

NUNZIO PIETROSANTI, P.E.
CONSULTING ENGINEER
63 DOVER LANE
YONKERS, NEW YORK 10710
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July 15, 2022

Mr. Adam R Kaufman, AICP
Director of Planning
Town of North Castle
17 Bedford Road
Armonk, New York 10504-1898

RE: 60 North Greenwich Road
Armonk, New York
TaxID: 108.03-3-34
Proposed Front Yard Underdrain System
Response Letter to RPRC Review Comments
Project #100121

Dear Mr. Kaufman:

In response to the RPRC Return Letter Comments of July 5, 2022, the following additional information and clarifications are provided: (Note: RPRC' comments are listed first in *italics* and the response follows in **bold**).

RPRC APPLICATION REVIEW COMMENTS:

1. *The buffer line shall be staked in the field.*

Response: A note has been added on the proposed site plan located on drawing SP-1. The wetlands buffer line will be staked in the field by July 19, 2022.

2. *A landscape plan for mitigation shall be provided using native plants (Maples and Rhododendron PJM are suggested).*

Response: Landscaping has been added to the proposed site plan and a Planting and Mitigation Schedule has also been provided on drawing SP-1. Red Swamp Maples and Rhododendron PJM have been included along the edge of the wetlands buffer (at the north end of the project site) and wetlands plantings have been added along the proposed gravel level spreader (on the side away from the existing pond).

3. *Revision to site plan to depict a no mow area.*

Response: A no mow zone (10' - 0") wide along the perimeter of the existing pond has been added to the proposed site plan on drawing SP-1.

4. *Revision to site plan to depict curtain drain installed to catch the run off and divert that water into the existing pond.*

Response: The proposed underdrain system also acts as a curtain drain. The call outs on the proposed site plan on drawing SP-1 and underdrain details on drawing SP-2 have been re-labeled as underdrain/curtain drain. The proposed underdrain/curtain drain system will serve (2) essential purposes. The first is to act as an underdrain and drain off surface stormwater from the wetlands buffer area and deliver it to the existing pond. The second purpose is to act as a curtain drain and intercept the ground water flow from the steep slope in front of the house and the milder slope from the roadway. The proposed system will deliver the surface run off and ground water flow to the proposed level spreader and then by sheet flow to the existing pond.

Respectfully,

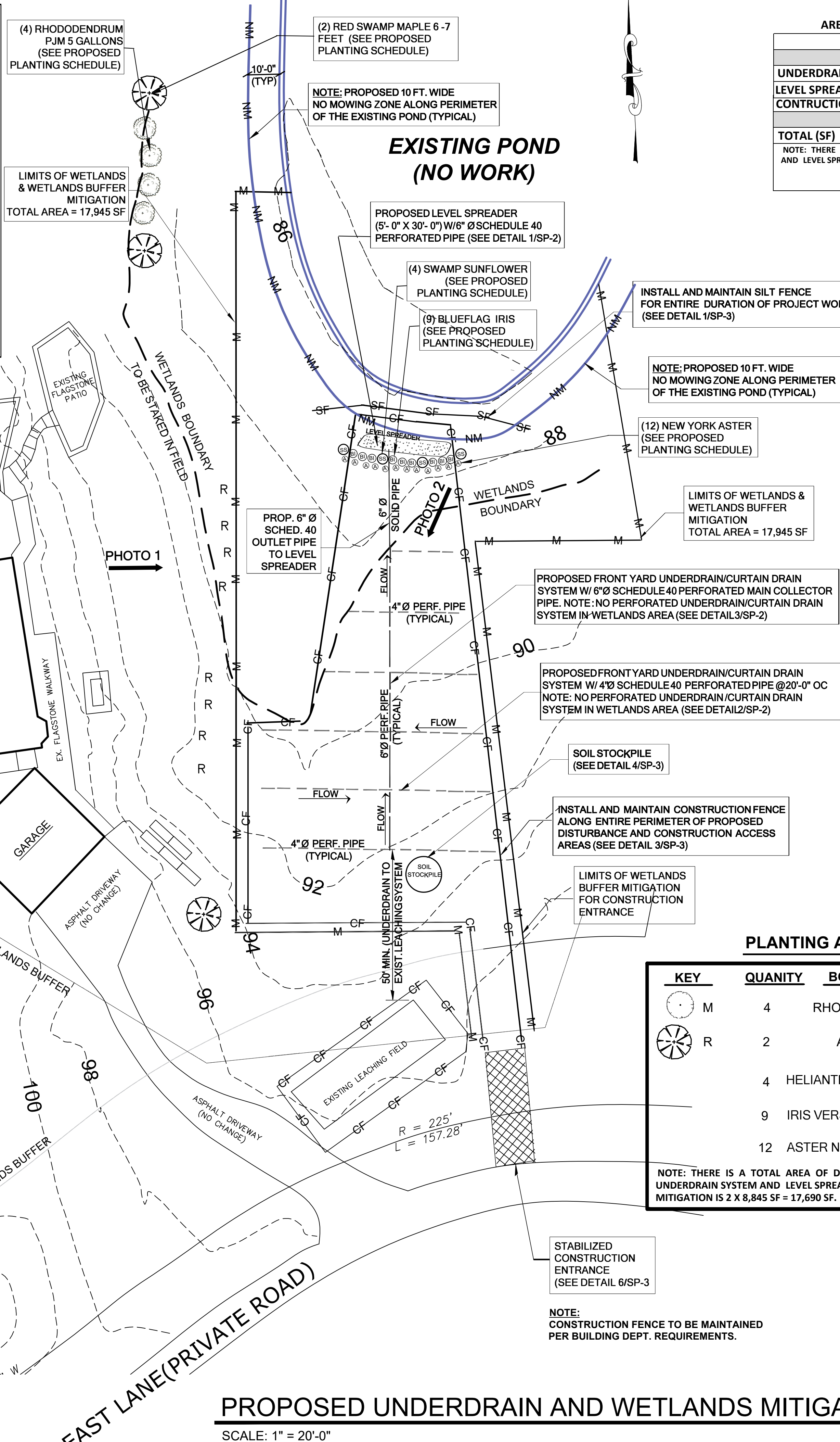


Nunzio Pietrosanti, P.E.

NP: ajp
Cc: Arthur Moran, Owner
Project File #100121

LEGEND

90	EXISTING CONTOUR
SF	SILT FENCE
CF	CONSTRUCTION FENCE
M	LIMITS OF MITIGATION FOR WETLANDS/WETLANDS BUFFER
SOIL STOCKPILE	SOIL STOCKPILE AREA
CONSTRUCTION ENTRANCE	CONSTRUCTION ENTRANCE
NM	PROPOSED 10'-0" WIDE NO MOW ZONE
PROPOSED 5'-0" WIDE LEVEL SPREADER	PROPOSED 5'-0" WIDE LEVEL SPREADER
PROPOSED CURTAIN/UNDERDRAIN	PROPOSED CURTAIN/UNDERDRAIN
PROPOSED CURTAIN/UNDERDRAIN COLLECTOR PIPE	PROPOSED CURTAIN/UNDERDRAIN COLLECTOR PIPE



AREA OF DISTURBANCE - PROPOSED UNDERDRAIN AND LEVEL SPREADER

	WETLANDS	WETLANDS BUFFER	TOTAL AREA
UNDERDRAIN SYSTEM (SF)	0	6,750	6,750
LEVEL SPREADER (SF)	1,850	0	1,850
CONSTRUCTION ACCESS ROAD (SF)	0	245	245
TOTAL (SF)	1,850	6,945	8,845

NOTE: THERE IS A TOTAL AREA OF DISTURBANCE OF 8,845 SF REQUIRED TO PROPERLY INSTALL NEW UNDERDRAIN SYSTEM AND LEVEL SPREADER. THE REQUIRED 2X WETLANDS AND WETLANDS BUFFER MITIGATION IS 2 X 8,845 SF = 17,690 SF.

NO NEW IMPERVIOUS SURFACES ARE PROPOSED AS PART OF THIS PROJECT. EXCESS SOIL TO BE REMOVED AND PROPERLY DISPOSED OF OFF SITE AS PART OF THE WETLANDS AND WETLANDS BUFFER MITIGATION. THERE IS TO BE NO CHANGE IN EXISTING GRADES. AREA OF WETLANDS DISTURBANCE = 1,850 SF. AREA OF WETLANDS BUFFER DISTURBANCE = 6,945 SF. TOTAL WETLANDS AND BUFFER DISTURBANCE = 8,845 SF. REQUIRED WETLANDS MITIGATION = 2 X 8,845 SF = 17,690 SF. AREA OF WETLANDS MITIGATION = 9,100 SF + 8,845 SF = 17,945 SF. 17,945 SF PROVIDED > 17,690 SF REQUIRED OK (SEE AREA OF DISTURBANCE - PROPOSED UNDERDRAIN/CURTAIN DRAIN AND LEVEL SPREADER WORK TABLE ABOVE)

ADDITIONAL CONSTRUCTION NOTES

- ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE "NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
- DIG SAFELY NY 811: THE CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO INSURE THAT NO INTERFERENCE EXISTS.
- INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.
- CONSTRUCTION NOTE: UNDERDRAIN/CURTAIN DRAIN SYSTEM TO BE INSTALLED IN WETLANDS BUFFER AREA ONLY. LEVEL SPREADER TO BE INSTALLED IN WETLANDS AREA.
- CONSTRUCTION NOTE: THE CONTRACTOR TO VERIFY ALL INVERT AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONSTRUCTION NOTE: UNDERDRAIN SYSTEM TO BE INSTALLED IN WETLANDS BUFFER AREA ONLY. LEVEL SPREADER TO BE INSTALLED IN WETLANDS AREA.

PLANTING AND MITIGATION SCHEDULE:

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
M	4	RHODODENDRUM PJM	RHODODENDRUM	5 GAL.
R	2	ACER RUBRUM	RED SWAMP MAPLE	6 - 7 FT.
	4	HELIANTHUS ANGSTIFOLIUS	SWAMP SUNFLOWER	1 QT.
	9	IRIS VERSICOLOR	BLUEFLAG IRIS	1 QT.
	12	ASTER NOVI-ANGLIAE	NEW YORK ASTER	1 QT.

NOTE: THERE IS A TOTAL AREA OF DISTURBANCE OF 8,845 SF REQUIRED TO PROPERLY INSTALL NEW UNDERDRAIN SYSTEM AND LEVEL SPREADER. THE REQUIRED 2X WETLANDS AND WETLANDS BUFFER MITIGATION IS 2 X 8,845 SF = 17,690 SF.

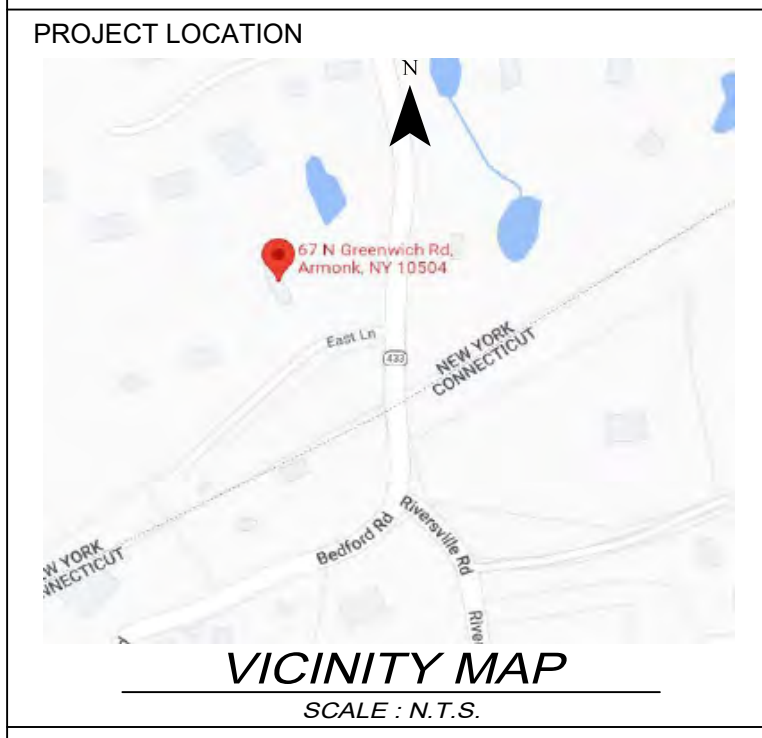
SITE PLAN INFORMATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SITE PLAN PREPARED BY MICHAEL A. PICCIRILLO, AIA DATED 04/15/2013.
 STORMWATER PLAN PREPARED BY NATHANIEL J. HOLT, P.E. DATED JULY 22, 2013.
 ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS.

- SPECIAL NOTES:**
- LIMITS OF DISTURBANCE IN WETLANDS AND WETLANDS BUFFER AND LOCATION OF SILT FENCE AND CONSTRUCTION FENCE TO BE STAKED IN THE FIELD PRIOR TO START OF UNDERDRAIN/CURTAIN DRAIN AND LEVEL SPREADER CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES MUST BE PROPERLY INSTALLED, MAINTAINED, AND INSPECTED AROUND THE SITE UNTIL PROJECT COMPLETION.
 - A SEPARATE LOCAL ADMINISTRATIVE WETLANDS PERMIT AND A SEPARATE BUILDING PERMIT ARE REQUIRED.
 - THE CONSTRUCTION ENTRANCE AND EXISTING ROADWAY MUST BE PROPERLY MAINTAINED UNTIL PROPER COMPLETION.
 - ALL AREAS DISTURBED AS A RESULT OF UNDERDRAIN/CURTAIN DRAIN AND LEVEL SPREADER CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. THIS INCLUDES THE CONSTRUCTION ENTRANCE AND CONSTRUCTION ACCESS.
 - THE APPLICATION OF FERTILIZERS, PESTICIDES, HERBICIDES, AND FUNGICIDES IS STRICTLY PROHIBITED AS A CONDITION OF A WETLANDS PERMIT.
 - THERE IS TO BE NO CHANGE TO EXISTING GRADES AT THE PROJECT SITE. THE FINAL RESTORATION OF WETLANDS AND WETLANDS BUFFER SHALL BE WITH APPROVED WETLANDS GRASS SEED MIX. USE NEW ENGLAND WETMIX NATIVE GRASS SEED MIX OR APPROVED EQUAL AT A RATE OF 1LB./2,500 SF

PROPOSED FRONT YARD UNDERDRAIN SYSTEM
 AT
67 N. GREENWICH RD.
 ARMONK, N.Y.

TAX ID: 108.03-3-34
 ZONE: R-2A



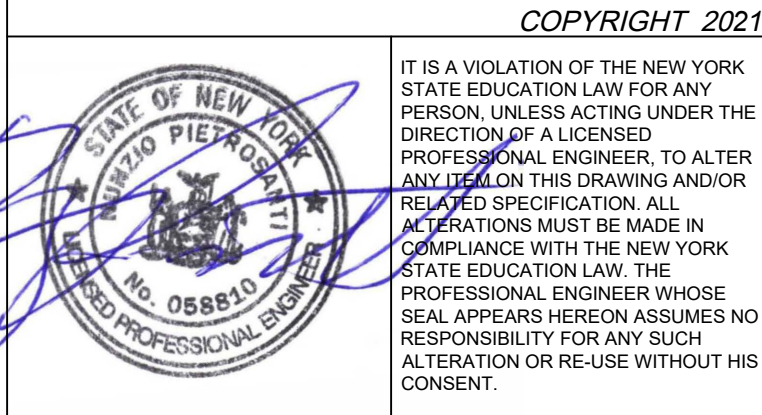
DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
3	RPRC F 9J -9K 7CA A 9BHG	+12/22
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

- REVISIONS -

PROPOSED UNDERDRAIN SYSTEM AND WETLANDS MITIGATION PLAN, NOTES, AND PLANTING LIST

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PROJECT No: 100121
 DATE: 10/10/21
 SCALE: AS NOTED
 DRAWN BY: A.P.
 CHECKED BY: N.P.

SHEET No: **SP-1**

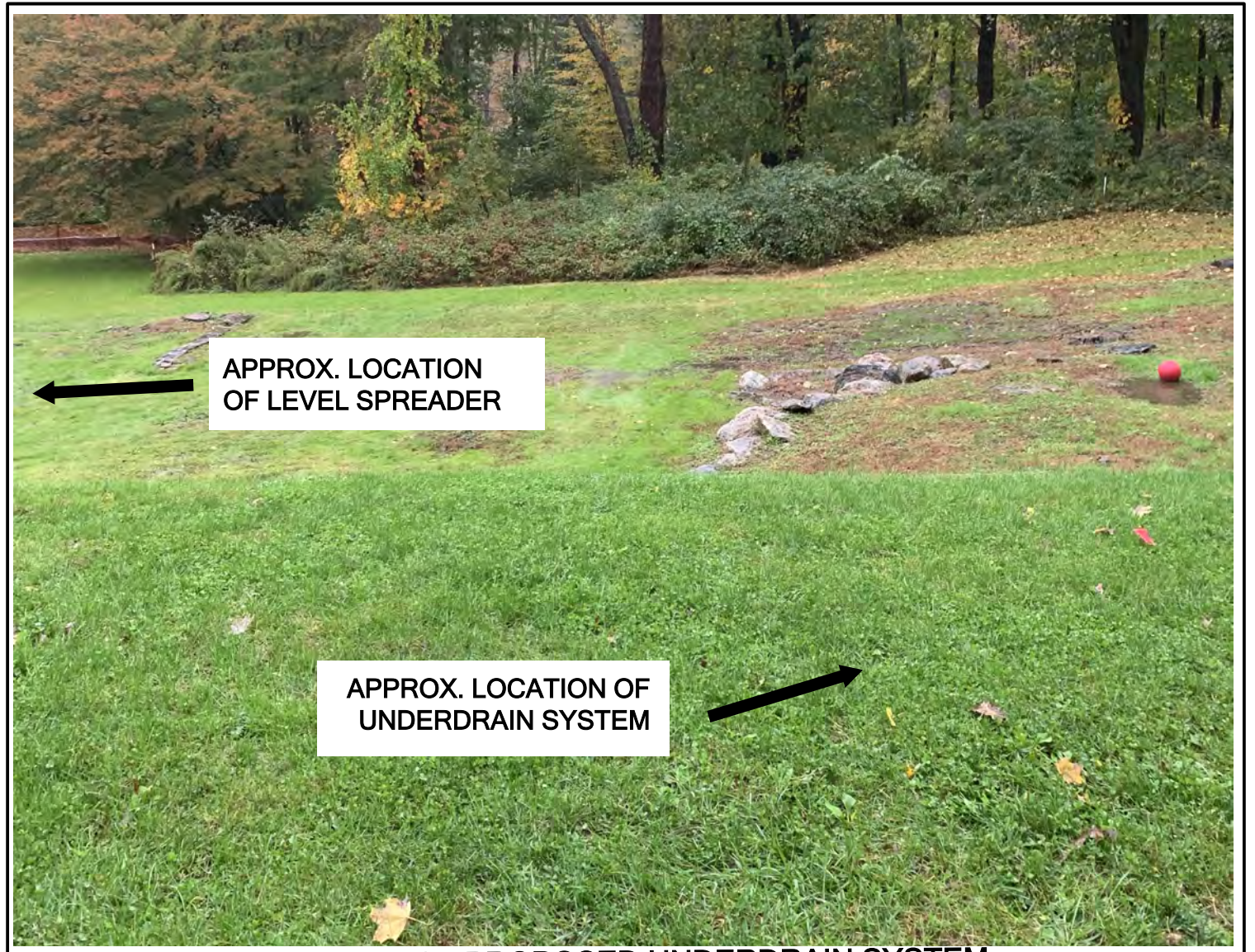


PHOTO 1: LOCATION OF PROPOSED UNDERDRAIN SYSTEM (VIEW LOOKING EAST. PERFORATED PIPE FOR UNDERDRAIN LOCATED IN WETLANDS BUFFER ONLY)



PHOTO 2: LOCATION OF PROPOSED UNDERDRAIN SYSTEM (VIEW LOOKING SOUTH. PERFORATED PIPE FOR UNDERDRAIN LOCATED IN WETLANDS BUFFER ONLY)

DO NOT SCALE DRAWINGS

GENERAL CONDITIONS AND SPECIFICATIONS:

GENERAL CONDITIONS:

- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL AND ALL APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF NORTH CASTLE. IN ALL CASES THE MOST RESTRICTIVE LIMITATION OF ANY APPLICABLE CODE SHALL BE FOLLOWED BY THE CONTRACTOR.
- CONTRACTOR TO CALL FOR MARK OUT OF ALL UNDERGROUND UTILITIES INSIDE PROPERTY LINE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER AND PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOT "SCALE" DRAWINGS IN ORDER TO OBTAIN DIMENSIONS. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE REFERRED TO THE ENGINEER WHO SHALL PROVIDE THE INFORMATION.
- DIMENSIONS AND REPRESENTATIONS RELATING TO THE EXISTING BUILDING AND SITE CONDITIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ANY CONSTRUCTION, WITH DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
- ANY DISCREPANCIES FOUND BETWEEN THOSE CONDITIONS UNCOVERED IN THE FIELD AND THOSE INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTABLE TRADE PRACTICES, PER MANUFACTURER'S RECOMMENDATIONS, AND PER THE REQUIREMENTS OF THE CODE. OWNER RESERVES THE RIGHT TO REJECT UNACCEPTABLE CONSTRUCTION AT THE COST OF THE CONTRACTOR.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS, AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK. ALL MATERIALS INDICATED FOR THIS PROJECT ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR AND APPROVED BY THE OWNER, UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR THE COMPLETE AND PROPER FUNCTIONS OF THE ENTIRE PROJECT.
- CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE PROJECT.
- CONTRACTOR SHALL BE LICENSED BY WESTCHESTER COUNTY TO DO REMODELING WORK AND SHALL PRESENT LICENSE TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT AS A REQUIREMENT FOR OBTAINING THE BUILDING PERMIT.

- CONTRACTOR SHALL FURNISH ALL PERMITS, LICENCES AND APPROVALS NECESSARY TO COMPLETE THE WORK. WITH THE EXCEPTION OF THE INITIAL BUILDING PERMIT, ALL PERMITS SHALL BE SECURED BY, AND AT THE EXPENSE OF, THE CONTRACTOR. THIS SHALL INCLUDE REFUNDABLE RIGHT-OF-WAY DEPOSIT, STREET OPENING PERMIT, AND CERTIFICATE OF COMPLIANCE. NO WORK SHALL START UNLESS THE NECESSARY PERMITS ARE ISSUED.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF COMPLIANCE UPON COMPLETION OF WORK.
- COORDINATE STORAGE OF MATERIAL, EQUIPMENT, AND CONTAINERS WITH OWNER AND MUNICIPALITY.
- JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND PROPERLY AND LEGALLY DISPOSED OF ON A REGULAR BASIS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROJECT SAFETY. ABIDE BY ALL OSHA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING SITE, BUILDING, AND STRUCTURES ON THE PROPERTY AND ADJACENT PROPERTIES FROM ANY DAMAGES DUE TO THE METHODS AND MANNERS OF CONSTRUCTION, TRAFFICKING, AND THE DELIVERY AND STORAGE OF MATERIALS AND EQUIPMENT. CONTRACTOR SHALL RESTORE ANY DAMAGED AREAS TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO OWNER.
- UPON ENTERING A CONTRACT WITH THE OWNER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CARRY OUT THE WORK AS SPECIFIED AND IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS, AND MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FOLLOW THE BUILDING DEPARTMENT APPROVED SET OF DOCUMENTS. NO SUBSTITUTION SHALL BE MADE WITHOUT CONSULTING THE ENGINEER FIRST.
- NO CHANGES SHALL BE MADE TO THE DRAWINGS EXCEPT AS PER NEW YORK STATE LAW CHAPTER 987. ALL CHANGES MADE TO THESE DRAWINGS SHALL BE APPROVED BY ENGINEER AND SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL PERMIT.
- CONTRACTOR TO NOTIFY THE OWNER WHEN THE WORK WILL BEGIN ON THE PROJECT AND SHALL COORDINATE ALL WORK WITH THE OWNER.
- CONTRACTOR SHALL BE SOLELY AND TOTALLY RESPONSIBLE FOR ALL SEQUENCE OF CONSTRUCTION AND PROTECTION AGAINST WEATHER, PROJECT SAFETY, AND COORDINATION OF TRADES, SERVICES, ETC.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING AND IMPLEMENTING METHODS FOR ACCOMPLISHING TEMPORARY SHORING, SUPPORTS, BARRICADES, ETC. FOR ALL ITEMS OF WORK (AS REQUIRED).

- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL OTHER CONTRACTORS AND SHALL CUT, LAY, AND INSTALL THEIR WORK AT SUCH A TIME AND MANNER SO THAT NO DELAY OR INTERFERENCE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS SHALL OCCUR.
- THE ENGINEER AND OWNER RESERVE THE RIGHT TO MAKE CHANGES TO THE DRAWINGS AND SPECIFICATIONS OR TO INCREASE OR DECREASE THE QUANTITY OF WORK AT ANY TIME, BEFORE OR AFTER CONSTRUCTION HAS COMMENCED, WITH APPROPRIATE ADJUSTMENT TO CONTRACT SUM.
- ANY ITEMS ADDED TO THE PROJECT SUBSEQUENT TO THE CONSTRUCTION CONTRACT SHALL FOLLOW THE SPECIFICATIONS FOR MATERIAL PREVIOUSLY SPECIFIED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR NOTIFICATION TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT IN CONJUNCTION WITH ANY AND ALL REQUIRED INSPECTIONS TO BE PERFORMED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR KNOWLEDGE OF WHICH INSPECTIONS THE BUILDING AND ENGINEERING DEPARTMENTS PERFORM. THE CONTRACTOR'S WORK SHALL BE CONSIDERED COMPLETE ONLY WHEN ALL REQUIRED CLOSE-OUT DOCUMENTS ARE IN ORDER.
- NO RESPONSIBILITY HAS BEEN ASSUMED BY THE ENGINEER FOR INFORMATION SUPPLIED BY OTHERS AND BELIEVED BY THE ENGINEER TO BE RELIABLE, NOR FOR ANY CONDITIONS WHICH WERE CONCEALED OR IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL EXCAVATION, PROBING OR TESTING NOR FOR ANY LATENT DEFECTS IN THE EXISTING STRUCTURE. ENGINEER ASSUMES NO LIABILITY FOR ANY WORK NOT IN CONFORMANCE WITH THE CODE OR FOR EXISTING CONDITIONS SHOWN HEREIN.
- ANY SITE OBSERVATIONS PERFORMED BY THE ENGINEER ARE SOLELY FOR THE ENGINEER'S PURPOSE OF DETERMINING IF THE WORK IS BEING CARRIED OUT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR THE GENERAL DESIGN AND AESTHETIC INTENT. THE ENGINEER'S PRESENCE ON THE SITE IN NO WAY RELIEVES THE CONTRACTOR OF HIS DUTIES TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE INTERNATIONAL RESIDENTIAL CODE (IRC-2015), THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL, AND ALL APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF NORTH CASTLE.
- THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY UNSATISFACTORY WORK PERFORMED, QUALITY OF WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION, SITE SAFETY, EXCEPTIONS BY THE LOCAL MUNICIPALITY FOR FAILED INSPECTIONS, OR ANY OTHER DEFICIENCIES BY THE CONTRACTOR.
- THE ENGINEER HAS NOT BEEN RETAINED TO PERFORM FIELD SUPERVISION OF THIS PROJECT.

PROPOSED FRONT YARD UNDERDRAIN SYSTEM AT 67 N. GREENWICH RD.

ARMONK, N.Y.

TAX ID: 108.03-3-34

ZONE: R-2A

PROJECT LOCATION



VICINITY MAP
SCALE: N.T.S.

DO NOT SCALE DRAWINGS

No.	DESCRIPTION	DATE
3	RPRC F 9J -9K 7CA A 9BHG	4/12/22
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

- REVISIONS -

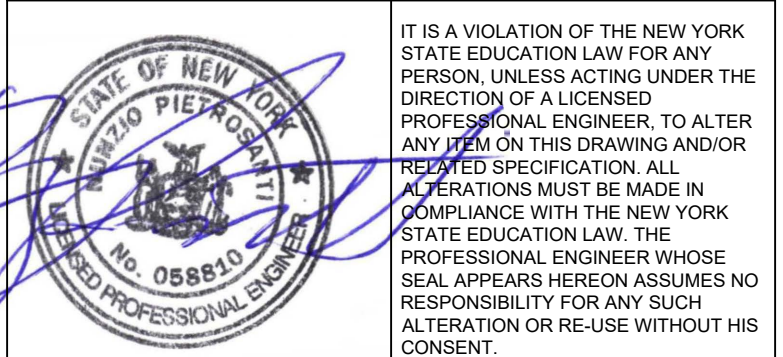
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DETAILS, NOTES, AND SPECIFICATIONS

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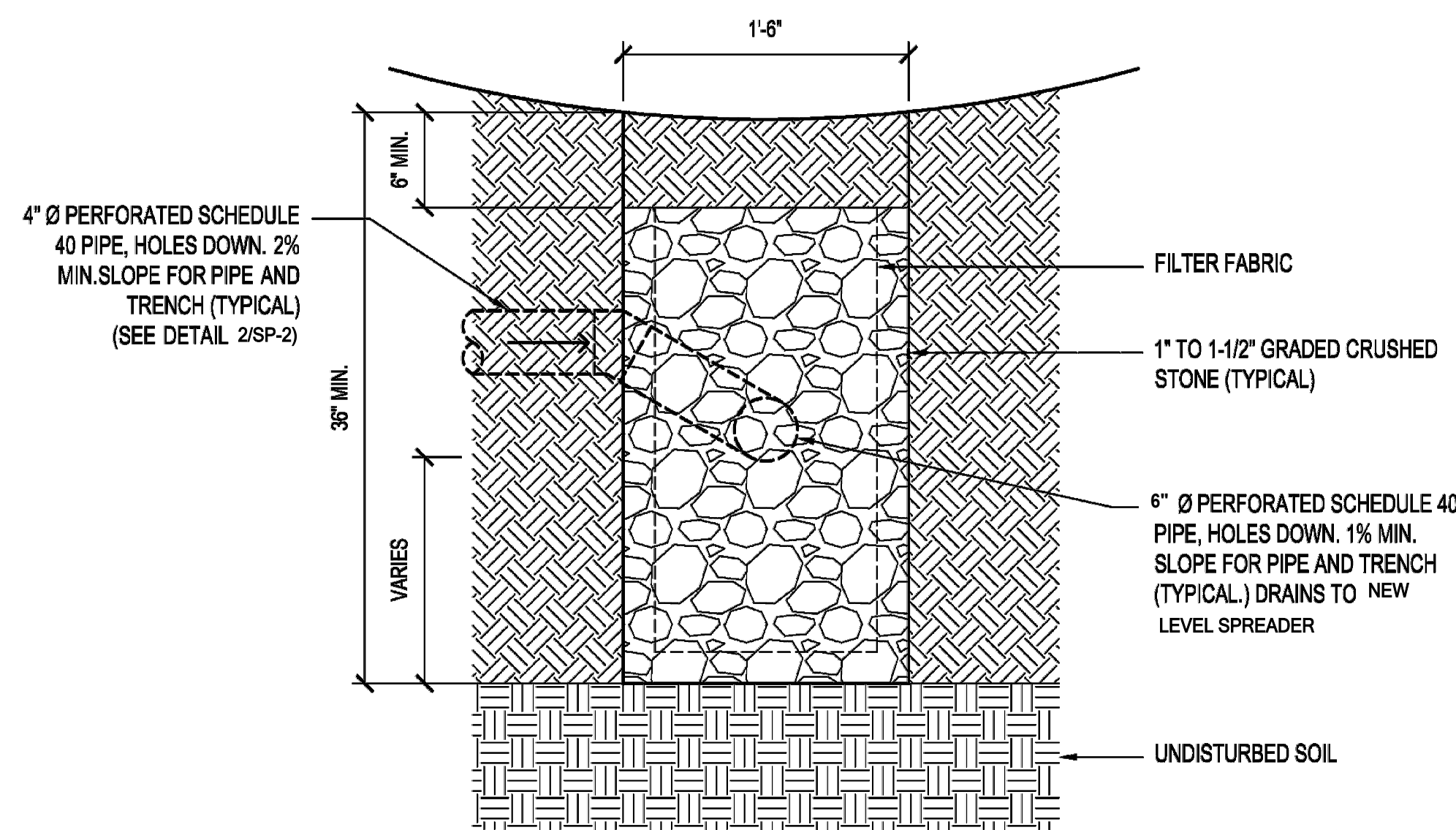


IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THIS DRAWING AND/OR REPRODUCE OR TRANSMIT ANY INFORMATION FROM THIS DRAWING. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR RE-USE WITHOUT HIS CONSENT.

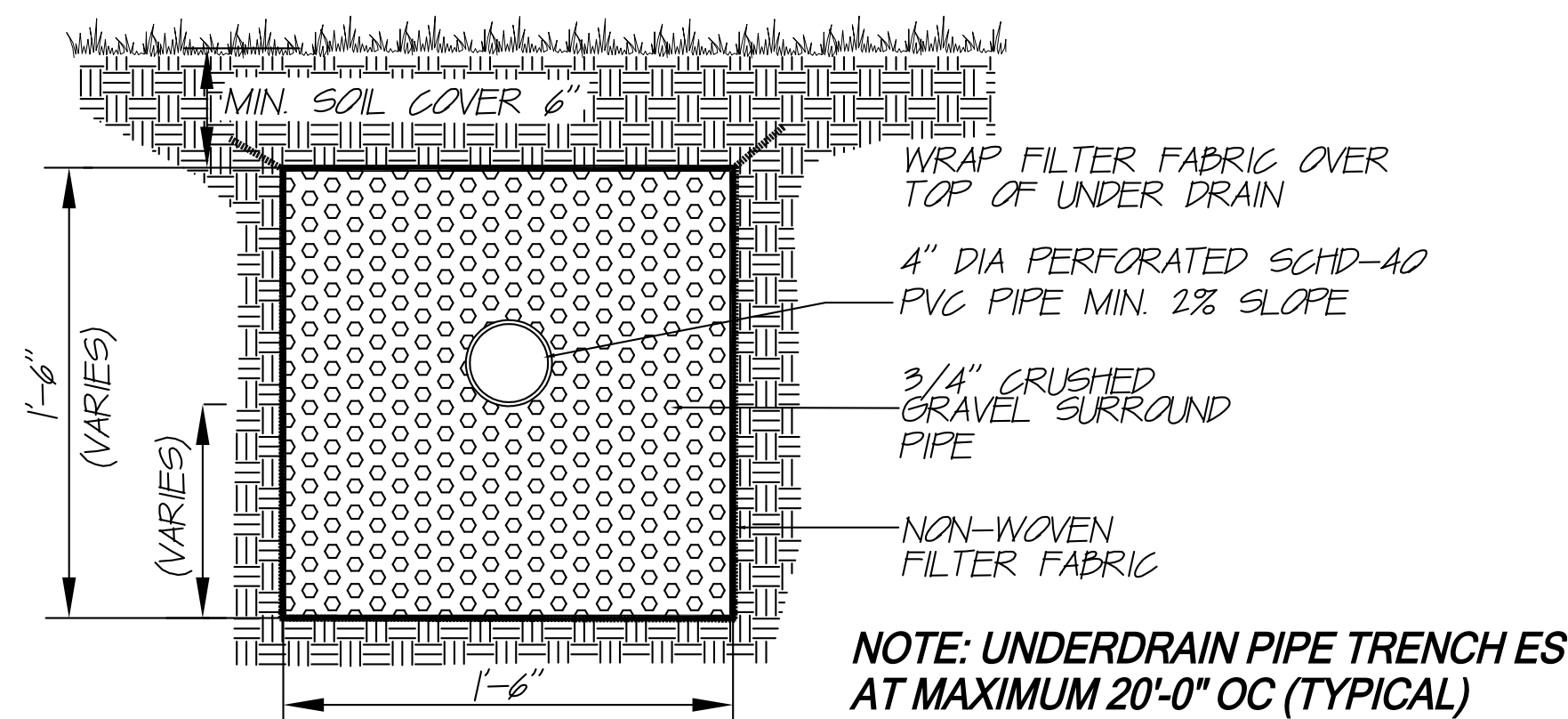
PROJECT No: 100121
DATE: 10/10/21
SCALE: AS NOTED
DRAWN BY: A.P.
CHECKED BY: N.P.

SHEET No
SP-2

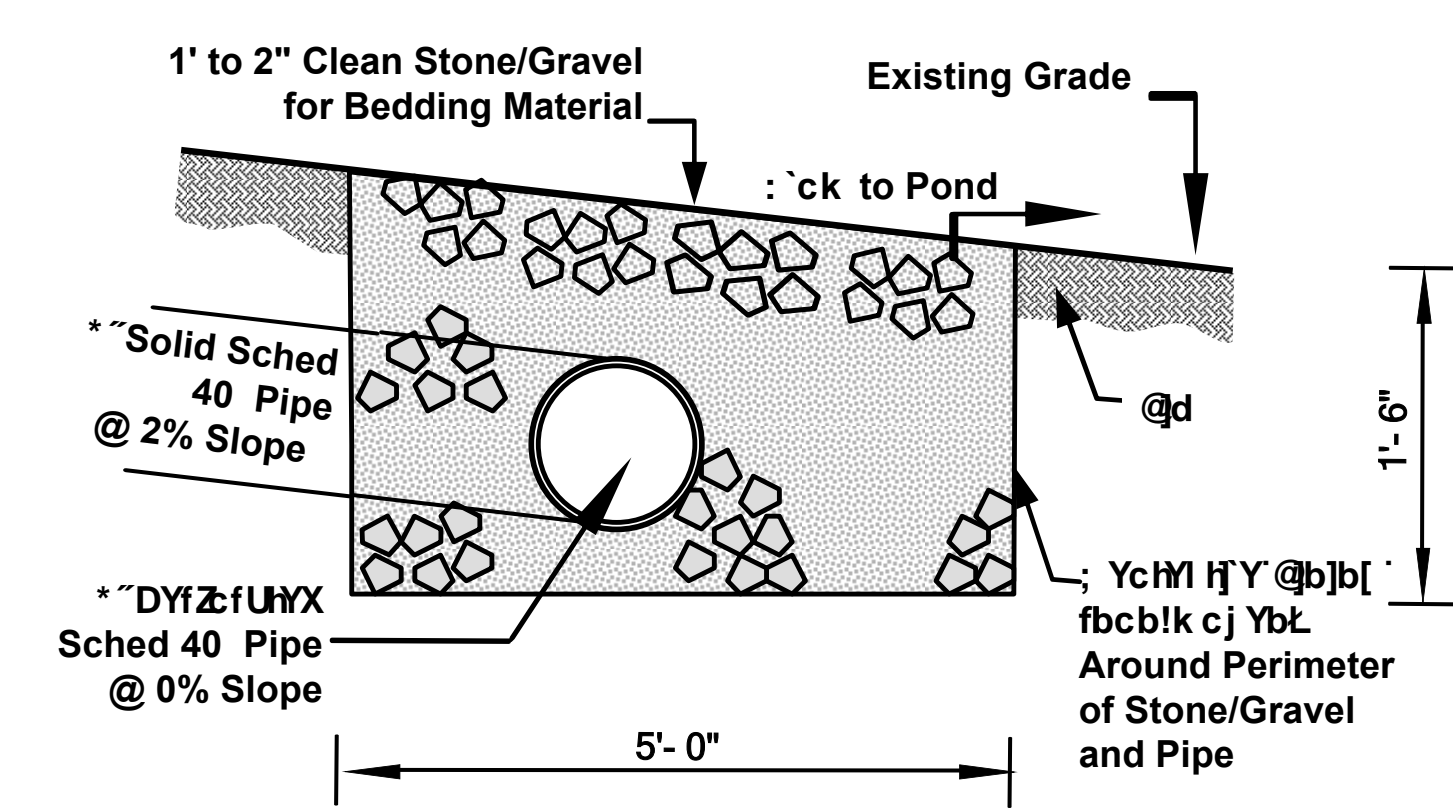
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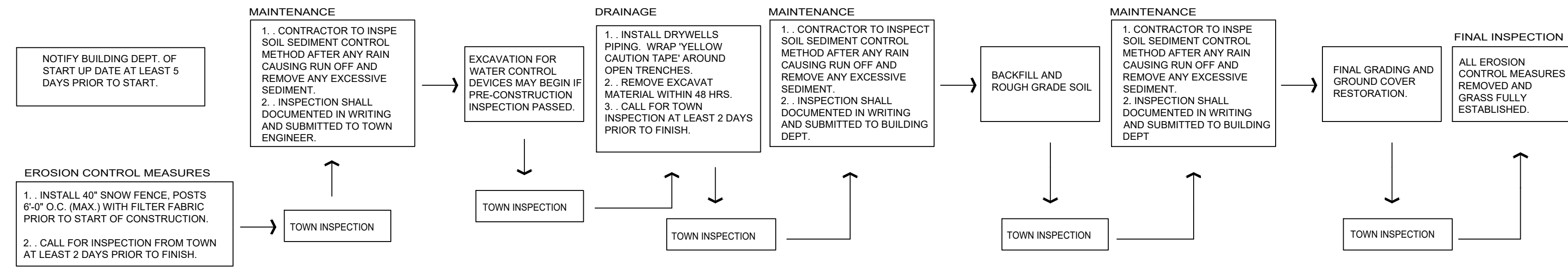
3
SP-2
UNDERDRAIN/CURTAIN DRAIN COLLECTOR PIPE DETAIL
SCALE: NOT TO SCALE



2
SP-2
UNDERDRAIN/CURTAIN DRAIN DETAIL
SCALE: NOT TO SCALE



1
SP-2
LEVEL SPREADER DETAIL
SCALE: NOT TO SCALE

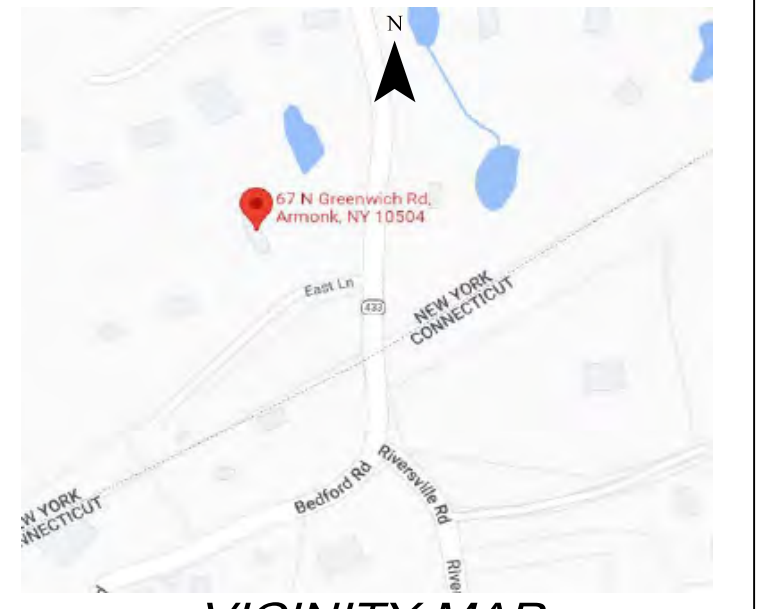


EROSION CONTROL SCHEDULE

PROPOSED FRONT YARD UNDERDRAIN SYSTEM
AT
67 N. GREENWICH RD.
ARMONK, N.Y.

TAX ID: 108.03-3-34
ZONE: R-2A

PROJECT LOCATION



VICINITY MAP
SCALE: N.T.S.

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No.	DESCRIPTION	DATE
3	RPRC F 9J -9K -7 CA A 9BHG	+1/12/22
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

- REVISIONS -

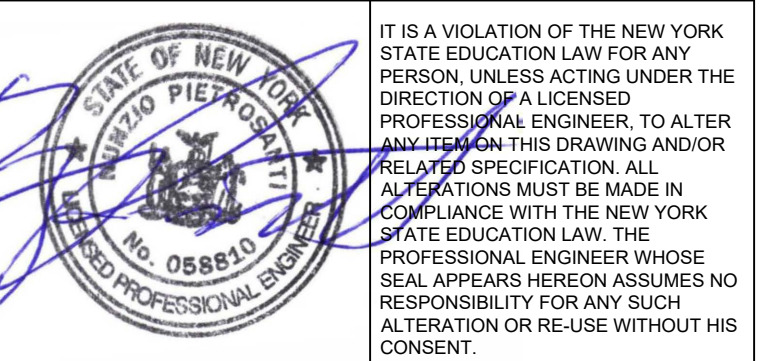
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EROSION CONTROL DETAILS AND NOTES,

Nunzio Pietrosanti, P.E.
CONSULTING ENGINEER

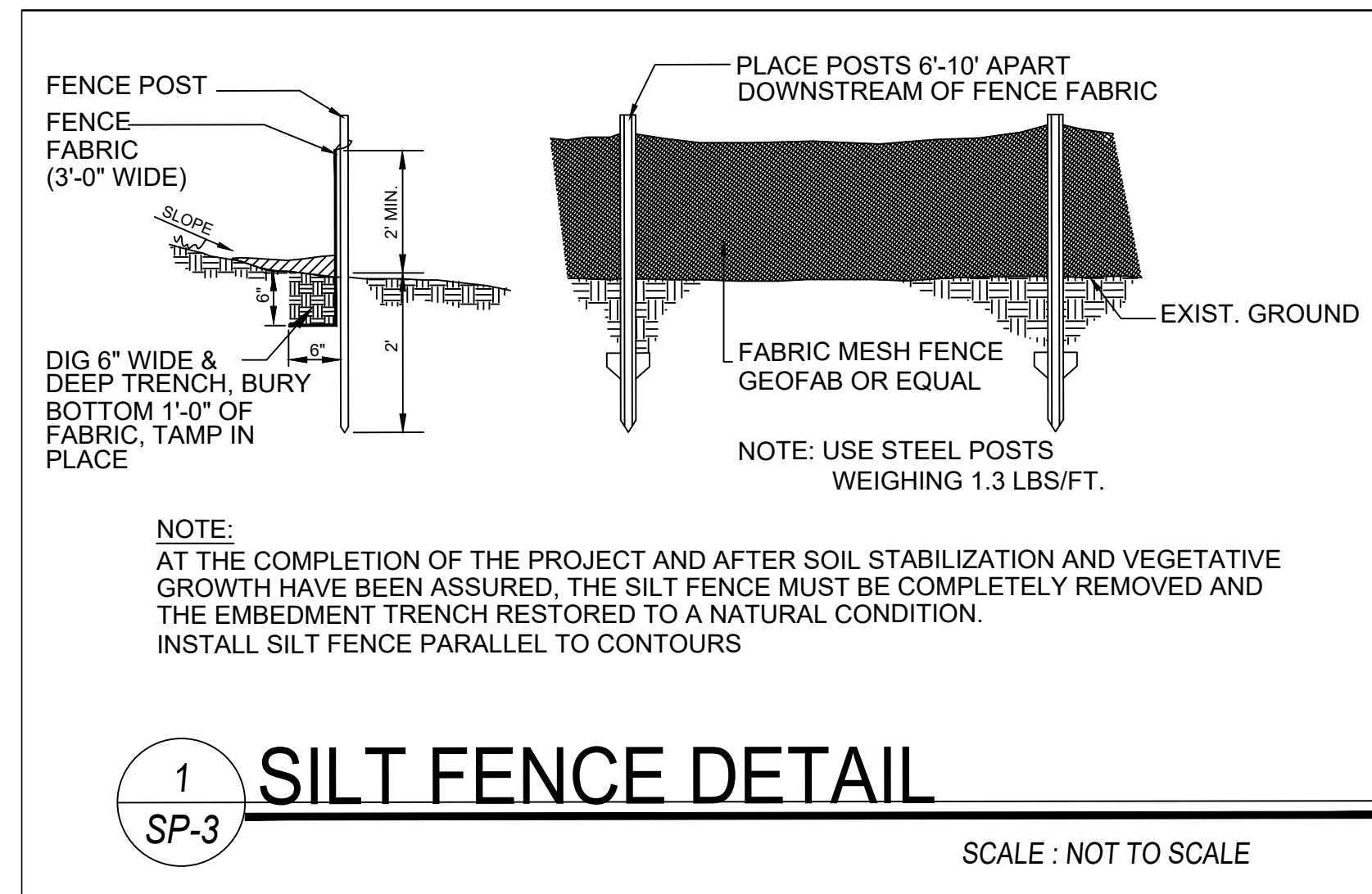
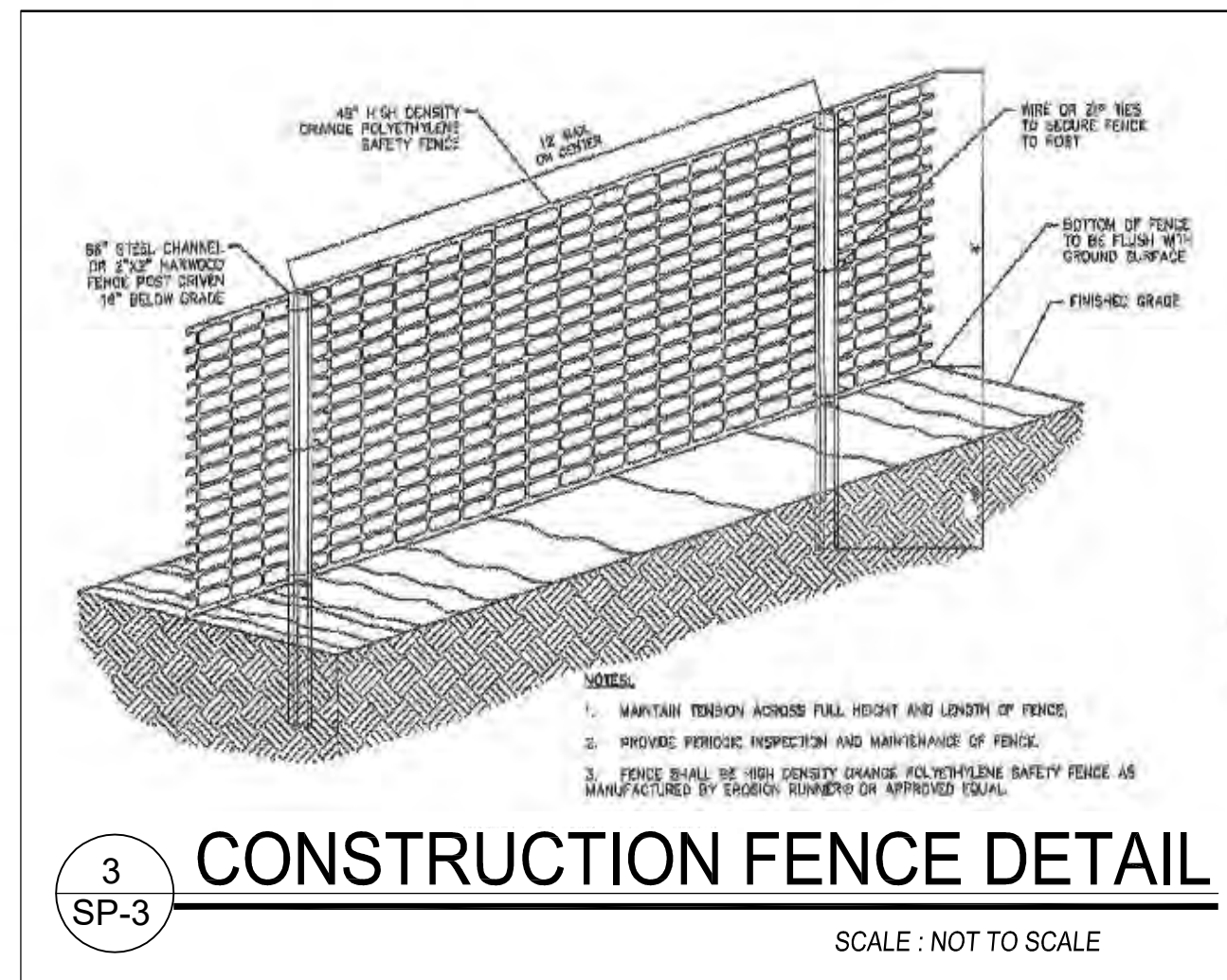
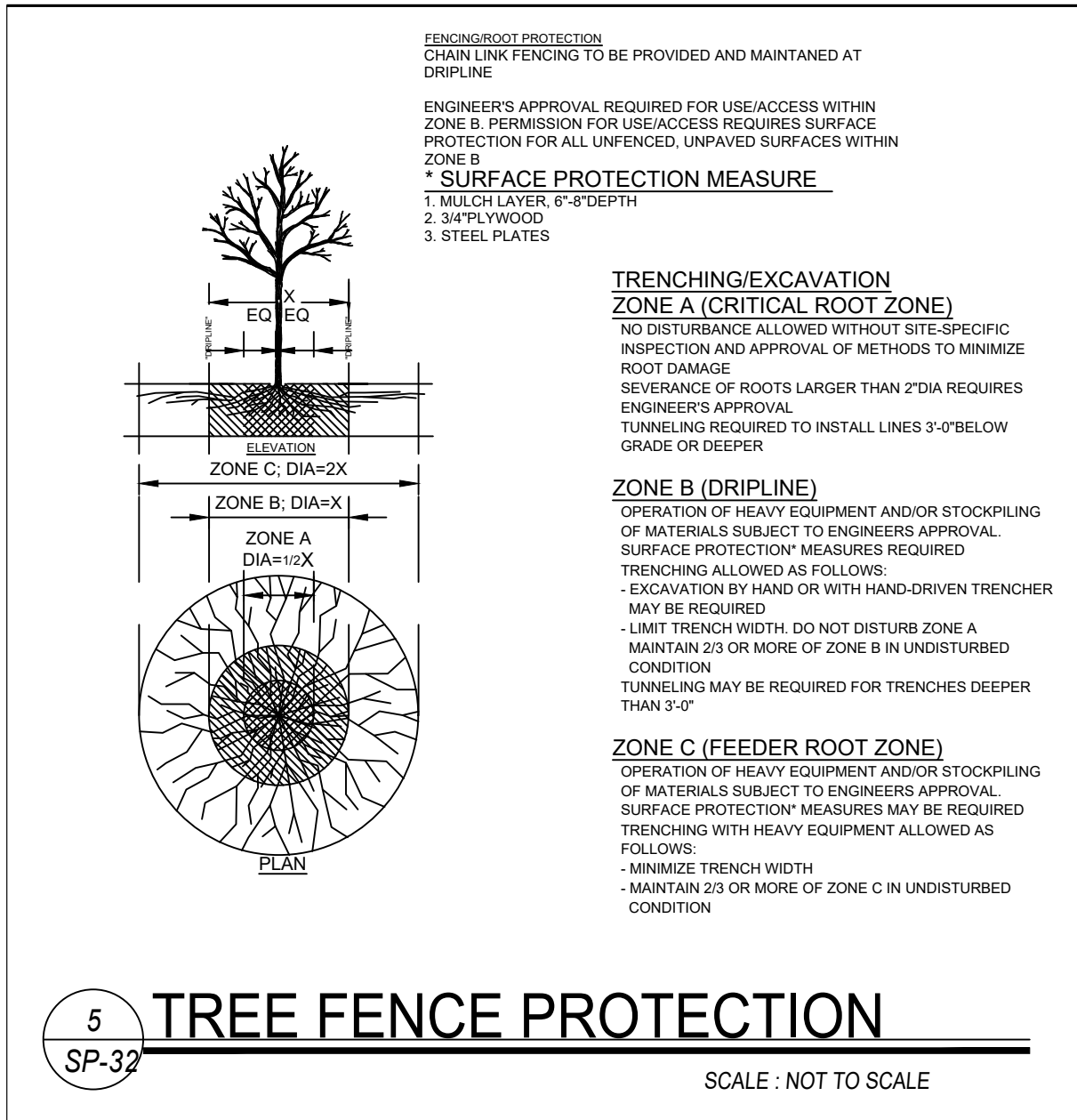
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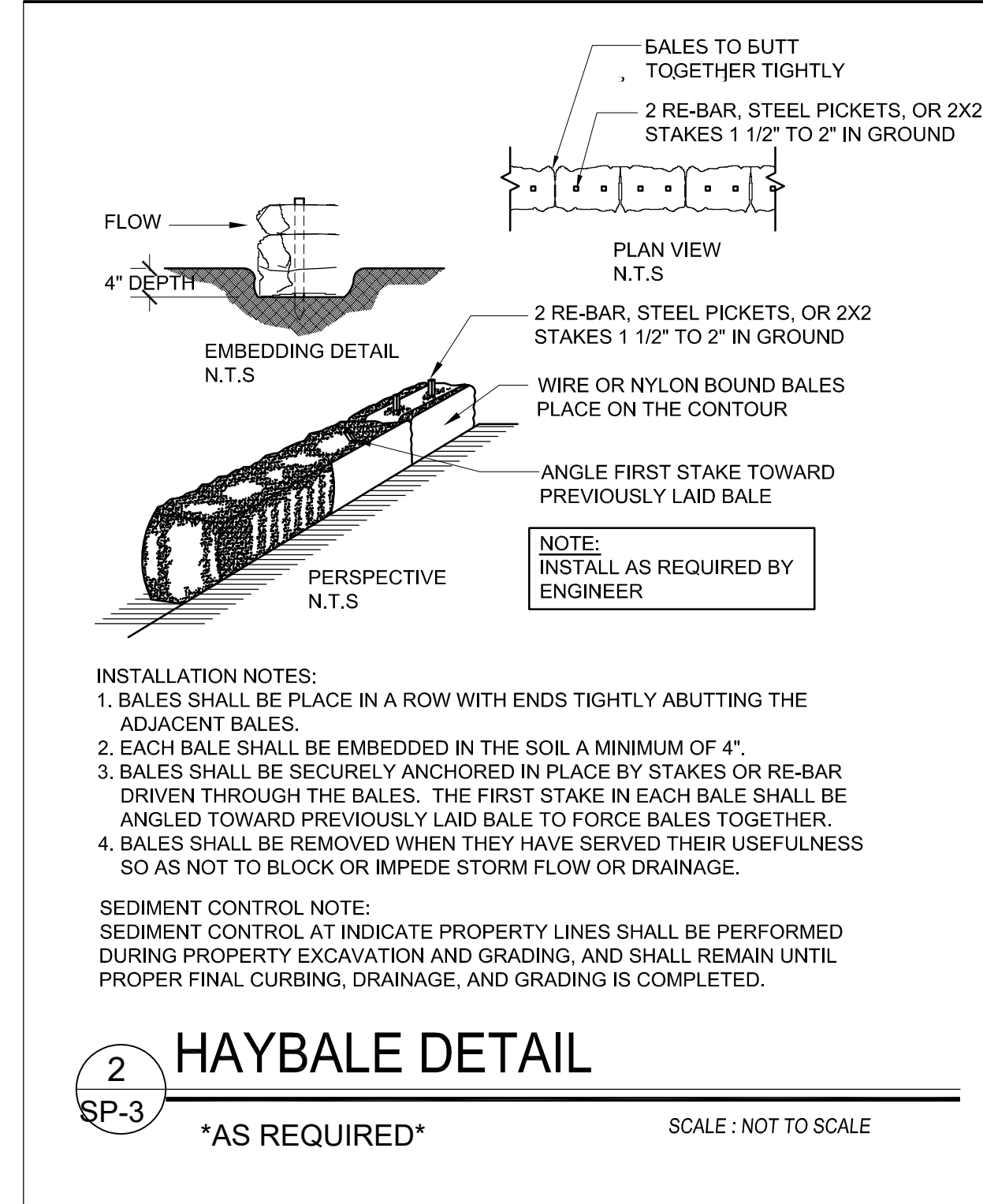
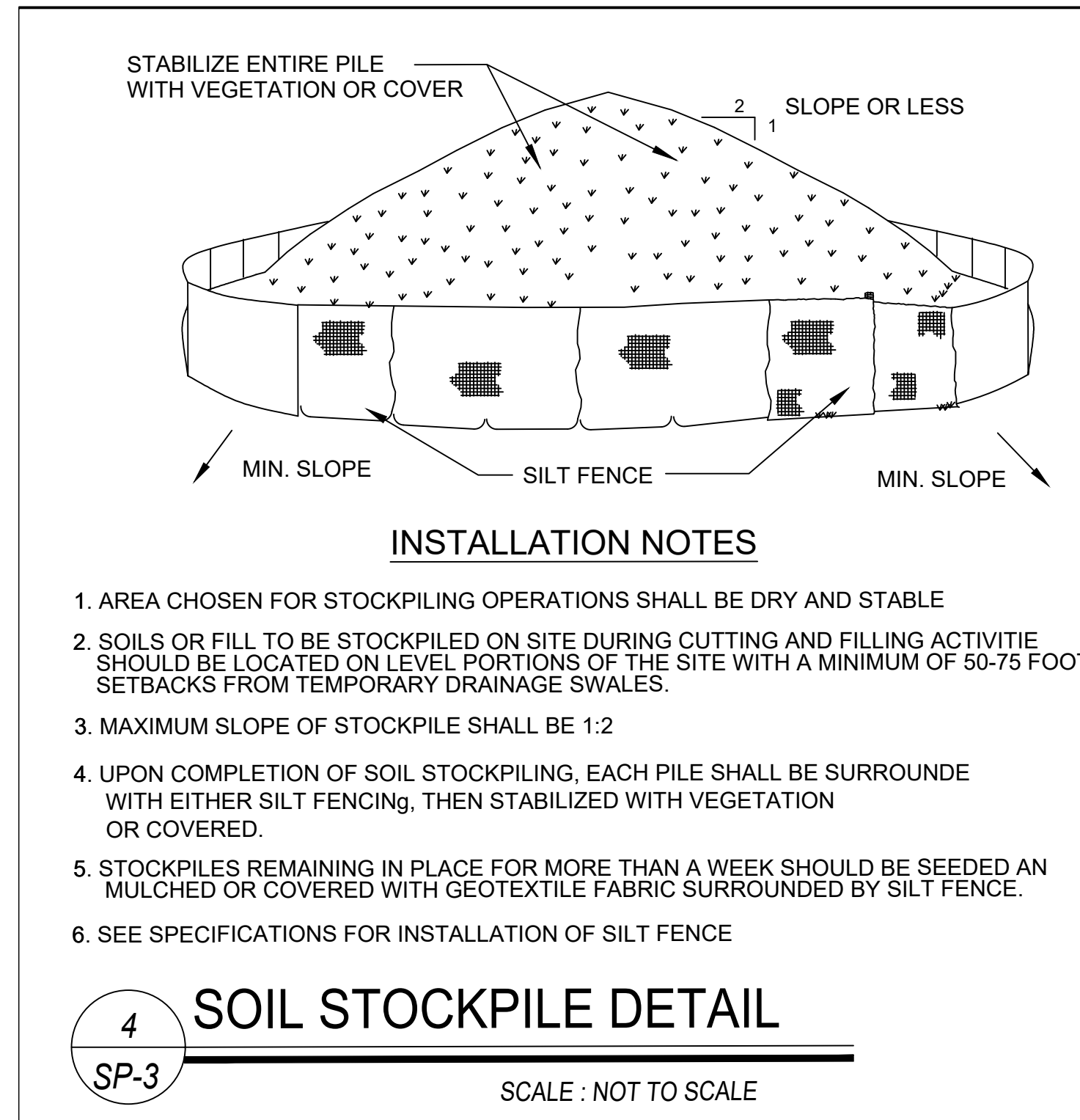
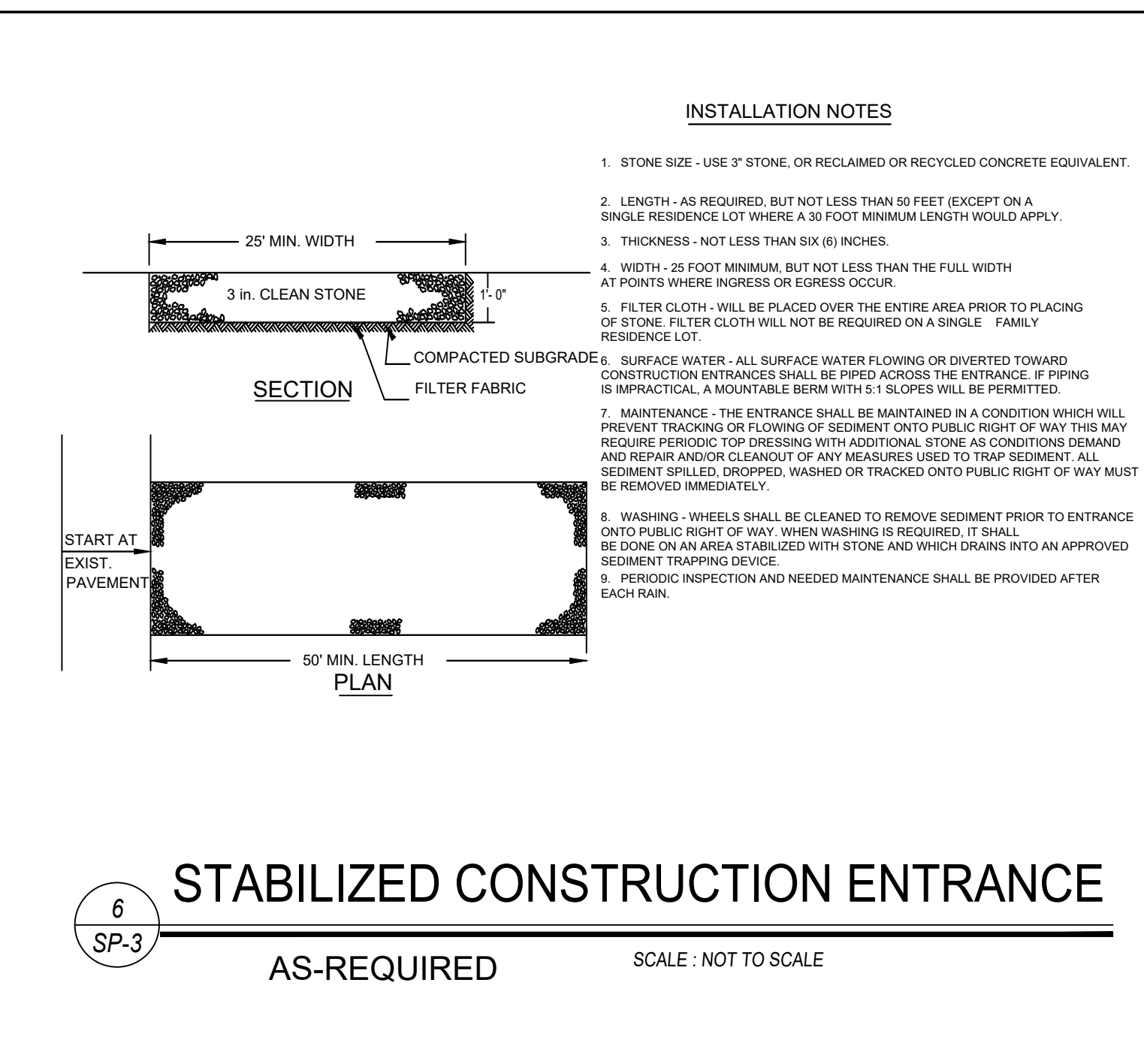


PROJECT No : 100121	SHEET No
DATE : 10/10/21	
SCALE : AS NOTED	SP-3
DRAWN BY : A.P.	
CHECKED BY : N.P.	

DO NOT SCALE DRAWINGS



NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE "NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."



INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT SILT FENCE, ETC. AND REMOVE AND EXCESSIVE SEDIMENT, AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

STOCK PILING OF EXCAVATED MATERIAL
STRIP TOPSOIL AND STOCKPILE
STOCKPILE EXCAVATION SUBGRADE
SEED PILES WITH 1LB TOTAL ANNUAL RYE OR REMOVE FROM SITE WITHIN 2 DAYS

INSPECTION BY MUNICIPALITY
FINAL GRADING

REMOVE UNNEEDED SUBGRADE FROM SITE.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDDED, HAND RAKE LEVEL
BROADCAST 1.25LB BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREAS TO BE SEEDDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
FINAL LANDSCAPING

GRASS ESTABLISHED
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
FINAL INSPECTION

1. ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.
2. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.