



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 67 North Greenwich Road

### Section III- DESCRIPTION OF WORK:

**Construction of an under drain system level spreader in the existing front yard (wetlands - wetlands buffer areas). The under drain to be located within the wetlands buffer. The level spreader to be located in the wetlands away from the pond. This includes mitigation (wetlands grass seed mix). Proper soil erosion and sediment controls will be provided. There is no change to existing grade and no additional impervious surfaces added. (See drawings SP-1, SP-2, SP-3)**

### Section III- CONTACT INFORMATION:

APPLICANT: Arthur Moran

ADDRESS: 67 North Greenwich Road

PHONE: \_\_\_\_\_ MOBILE: (914) 497-9359 EMAIL: arthur.moran@comphealth.com

PROPERTY OWNER: Arthur Moran

ADDRESS: 67 North Greenwich Road

PHONE: \_\_\_\_\_ MOBILE: (914) 497-9359 EMAIL: arthur.moran@comphealth.com

PROFESSIONAL: Nunzio Pietrosanti, P.E.

ADDRESS: 63 Dover Lane, Yonkers, New York 10710

PHONE: \_\_\_\_\_ MOBILE: (914) 760 - 0628

EMAIL: n.pietrosanti@aol.com

### Section IV- PROPERTY INFORMATION:

Zone: R - 2A Tax ID (lot designation) 108.03-3-34



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

**Arthur Moran - Front yard under drain system installation**

Initial Submittal  Revised Preliminary

Street Location:

**67 North Greenwich Road**

Zoning District: **R-2A** Property Acreage: **2.6323** Tax Map Parcel ID: **108.03-3-34**

Date: **05/18/22**

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



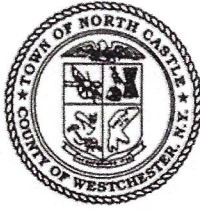
**RPRC COMPLETENESS REVIEW FORM**

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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PLANNING DEPARTMENT  
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 Director of Planning

**NA**

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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: \_\_\_\_\_ Date: \_\_\_\_\_

Tax Map Designation or Proposed Lot No.: \_\_\_\_\_

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): \_\_\_\_\_
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): \_\_\_\_\_
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)): \_\_\_\_\_  
 Distance principal home is beyond minimum front yard setback  
 \_\_\_\_\_ x 10 = \_\_\_\_\_
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 \_\_\_\_\_
5. Amount of lot area covered by **principal building**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
6. Amount of lot area covered by **accessory buildings**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
7. Amount of lot area covered by **decks**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
8. Amount of lot area covered by **porches**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
9. Amount of lot area covered by **driveway, parking areas and walkways**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
10. Amount of lot area covered by **terraces**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
12. Amount of lot area covered by **all other structures**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = \_\_\_\_\_

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
 Signature and Seal of Professional Preparing Worksheet

\_\_\_\_\_  
 Date





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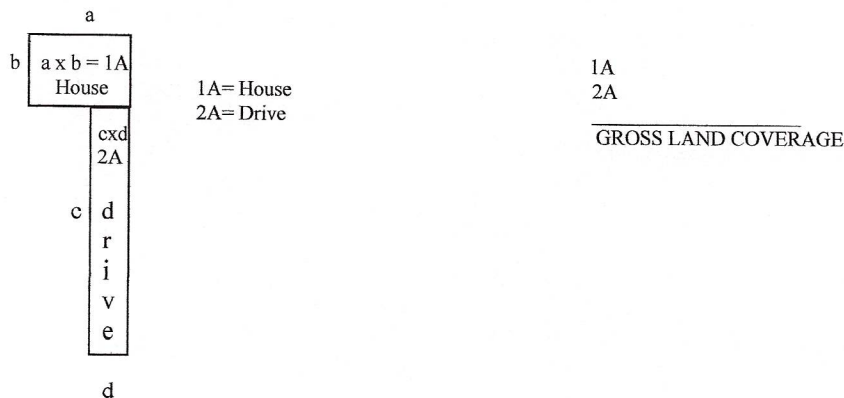
**NA**

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## GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



# NA

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



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**NA**

January 29, 2019  
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## FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: \_\_\_\_\_ Date: \_\_\_\_\_

Tax Map Designation or Proposed Lot No.: \_\_\_\_\_

### Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): \_\_\_\_\_
2. **Maximum** permitted floor area (per Section 355-26.B(4)): \_\_\_\_\_
3. Amount of floor area contained within first floor:  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
4. Amount of floor area contained within second floor:  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
5. Amount of floor area contained within garage:  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
6. Amount of floor area contained within porches capable of being enclosed:  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
7. Amount of floor area contained within basement (if applicable – see definition):  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
8. Amount of floor area contained within attic (if applicable – see definition):  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
9. Amount of floor area contained within all accessory buildings:  
— \_\_\_\_\_ existing + \_\_\_\_\_ proposed = \_\_\_\_\_
10. Proposed **floor area**: Total of Lines 3 – 9 = \_\_\_\_\_

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

\_\_\_\_\_  
Signature and Seal of Professional Preparing Worksheet

\_\_\_\_\_  
Date





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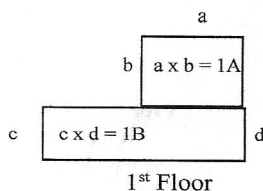
**NA**

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## GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



1A=  
1B=  
-----  
1<sup>st</sup> Floor Total=

BASEMENT =  
1<sup>st</sup> FLOOR =  
2<sup>nd</sup> FLOOR =  
-----  
GROSS FLOOR AREA

# NA

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

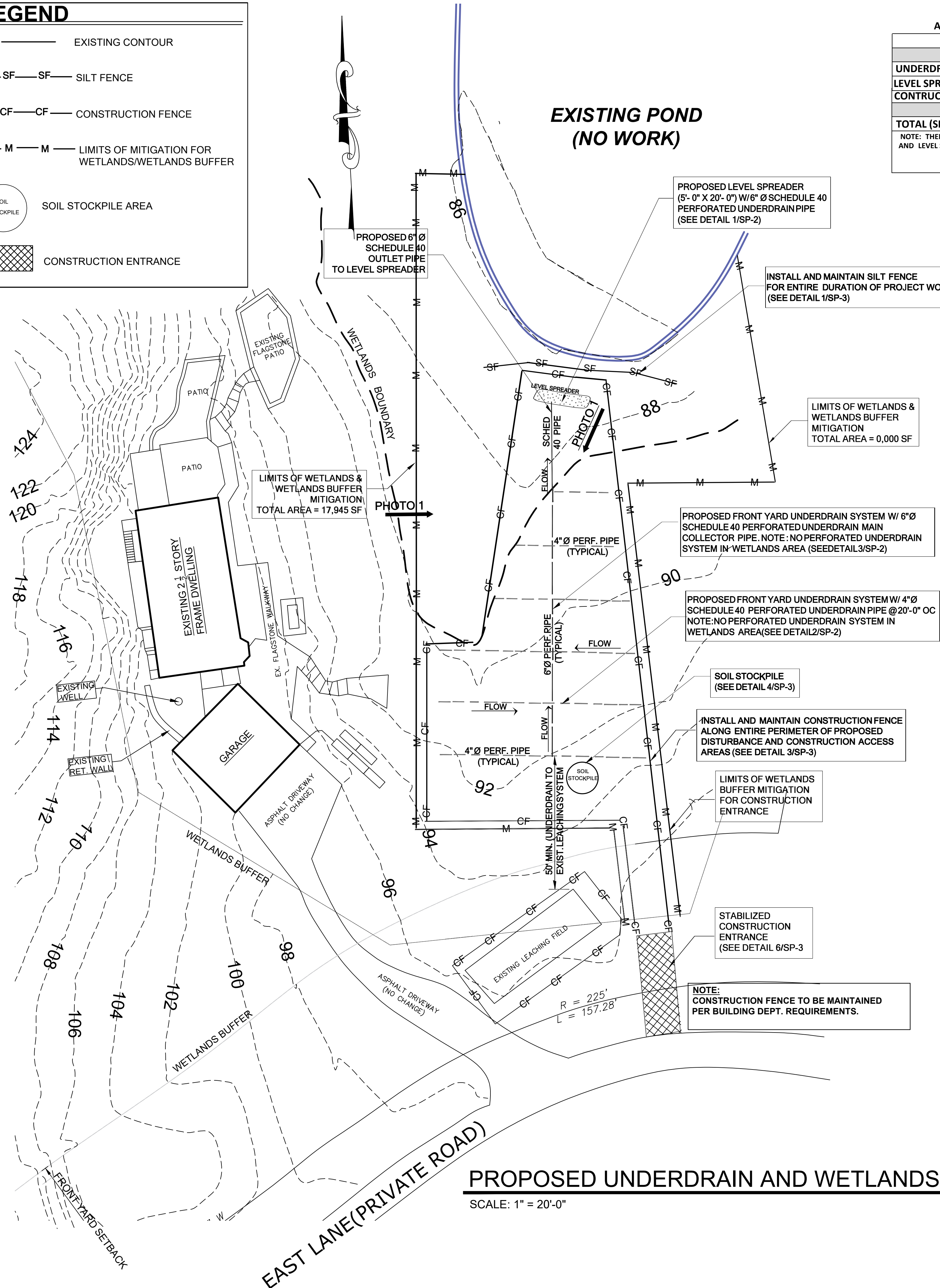
Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.



**LEGEND**

- 90 ——— EXISTING CONTOUR
- SF — SF — SILT FENCE
- CF — CF — CONSTRUCTION FENCE
- M — M — LIMITS OF MITIGATION FOR WETLANDS/WETLANDS BUFFER
- SOIL STOCKPILE
- SOIL STOCKPILE AREA
- CONSTRUCTION ENTRANCE



**AREA OF DISTURBANCE - PROPOSED UNDERDRAIN AND LEVEL SPREADER**

	WETLANDS	WETLANDS BUFFER	TOTAL AREA
UNDERDRAIN SYSTEM (SF)	0	6,750	6,750
LEVEL SPREADER (SF)	1,850	0	1,850
CONSTRUCTION ACCESS ROAD (SF)	0	245	245
<b>TOTAL (SF)</b>	<b>1,850</b>	<b>6,945</b>	<b>8,845</b>

NOTE: THERE IS A TOTAL AREA OF DISTURBANCE OF 8,845 SF REQUIRED TO PROPERLY INSTALL NEW UNDERDRAIN SYSTEM AND LEVEL SPREADER. THE REQUIRED 2X WETLANDS AND WETLANDS BUFFER MITIGATION IS 2 X 8,845 SF = 17,690 SF.

NO NEW IMPERVIOUS SURFACES ARE PROPOSED AS PART OF THIS PROJECT. EXCESS SOIL TO BE REMOVED AND PROPERLY DISPOSED OF OFF SITE AS PART OF THE WETLANDS AND WETLANDS BUFFER MITIGATION. THERE IS TO BE NO CHANGE IN EXISTING GRADES. AREA OF WETLANDS DISTURBANCE = 1,850 SF. AREA OF WETLANDS BUFFER DISTURBANCE = 6,945 SF. TOTAL WETLANDS AND BUFFER DISTURBANCE = 8,845 SF. REQUIRED WETLANDS MITIGATION = 2 X 8,845 SF = 17,690 SF. AREA OF WETLANDS MITIGATION = 9,100 SF + 8,845 SF = 17,945 SF. 17,945 SF PROVIDED > 17,690 SF REQUIRED OK (SEE AREA OF DISTURBANCE - PROPOSED UNDERDRAIN AND LEVEL SPREADER WORK TABLE ABOVE)

**ADDITIONAL CONSTRUCTION NOTES**

- NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE "NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."
- DIG SAFELY NY 811: THE CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO INSURE THAT NO INTERFERENCE EXISTS.
- INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.
- CONSTRUCTION NOTE: UNDERDRAIN SYSTEM TO BE INSTALLED IN WETLANDS BUFFER AREA ONLY. LEVEL SPREADER TO BE INSTALLED IN WETLANDS AREA.
- CONSTRUCTION NOTE: THE CONTRACTOR TO VERIFY ALL INVERT AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**SITE PLAN INFORMATION**

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SITE PLAN PREPARED BY MICHAEL A. PICCIRILLO, AIA DATED 04/15/2013.

STORMWATER PLAN PREPARED BY NATHANIEL J. HOLT, P.E. DATED JULY 22, 2013.

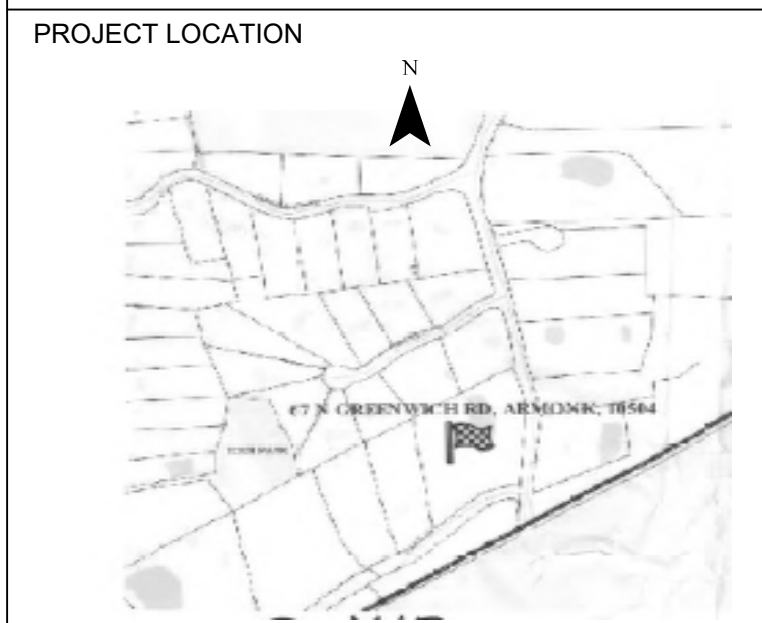
ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS.

**SPECIAL NOTES:**

- LIMITS OF DISTURBANCE IN WETLANDS AND WETLANDS BUFFER AND LOCATION OF SILT FENCE AND CONSTRUCTION FENCE TO BE STAKED IN THE FIELD PRIOR TO POOL AND PATIO DEMOLITION, REMOVAL, AND RESTORATION WORK.
- ALL EROSION CONTROL MEASURES MUST BE PROPERLY INSTALLED, MAINTAINED, AND INSPECTED AROUND THE SITE UNTIL PROJECT COMPLETION.
- A SEPARATE LOCAL ADMINISTRATIVE WETLANDS PERMIT AND A SEPARATE BUILDING PERMIT ARE REQUIRED.
- THE CONSTRUCTION ENTRANCE AND EXISTING ROADWAY MUST BE PROPERLY MAINTAINED UNTIL PROPER COMPLETION.
- ALL AREAS DISTURBED AS A RESULT OF THE POOL AND PATIO DEMOLITION AND REMOVAL SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. THIS INCLUDES THE CONSTRUCTION ENTRANCE AND CONSTRUCTION ACCESS.
- THE APPLICATION OF FERTILIZERS, PESTICIDES, HERBICIDES, AND FUNGICIDES IS STRICTLY PROHIBITED AS A CONDITION OF A WETLANDS PERMIT.
- THERE IS TO BE NO CHANGE TO EXISTING GRADES AT THE PROJECT SITE. THE FINAL RESTORATION OF WETLANDS AND WETLANDS BUFFER SHALL BE WITH APPROVED WETLANDS GRASS SEED MIX. USE NEW ENGLAND WETMIX NATIVE GRASS SEED MIX OR APPROVED EQUAL AT A RATE OF 1LB./2,500 SF

**PROPOSED FRONT YARD UNDERDRAIN SYSTEM**  
AT  
**67 N. GREENWICH RD.**  
ARMONK, N.Y.

TAX ID: 108.03-3-34  
ZONE: R-2A



DO NOT SCALE DRAWINGS

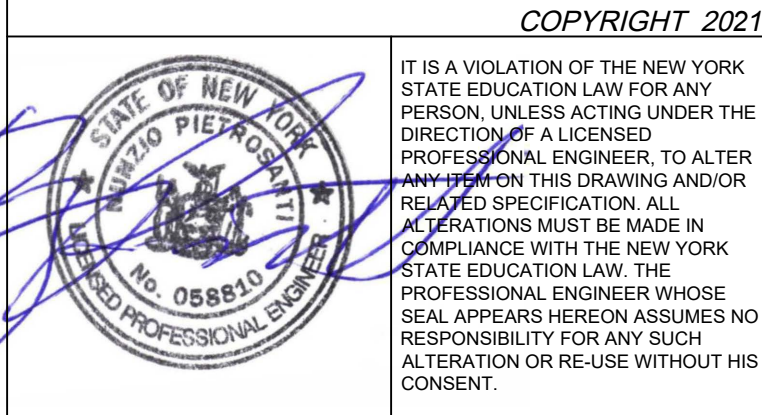
No.	DESCRIPTION	DATE
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

**- REVISIONS -**

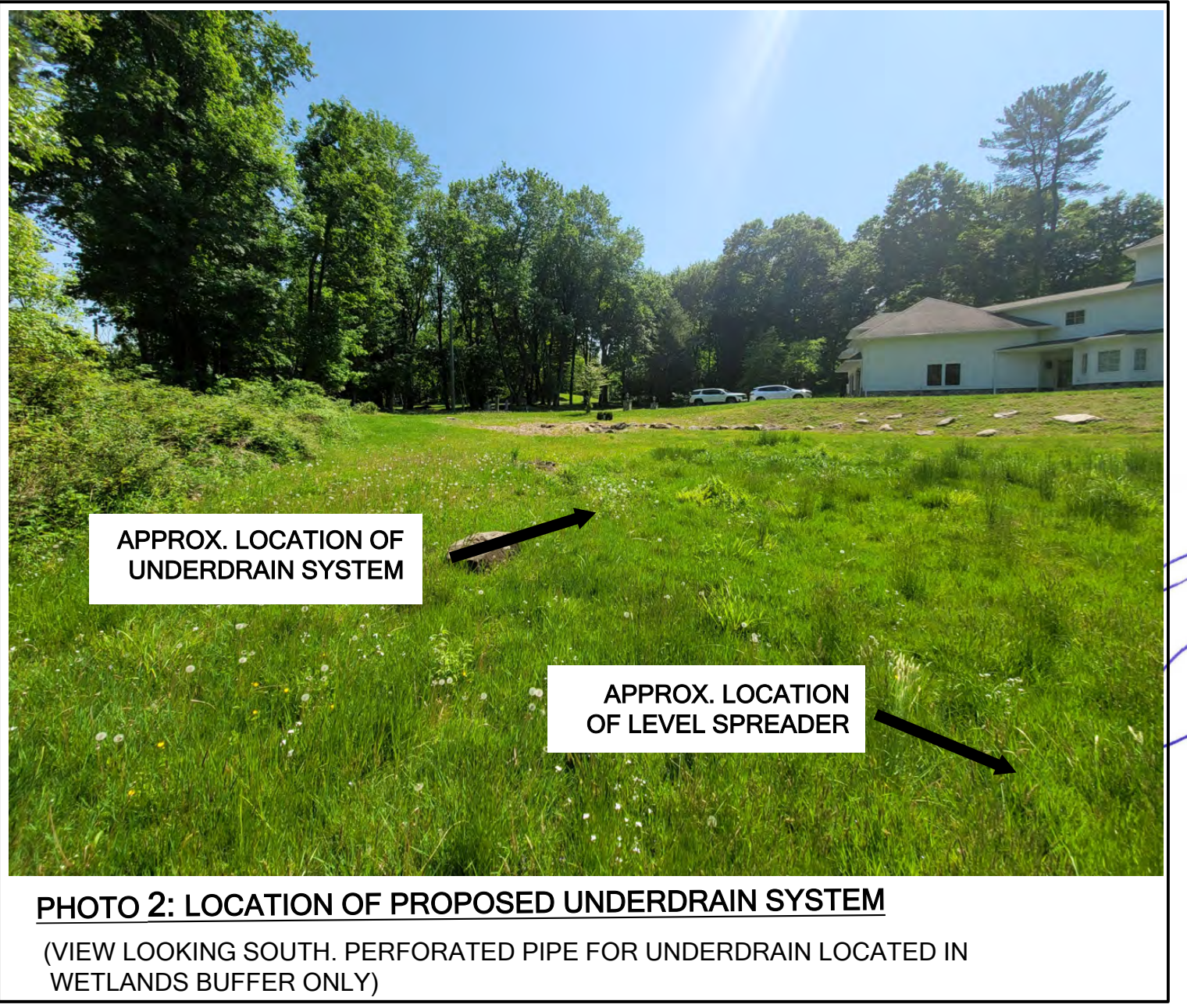
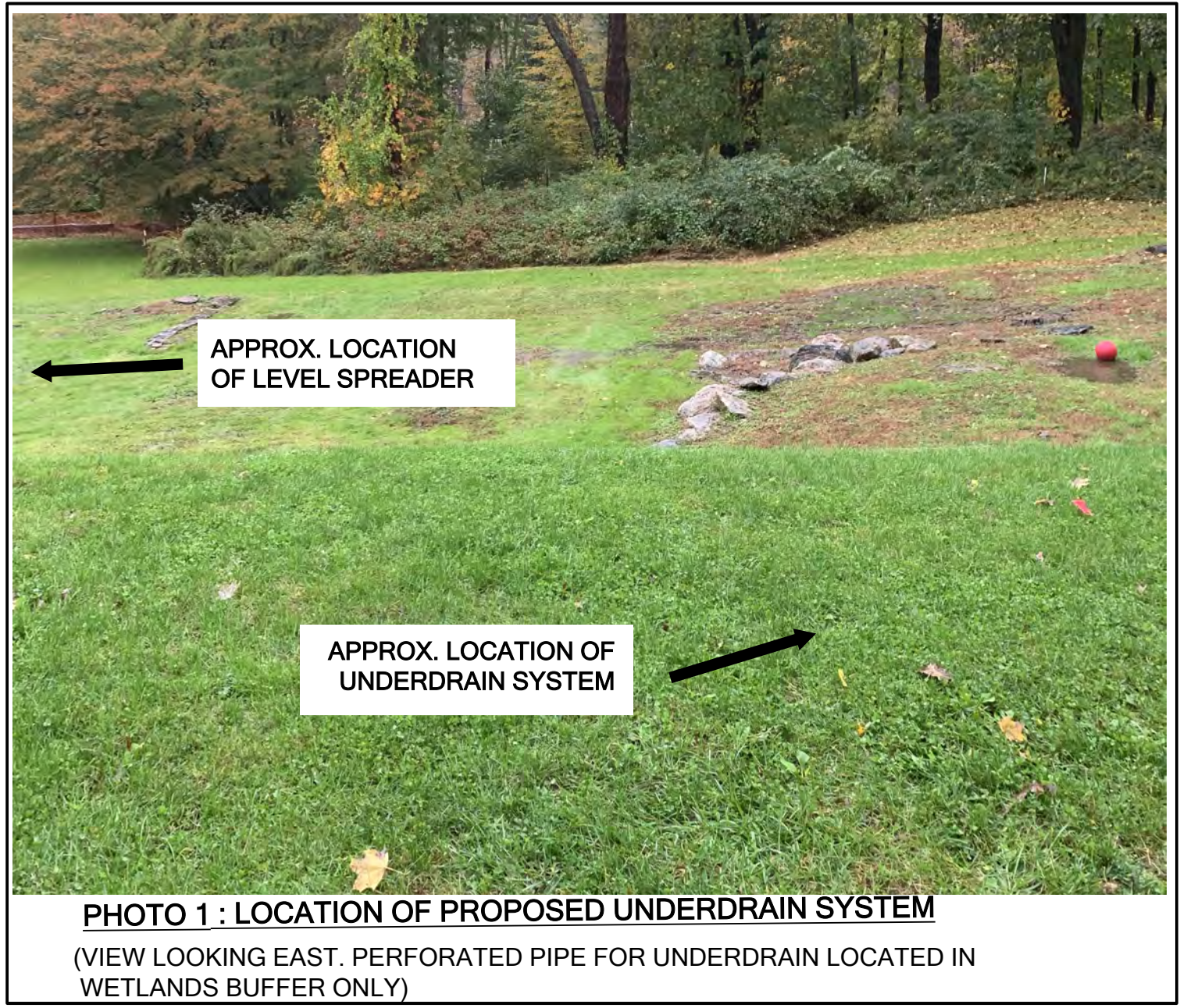
**PROPOSED UNDERDRAIN SYSTEM AND WETLANDS MITIGATION PLAN, NOTES, AND PLANTING LIST**

**Nunzio Pietrosanti, P.E.**  
CONSULTING ENGINEER

63 Dover Lane  
Yonkers, New York 10710  
(914)760-0628  
n.pietrosanti@aol.com



PROJECT No. : 100121	SHEET No.
DATE : 10/10/21	<b>SP-1</b>
SCALE : AS NOTED	
DRAWN BY : A.P.	
CHECKED BY : N.P.	



DO NOT SCALE DRAWINGS



**GENERAL CONDITIONS AND SPECIFICATIONS:**

**GENERAL CONDITIONS:**

- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL AND ALL APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF NORTH CASTLE. IN ALL CASES THE MOST RESTRICTIVE LIMITATION OF ANY APPLICABLE CODE SHALL BE FOLLOWED BY THE CONTRACTOR.
- CONTRACTOR TO CALL FOR MARK OUT OF ALL UNDERGROUND UTILITIES INSIDE PROPERTY LINE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER AND PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOT "SCALE" DRAWINGS IN ORDER TO OBTAIN DIMENSIONS. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE REFERRED TO THE ENGINEER WHO SHALL PROVIDE THE INFORMATION.
- DIMENSIONS AND REPRESENTATIONS RELATING TO THE EXISTING BUILDING AND SITE CONDITIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ANY CONSTRUCTION, WITH DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
- ANY DISCREPANCIES FOUND BETWEEN THOSE CONDITIONS UNCOVERED IN THE FIELD AND THOSE INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTABLE TRADE PRACTICES, PER MANUFACTURER'S RECOMMENDATIONS, AND PER THE REQUIREMENTS OF THE CODE. OWNER RESERVES THE RIGHT TO REJECT UNACCEPTABLE CONSTRUCTION AT THE COST OF THE CONTRACTOR.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS, AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK. ALL MATERIALS INDICATED FOR THIS PROJECT ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR AND APPROVED BY THE OWNER, UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR THE COMPLETE AND PROPER FUNCTIONS OF THE ENTIRE PROJECT.
- CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE PROJECT.
- CONTRACTOR SHALL BE LICENSED BY WESTCHESTER COUNTY TO DO REMODELING WORK AND SHALL PRESENT LICENSE TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT AS A REQUIREMENT FOR OBTAINING THE BUILDING PERMIT.

- CONTRACTOR SHALL FURNISH ALL PERMITS, LICENCES AND APPROVALS NECESSARY TO COMPLETE THE WORK. WITH THE EXCEPTION OF THE INITIAL BUILDING PERMIT, ALL PERMITS SHALL BE SECURED BY, AND AT THE EXPENSE OF, THE CONTRACTOR. THIS SHALL INCLUDE REFUNDABLE RIGHT-OF-WAY DEPOSIT, STREET OPENING PERMIT, AND CERTIFICATE OF COMPLIANCE. NO WORK SHALL START UNLESS THE NECESSARY PERMITS ARE ISSUED.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF COMPLIANCE UPON COMPLETION OF WORK.
- COORDINATE STORAGE OF MATERIAL, EQUIPMENT, AND CONTAINERS WITH OWNER AND MUNICIPALITY.
- JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND PROPERLY AND LEGALLY DISPOSED OF ON A REGULAR BASIS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROJECT SAFETY. ABIDE BY ALL OSHA STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING SITE, BUILDING, AND STRUCTURES ON THE PROPERTY AND ADJACENT PROPERTIES FROM ANY DAMAGES DUE TO THE METHODS AND MANNERS OF CONSTRUCTION, TRAFFICKING, AND THE DELIVERY AND STORAGE OF MATERIALS AND EQUIPMENT. CONTRACTOR SHALL RESTORE ANY DAMAGED AREAS TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO OWNER.
- UPON ENTERING A CONTRACT WITH THE OWNER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CARRY OUT THE WORK AS SPECIFIED AND IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS, AND MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FOLLOW THE BUILDING DEPARTMENT APPROVED SET OF DOCUMENTS. NO SUBSTITUTION SHALL BE MADE WITHOUT CONSULTING THE ENGINEER FIRST.
- NO CHANGES SHALL BE MADE TO THE DRAWINGS EXCEPT AS PER NEW YORK STATE LAW CHAPTER 987. ALL CHANGES MADE TO THESE DRAWINGS SHALL BE APPROVED BY ENGINEER AND SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL PERMIT.
- CONTRACTOR TO NOTIFY THE OWNER WHEN THE WORK WILL BEGIN ON THE PROJECT AND SHALL COORDINATE ALL WORK WITH THE OWNER.
- CONTRACTOR SHALL BE SOLELY AND TOTALLY RESPONSIBLE FOR ALL SEQUENCE OF CONSTRUCTION AND PROTECTION AGAINST WEATHER, PROJECT SAFETY, AND COORDINATION OF TRADES, SERVICES, ETC.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING AND IMPLEMENTING METHODS FOR ACCOMPLISHING TEMPORARY SHORING, SUPPORTS, BARRICADES, ETC. FOR ALL ITEMS OF WORK (AS REQUIRED).

- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL OTHER CONTRACTORS AND SHALL CUT, LAY, AND INSTALL THEIR WORK AT SUCH A TIME AND MANNER SO THAT NO DELAY OR INTERFERENCE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS SHALL OCCUR.
- THE ENGINEER AND OWNER RESERVE THE RIGHT TO MAKE CHANGES TO THE DRAWINGS AND SPECIFICATIONS OR TO INCREASE OR DECREASE THE QUANTITY OF WORK AT ANY TIME, BEFORE OR AFTER CONSTRUCTION HAS COMMENCED, WITH APPROPRIATE ADJUSTMENT TO CONTRACT SUM.
- ANY ITEMS ADDED TO THE PROJECT SUBSEQUENT TO THE CONSTRUCTION CONTRACT SHALL FOLLOW THE SPECIFICATIONS FOR MATERIAL PREVIOUSLY SPECIFIED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR NOTIFICATION TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT IN CONJUNCTION WITH ANY AND ALL REQUIRED INSPECTIONS TO BE PERFORMED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR KNOWLEDGE OF WHICH INSPECTIONS THE BUILDING AND ENGINEERING DEPARTMENTS PERFORM. THE CONTRACTOR'S WORK SHALL BE CONSIDERED COMPLETE ONLY WHEN ALL REQUIRED CLOSE-OUT DOCUMENTS ARE IN ORDER.
- NO RESPONSIBILITY HAS BEEN ASSUMED BY THE ENGINEER FOR INFORMATION SUPPLIED BY OTHERS AND BELIEVED BY THE ENGINEER TO BE RELIABLE, NOR FOR ANY CONDITIONS WHICH WERE CONCEALED OR IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL EXCAVATION, PROBING OR TESTING NOR FOR ANY LATENT DEFECTS IN THE EXISTING STRUCTURE. ENGINEER ASSUMES NO LIABILITY FOR ANY WORK NOT IN CONFORMANCE WITH THE CODE OR FOR EXISTING CONDITIONS SHOWN HEREIN.
- ANY SITE OBSERVATIONS PERFORMED BY THE ENGINEER ARE SOLELY FOR THE ENGINEER'S PURPOSE OF DETERMINING IF THE WORK IS BEING CARRIED OUT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR THE GENERAL DESIGN AND AESTHETIC INTENT. THE ENGINEER'S PRESENCE ON THE SITE IN NO WAY RELIEVES THE CONTRACTOR OF HIS DUTIES TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE INTERNATIONAL RESIDENTIAL CODE (IRC-2015), THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL, AND ALL APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF NORTH CASTLE.
- THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY UNSATISFACTORY WORK PERFORMED, QUALITY OF WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION, SITE SAFETY, EXCEPTIONS BY THE LOCAL MUNICIPALITY FOR FAILED INSPECTIONS, OR ANY OTHER DEFICIENCIES BY THE CONTRACTOR.
- THE ENGINEER HAS NOT BEEN RETAINED TO PERFORM FIELD SUPERVISION OF THIS PROJECT.

**PROPOSED FRONT YARD UNDERDRAIN SYSTEM AT 67 N. GREENWICH RD.**

ARMONK, N.Y.

TAX ID: 108.03-3-34  
ZONE: R-2A

PROJECT LOCATION



VICINITY MAP  
SCALE: N.T.S.

**DO NOT SCALE DRAWINGS**

No.	DESCRIPTION	DATE
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

**- REVISIONS -**

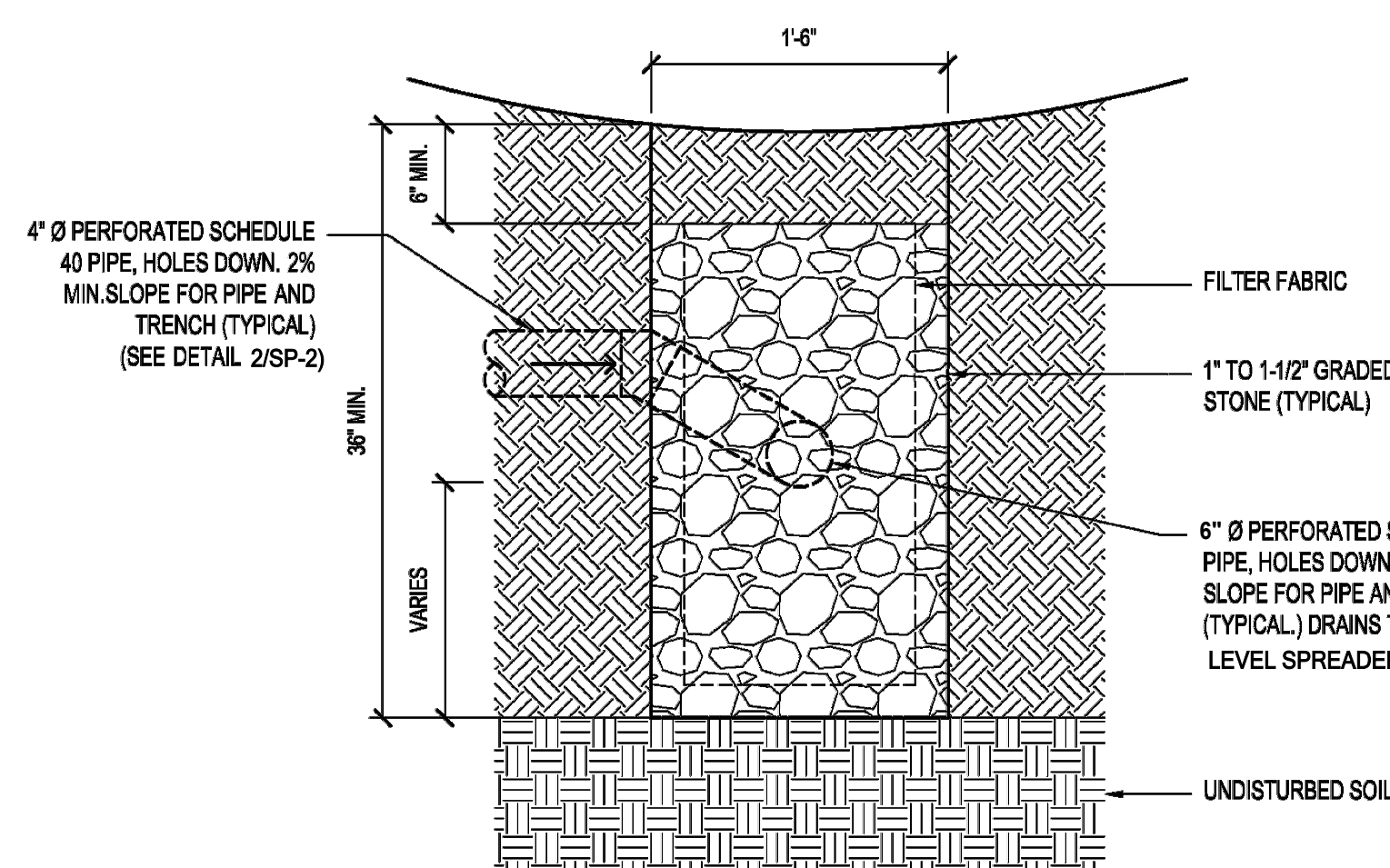
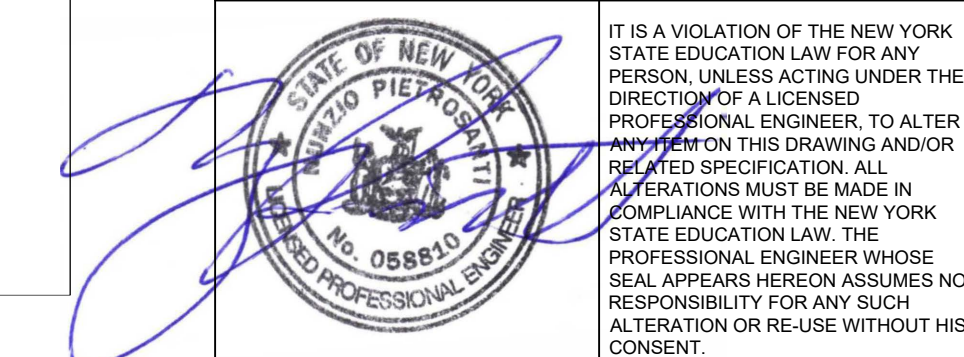
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**DETAILS, NOTES, AND SPECIFICATIONS**

**Nunzio Pietrosanti, P.E.**  
CONSULTING ENGINEER

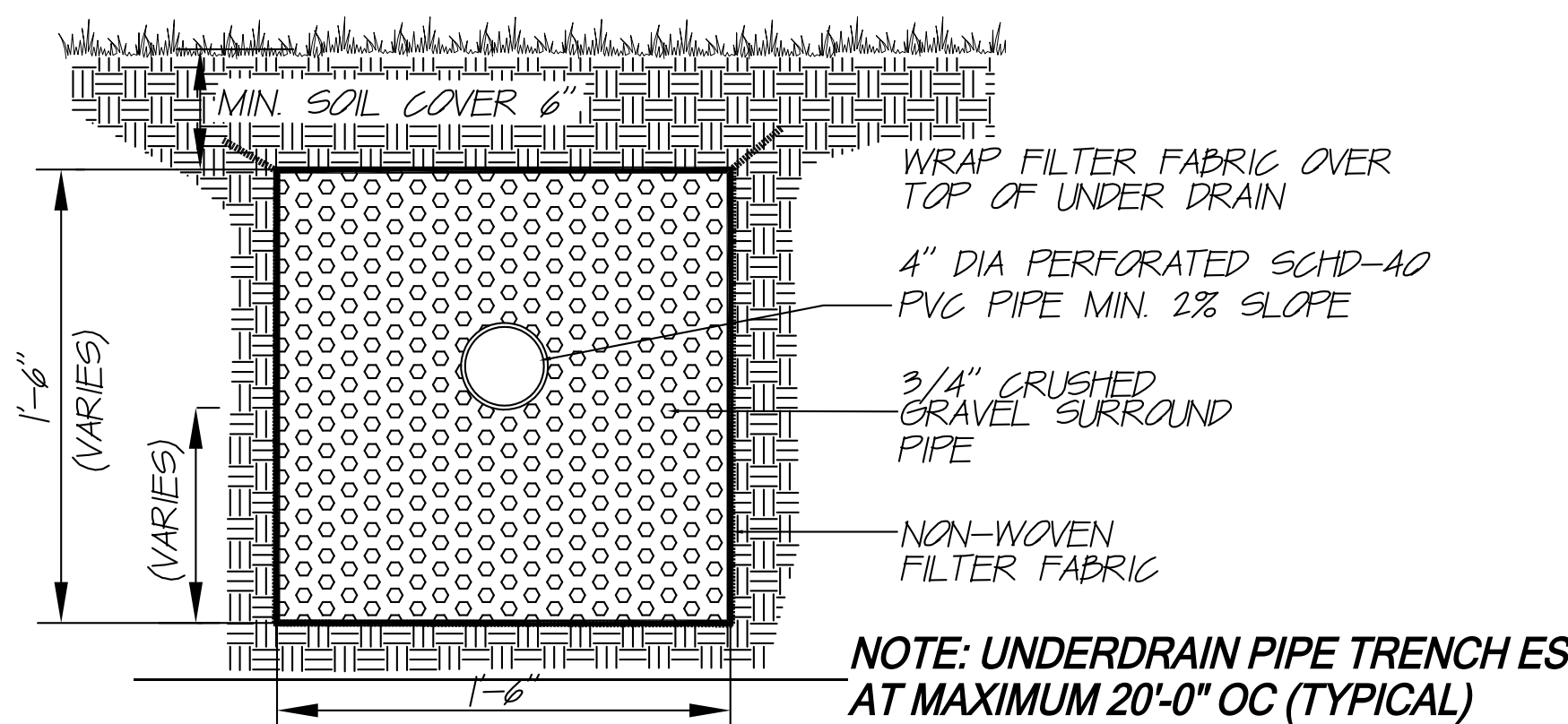
63 Dover Lane  
Yonkers, New York 10710  
(914)760-0628  
n.pietrosanti@aol.com

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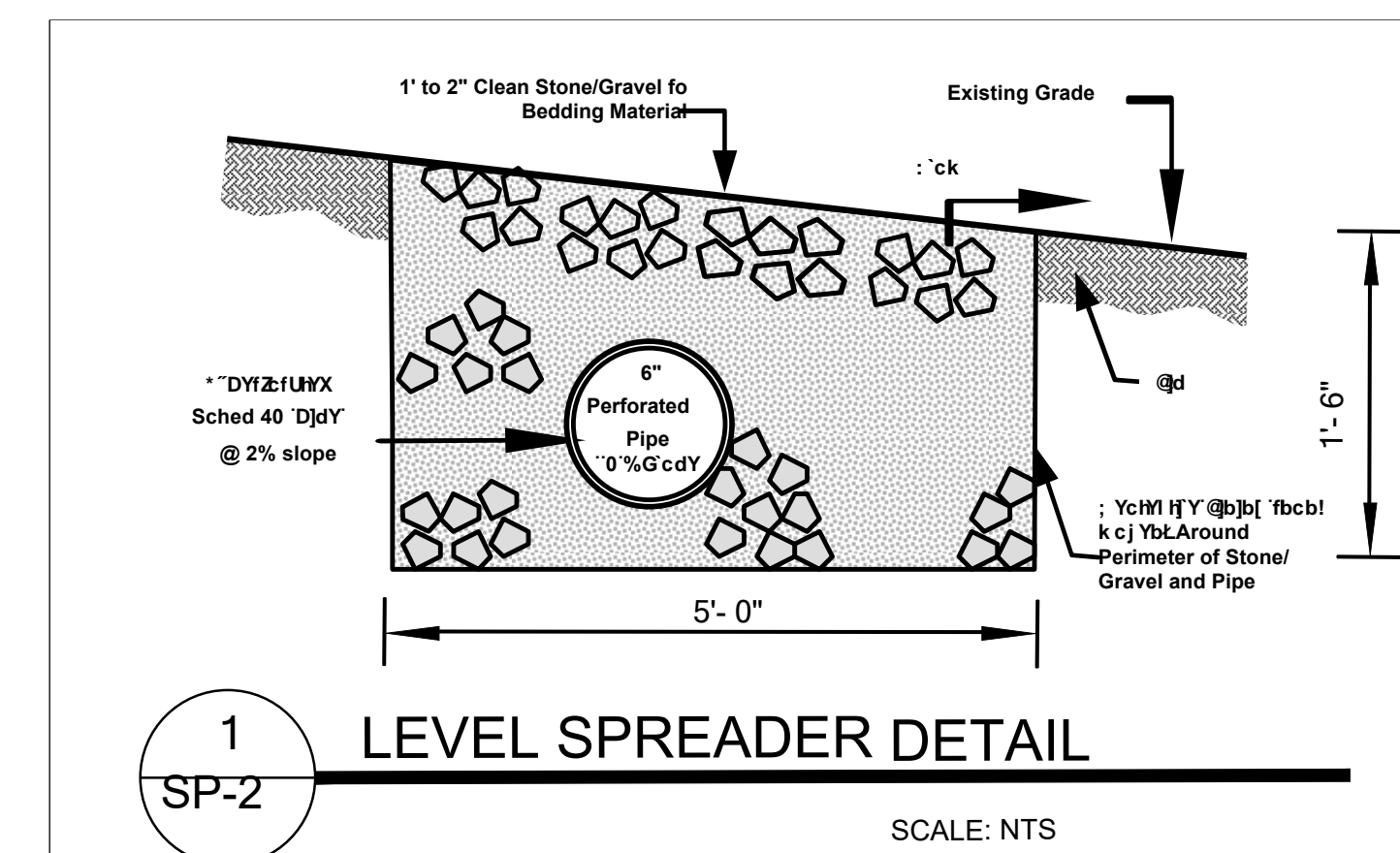
**3 UNDERDRAIN COLLECTOR PIPE DETAIL**

SCALE: NOT TO SCALE



**2 UNDERDRAIN DETAIL**

SCALE: NOT TO SCALE



**1 LEVEL SPREADER DETAIL**

SCALE: NTS

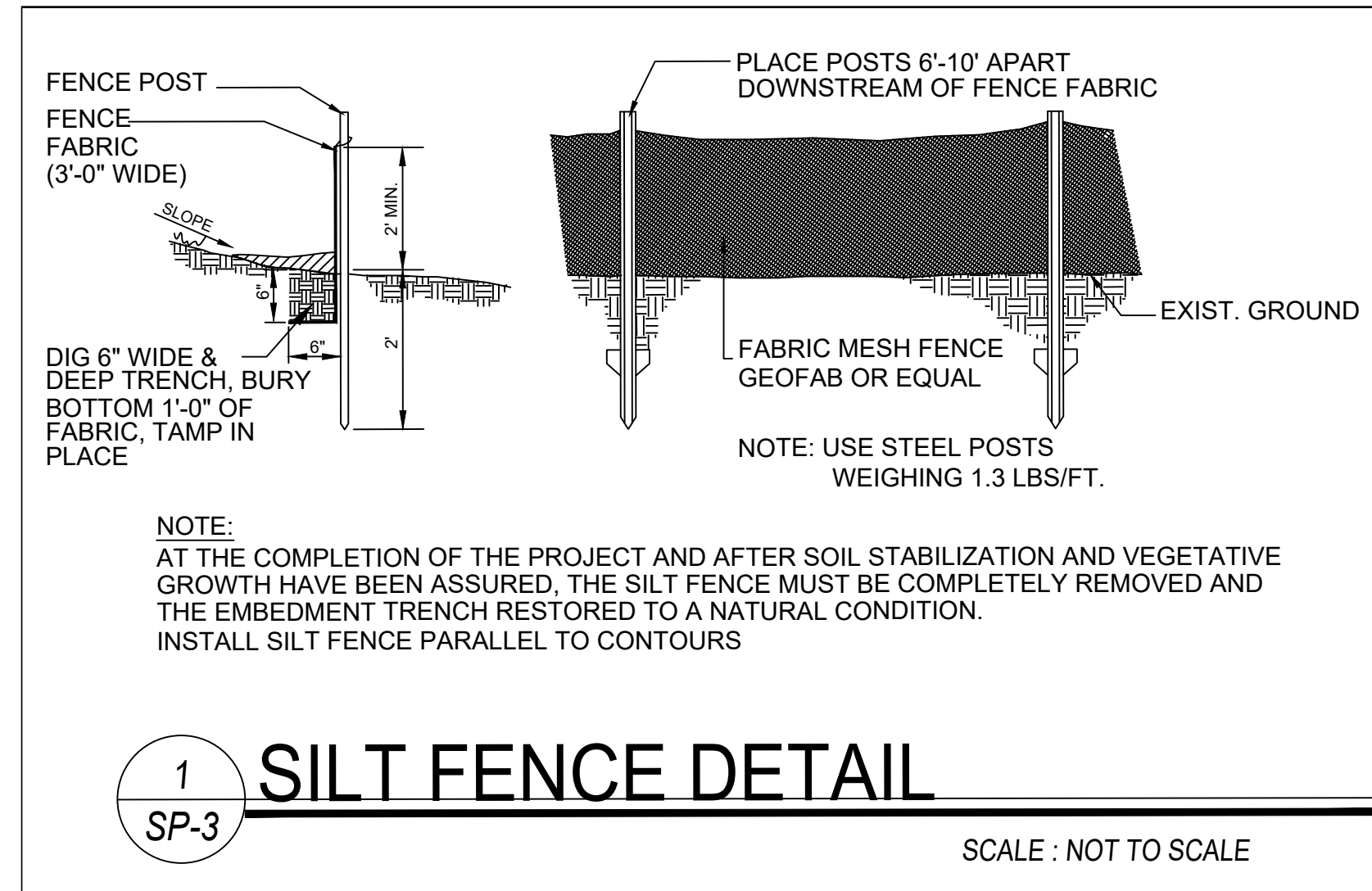
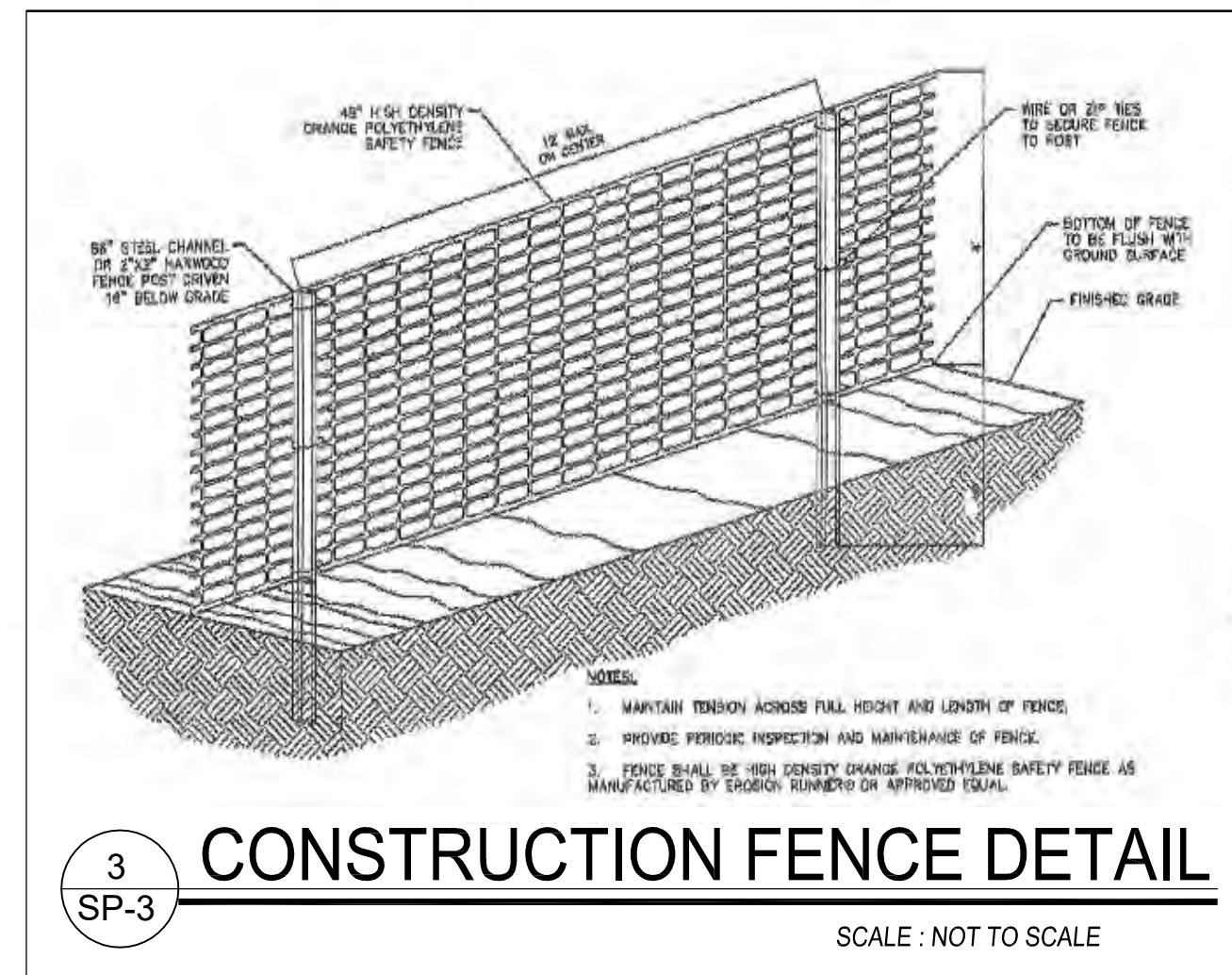
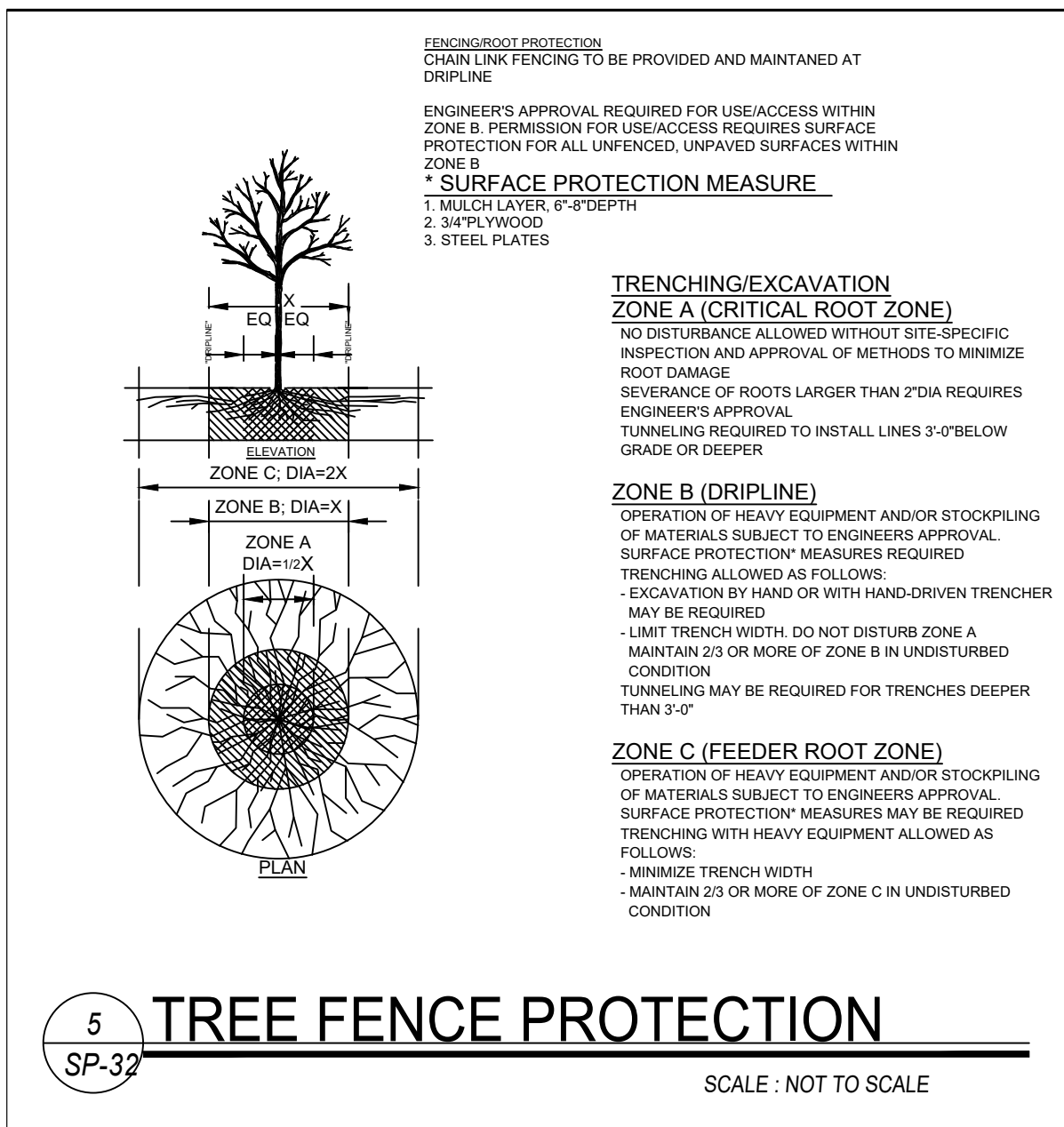
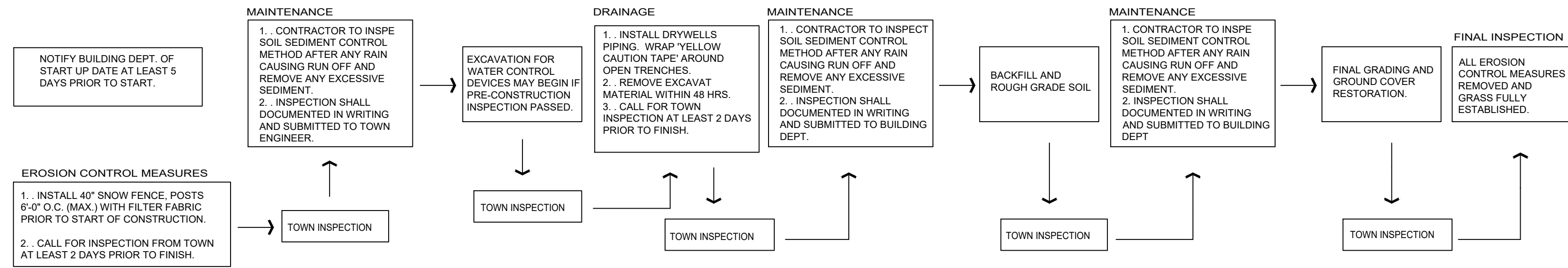
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PROJECT No: 100121  
DATE: 10/10/21  
SCALE: AS NOTED  
DRAWN BY: A.P.  
CHECKED BY: N.P.

SHEET No

**SP-2**





**NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE "NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL."**

**INSTALLATION & MAINTENANCE OF EROSION CONTROL**

**CONSTRUCTION SCHEDULE**  
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START

**EROSION CONTROL MEASURES**  
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

**INSPECTION BY MUNICIPALITY**  
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT SILT FENCE, ETC. AND REMOVE AND EXCESSIVE SEDIMENT, AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.  
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

**STOCK PILING OF EXCAVATED MATERIAL**

STRIP TOPSOIL AND STOCKPILE  
STOCKPILE EXCAVATION SUBGRADE  
SEED PILES WITH 1LB TOTAL ANNUAL RYE OR REMOVE FROM SITE WITHIN 2 DAYS

**INSPECTION BY MUNICIPALITY**  
FINAL GRADING

REMOVE UNNEEDED SUBGRADE FROM SITE.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

**INSPECTION BY MUNICIPALITY**  
LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDDED, HAND RAKE LEVEL  
BROADCAST 1.25LB BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREAS TO BE SEEDDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

**INSPECTION BY MUNICIPALITY**  
FINAL LANDSCAPING

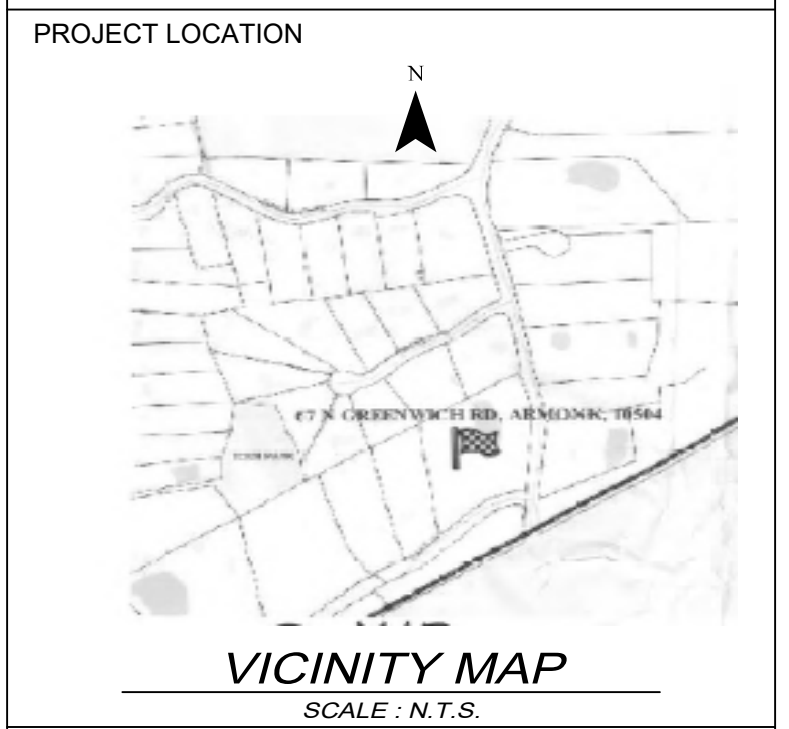
GRASS ESTABLISHED  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

**INSPECTION BY MUNICIPALITY**  
FINAL INSPECTION

1. ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.
2. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

**PROPOSED FRONT YARD UNDERDRAIN SYSTEM**  
AT  
**67 N. GREENWICH RD.**  
ARMONK, N.Y.

TAX ID: 108.03-3-34  
ZONE: R-2A



**DO NOT SCALE DRAWINGS**

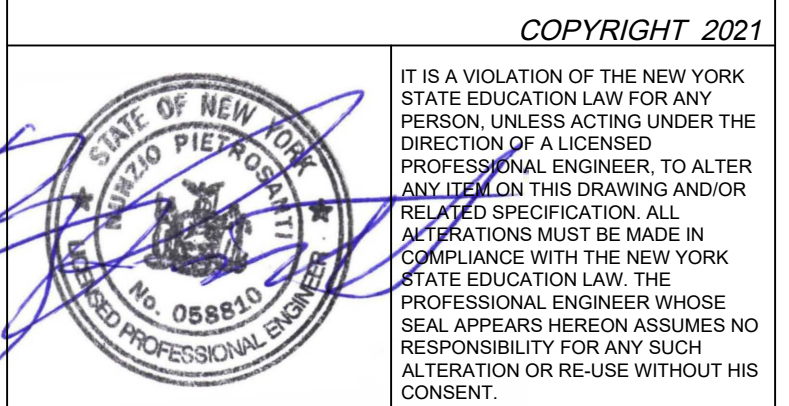
No.	DESCRIPTION	DATE
2	RPRC APPLICATION	6/17/22
1	CLIENT REVIEW	3/31/22

**- REVISIONS -**

DRAWING TITLE  
**EROSION CONTROL DETAILS AND NOTES,**

**Nunzio Pietrosanti, P.E.**  
CONSULTING ENGINEER

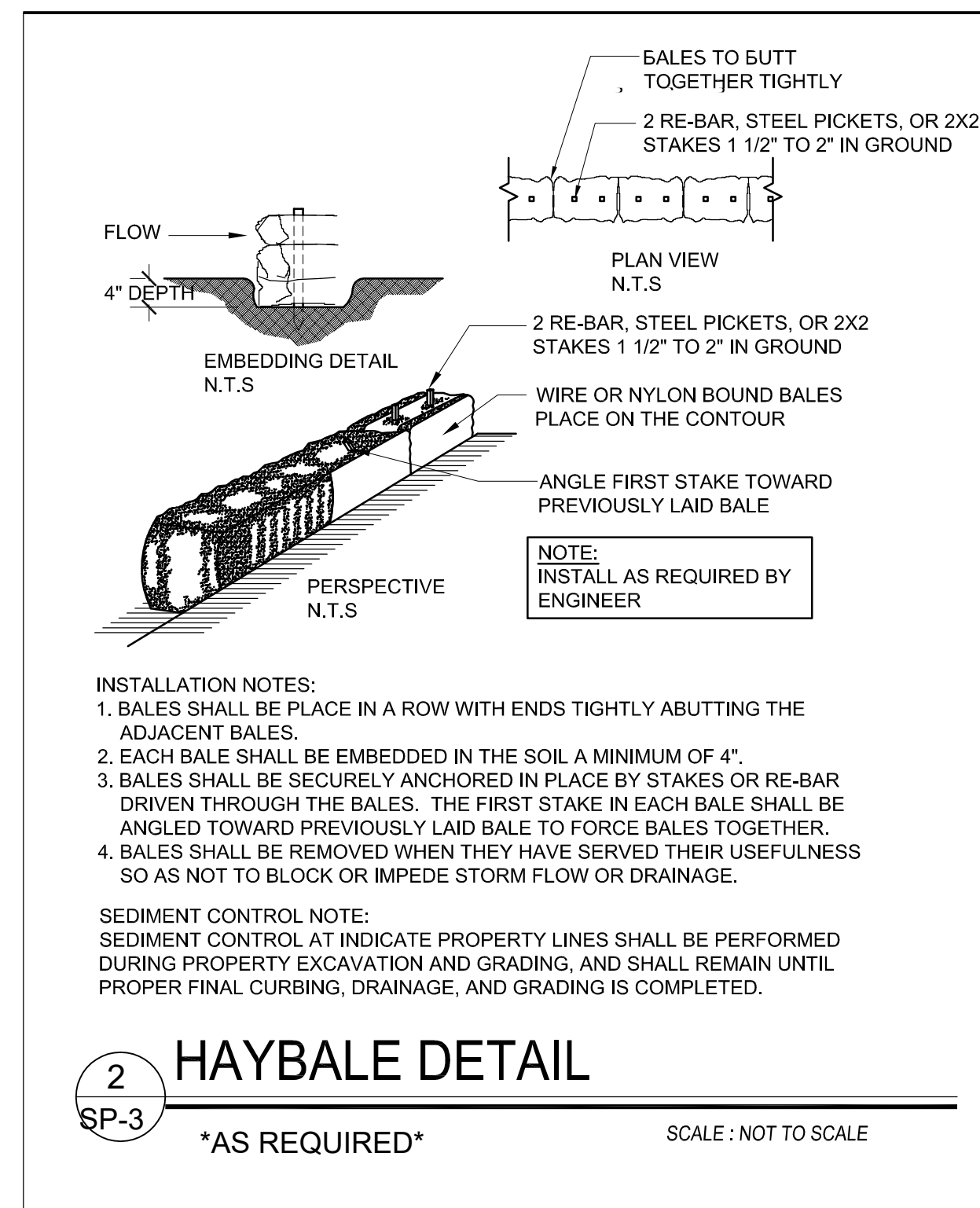
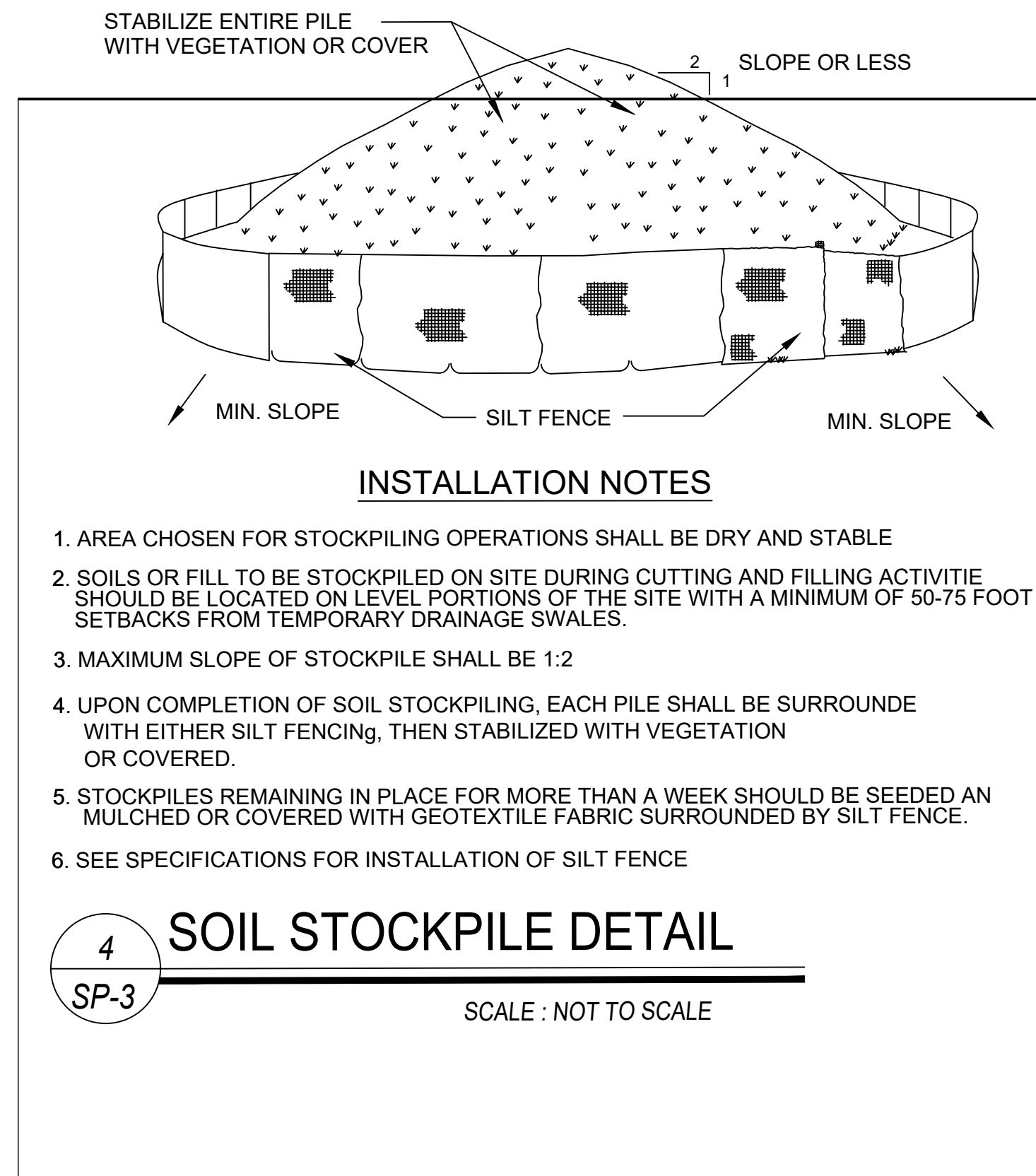
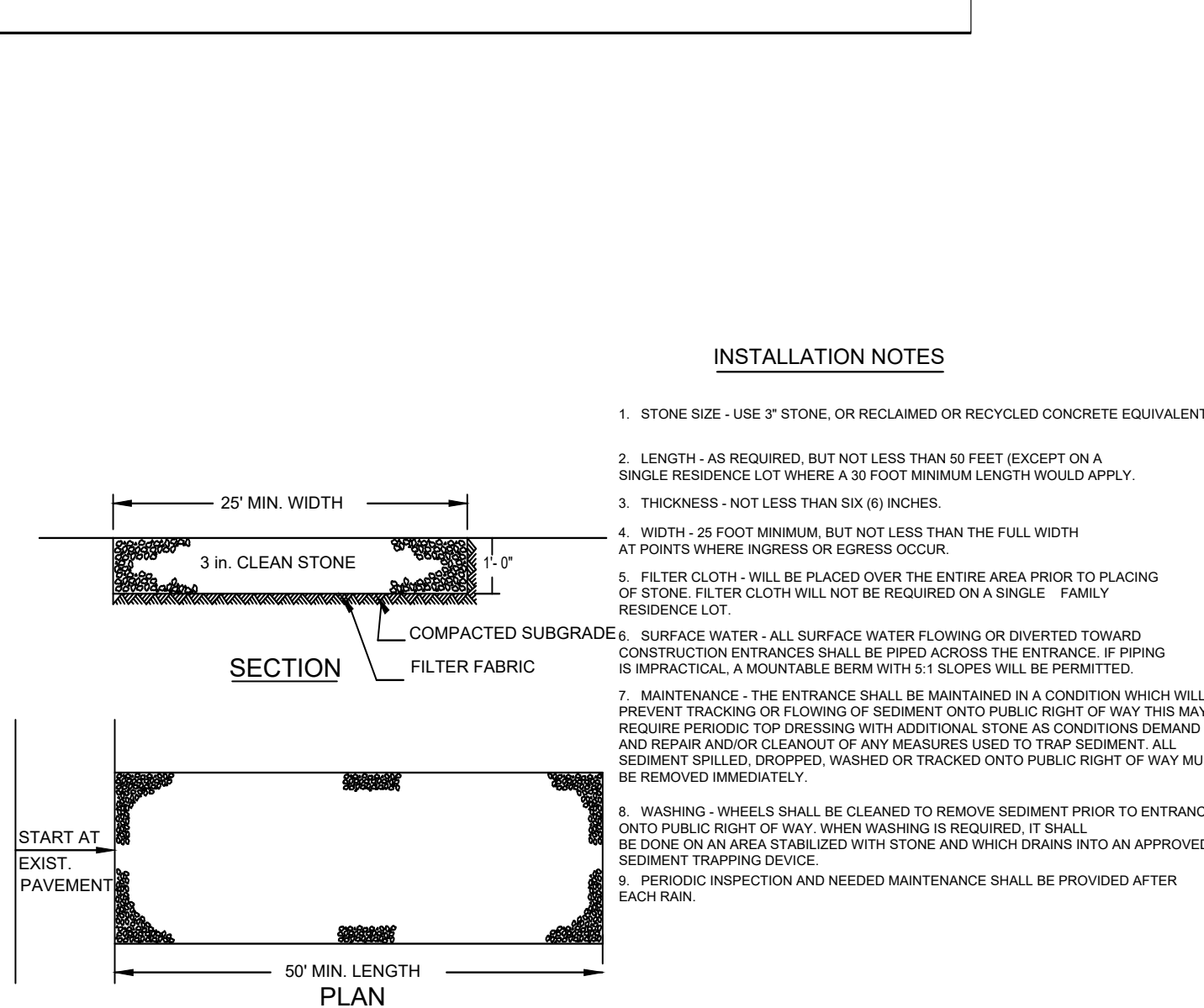
63 Dover Lane  
Yonkers, New York 10710  
(914)760-0628  
n.pietrosanti@aol.com



PROJECT No: 100121  
DATE: 10/10/21  
SCALE: AS NOTED  
DRAWN BY: A.P.  
CHECKED BY: N.P.

SHEET No  
**SP-3**

**6 STABILIZED CONSTRUCTION ENTRANCE**  
AS-REQUIRED  
SCALE: NOT TO SCALE



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