



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 168 Hickory Kingdom Road

Section III- DESCRIPTION OF WORK:

Existing garage was hit by a FedEx truck and damaged beyond repair.
Construct a new garage of the same size and in the same location as original.

Section III- CONTACT INFORMATION:

APPLICANT: Craig Gilkes

ADDRESS: 168 Hickory Kingdom Road. Bedford, NY 10506

PHONE: 914-262-9615 MOBILE: EMAIL: craiggilkes@gmail.com

PROPERTY OWNER:

Craig Gilkes / Susanne Quattrochi

ADDRESS: 168 Hickory Kingdom Road. Bedford, NY 10506

PHONE: 914-262-9615 MOBILE: EMAIL:

PROFESSIONAL: Neil Hauck Architects

ADDRESS: 859 Post Road. Darien, CT. 06820

PHONE: 203-655-9340 MOBILE:

EMAIL: oconnorb@neilhauckarchitects.com

Section IV- PROPERTY INFORMATION:

Zone: R-4A Tax ID (lot designation) #37



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Gilkes - Quattrochi Date: 6/28/2022

Tax Map Designation or Proposed Lot No.: TAX LOT #37

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 217,799.23 s.f.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 23,071 s.f.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
244' x 10 = 2,440 s.f.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 25,511 s.f.
5. Amount of lot area covered by **principal building**:
3,230 s.f. existing + 0 proposed = 3,230 s.f.
6. Amount of lot area covered by **accessory buildings**:
1,537 s.f. existing + 0 proposed = 1,537 s.f.
7. Amount of lot area covered by **decks**:
1,676 s.f. existing + 0 proposed = 1,676 s.f.
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0 s.f.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
14,083 s.f. existing + 0 proposed = 14,083 s.f.
10. Amount of lot area covered by **terraces**:
1,729 s.f. existing + 0 proposed = 1,729 s.f.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
778 s.f. existing + 0 proposed = 778 s.f.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0 s.f.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 23,033 s.f.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Works



6/28/2022

Date



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WESTCHESTER COUNTY
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PLANNING DEPARTMENT
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Gilkes / Quattrochi Date: 6/28/2022

Tax Map Designation or Proposed Lot No.: 95.02 Block 2 Lot 37

Floor Area

- | | | |
|-----|---|----------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>217,800</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>14,913</u> |
| 3. | Amount of floor area contained within first floor:
<u>1,989</u> existing + <u>0</u> proposed = | <u>1,989</u> |
| 4. | Amount of floor area contained within second floor:
<u>1,425</u> existing + <u>0</u> proposed = | <u>1,425</u> |
| 5. | Amount of floor area contained within garage:
<u>1,315</u> existing + <u>0</u> proposed = | <u>1,315</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>240</u> existing + <u>0</u> proposed = | <u>240</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>810</u> existing + <u>0</u> proposed = | <u>810</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>410</u> existing + <u>0</u> proposed = | <u>410</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>6,182</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



6/28/2020
Date

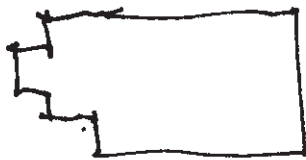
Note: Floor Area taken from Floor Area Calculation Worksheet dated 10/13/2020

10/13/2020

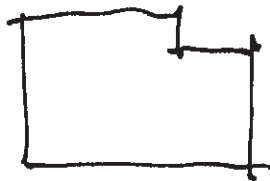
GFA



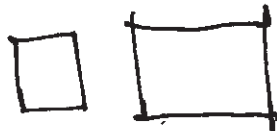
Basement 810



Existing 1st Flr. 1989



Existing 2nd Flr. 1425

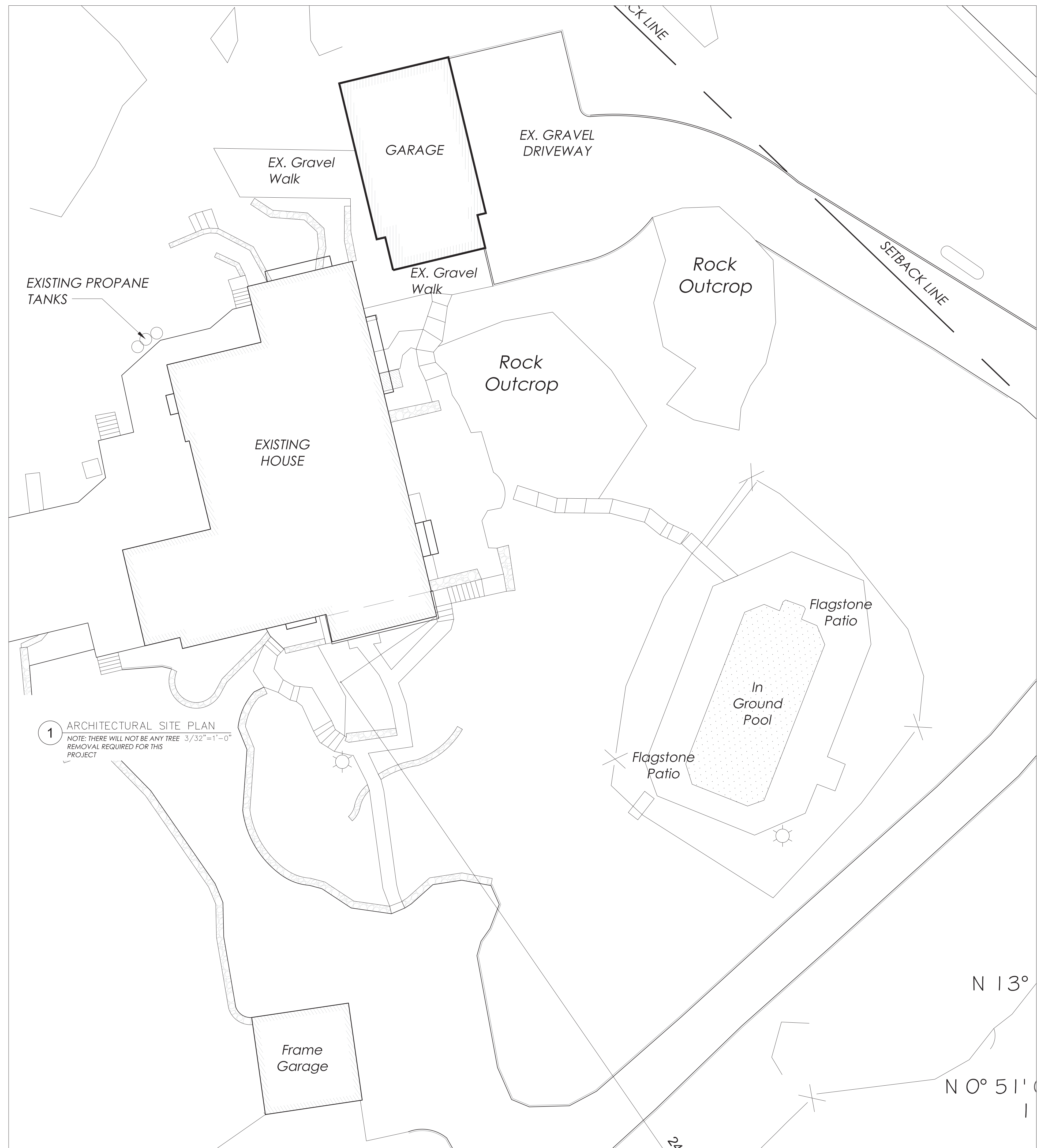


Garage/Access 403
+ Proposed 912

Total: 6182

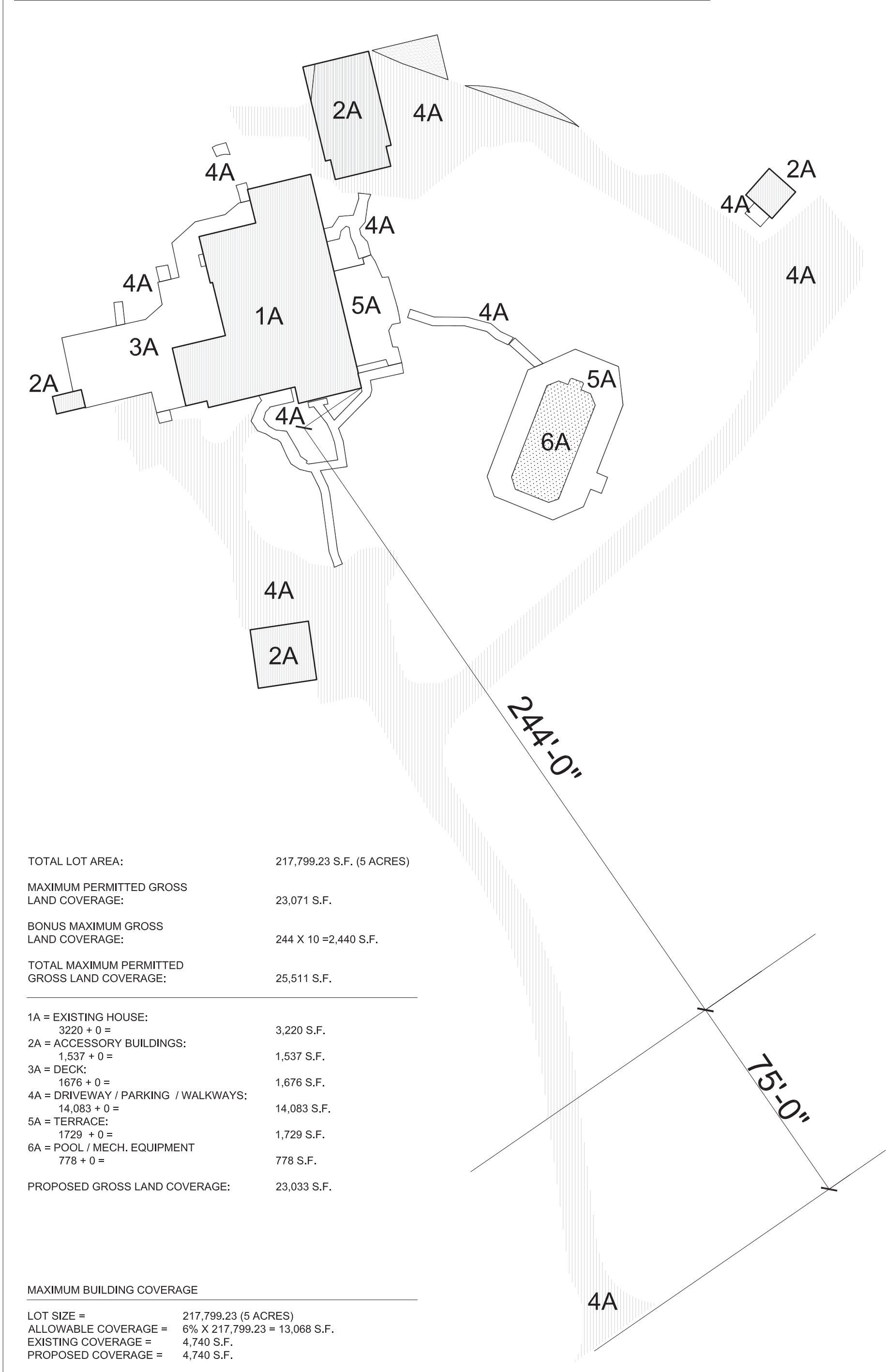
6182 < 14,913

MAX Permitted.



1 ARCHITECTURAL SITE PLAN
 NOTE: THERE WILL NOT BE ANY TREE 3/32"=1'-0"
 REMOVAL REQUIRED FOR THIS
 PROJECT

GROSS LAND COVERAGE CALCULATIONS



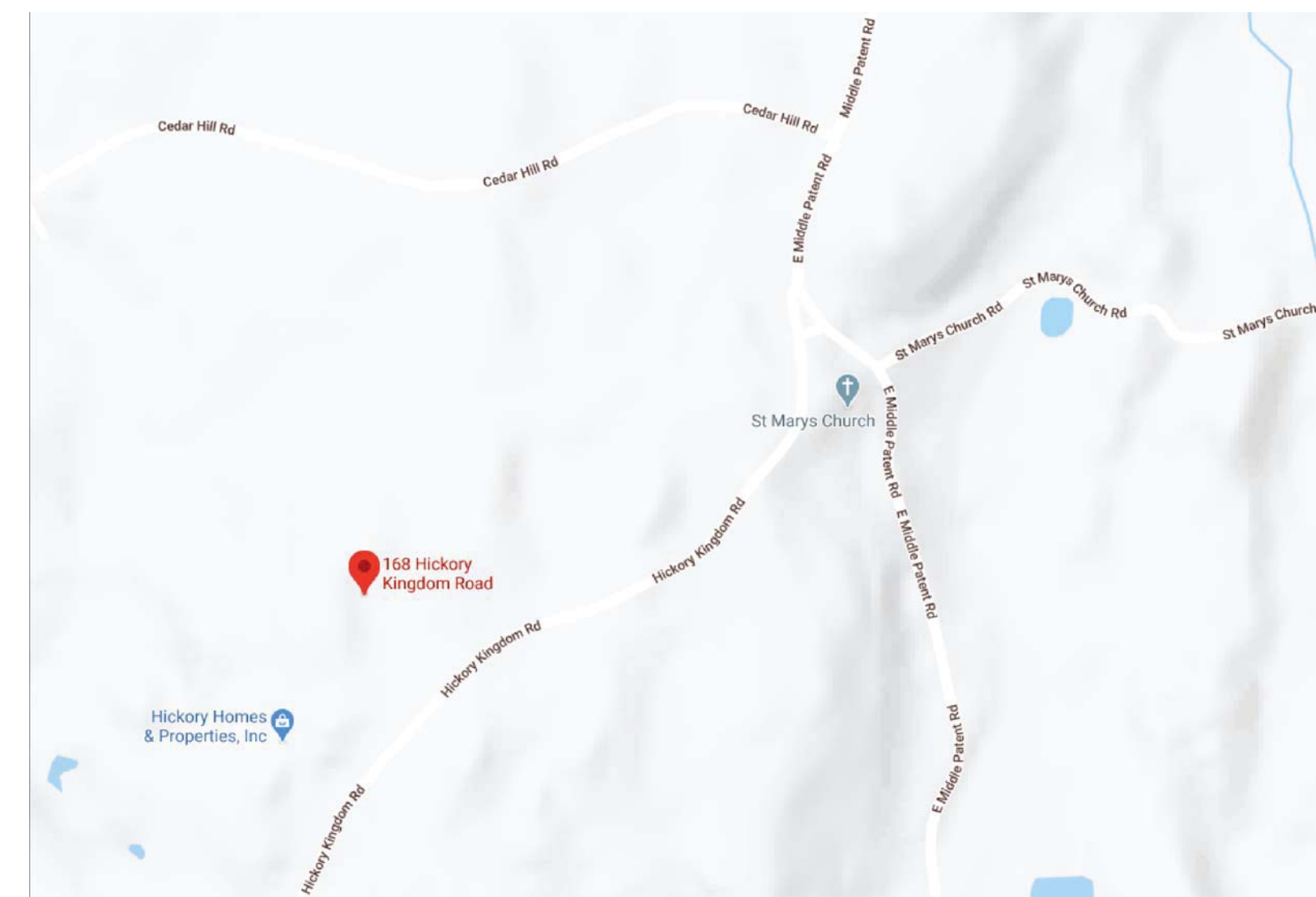
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ISSUED FOR _____ DATE _____
 PERMITS _____ 6/28/2022

NEIL HAUCK ARCHITECTS



203-655-9340 f:203-656-0213
 859 Post Road Darien, CT 06820
 neilhauckarchitects.com



SITE PLAN NOTE: THIS SURVEY WAS PREPARED BY TC MERRITTS LAND SURVEYORS, DATED MARCH 23, 2020, AND SHOWS AN OVERLAY OF THE PROPOSED GARAGE PLAN BY NEIL HAUCK ARCHITECTS. NEIL HAUCK ARCHITECTS, LLC MAKES NO CLAIM OR GUARANTEE TO THE ACCURACY OF THE INFORMATION CONTAINED THEREIN.

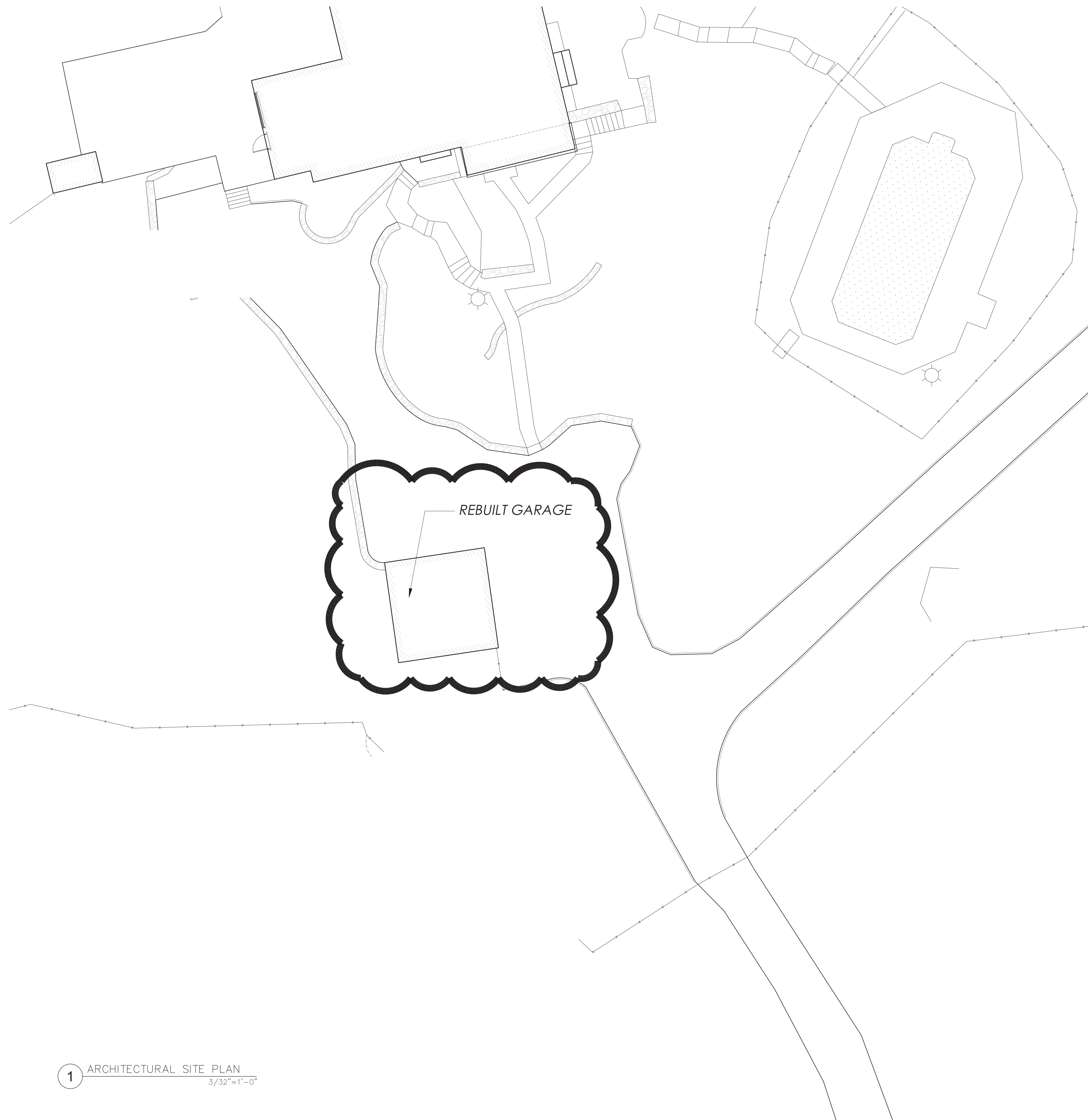
PROJECT
GILKES/QUATTROCHI GARAGE #2

TITLE
GROSS LAND and MAX. BUILDING COVERAGE CALC.

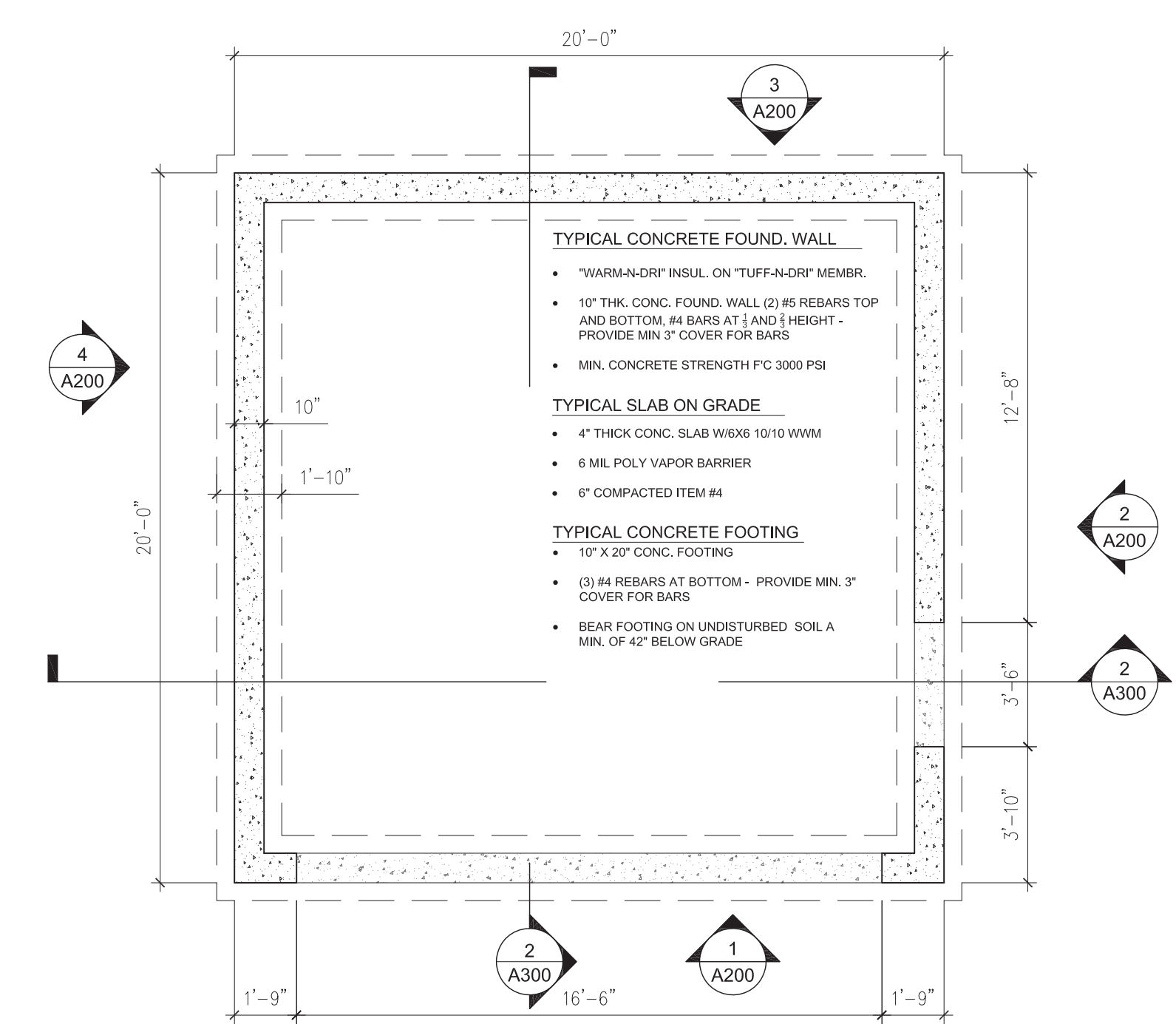
JOB NUMBER
 2003

DATE
 6/28/2022

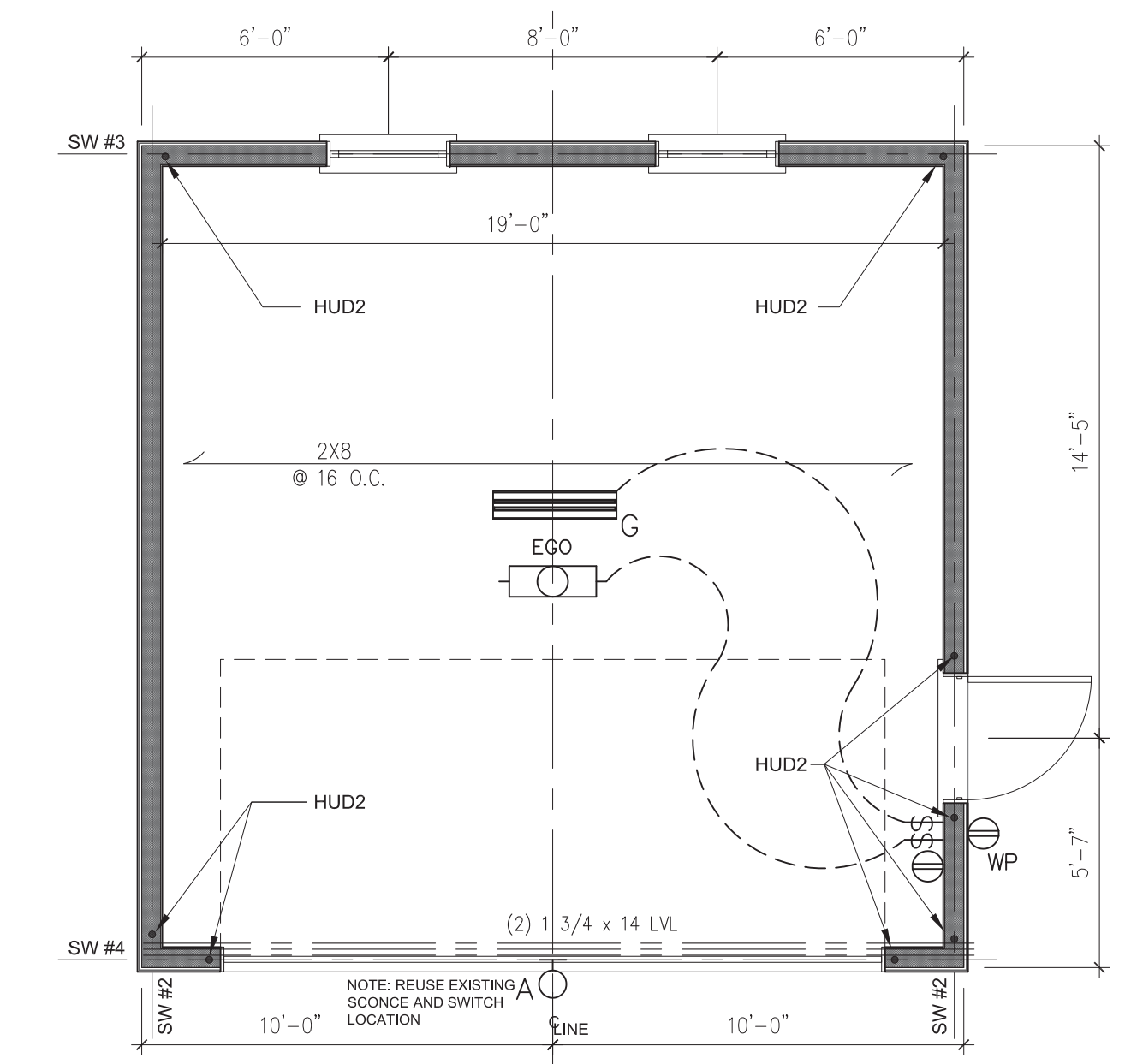
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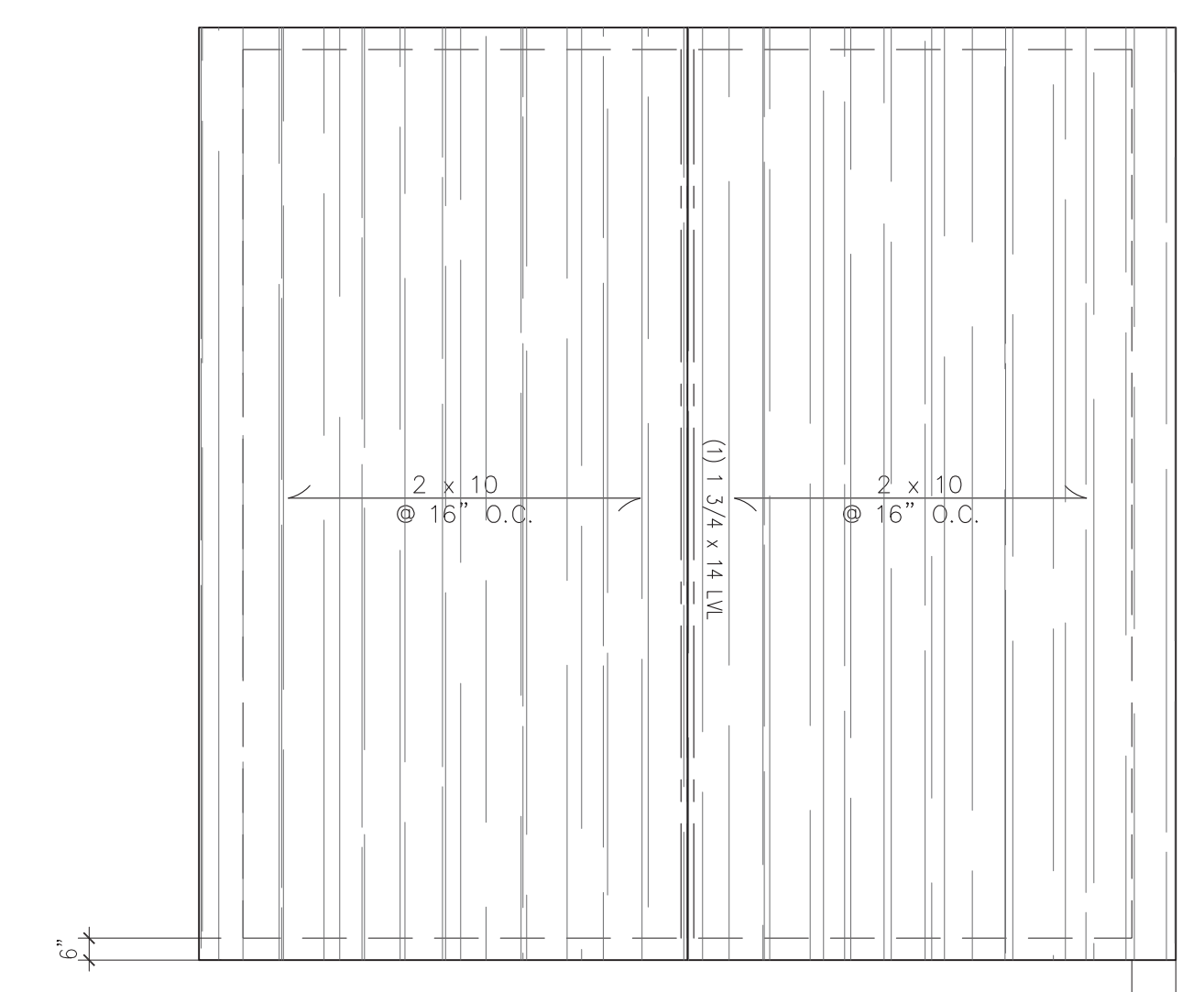
1 ARCHITECTURAL SITE PLAN
3/32"=1'-0"



2 GARAGE FOUNDATION PLAN
NOTE: VERIFY EXISTING FOUNDATION WILL SUPPORT NEW STRUCTURE. IF NOT, PROCEED WITH NEW FOUNDATION AS DRAWN
1/4"=1'-0"



3 GARAGE / ELECTRICAL PLAN
1/4"=1'-0"



4 ROOF PLAN
1/4"=1'-0"

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PRICING	2/28/2022
PERMITS	6/28/2022

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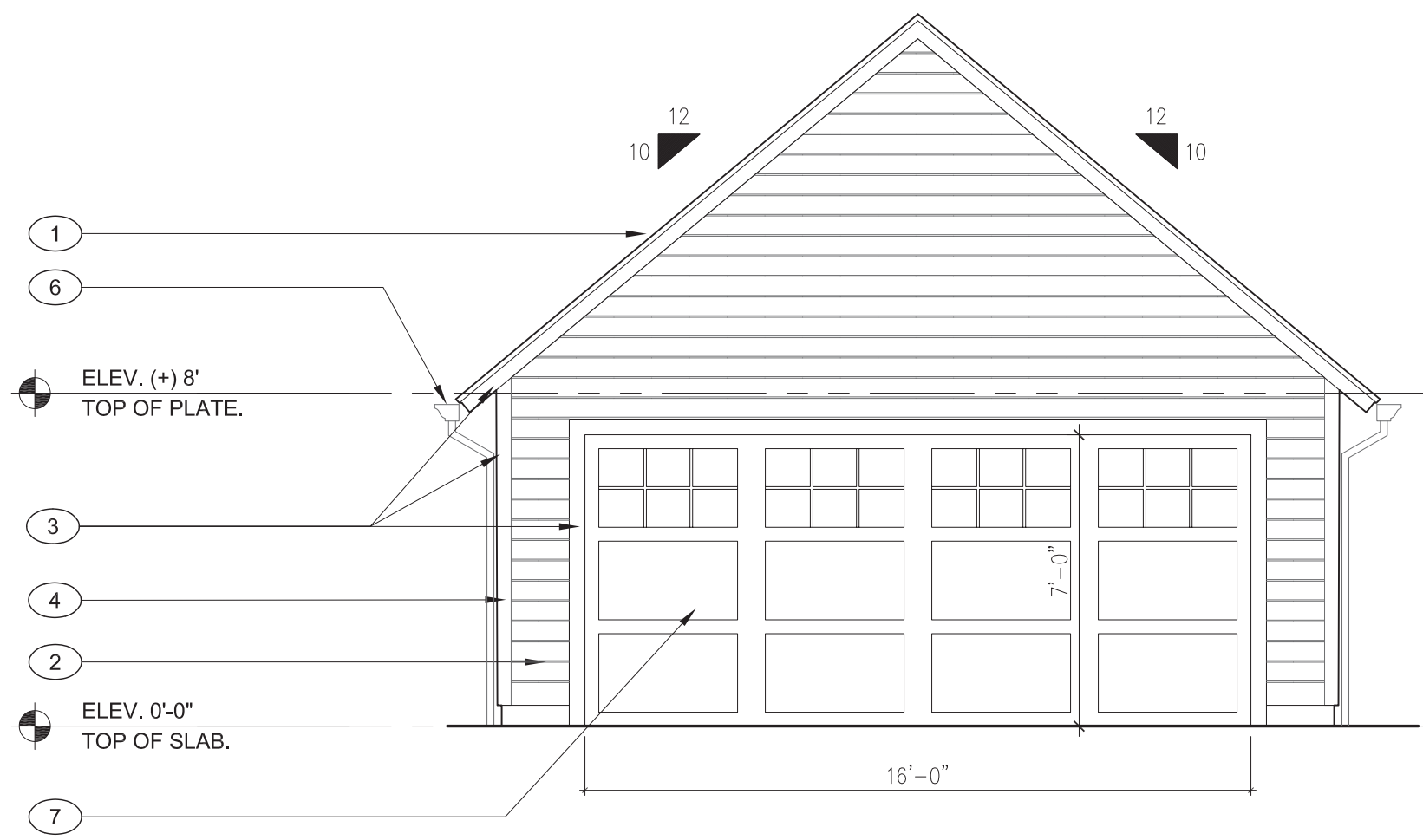
PROJECT
GILKES/QUATTROCHI
GARAGE #2

TITLE
ARCHITECTURAL SITE
PLAN, FOUNDATION,
FLOOR and ROOF PLAN

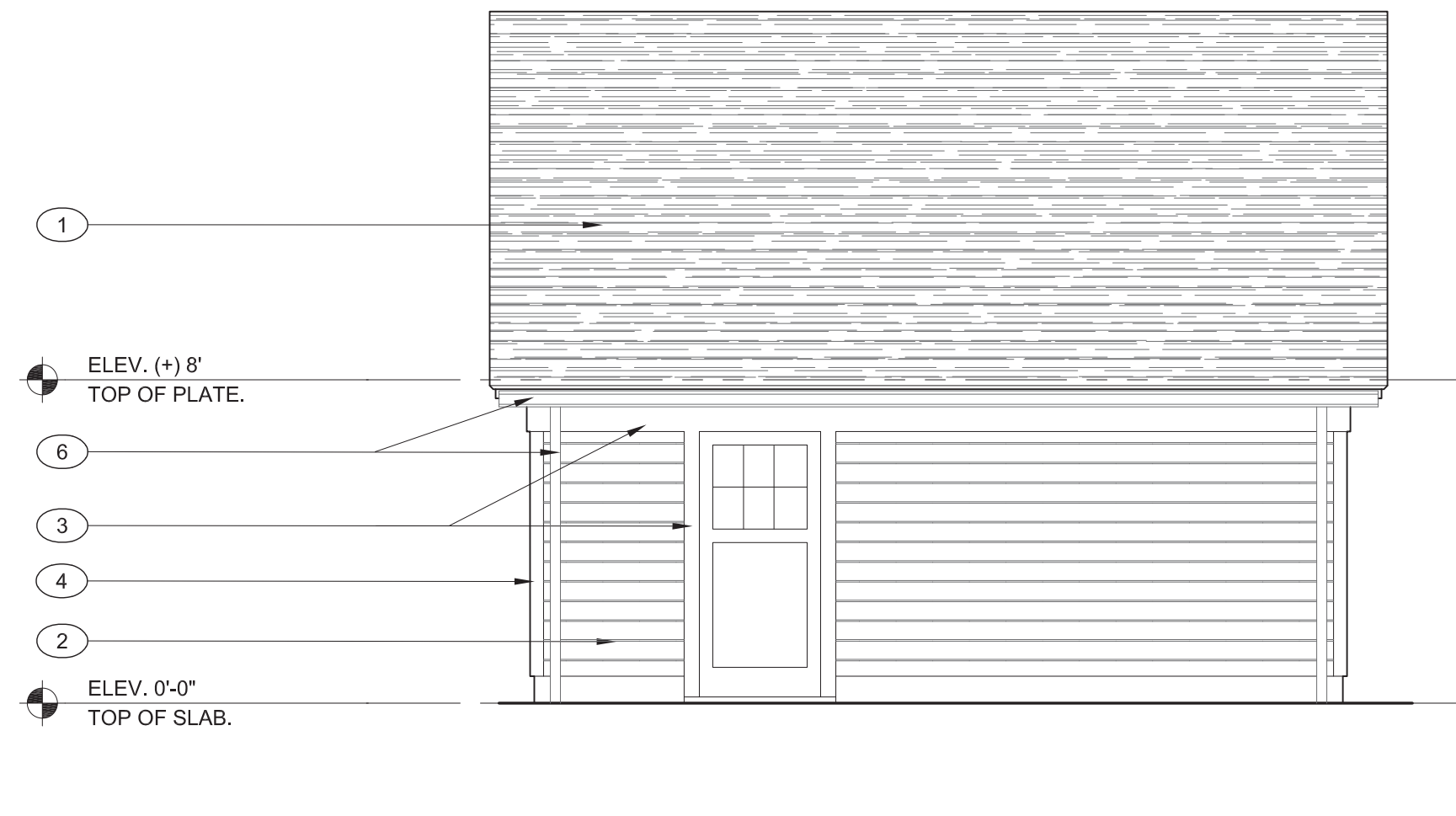
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DATE
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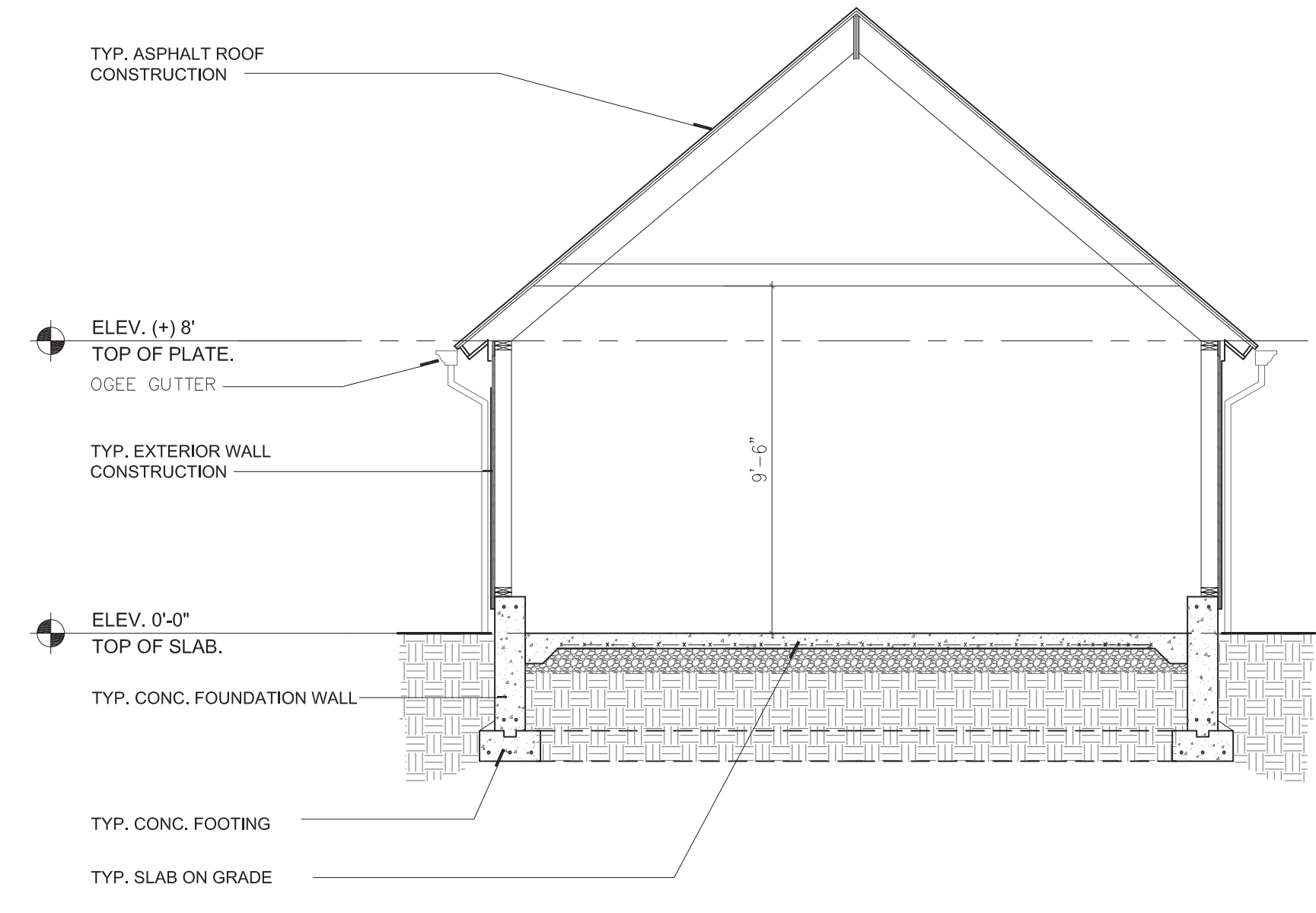
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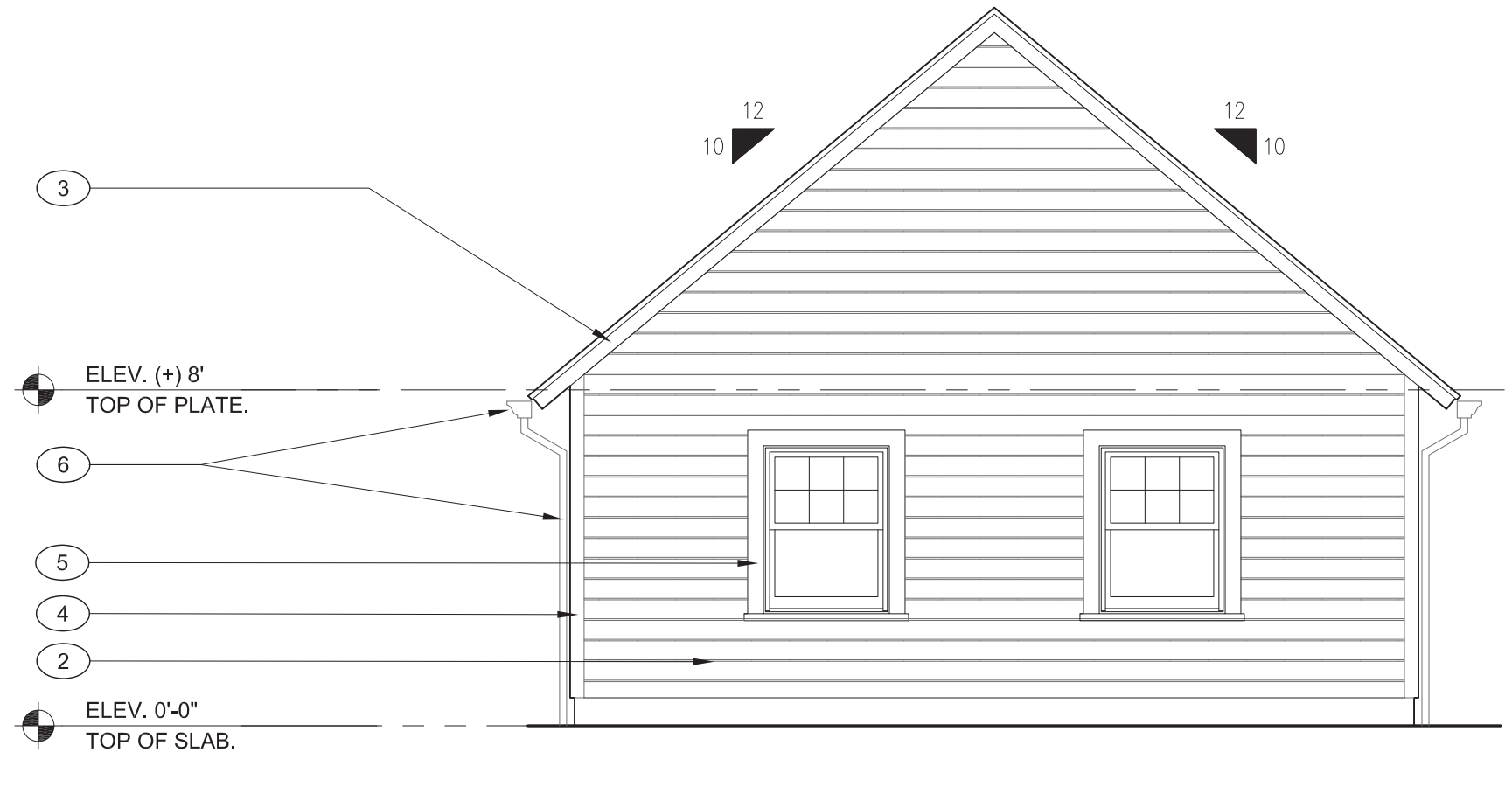
1 FRONT ELEVATION
1/4" = 1'-0"



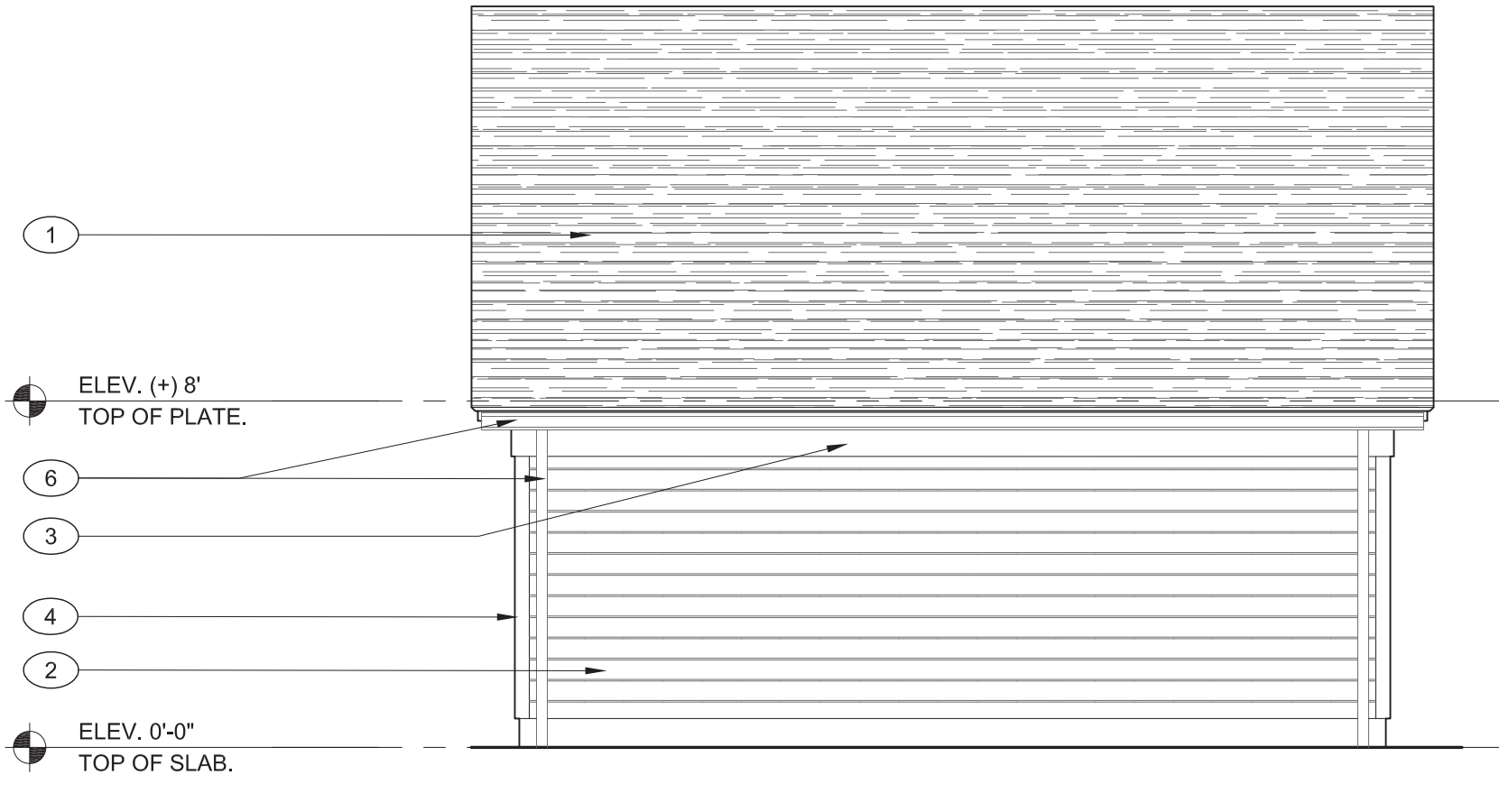
2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



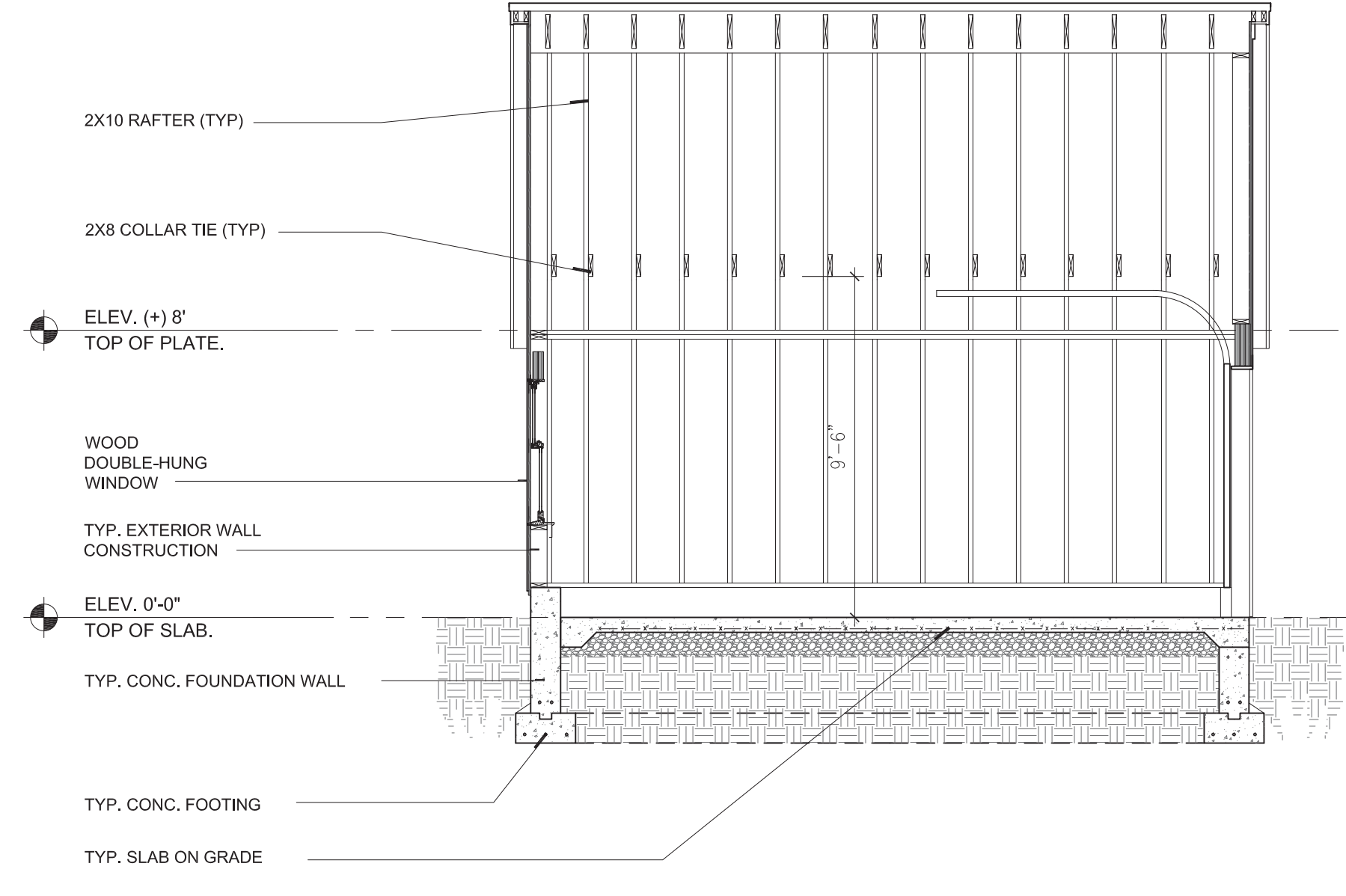
3 CROSS SECTION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"



5 LEFT SIDE ELEVATION
1/4" = 1'-0"



6 LONGITUDINAL SECTION
1/4" = 1'-0"

DESIGN: ASCE 7-05, METHOD 1:
WIND LOADING CONNECTION REQUIREMENTS
(NORMAL WIND SPEED 100 MPH 3 SECOND GUSTS)

Project:
Gilkes/ Quattrochi Garage # 2

- Standard Requirements:
1. Roof sheathing: 1/2" plywood with 8d nails at 6" on center at panel edges.
 2. Rafter straps at ridge: Simpson LSTA24 at every third rafter.
 3. Rafter straps to first floor wall plate: Simpson H2.5A at each rafter.
 4. First floor wall plate to first floor stud: Simpson H2.5A at each stud.
 5. Strap between headers 8'-0" and greater to jack stud: Simpson H6.
 6. First floor stud to sill plate: 1/2" plywood with 8d nails at 2" on center.
 7. Sill plate to foundation wall: 1/2" diameter double zinc coated anchor bolts at 48" on center. (1'-0" maximum from each corner and plate ends)
 8. Exterior plywood sheathing: 1/2" plywood with 8d nails at 6" on center at panel edges. Unless otherwise noted. Provide 2 x 4 solid blocking on the flat between all studs at all horizontal plywood joints for continuation of the nailing pattern.

- Job Specific Requirements:
1. Shear wall # 1: (Exterior left side of garage): 1/2" plywood with 8d nails at 6" on center at panel edges.
 2. Shear wall # 2: (Exterior right side wall of garage): 1/2" plywood with 8d nails at 6" on center at panel edges. Simpson HDU2 hold down each side to side door. (2) locations.
 3. Shear wall # 3: (Exterior back wall of garage): 1/2" plywood with 8d nails at 6" on center at panel edges. Simpson HDU2 hold down at corners. (2) locations.
 4. Shear wall # 4: (Exterior front wall of garage): 1/2" plywood both sides with 8d nails at 2" on center at panel edges. Simpson HDU11 hold down at corners and each side of garage door. (4) locations.

EXTERIOR ELEVATIONS LEGEND							
#	ITEM	MATERIAL & FINISH	REMARKS	#	ITEM	MATERIAL & FINISH	REMARKS
1	ROOF SHINGLES	30 YR. GAF TIMBERLINE	MATCH EXISTING	7	GARAGE DOORS	CARRIAGE STYLE	
2	CLAP BOARD SIDING	MATCH EXISTING					
3	TRIM, EXT. CASINGS	AZEK OR EQ., PAINTED	MATCH EXISTING				
4	CORNER BOARD	MATCH EXISTING					
5	WINDOWS	WOOD, PAINTED	SEE WINDOW SCHEDULE FOR ADD'L INFORMATION				
6	GUTTERS & LEADERS	ALUM. OGEE GUTTERS	MATCH EXISTING SIZE AND COLOR				

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PROJECT
GILKES/QUATTROCHI GARAGE #2

TITLE
GARAGE ELEVATIONS and SECTION

JOB NUMBER
2003

DATE
6/28/2022

A-200

