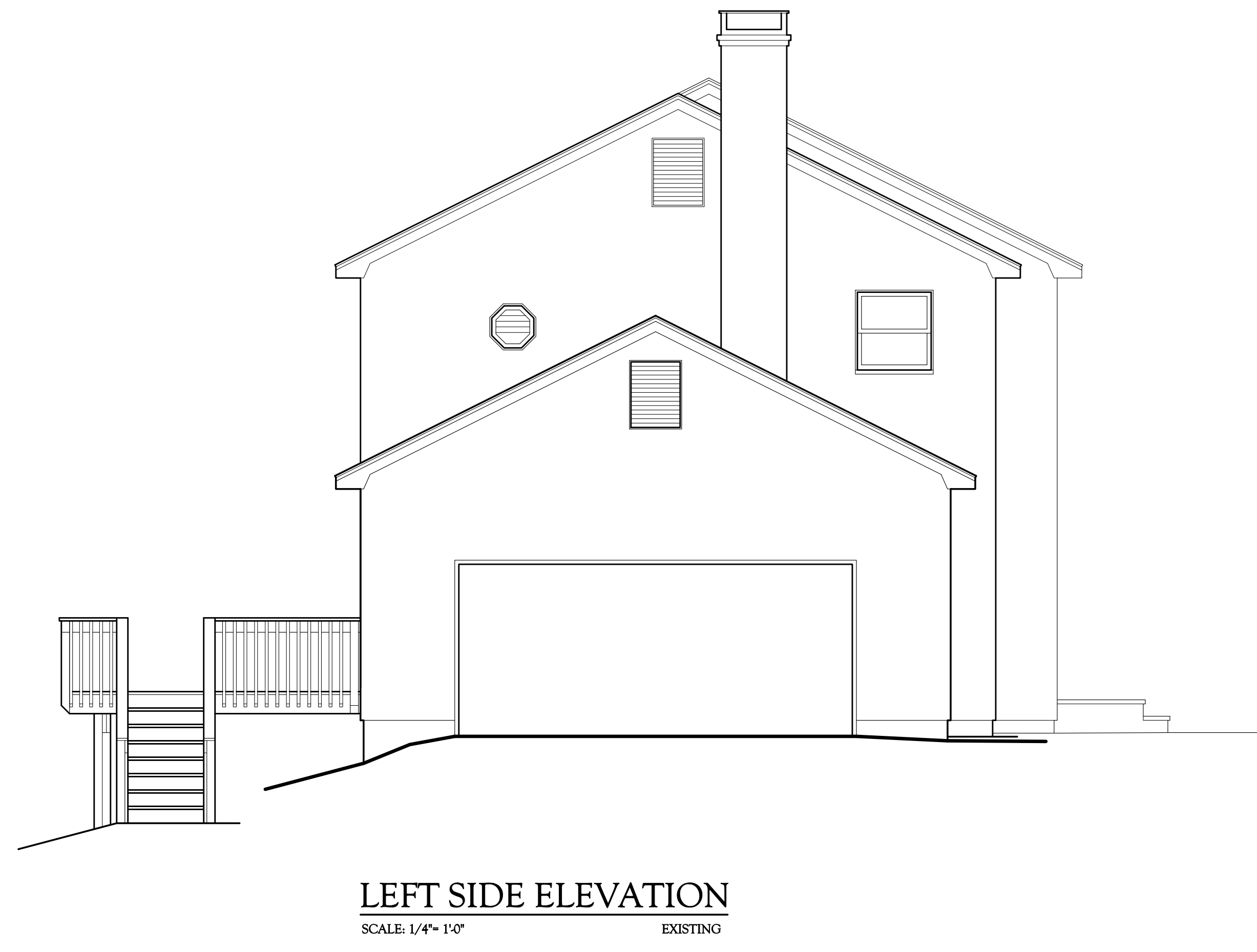
ELEVATION

Raffel/230046

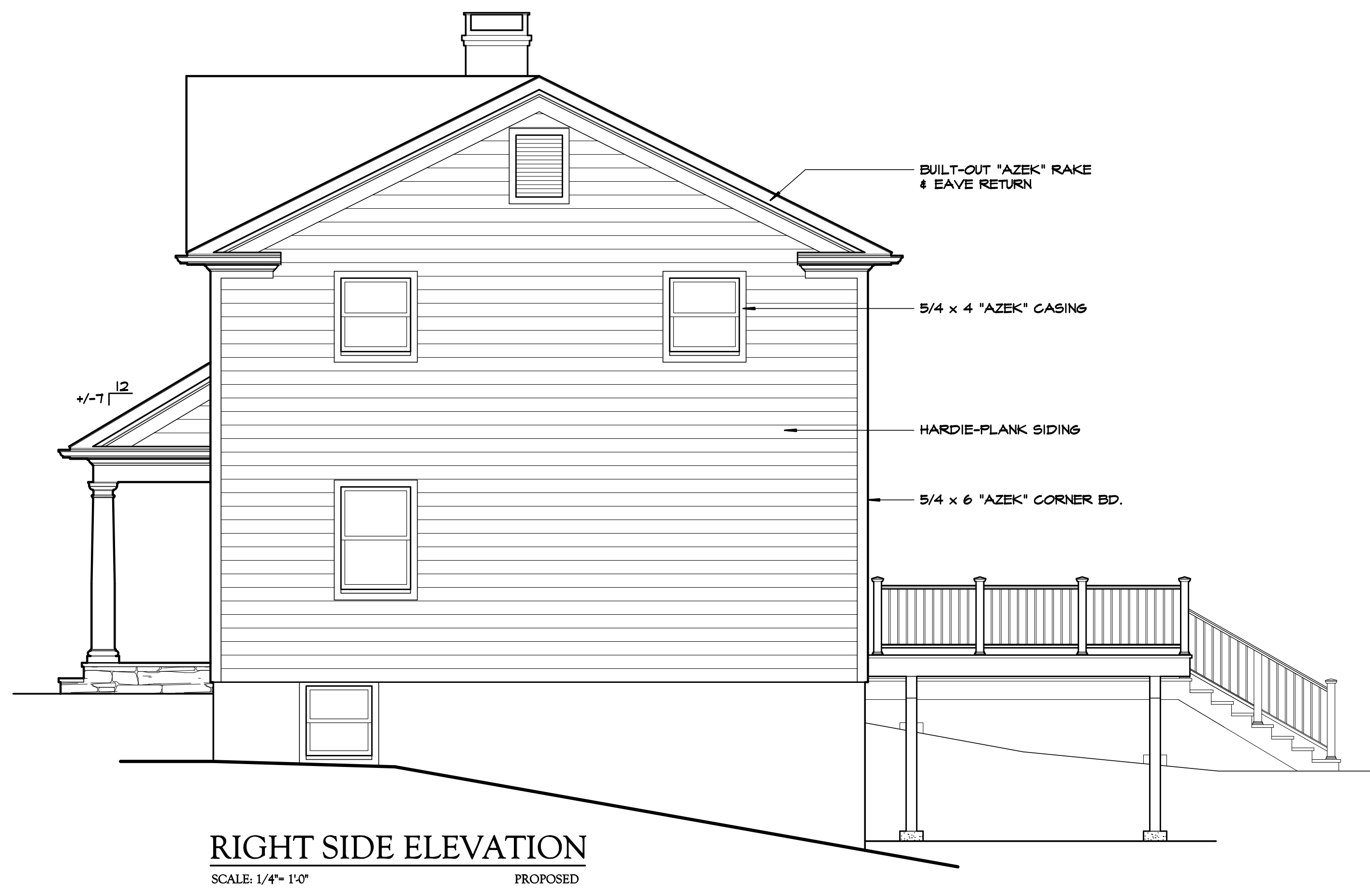
DO NOT SCALE PRINTS



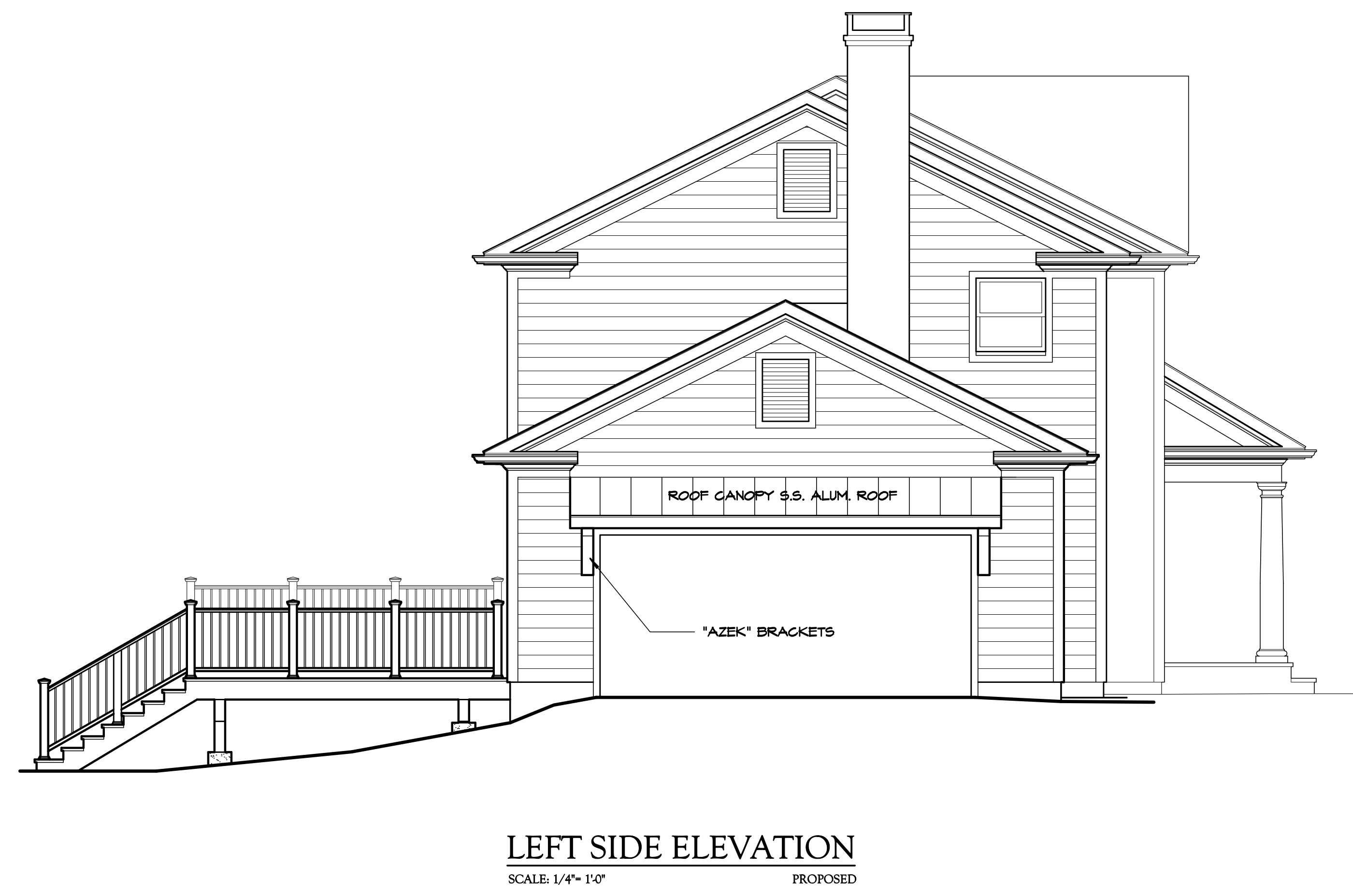
**RIGHT SIDE ELEVATION**  
SCALE: 1/4"= 1'-0" EXISTING



**LEFT SIDE ELEVATION**  
SCALE: 1/4"= 1'-0" EXISTING



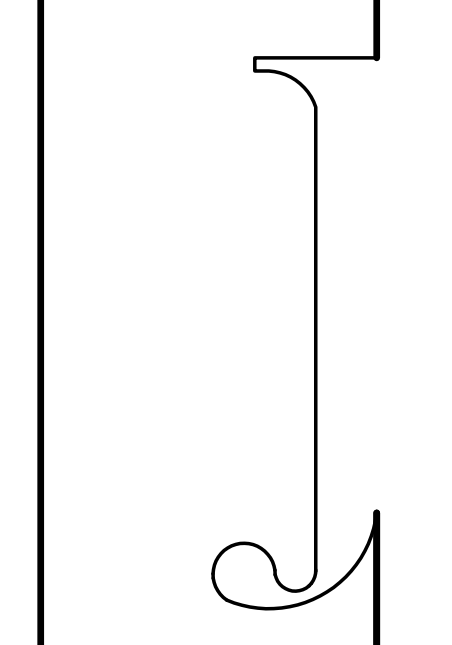
**RIGHT SIDE ELEVATION**  
SCALE: 1/4"= 1'-0" PROPOSED



**LEFT SIDE ELEVATION**  
SCALE: 1/4"= 1'-0" PROPOSED

Proposed Addition & Alteration to  
**Raffel Residence**  
 30 Chestnut Ridge Road  
 Armonk, NY

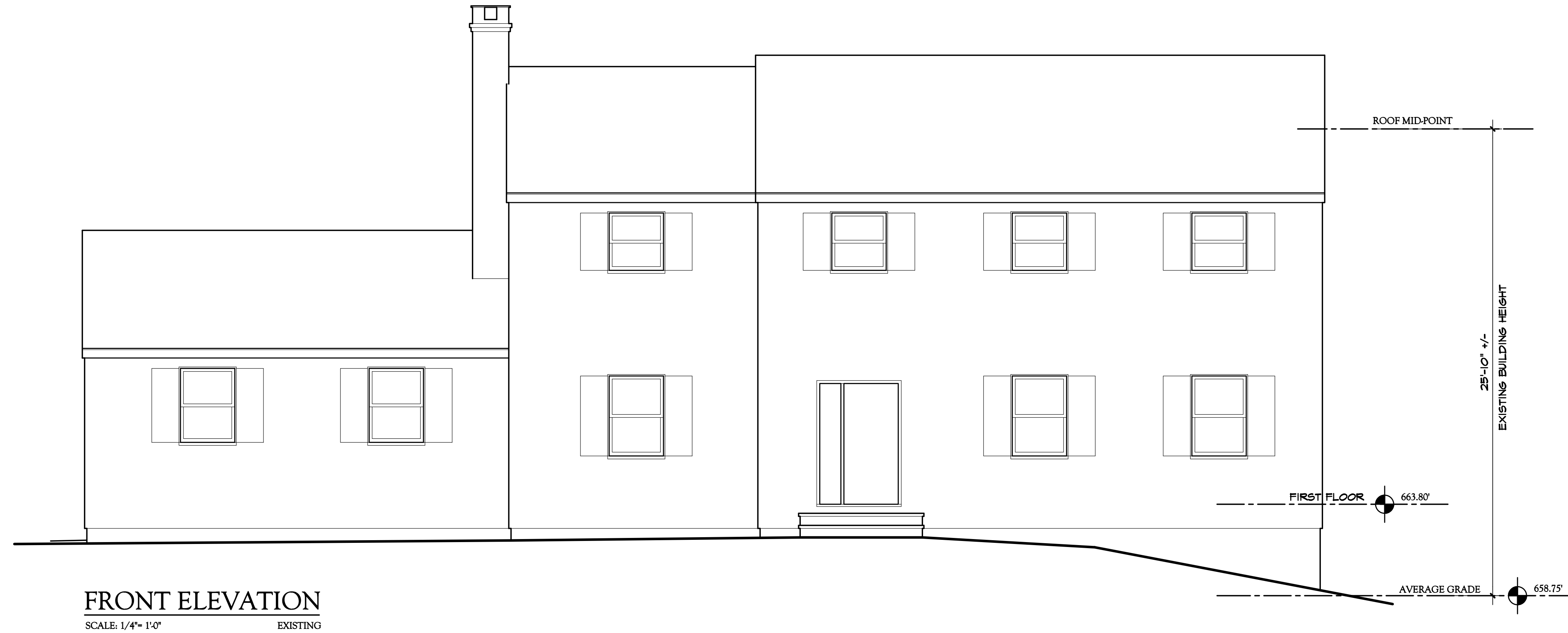
JUSTIN F. MINIERI, AIA  
 NCARB MEMBER  
 P.O. BOX 1439 - NEW ROCHELLE NY 10802  
 914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT COPYRIGHT © Drawing and specifications are prepared by Justin F. Minieri, AIA. Copyright laws and shall remain the property of Justin F. Minieri, AIA. Authorization by contract is strictly prohibited.



DATE: 5/06/22  
 REVISIONS:



DWG No.  
**A10**  
 ELEVATION  
 Raffel/230046



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0" EXISTING



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0" PROPOSED

**GENERAL NOTES**

1. PROVIDE ICE-SHIELD WATERPROOF MEMBRANE BY DU PONT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOFS. STANDARD "ICESHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ALL EXTERIOR TRIM SHALL BE "AZEK" OR EQUAL.
4. ROOFING SHALL BE ARCHITECTURAL ASPHALT SHINGLES.
5. ROOFING SHALL BE STANDING SEAM ALUMINUM W/ MECHANICAL DOUBLE LOCK SYSTEM. ALUMINUM PANELS SHALL BE .032 IN. WITH KYNAR 500/ HYLAR 5000 FINISH. SUBMIT SAMPLES FOR OWNER'S REVIEW & APPROVAL.
6. GUTTERS AND LEADERS SHALL BE BAKED ALUMINUM. GUTTER SHALL BE 6-IN. WIDE K-STYLE.
7. FLASHING SHALL BE 16 OZ. COPPER.
8. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL. AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
9. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
10. PROVIDE "AIR & VAPOR BARRIER" WRAP BY "GRACE" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL.
11. SIDING SHALL BE HARDIE-PLANK.
12. PROVIDE 5/4"AZEK" KICK BOARD AT EACH DOORSILL.
13. PROVIDE COPPER DRIP EDGE FLASHING AT ALL FRIEZE, COLUMN CAPS, AND WINDOW & DOOR HEAD TRIM.
14. PROVIDE "AZEK" J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC... AS PER DETAIL.
15. PROVIDE SPECIFICATIONS FOR PAINTING AND STAINING. SCHEDULE SUBMIT SAMPLES AS REQUESTED, FOR REVIEW AND APPROVAL.

**FINISH SCHEDULE**

| BUILDING COMPONENT | NAME         | TYPE                           | COLOR       |
|--------------------|--------------|--------------------------------|-------------|
| ROOFING            | GAF ALUMINUM | ASPHALT SHINGLE STANDING SEAM  |             |
| SIDING             | JAMES HARDIE | HARDIE-PLANK                   |             |
| TRIM               | "AZEK"       | FLAT STOCK & MOULDING PROFILES | WHITE       |
| WINDOWS            | N.A.         |                                |             |
| SHUTTER            | ATLANTIC     | PANEL                          |             |
| ENTRY DOOR         | N.A.         | TUSCAN                         | WHITE       |
| COLUMN             | TURNCRAFT    | CONNECTICUT                    | GRAY/ BROWN |
| MASONRY VENEER     | FIELDSTONE   |                                |             |

Proposed Addition & Alteration to

**Raffel Residence**  
30 Chestnut Ridge Road  
Armonk, NY

JUSTIN F. MINIERI, AIA  
NCARB MEMBER

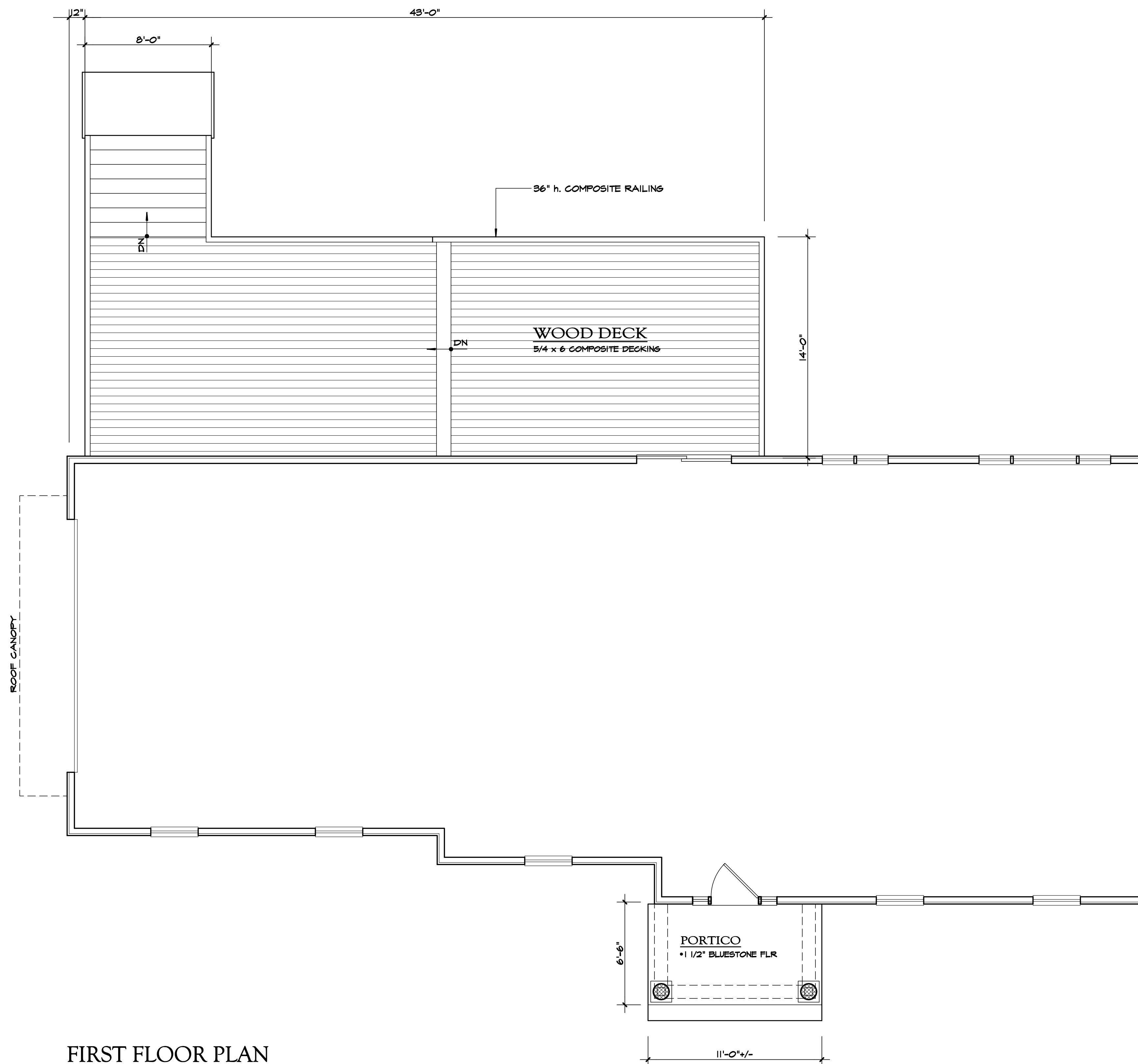
P.O. BOX 1439 - NEW ROCHELLE NY 10802  
914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT COPYRIGHT © Drawings and specifications are prepared by Justin F. Minieri, AIA. Copyright laws shall remain the property of Justin F. Minieri, AIA. Authorization by contract is hereby prohibited.

DATE: 5/06/22  
REVISIONS:



DWG No. **A09**  
ELEVATION  
Raffel/230046

DO NOT SCALE PRINTS



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0" PROPOSED

**GENERAL NOTES**

EXISTING WALL (VERIFY IN FIELD)  
 NEW WOOD STUD WALL 2 x @ 16" O.C.  
 POURED CONCRETE WALL  
 CMU WALL (CEMENT GROUT SOLID)  
 STONE VENEER  
 BRICK VENEER  
 DOOR SIZE (NOTED IN INCHES)  
 WINDOW TYPE \*  
 EGRESS WINDOW \*  
 HEADER SIZE \*  
 LINTEL SIZE \*  
 COPPER SILL PAN  
 NUMBER OF STUDS (MULL OR JACK)  
 FROST FREE HOSE BIB  
 EXHAUST FAN (50 CFM, MIN.)  
 VENT TO EXTERIOR W/ METAL DUCT  
 HEAT SENSOR  
 HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)  
 INTERCONNECTED, NFPA 72 COMPLIANCE  
 SMOKE ALARM  
 HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)  
 INTERCONNECTED, NFPA 72 COMPLIANCE  
 CARBON MONOXIDE ALARM  
 HARD WIRED W/ BATTERY BACKUP (U. L. LISTED)  
 INTERCONNECTED, NFPA 72 COMPLIANCE

**HVAC**  
 "NOT APPLICABLE"

**LEGEND**

|  |  |
|--|--|
|  | EXISTING WALL (VERIFY IN FIELD)  |
|  | NEW WOOD STUD WALL 2 x @ 16" O.C.  |
|  | POURED CONCRETE WALL   |
|  | CMU WALL (CEMENT GROUT SOLID)  |
|  | STONE VENEER   |
|  | BRICK VENEER   |
|  | DOOR SIZE (NOTED IN INCHES)  |
|  | WINDOW TYPE *  |
|  | EGRESS WINDOW *  |
|  | HEADER SIZE *  |
|  | LINTEL SIZE *  |
|  | COPPER SILL PAN  |
|  | NUMBER OF STUDS (MULL OR JACK)   |
|  | FROST FREE HOSE BIB  |
|  | EXHAUST FAN (50 CFM, MIN.)<br>VENT TO EXTERIOR W/ METAL DUCT   |
|  | HEAT SENSOR<br>HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)<br>INTERCONNECTED, NFPA 72 COMPLIANCE            |
|  | SMOKE ALARM<br>HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)<br>INTERCONNECTED, NFPA 72 COMPLIANCE            |
|  | CARBON MONOXIDE ALARM<br>HARD WIRED W/ BATTERY BACKUP (U. L. LISTED)<br>INTERCONNECTED, NFPA 72 COMPLIANCE |

\* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

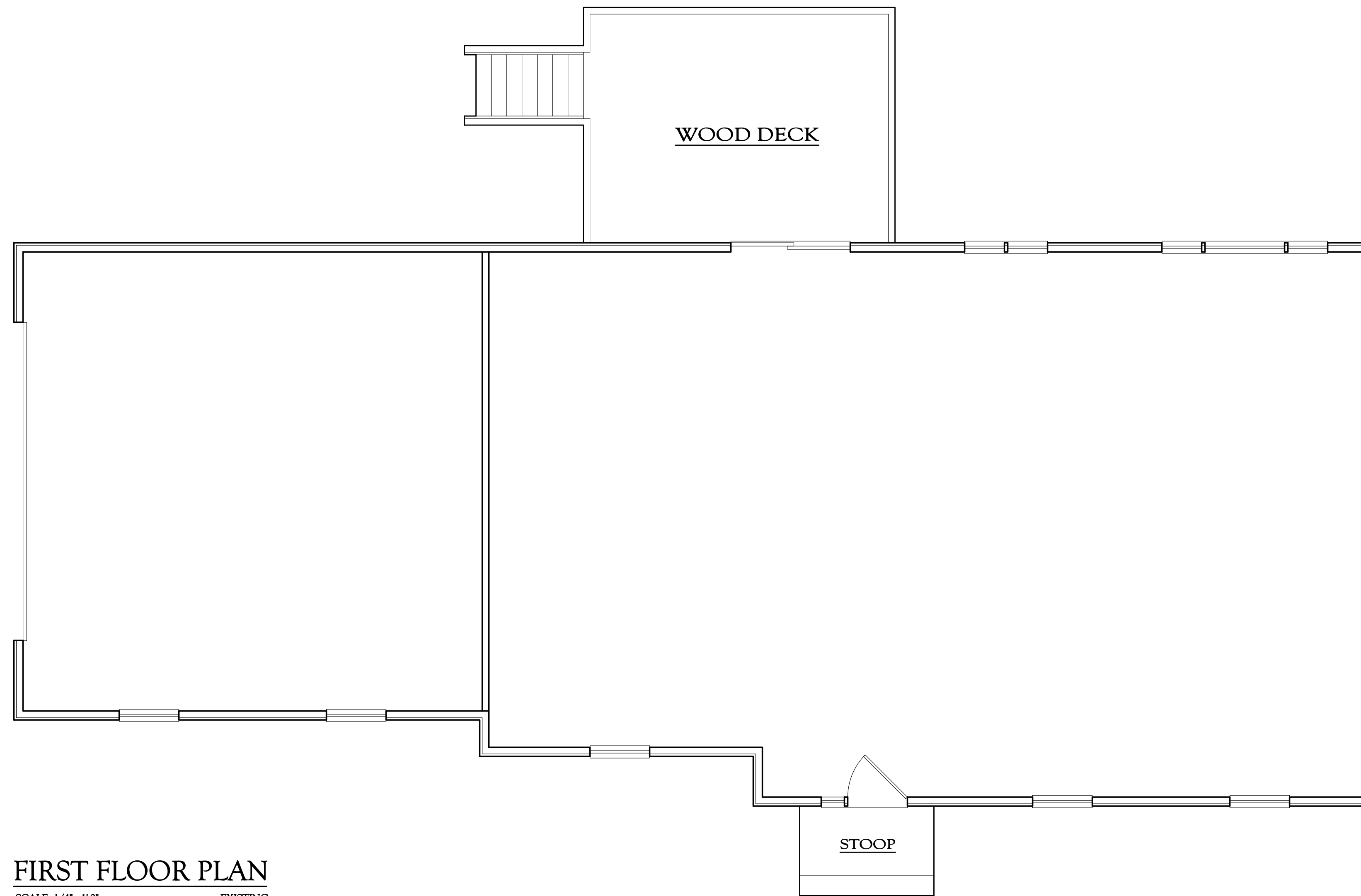
**DO NOT SCALE PRINTS**

Proposed Addition & Alteration to  
**Raffel Residence**  
 30 Chestnut Ridge Road  
 Armonk, NY

JUSTIN F. MINIERI, AIA  
 NCARB MEMBER  
 P.O. BOX 1439 - NEW ROCHELLE NY 10802  
 914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT COPYRIGHT © Drawing and specifications are prepared by Justin F. Minieri, AIA. Copyright laws and shall remain the property of Justin F. Minieri, AIA. Authorization by contract is strictly prohibited.

DATE: 5/06/22  
 REVISIONS:

DWG No. **A06**  
 FLOOR PLAN  
 Raffel/230046



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0" EXISTING

**GENERAL NOTES**

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE RE-USED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

Proposed Addition & Alteration to

**Raffel Residence**  
30 Chestnut Ridge Road

Armonk, NY

JUSTIN F. MINIERI, AIA  
NCARB MEMBER

P.O. BOX 1439 - NEW ROCHELLE NY 10802  
914.576.7087 TEL. 914.355.5238 FAX  
DOCUMENT COPYRIGHT © Drawing and specifications are prepared by Justin F. Minieri, AIA. Copyright laws and shall remain the property of Justin F. Minieri, AIA. Authorization by contract is strictly prohibited.

**LEGEND**

- ===== EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- ===== EXISTING WALL TO BE REMOVED
- [ E ] WINDOW OR DOOR TO REMAIN
- [ R ] WINDOW OR DOOR TO BE REMOVED
- [ S ] WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR REUSE)

DATE: 5/06/22

REVISIONS:



DWG No.

**A03**

FLOOR PLAN

**DO NOT SCALE PRINTS**

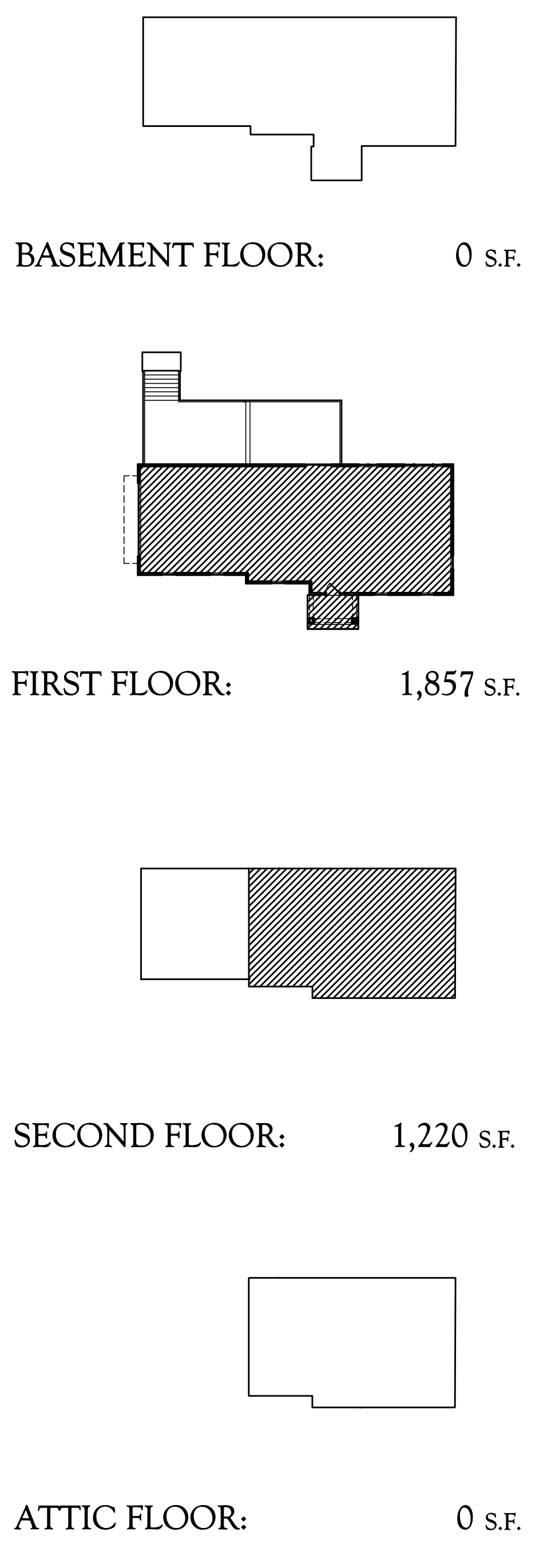
Raffel/230046

# Raffel



30 Chestnut Ridge Road Armonk, NY  
 Section: 94.04 Block: 1 Lot: 37

### FAR PLANS (NOT TO SCALE)



| FLOOR AREA SCHEDULE  |                |                 |
|--|----------------|-----------------|
| ZONE: R-2A   | FAR: WORKSHEET | LOT: 110,749 SF |
| MAXIMUM PERMITTED FLOOR AREA: 11,067 SF  |                |                 |
| FLOOR AREA CALCULATIONS AS CURRENTLY DEFINED IN THE TOWN OF NORTH CASTLE ZONING CODE |                |                 |
|  | EXISTING       | PROPOSED        |
| BASEMENT FLOOR   | 0 SF           | 0 SF            |
| FIRST FLOOR  | 1,776 SF       | 1,857 SF        |
| SECOND FLOOR   | 1,220 SF       | 1,220 SF        |
| ATTIC FLOOR  | 0 SF           | 0 SF            |
| ACCESSORY BUILDING   | 0 SF           | 0 SF            |
| TOTAL  | 2,996 SF       | 3,077 SF        |
| CODE:  | 11,067 SF >    | 3,077 SF        |

### SHEET INDEX

| No. | DRAWING                     | No. | DRAWING |
|-----|-----------------------------|-----|---------|
| A01 | TITLE SHEET                 | A12 |         |
| A02 | SITE PLAN                   | A13 |         |
| A03 | DEMOLITION PLAN             | A14 |         |
| A04 |                             | A15 |         |
| A05 |                             |     |         |
| A06 | FIRST FLOOR PLAN (PROPOSED) |     |         |
| A07 |                             |     |         |
| A08 |                             |     |         |
| A09 | ELEVATION                   |     |         |
| A10 | ELEVATION                   |     |         |
| A11 | ELEVATION                   | E01 |         |

### STATEMENT OF COMPLIANCE

THE ARCHITECT, JUSTIN F. MINIERI A.I.A. (N.Y.S. LIC. NO. 18332) HAS PREPARED THE CONSTRUCTION DOCUMENTS, WRITTEN & FIGURATIVELY IN COMPLIANCE WITH THE LATEST APPLICABLE SECTIONS OF LOCAL AND STATE BUILDING CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE.

| REQUIRED SYMBOL | TRUSS IDENTIFICATION SIGN  |
|-----------------|--|
|                 | <ul style="list-style-type: none"> <li>THE SIGN SHALL BE IN CONFORMANCE WITH NYCRR SECTION 1265 FOR ONE &amp; TWO FAMILY DWELLINGS.</li> <li>THE SIGN SHALL BE SECURELY AFFIXED TO THE EXTERIOR ELECTRIC METER OR AN ALTERNATE LOCATION APPROVED BY CODE, WHENEVER IT IS NOT POSSIBLE TO DO SO. REVIEW LOCATION WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.</li> </ul> |

### GENERAL NOTES

- G.C. SHALL REVIEW PLANS AND SPECIFICATIONS PRIOR TO START OF WORK. ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCY.
- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS. LARGE SCALE DETAILS AND DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- G.C. SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT FOR ALL SHOWN OR SPECIFIED, INCLUDING TEMPORARY FACILITIES AND/OR SUPPORTING STRUCTURES.
- G.C. SHALL BE RESPONSIBLE TO SECURE ALL PERMITS FOR CONSTRUCTION.
- G.C. SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SUBMIT TO OWNER.
- G.C. SHALL CHECK ALL EXISTING CONDITIONS PRIOR TO START OF WORK. G.C. SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ALL VISIBLE AND NON-VISIBLE UTILITY SERVICES.
- ALL LABOR, MATERIALS, AND CONSTRUCTION SHALL COMPLY AND CONFORM WITH ALL RULES, REGULATIONS, CODES AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- THE G.C. SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS. THE G.C. SHALL LEAVE THE BUILDING BROOM CLEAN.
- G.C. SHALL PROVIDE UNDERSLAB PIPING FOR FUTURE RADON MITIGATION IF APPLICABLE. G.C. SHALL BE RESPONSIBLE FOR ALL RADON TESTING.
- THE H.V.A.C. SYSTEM SHALL BE DESIGNED BY A QUALIFIED, CERTIFIED H.V.A.C. CONTRACTOR AND / OR MECHANICAL ENGINEER RETAINED BY THE G.C. ALL APPROVALS SHALL BE OBTAINED BY THE G.C.
- ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL & NATIONAL FIRE UNDERWRITER CODES & LOCAL UTILITY CO.
- A MINIMUM OF 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH EFFICACY LAMPS PER 404.1 OF 2020 RCNYS.
- ALL CHIMNEYS, FLUES AND GAS VENTS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTERS 10 AND 18 OF THE NYS RESIDENTIAL CODE.
- FIREPLACES SHALL BE COMPLETE WITH FRESH AIR INTAKE DUCT. ALL HEARTHS TO BE 20" IN. DEEP (MIN.). PROVIDE TIGHT-FITTING NON-COMBUSTIBLE GLASS DOORS AT EACH FIREPLACE IN CONFORMANCE WITH N1102.4.2 (R402.4.2) OF THE 2020 RCNYS. OWNER SHALL SELECT DOOR TYPE.
- G.C. SHALL INSTALL A COMPLETE SMOKE AND CARBON MONOXIDE ALARM SYSTEM THROUGHOUT HOUSE. PROVIDE A SMOKE ALARM UNIT IN EACH BEDROOM AND SMOKE/CARBON ALARM(S) ON EACH FLOOR INCLUDING BASEMENT IN COMPLIANCE WITH N.Y.S. RESIDENTIAL CODE, SECTION R 317.1.1. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK-UP. ALL ALARMS SHALL ACTUATE SIMULTANEOUSLY. BUT DISTINCTIVE ALARM SIGNAL SHALL BE USED TO DIFFERENTIATE EACH TYPE OF ALARM. ALARMS SHALL BE CODE APPROVED AND U.L. LISTED.
- G.C. SHALL HAVE PROFESSIONAL APPLIED CHEMICAL/TERMICIDE TREATMENT TO SOIL FOR PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER R318.2 OF THE 2020 RCNYS. G.C. PROVIDE ALL REQUIRED DOCUMENTATIONS TO LOCAL MUNICIPALITY.

### MANUAL J DESIGN CRITERIA

| ELEVATION | LATITUDE | WINTER HEATING | SUMMER COOLING | ALTITUDE CORRECT. FACTOR | INDOOR DESIGN TEMP. | DESIGN TEMP. COOLING | HEATING TEMP. DIFF. | COOLING TEMP. DIFF. | WIND VELOCITY HEATING | WIND VELOCITY COOLING | COINCIDENT WET BULB | DAILY RANGE | WINTER HUMIDITY | SUMMER HUMIDITY |
|-----------|----------|----------------|----------------|--------------------------|---------------------|----------------------|---------------------|---------------------|-----------------------|-----------------------|---------------------|-------------|-----------------|-----------------|
| 439       | 41       | 12             | 87             |                          | 70                  | 75                   | 68                  | 20                  |                       |                       |                     | M           | 30              | 50              |

### DESIGN LOADS

|                                     |                      |
|-------------------------------------|----------------------|
| SOIL BEARING:                       | 4000 PSF             |
| FLOOR:                              | 60 PSF (40 L + 20 D) |
| ATTIC: (4'-6" AND GREATER HEADROOM) | 45 PSF (30 L + 15 D) |
| ATTIC: (LESS THAN 4'-6" HEADROOM)   | 30 PSF (20 L + 10 D) |
| ROOF: (SNOW LOAD)                   | 60 PSF (45 L + 15 D) |
| PORCH & DECK:                       | 70 PSF (60 L + 10 D) |
| GUARDRAILS & HANDRAILS:             | 200 PLF              |

### MATERIAL STRENGTHS

|                           |            |
|---------------------------|------------|
| CONCRETE:                 | 4000 PSI   |
| DIMENSIONAL LUMBER:       | 950 PSI    |
| ENGINEERED LUMBER:        |            |
| • GLULAM                  | 2400 PSI   |
| • LAMINATED VENEER LUMBER | 2600 PSI   |
| • PARALLEL STRAND LUMBER  | 2900 PSI   |
| STRUCTURAL STEEL:         | 36,000 PSI |

### 2020 ECCCNY

BUILDING TYPE: ONE & TWO FAMILY DWELLING DESIGN TEMPERATURE: 0 DEGREES F / 72 DEGREES F  
 DESIGN DEGREE DAYS: 5000 - 6000 CODE DESIGN METHOD: CHAPTER 4; PRESCRIPTIVE BUILDING ENVELOPE (SECTIONS 402.1-402.3)  
 TABLE 402.1.2 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT

| CLIMATE ZONE | FENESTRATION U-FACTOR <sup>a</sup> | SKYLIGHT <sup>b</sup> U-FACTOR | GLAZED FENESTRATION SHGC <sup>c,d</sup> | CEILING R-VALUE | WOOD FRAME WALL R-VALUE | MASS WALL R-VALUE | FLOOR R-VALUE | BASEMENT <sup>e</sup> WALL R-VALUE | SLAB <sup>d</sup> R-VALUE & DEPTH | CRAWL SPACE <sup>e</sup> WALL R-VALUE |
|--------------|------------------------------------|--------------------------------|---|-----------------|-------------------------|-------------------|---------------|------------------------------------|-----------------------------------|---------------------------------------|
| 4            | 0.31                               | 0.55                           | 0.40                                    | 49              | 20 or 13 + 5            | 8/13              | 19            | 10/13                              | 10, 2 FT                          | 10/13                                 |

- R-VALUES ARE MINIMUMS. U-FACTORS & SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN THE CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
  - THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATES ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.
  - "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
  - R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTHS SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONES 1 THROUGH 3 FOR HEATED SLABS.
  - THERE IS NO SHGC REQUIREMENTS IN THE MARINE ZONE.
  - THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
  - THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- I, JUSTIN F. MINIERI, AIA (N.Y.S. LIC. NO. 18332) CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1)

| GROUND SNOW LOAD | WIND DESIGN |                      |                      |                        | SEISMIC DESIGN CAT. | SUBJECT TO DAMAGE FROM |                  |                   | WINTER DESIGN TEMP. | ICE BARRIER UNDERLAYMENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP. |
|------------------|-------------|----------------------|----------------------|------------------------|---------------------|------------------------|------------------|-------------------|---------------------|-----------------------------------|---------------|--------------------|-------------------|
|                  | SPEED       | TOPO GRAPHIC EFFECTS | SPECIAL REGION WINDS | WIND-BORNE DEBRIS ZONE |                     | WEATHERING             | FROST LINE DEPTH | TERMITE           |                     |                                   |               |                    |                   |
| 20 PSF           | 115-120 MPH | NONE                 | YES                  | YES                    | B                   | SEVERE                 | 42"              | MODERATE TO HEAVY | 0°-10°F             | YES                               | YES (ZONE X)  | 1000 OR LESS       | 52.7°F            |

Proposed Addition & Alteration to  
 JUSTIN F. MINIERI, AIA  
 NCARB MEMBER

P.O. BOX 1439 - NEW ROCHELLE NY 10802  
 914.576.7087 TEL 914.355.5238 FAX  
 DOCUMENT COPYRIGHT © Design and specifications are prepared by Justin F. Minieri, AIA. All rights reserved. No part of this document may be reproduced without the written permission of Justin F. Minieri, AIA.

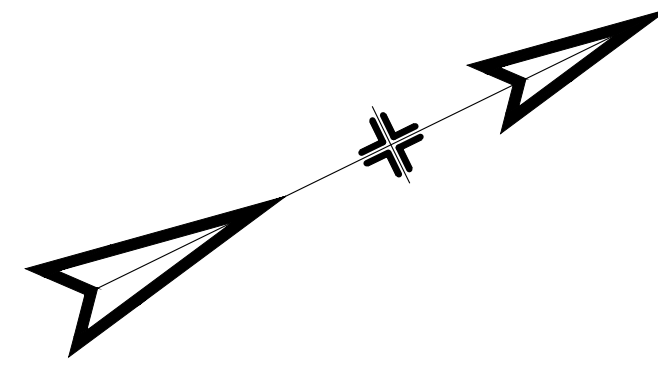
DATE: 5/06/22  
 REVISIONS:



DWG No. A01  
 TITLE SHEET  
 Raffel/230046

Armonk, NY

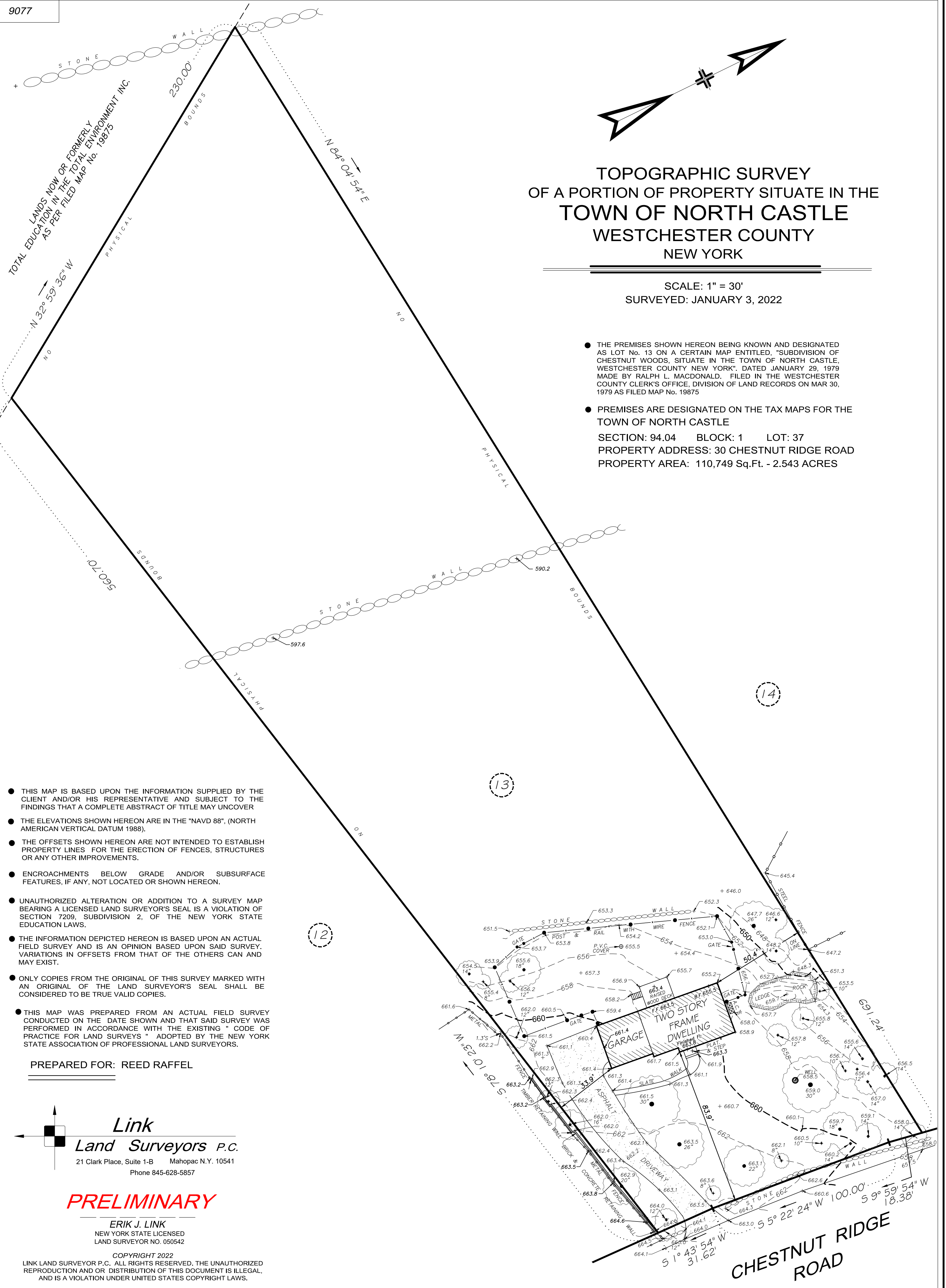
Proposed Addition & Alteration to  
**Raffel Residence**  
 30 Chestnut Ridge Road



# TOPOGRAPHIC SURVEY OF A PORTION OF PROPERTY SITUATE IN THE TOWN OF NORTH CASTLE WESTCHESTER COUNTY NEW YORK

SCALE: 1" = 30'  
SURVEYED: JANUARY 3, 2022

- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT No. 13 ON A CERTAIN MAP ENTITLED, "SUBDIVISION OF CHESTNUT WOODS, SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY NEW YORK", DATED JANUARY 29, 1979 MADE BY RALPH L. MACDONALD, FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON MAR 30, 1979 AS FILED MAP No. 19875
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF NORTH CASTLE  
SECTION: 94.04 BLOCK: 1 LOT: 37  
PROPERTY ADDRESS: 30 CHESTNUT RIDGE ROAD  
PROPERTY AREA: 110,749 Sq.Ft. - 2.543 ACRES



- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE ELEVATIONS SHOWN HEREON ARE IN THE "NAVD 88", (NORTH AMERICAN VERTICAL DATUM 1988).
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: REED RAFFEL

**Link**  
**Land Surveyors P.C.**  
 21 Clark Place, Suite 1-B Mahopac N.Y. 10541  
 Phone 845-628-5857

**PRELIMINARY**

ERIK J. LINK  
NEW YORK STATE LICENSED  
LAND SURVEYOR NO. 050542

COPYRIGHT 2022  
LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.

CHESTNUT RIDGE ROAD





# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 30 Chestnut Ridge Road, Armonk 10504

### Section III- DESCRIPTION OF WORK:

Front porch addition  
Rear wood deck addition (replace existing)  
New siding & trim and roofing

### Section III- CONTACT INFORMATION:

APPLICANT: Reed & Nicole Raffel  
ADDRESS: 30 Chestnut Ridge Road, Armonk 10504  
PHONE: \_\_\_\_\_ MOBILE: 917 270-7551 EMAIL: \_\_\_\_\_

PROPERTY OWNER: same as applicant

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROFESSIONAL: Justin F. Minieri, AIA

ADDRESS: PO Box 1439, New Rochelle 10802

PHONE: 914 576-7087 MOBILE: 914 424-9646

EMAIL: tracepaper@aol.com

### Section IV- PROPERTY INFORMATION:

Zone: B-2A Tax ID (lot designation) 94.04-1-37



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Raffel Residence

Initial Submittal  Revised Preliminary

Street Location:

30 Chestnut Ridge Road

Zoning District: R-2A Property Acreage: 2.54 Tax Map Parcel ID: 94.04-1-37

Date: 6.6.22

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.htm>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)


**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Baffel Residence Date: 6.6.22  
 Tax Map Designation or Proposed Lot No.: 94.04-1-37

Gross Lot Coverage

- |     |  |                |
|-----|--|----------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>110,749</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):  | <u>15,042</u>  |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):   |                |
|     | Distance principal home is beyond minimum front yard setback<br><u>26</u> x 10 =                                   | <u>260</u>     |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3   | <u>15,302</u>  |
| 5.  | Amount of lot area covered by principal building:<br><u>1776</u> existing + <u>0</u> proposed =                    | <u>1,776</u>   |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>       |
| 7.  | Amount of lot area covered by decks:<br><u>203</u> existing + <u>416</u> proposed =                                | <u>619</u>     |
| 8.  | Amount of lot area covered by porches:<br><u>0</u> existing + <u>81</u> proposed =                                 | <u>81</u>      |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>2588</u> existing + <u>60</u> proposed = | <u>2,648</u>   |
| 10. | Amount of lot area covered by terraces:<br><u>0</u> existing + <u>0</u> proposed =                                 | <u>0</u>       |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>12</u> existing + <u>0</u> proposed = | <u>12</u>      |
| 12. | Amount of lot area covered by all other structures: (stone walls)<br><u>319</u> existing + <u>0</u> proposed =     | <u>319</u>     |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =  | <u>5,455</u>   |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet:  Date: 6.6.22  
 Refer to site plan for area breakdown.



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

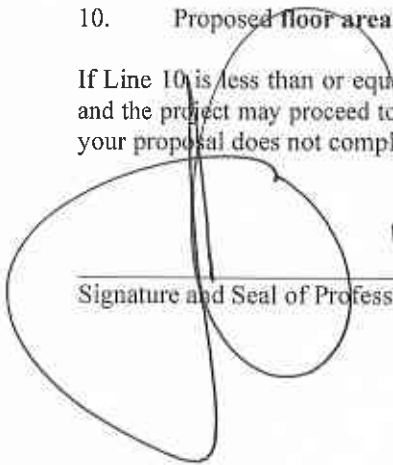
**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Raffel Residence Date: 6.6.22  
 Tax Map Designation or Proposed Lot No.: 94.04-1-37

Floor Area

- |     |  |                |
|-----|--|----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>110,749</u> |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):  | <u>11,067</u>  |
| 3.  | Amount of floor area contained within first floor:<br><u>1220</u> existing + <u>0</u> proposed =                             | <u>1,220</u>   |
| 4.  | Amount of floor area contained within second floor:<br><u>1220</u> existing + <u>0</u> proposed =                            | <u>1,220</u>   |
| 5.  | Amount of floor area contained within garage:<br><u>556</u> existing + <u>0</u> proposed =                                   | <u>556</u>     |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>0</u> existing + <u>81</u> proposed =         | <u>81</u>      |
| 7.  | Amount of floor area contained within basement (if applicable -- see definition):<br><u>0</u> existing + <u>0</u> proposed = | <u>0</u>       |
| 8.  | Amount of floor area contained within attic (if applicable -- see definition):<br><u>0</u> existing + <u>0</u> proposed =    | <u>0</u>       |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0</u> existing + <u>0</u> proposed =                    | <u>0</u>       |
| 10. | Proposed floor area: Total of Lines 3 - 9 =  | <u>3,077</u>   |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

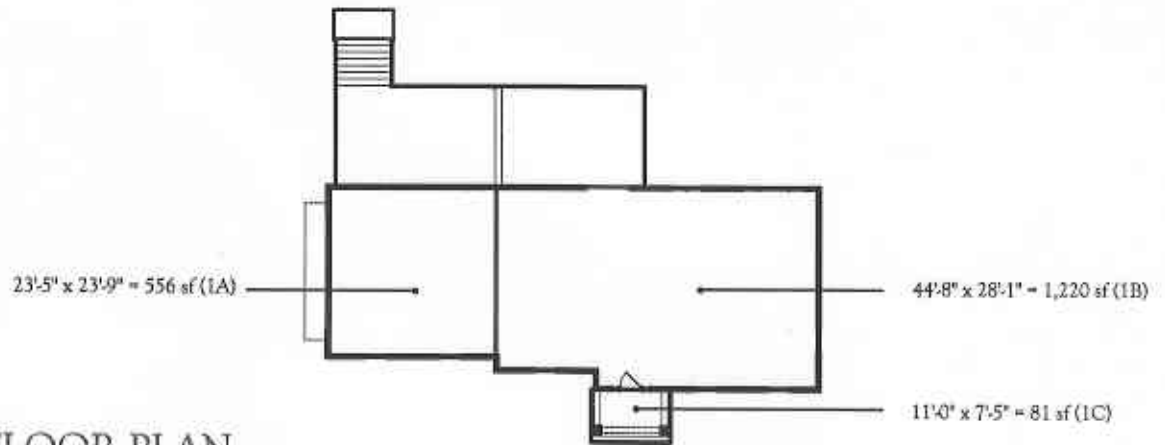
  
 Signature and Seal of Professional Preparing Worksheet



6.6.22  
 Date

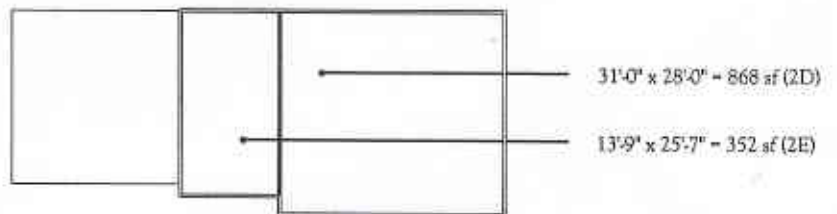
# GROSS FLOOR AREA WORKSHEET

30 Chestnut Ridge Road



## FIRST FLOOR PLAN

(G) GARAGE  
(P) PORCH



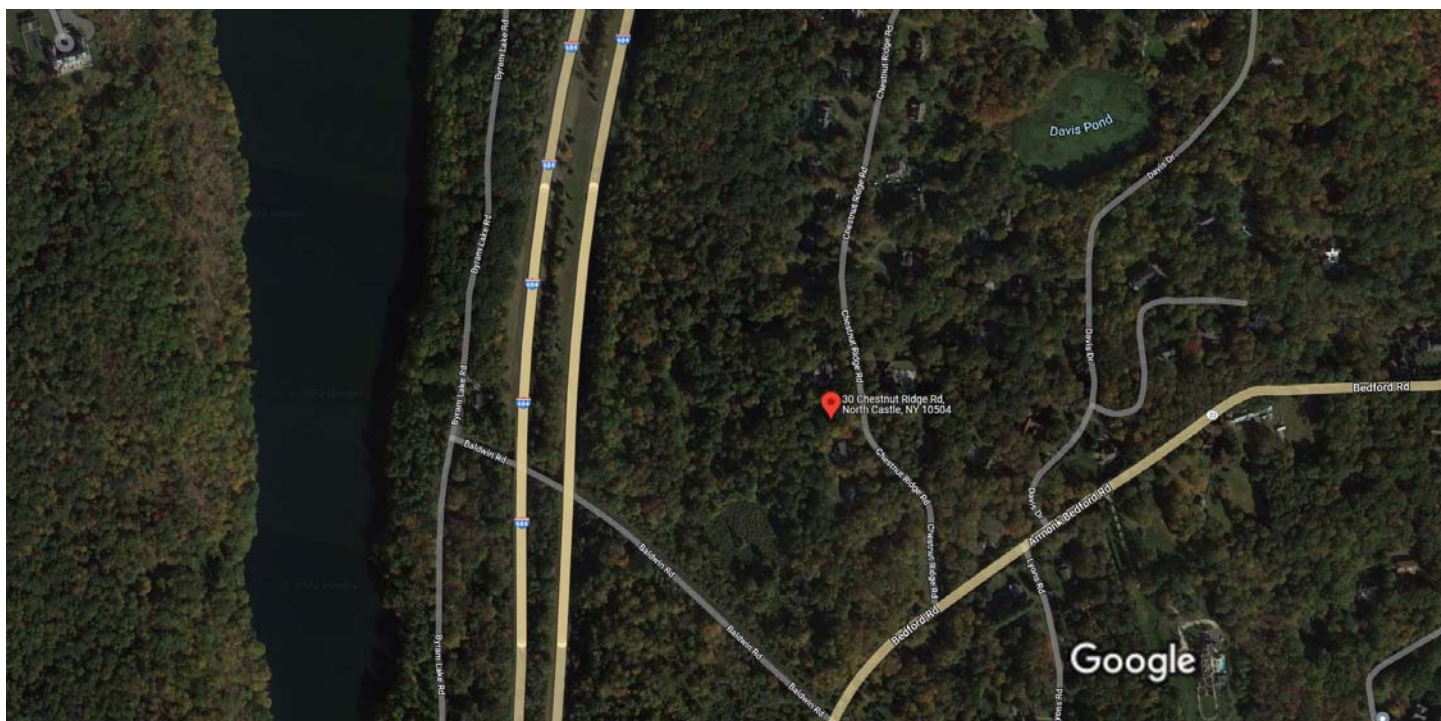
## SECOND FLOOR PLAN

|               |            |
|---------------|------------|
| 1A=           | 556 sf (G) |
| 1B=           | 1,220 sf   |
| 1C=           | 81 sf (P)  |
| 2D=           | 868 sf     |
| 2E=           | 352 sf     |
| FIRST FLOOR:  | 1,857 sf   |
| SECOND FLOOR: | 1,220 sf   |
| TOTAL:        | 3,077 sf   |



PREPARED BY JUSTIN F. MINIERI, AIA

Google Maps 30 Chestnut Ridge Rd



Imagery ©2022 Maxar Technologies, New York GIS, USDA/FPAC/GEO, Map data ©2022 200 ft



### 30 Chestnut Ridge Rd

Building



Directions



Save



Nearby



Send to phone

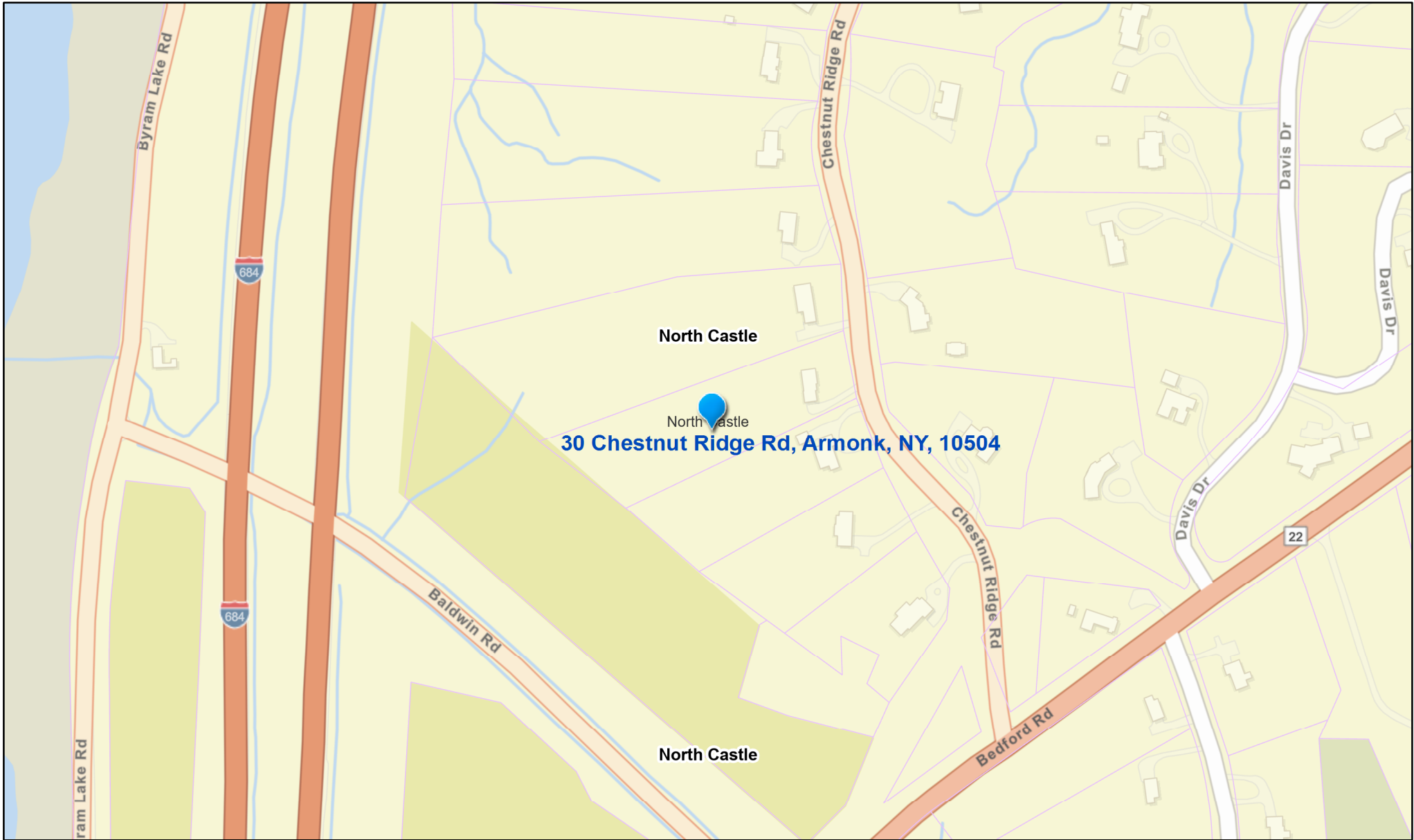


Share



30 Chestnut Ridge Rd, North Castle, NY 10504

# Mapping Westchester County



6/7/2022, 10:25:14 AM

 Municipal Boundaries

1:4,514

