



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625  
Fax: (914) 273-3554  
www.northcastleny.com

## RPRC DETERMINATION LETTER

Project Description: Pool and house addition  
Street Location: 24 ST MARY'S CHURCH RD  
Zoning District: R-4A Tax ID: 96.01-1-17 Application No.: 2021-0597  
RPRC DECISION: RPRC - Submit to Building Department  
Date: 07/06/2021

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The above referenced application was reviewed by the Residential Project Review Committee (RPRC).

The Committee determined that Planning Board and Architectural Review Board approval of the proposed project is NOT REQUIRED.

However, the following issues will need to be addressed prior to the issuance of a building permit:

- The site plan shall be revised to depict the entire parcel and depict the location of the proposed pool complex and house addition.
- The site plan shall be revised to include a zoning conformance table depicting the minimum requirement of the R-4A Zoning District and the proposed compliance of the pool and addition with those requirements.
- The site plan shall be revised to dimension the proposed pool complex to property lines.
- The site plan shall be revised to dimension the proposed house addition to property lines.
- The submitted elevations shall be revised to depict proposed Building Height (average grade to roof midpoint) and Maximum Exterior Wall Height (lowest grade to roof midpoint).
- The Applicant shall submit the required gross floor area backup exhibit.
- The Applicant shall submit the required gross land coverage backup exhibit.
- The site contains Town-regulated wetlands. The location of the wetlands and the regulated wetland buffer shall be depicted on the site plan.
- The site plan shall depict all Town-regulated tree removal. Tree removal shall be limited to the minimum necessary required to construct the proposed pool and house addition.

- The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact the Town Engineer to schedule the testing.
- Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume (without benefit of percolation); whichever is greater. Provide details of the stormwater mitigation system.
- Provide rims, inverts, size and material for all drainage facilities. Provide details.
- The plan shall include emergency overflow for the stormwater mitigation system to a stabilized outfall. Provide details.
- The plan shall illustrate the connection between the pool equipment and drawdown mitigation practice.
- The plan shall illustrate and quantify the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction.
- Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, inlet protection, construction sequence, etc. Provide details.
- The plan shall illustrate all trees 8 inches dbh or greater located within and 10 feet beyond the proposed limit of disturbance. Indicate trees to be removed and/or protected.
- The plan shall illustrate the location of the existing utilities (well, septic, etc.).
- The Building Department shall determine the need to refer the application to the Westchester County Department of Health (WCHD) for review of the proposed bedroom count and/or additional floor area and whether modifications or upgrades to the existing septic system are required.
- The plan shall illustrate any proposed grading including spot grades as appropriate.
- The plan shall illustrate the proposed location of the pool equipment.
- The plan shall include a detail for the proposed retaining wall.
- The plan shall include a pool fence and gate detail. The plan shall note that the pool fence and gate shall comply with all applicable NYS Building Code requirements.
- The plans shall include a note indicating the source of the survey and topographic data, including the referenced datum, utilized for the development of the plan.

**At this time, you must submit two hard copies of revised plans addressing the above issues, this determination letter and a completed building permit application directly to the North Castle Building Department. DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.**

If you would like to further discuss this matter, please do not hesitate to contact the Building Department.

Adam R. Kaufman, AICP  
Director of Planning



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17 Bedford Road  
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RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

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## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 24 ST MARYS CHURCH RD

Section III- DESCRIPTION OF WORK: SEE ATTACHED

### Section III- CONTACT INFORMATION:

APPLICANT: DESIGN BUIIDERS & REMODELING INC  
ADDRESS: 904 ETHAN ALLEN HIGHWAY RIDGEFIELD CT 06877  
PHONE: 203-431-9104 MOBILE: 203-948-5991 EMAIL: davida@dbarinc.com

PROPERTY OWNER: MITCHELL AND RINA REICHGUT  
ADDRESS: 5 MCFADDEDN DRIVE WILTON CT. 06897  
PHONE: \_\_\_\_\_ MOBILE: 203-613-3272 EMAIL: MRREICHGUT@GMAIL.COM

PROFESSIONAL: DOUGLAS CUTLER ARCHITECTS  
ADDRESS: 221 DANBURY RD WILTON CT. 06897  
PHONE: 203-761-9561 MOBILE: \_\_\_\_\_  
EMAIL: DCUTLER@MODULARARCHITECTURE.COM

### Section IV- PROPERTY INFORMATION:

Zone: R4A Tax ID (lot designation) 96.01-1-17



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: \_\_\_\_\_

Initial Submittal  Revised Preliminary

Street Location: \_\_\_\_\_

24 ST. MARY'S CHURCH RD

Zoning District: R4A Property Acreage: 21.083 Tax Map Parcel ID: 96.01-1-17

Date: JUNE 21, 2022

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: REICHGUT RESIDENTIAL ADDITIONS AND ALTERATIONS Date: 06/21/2022

Tax Map Designation or Proposed Lot No.: 96.01-1-17

Gross Lot Coverage

- |            |  |                             |
|------------|--|-----------------------------|
| 1.         | Total lot Area (Net Lot Area for Lots Created After 12/13/06):                 | <u>21.083 AC/918,375 SF</u> |
| 2.         | <b>Maximum</b> permitted gross land coverage (per Section 355-26.C(1)(b)):     | <u>75,614 SF</u>            |
| 3.         | <b>BONUS</b> maximum gross land cover (per Section 355-26.C(1)(b)):            |                             |
|            | Distance principal home is beyond minimum front yard setback                   |                             |
| <u>460</u> | x 10 = _____   | <u>4,600 SF</u>             |
| 4.         | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3      | <u>80,214 SF</u>            |
| 5.         | Amount of lot area covered by <b>principal building</b> :                      |                             |
|            | <u>2,333.6 SF</u> existing + <u>629.73 SF</u> proposed =                       | <u>2,904.89 SF</u>          |
| 6.         | Amount of lot area covered by <b>accessory buildings</b> :                     |                             |
|            | <u>775 SF</u> existing + <u>0</u> proposed =                                   | <u>775 SF</u>               |
| 7.         | Amount of lot area covered by <b>decks</b> :                                   |                             |
|            | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>                    |
| 8.         | Amount of lot area covered by <b>porches</b> :                                 |                             |
|            | <u>0</u> existing + <u>629.73</u> proposed =                                   | <u>629.73 SF</u>            |
| 9.         | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :    |                             |
|            | <u>11,160</u> existing + <u>250</u> proposed =                                 | <u>11,410 SF</u>            |
| 10.        | Amount of lot area covered by <b>terraces</b> :                                |                             |
|            | <u>148.17</u> existing + <u>1206.17</u> proposed =                             | <u>1,354.34 SF</u>          |
| 11.        | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> : |                             |
|            | <u>0</u> existing + <u>0</u> proposed =  | <u>0</u>                    |
| 12.        | Amount of lot area covered by <b>all other structures</b> : SHED               |                             |
|            | <u>180</u> existing + <u>0</u> proposed =                                      | <u>180 SF</u>               |
| 13.        | Proposed <b>gross land coverage</b> : Total of Lines 5 – 12 =                  | <u>17,253.96</u>            |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



6/28/22  
 Date



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

January 29, 2019  
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 Fax: (914) 273-3554  
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**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: REICHGUT RESIDENTIAL ADDITIONS AND ALTERATIONS Date: JUNE 21, 2022

Tax Map Designation or Proposed Lot No.: 96.01-1-17

Floor Area

- |     |  |                               |
|-----|--|-------------------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>21,083 AC / 918,375 SF</u> |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):   | <u>75,614 SF</u>              |
| 3.  | Amount of floor area contained within first floor:<br><u>2,333.6</u> existing + <u>571.29</u> proposed =                         | <u>2,904.89 SF</u>            |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>0</u> proposed =                                   | <u>0</u>                      |
| 5.  | Amount of floor area contained within garage:<br><u>775</u> existing + <u>0</u> proposed =                                       | <u>775 SF</u>                 |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>0</u> existing + <u>629.73</u> proposed =         | <u>629.73 SF</u>              |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0</u> existing + <u>433.06</u> proposed = | <u>433.06 SF</u>              |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed =         | <u>0</u>                      |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>955</u> existing + <u>0</u> proposed =                      | <u>955 SF</u>                 |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =  | <u>5,697.68 SF</u>            |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date

6/28/22



904 Ethan Allen Highway  
Ridgefield, CT 06877  
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info@dbarinc.com  
www.dbarinc.com

DESIGN   
BUILDERS  
& REMODELING, INC  
LIC # HIC 0570154

*unique design to seamless finish*

6/16/2021 Revised 6/21/2022,

## **RPRC PROJECT REVIEW**

24 ST MARY'S CHURCH ROAD  
BEDFORD HILLS, NY  
Parcel ID: 96.01-1-17

### **Project Description:**

The project proposes renovation of existing residence and construction of a carport off of detached Garage.

24 St. Mary's Church Road is a 21.083 acre property with two structures set far back from the road. The existing residence is a 20th century single-story 'U' shaped structure with a small basement utility room on the east side. Proposed alterations and additions include relocation of the kitchen and dining rooms closer to the driveway, and construction of a master bedroom suite on the east side of the building. The new master bedroom will be constructed over a basement, providing interior access to the utility room. There is no habitable attic space.

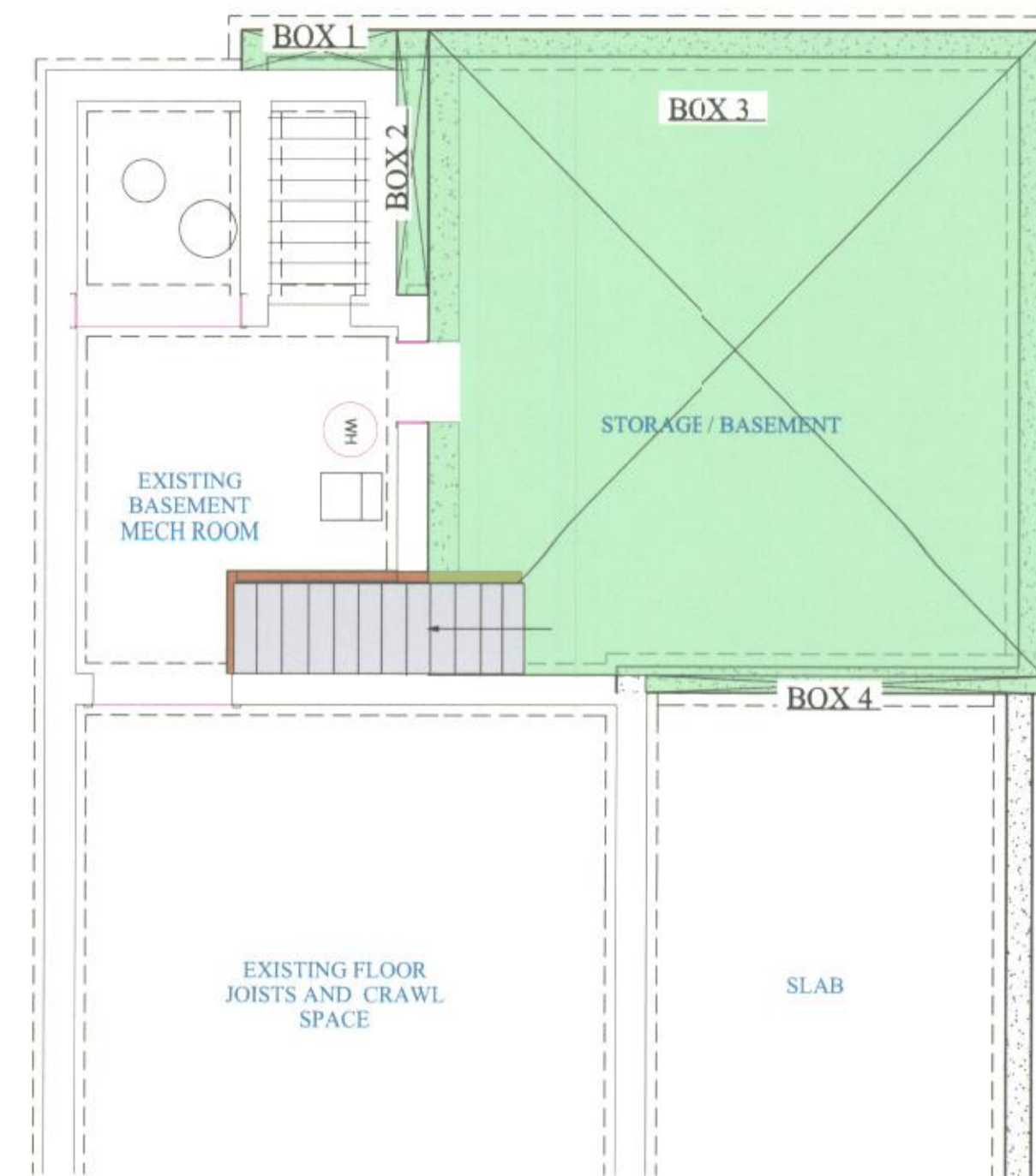
An existing garage/studio building has two car spaces and exterior stair providing access to a two-room studio with a ¾ bath above the garage. A carport will be added on the West side.

An overhead electric service extends from St Mary's Church Road on several service poles. Water for the site is provided by a single drilled well just north of the residence. The residence septic system is located south of the terrace south of the house.

### **Scenic Roadscape Preservation:**

In addition to frontage on St. Mary's Church Road, the eastern portion of the site extends toward Mianus River Road. Both are designated as scenic roadways.

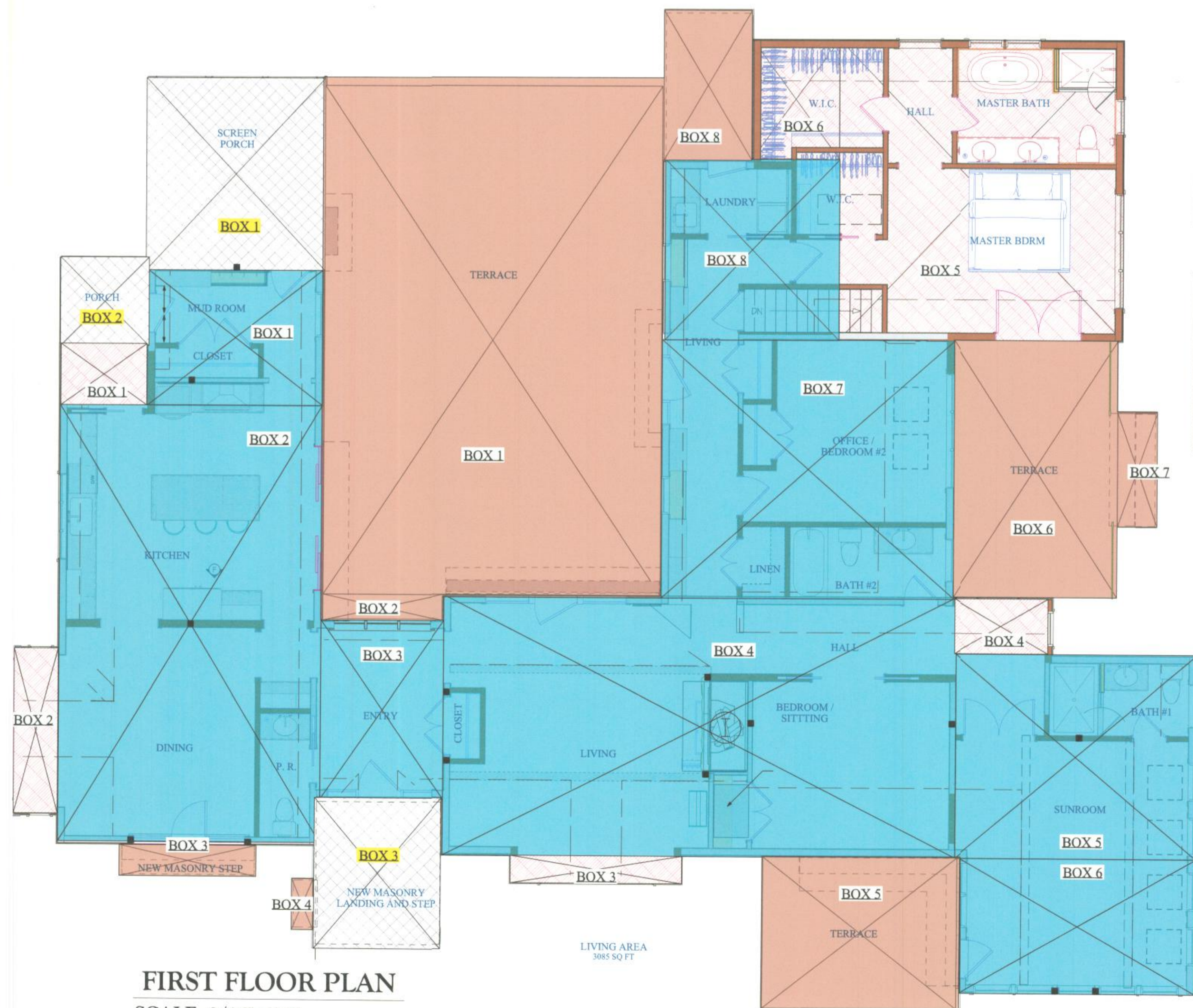
The residence is approximately 493' from St. Mary's Church Road, with only the existing projection of the Family Room within the regulated area. Renovations there are limited to replacement of the windows and interior alterations. On the east, the residence is more than 600' from Mianus River Road, outside of the regulated area.



BOX 1 5'-0.375" X 1'-3" = 6.3 SQ. FT.  
 BOX 2 1'-0" X 8'-5.5" = 8.46 SQ. FT.  
 BOX 3 20'-1.375" X 20'-5.25" = 411.09 SQ. FT.  
 BOX 4 13'-0.75" X 6.625" = 7.21 SQ. FT.

TOTAL NEW  
 BASEMENT 433.06 SQ.  
 FT.

**BASEMENT LEVEL**  
 SCALE: 3/16"=1'-0"



BOX 1 12'-3" X 7'-10" = 94.6 SQ. FT.  
 BOX 2 18'-5" X 30'-8" = 566 SQ. FT.  
 BOX 3 8'-10" X 12'-3" = 107.8 SQ. FT.  
 BOX 4 36'-1.5" X 17'-11" = 647.6 SQ. FT.  
 BOX 5 17'-0" X 14'-0" = 237.4 SQ. FT.  
 BOX 6 16'-6" X 9'-6" = 156.4 SQ. FT.  
 BOX 7 20'-5.5" X 17'-11.5" = 367.8 SQ. FT.  
 BOX 8 12'-4" X 12'-6" = 154.2 SQ. FT.

EXISTING LIVING  
 SPACE 2,333.6 SQ. FT.

BOX 1 6'-0.75" X 4'-2.75" = 25.64 SQ. FT.  
 BOX 2 1'-9.5" X 3'-0" = 5.375 SQ. FT.  
 BOX 3 12'-0" X 3'-0" = 36 SQ. FT.  
 BOX 4 7'-0" X 4'-0" = 28 SQ. FT.  
 BOX 5 20'-2 1/2" X 21'-0" = 424.375 SQ. FT.  
 BOX 6 6'-2" X 8'-5" = 51.9 SQ. FT.

NEW LIVING SPACE  
 571.29 SQ. FT.  
 TOTAL LIVING SP.  
 2,904.89 SQ. FT.

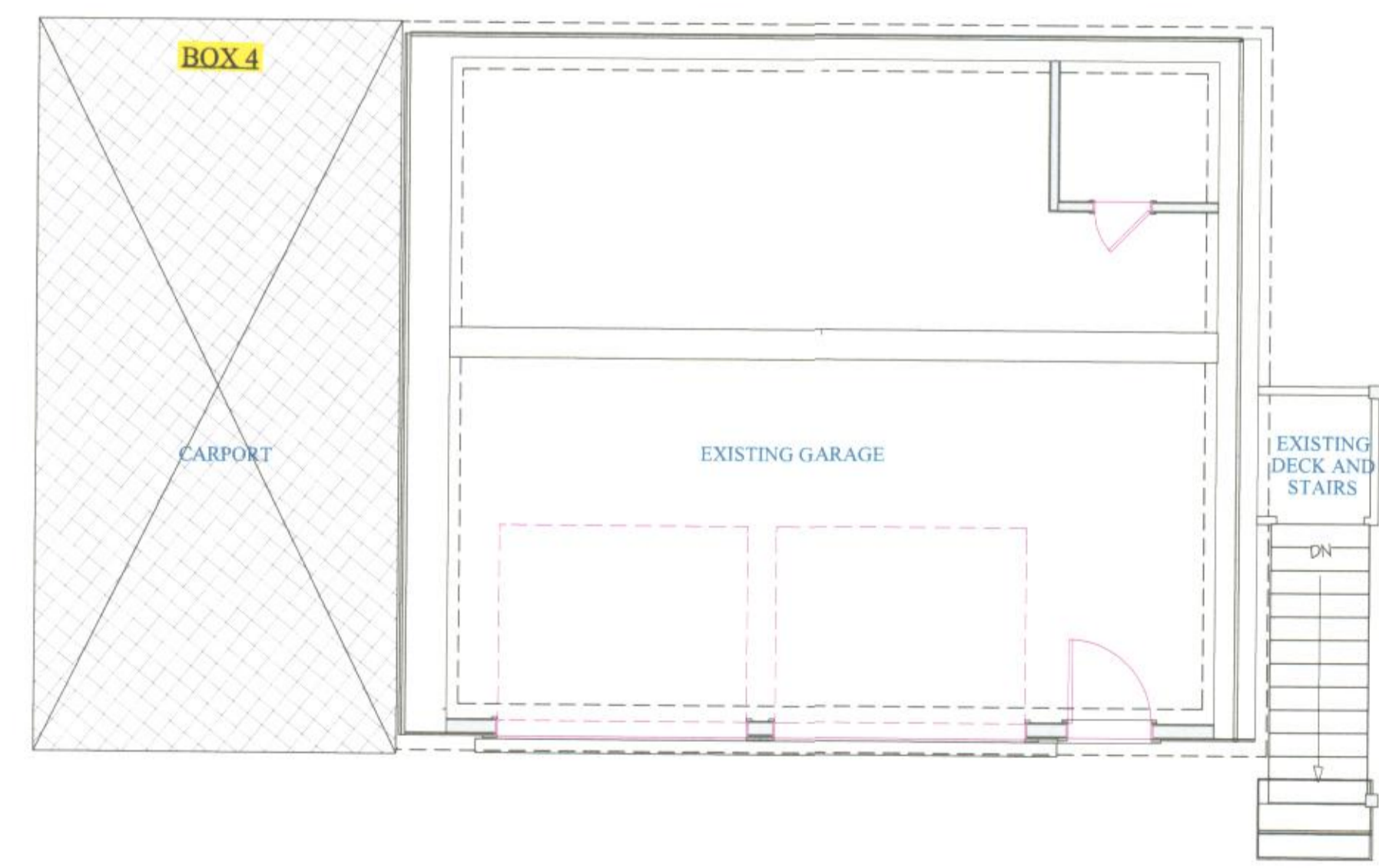
BOX 1 12'-3" X 13'-0" = 159.2 SQ. FT.  
 BOX 2 6'-3" X 6'-0" = 37.5 SQ. FT.  
 BOX 3 9' - 3.375" X 10' - 5.875" = 97.36 SQ. FT.  
 BOX 4 13' - 3" X 25' - 4" = 335.67 SQ. FT.

TOTAL NEW  
 COVERED PORCH  
 AREA 629.73 SQ. FT.

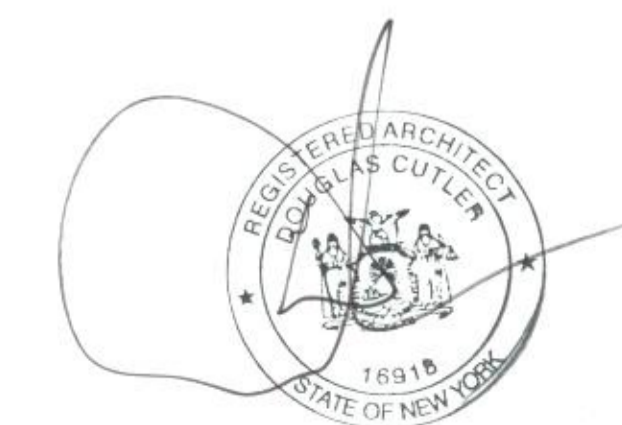
BOX 1 23'-10 1/4" X 36' - 2 1/2" = 863.72 SQ. FT.  
 BOX 2 8'-7" X 1'-9" = 15.02 SQ. FT.  
 BOX 3 9'-7" X 2'-4" = 22.36 SQ. FT.  
 BOX 4 1'-6" X 3'-6" = 5.25 SQ. FT.  
 BOX 5 14' X 10'-7" = 148.17 SQ. FT. (EXISTING)  
 BOX 6 11'-8 1/4" X 18'-0 1/4" = 210.62 SQ. FT.  
 BOX 7 2'-10" X 8" = 22.67 SQ. FT.  
 BOX 8 6'-4" X 10'-6" = 66.5 SQ. FT.

TOTAL TERRACES  
 1,354.34 SQ. FT.

**FIRST FLOOR PLAN**  
 SCALE: 3/16"=1'-0"



**GARAGE PLAN**  
 SCALE: 3/16"=1'-0"



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 Fax 203.431.5798  
 www.dharinc.com & REMODELING, INC.

SQUARE FOOTAGE  
 FLOOR PLANS

MITCHELL & RINA REICHGUT  
 24 St. Mary Church Road  
 Bedford, NY 10506

DRAWN BY:  
 Fernando Moran  
 APPROVED BY:  
 D.H.A.  
 DATE: 06/21/22  
 REVISIONS:  
 1  
 2  
 3  
 4  
 5  
 6  
 SCALE:  
 AS NOTED  
 DRAWING NUMBER

**A-1**

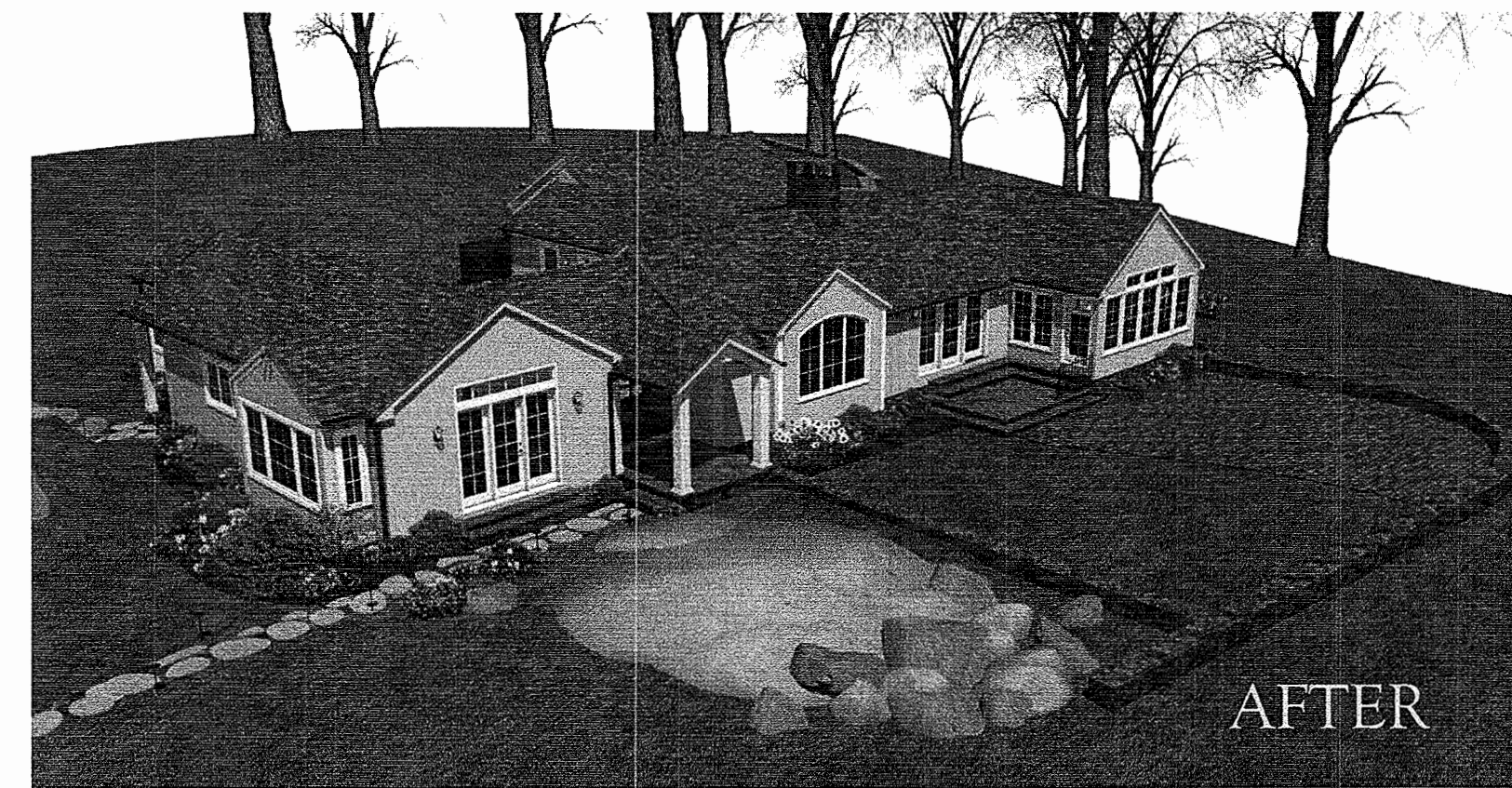
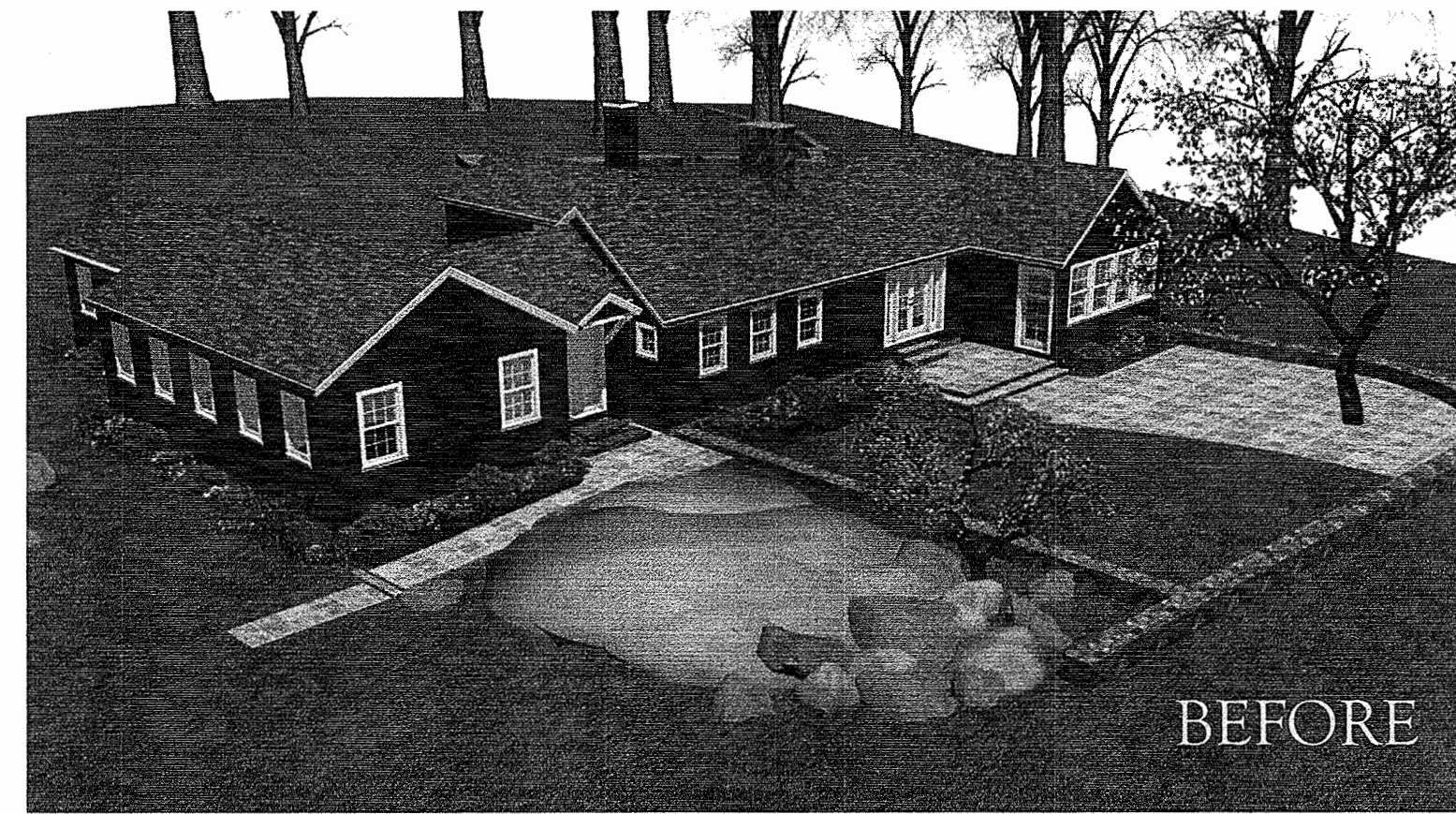
DATE OF PRINT: 6/21/22

# Proposed Addition to:

# MITCHELL & RINA REICHGUT

## 24 St Mary Church Road

## Bedford, NY 10506



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 Fax 203.431.5798  
 www.dbarinc.com & REMODELING, INC.

COVER SHEET & GENERAL NOTES

MITCHELL & RINA REICHGUT  
 24 St. Mary Church Road  
 Bedford, NY 10506

DRAWN BY: Fernando Moran  
 APPROVED BY: D.H.A.  
 DATE: 01/15/22

REVISIONS:

1	May 04, 2022
2	May 23, 2022
3	May 27, 2022
4	May 31, 2022
5	June 03, 2022
6	June 10, 2022

SCALE: AS NOTED

DRAWING NUMBER

# C-1

### ARCHITECTURAL ABBREVIATIONS

<p>A/C - Air Conditioning          Adj. - Adjustable          AFF. - Above finish floor</p> <p>B.F. - Boiler Flue          B.O. - Bottom Of          BR - Bedroom          Bldg. - Building          Blkg. - Blocking          Bsmt. - Basement</p> <p>C.B. - Catch Basin          C.J. - Control Joint          Cab. - Cabinet          Ctg. - Ceiling          Conc. - Concrete          Ctr. - Counter</p> <p>DS - Downspout          DW - Dishwasher          Dbl. - Double          DN - Down          DR - Door</p> <p>E.J. - Expansion Joint          Elev. - Elevation          EQ. - Equal          Exist. - Existing</p> <p>F.B.O. - Furnished by other          F.D. - Floor drain          F.O.F. - Face of finish          F.S. - Full size          Fdn. - Foundation</p>	<p>H.B. - Hose bib          H.W.H. - Hot water heater          Hdr. - Header          Hdwr. - Hardware          Ht. - Height          H.T.B. - Heated towel bar          Htg. - Heating          HVAC - Heat &amp; Air Cond.          I.D. - Inside diameter          Kit. - Kitchen</p> <p>L.C.C. - Lead coated copper          Lam. - Laminate          Lav. - Lavatory          Lib. - Library</p> <p>M.O. - Masonry opening          Max. - Maximum          Min. - Minimum</p> <p>N/E - Not Electrified          N/A - Not Applicable          N.I.C. - Not in Contract          N.T.S. - Not to scale</p> <p>O.C. - On center          O.D. - Outside diameter          Opp. - Opening</p> <p>Pl. Lam. - Plastic laminate          Pol. - Polished          Plwd. - Plywood</p>	<p>SH. - Shelf          SS - Stainless steel          Sym. - Symmetrical</p> <p>T.B. - Towel bar          T.B.D. - To be determined          T.O. - Top of          T.P. - Toilet paper          TV - Television          T &amp; G - Tongue &amp; Groove          Tele. - Telephone          Typ. - Typical</p> <p>U.O.N - Unless otherwise noted</p> <p>VIF - Verify in field          Vert. - Vertical          Vest. - Vestibule</p> <p>W/ - With          WW - Wall to wall          WP - Waterproof          WWF - Welded Wire Fabric          WC - Water Closet          WD - Wood</p>
---	---	---

### GRAPHIC LEGEND

	Earth or Compact fill
	Porous fill
	Concrete
	Stucco or Mortar
	Stone or Marble
	Brick
	Hardwood
	Plywood
	Rough Lumber
	Wood blocking
	Rigid Insulation

#### WALL LEGEND

	DEMO - WALL TO BE REMOVED
	EXISTING - WALL TO REMAIN
	NEW - STUD WALL @ 16" O.C.
	LOW WALL
	NEW CONC. WALL
	NEW CONC. BLOCK WALL

### DRAWINGS SYMBOLS

	<b>2</b> ROOF PLAN SCALE: 1/4" = 1'-0"	Drawing title
	<b>1</b> A14	Elevation reference: drawing and sheet number
	<b>2</b> A6	Section reference: drawing and sheet number
	<b>1</b> A14	Detail reference: drawing and sheet number
	2668	Int.door tag: Int. door number and dimension
	A	Ext.door tag: Ext. door number
	4	Window tag: window number
	NEW DINING ROOM AREA	Room name
	3	Revision

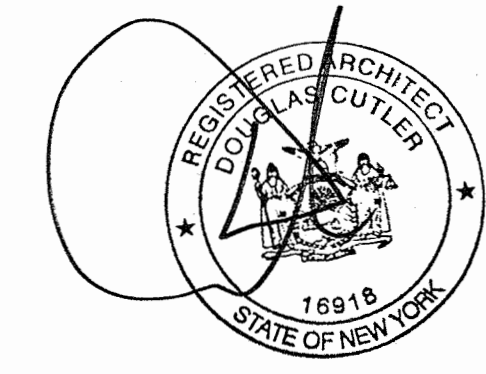
### GENERAL NOTES

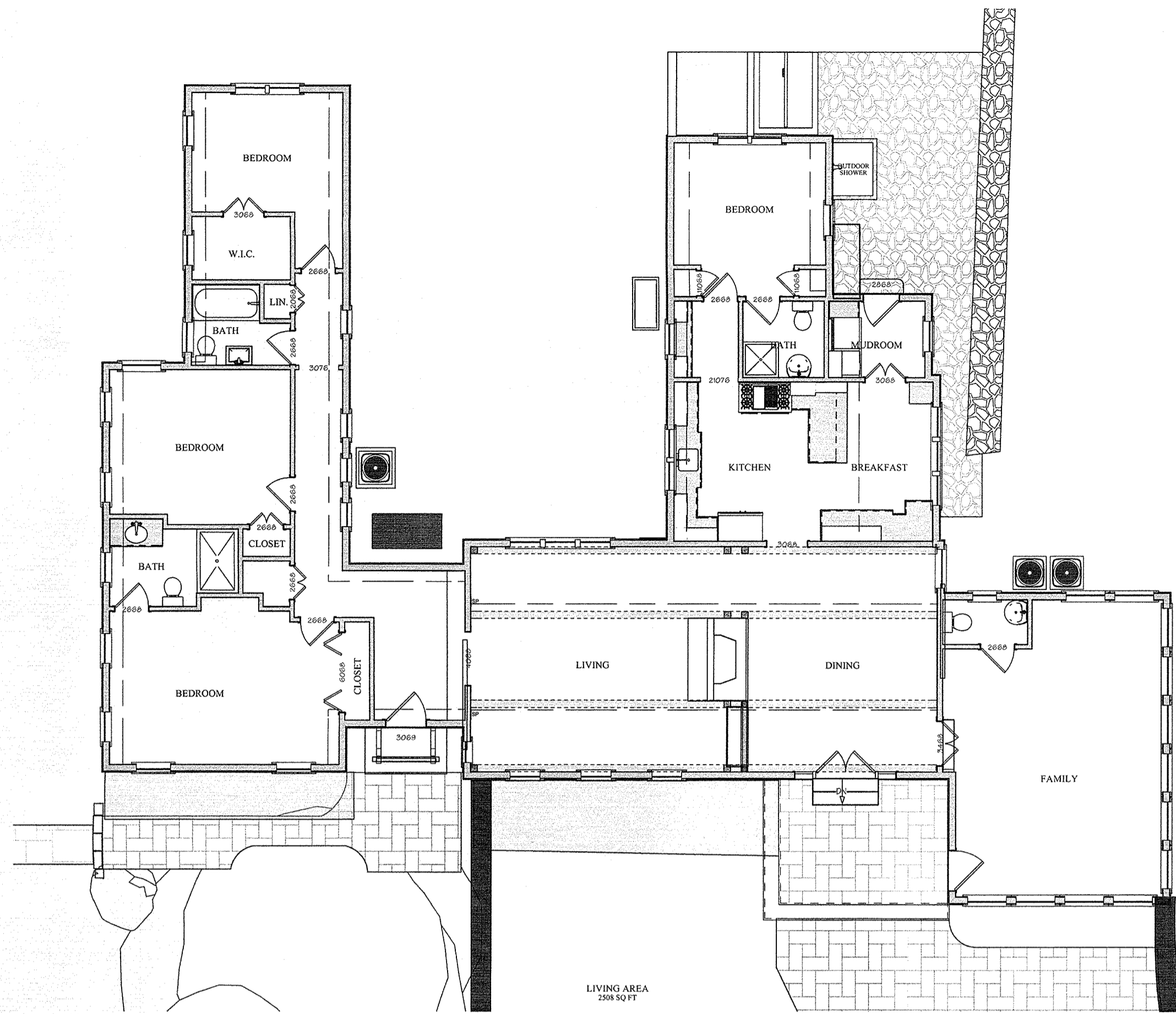
NOTES:

- EXISTING BUILDING DOES NOT HAVE SPRINKLERS NOR IS REQUIRED UNDER PRIOR SUBMISSION TYPE 4B CONSTRUCTION
- ALL NEW WORK SHALL COMPLY WITH 2020 RCNYS BUILDING CODE
- ALL NEW WORK SHALL COMPLY 3C NYS CODE LEVEL 2 ALTERATION
- ALL NEW ELECTRICAL WORK SHALL COMPLY WITH 2020 ECCCNY BUILDING CODE AND NEW LED'S ILLUMINATION REQUIRED

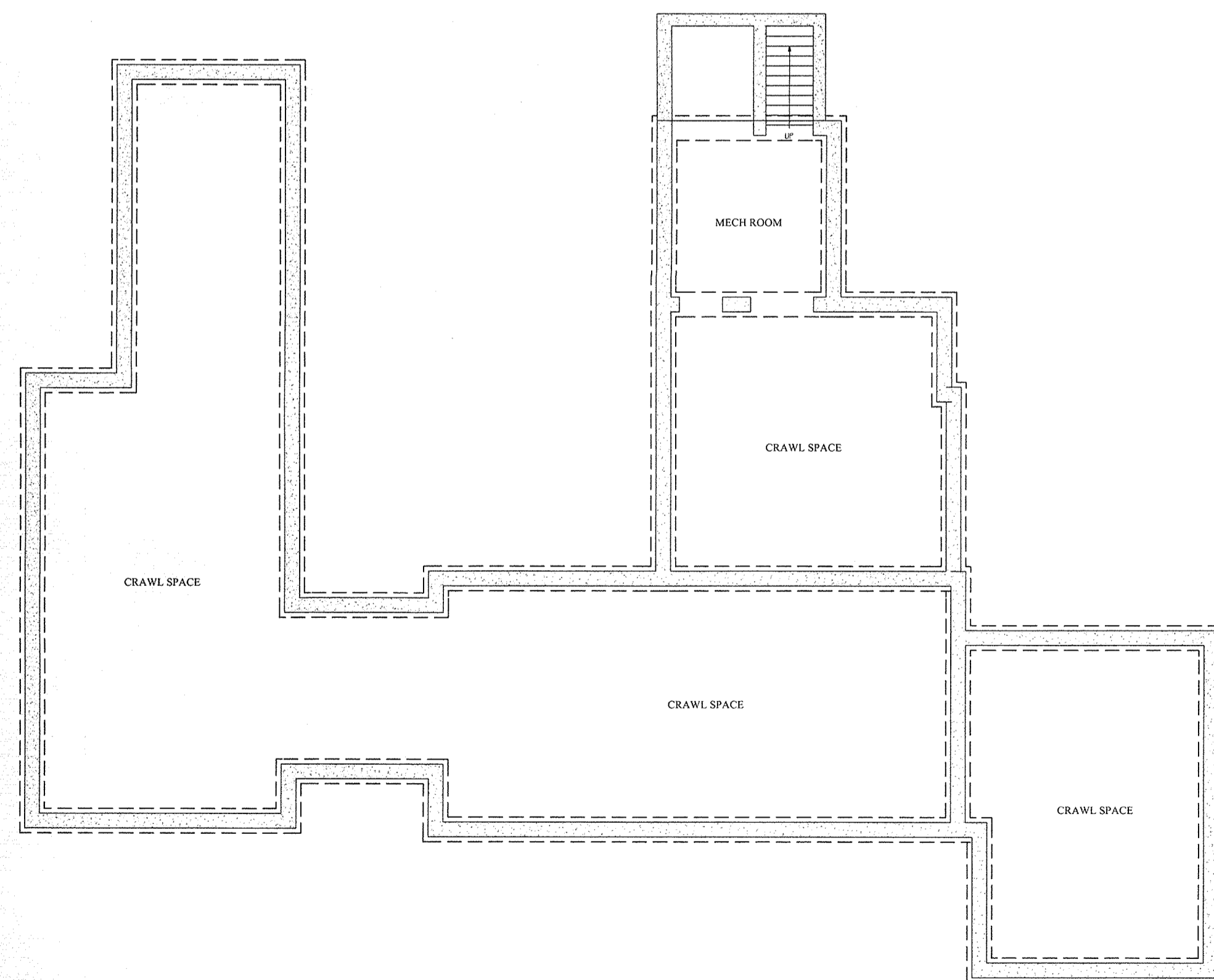
### DRAWING LIST

DWG No.	ARCHITECTURAL DRAWING
C-1	COVER SHEET & GENERAL NOTES
EX-1	EXISTING CONDITIONS FLOOR, ROOF & DEMO PLANS
N-1	GENERAL NOTES
A-1	DEMO, ROOF PLAN AND OVER VIEWS
A-2	PROPOSED FOUNDATION PLAN
A-3	PROPOSED FLOOR PLAN
A-4	PROPOSED FRONT & RIGHT ELEVATIONS
A-5	PROPOSED REAR & LEFT ELEVATIONS
A-6	PROPOSED COURT YARD ELEVATIONS / WINDOW & DOOR SCHEDULE
A-7	SECTIONS AND CONSTRUCTION DETAILS
A-8	ROOF STRUCTURE
E-1	ELECTRICAL PLANS
GAR 1	GARAGE PLANS
GAR 2	GARAGE SECTIONS AND ELECTRIC

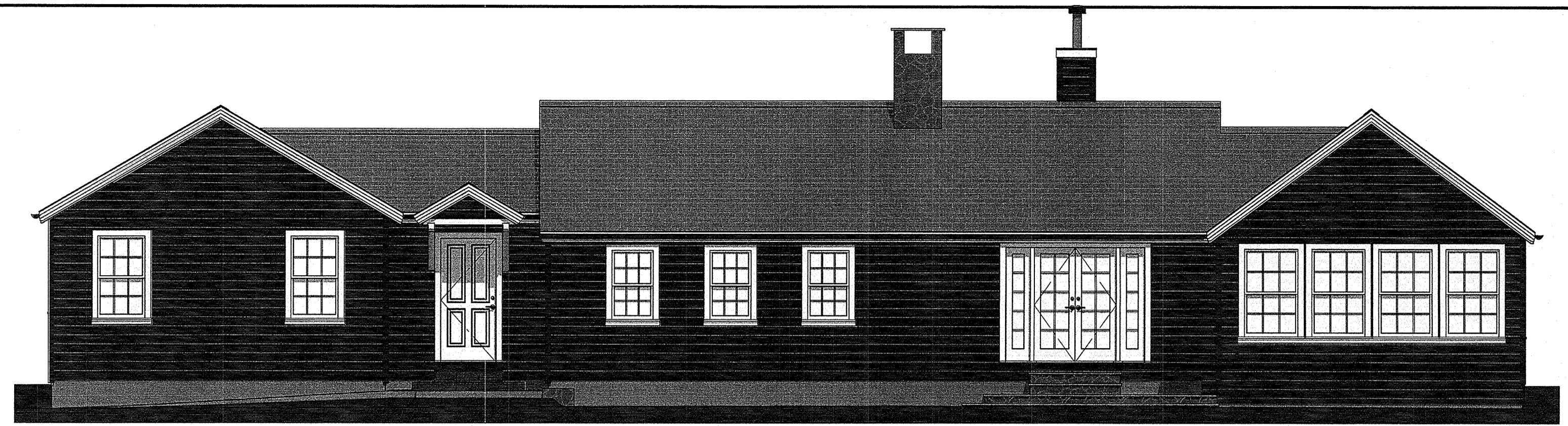




**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**EXISTING BASEMENT PLAN**  
SCALE: 1/8"=1'-0"



**EXISTING FRONT ELEVATION (SOUTH)**  
SCALE: 3/16"=1'-0"



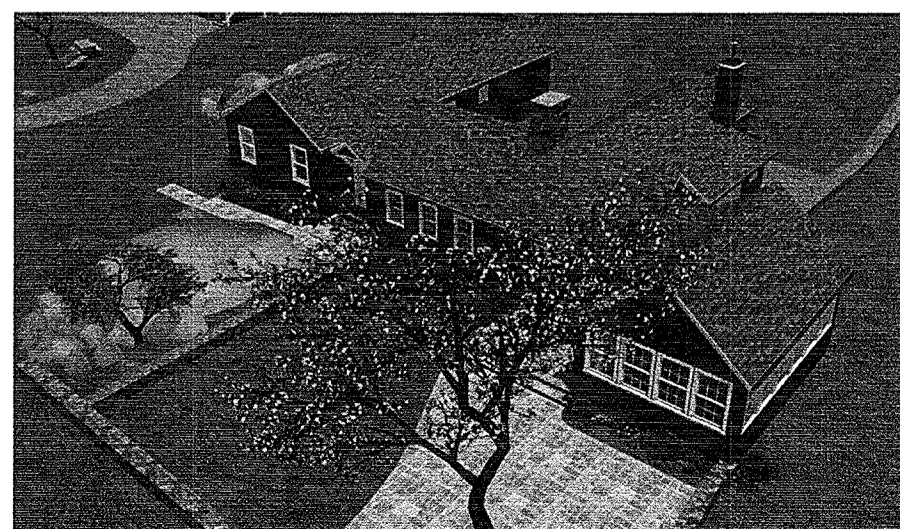
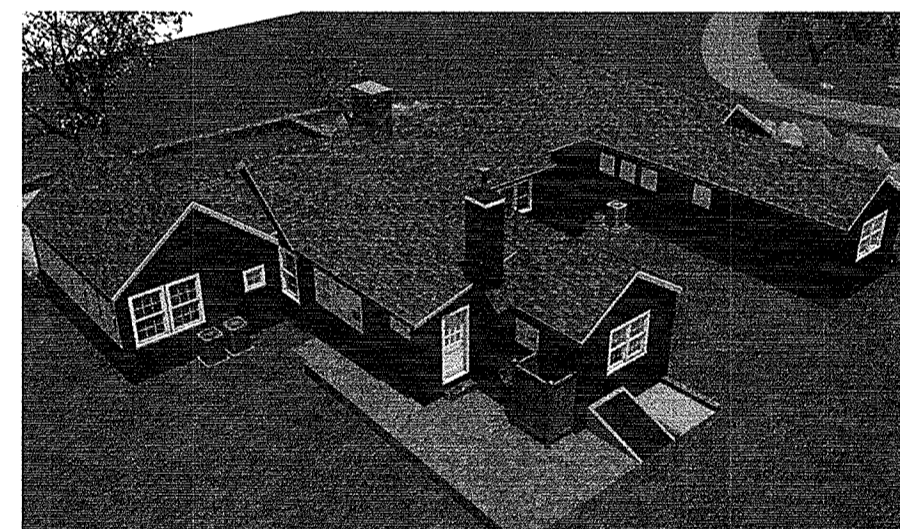
**EXISTING REAR ELEVATION (NORTH)**  
SCALE: 3/16"=1'-0"



**EXISTING RIGHT ELEVATION (EAST)**  
SCALE: 3/16"=1'-0"



**EXISTING LEFT ELEVATION (WEST)**  
SCALE: 3/16"=1'-0"



**EXISTING EXTERIOR VIEWS**

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Office 203.431.9104  
Fax 203.431.5798  
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**EXISTING FLOOR PLANS**

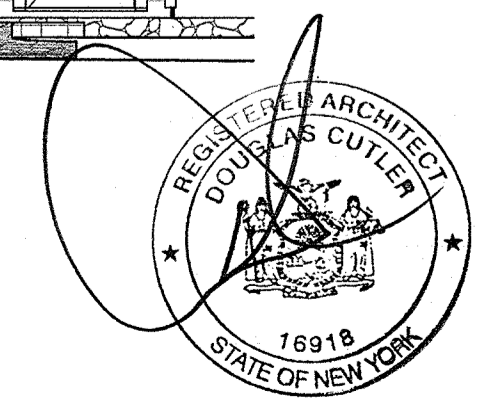
**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

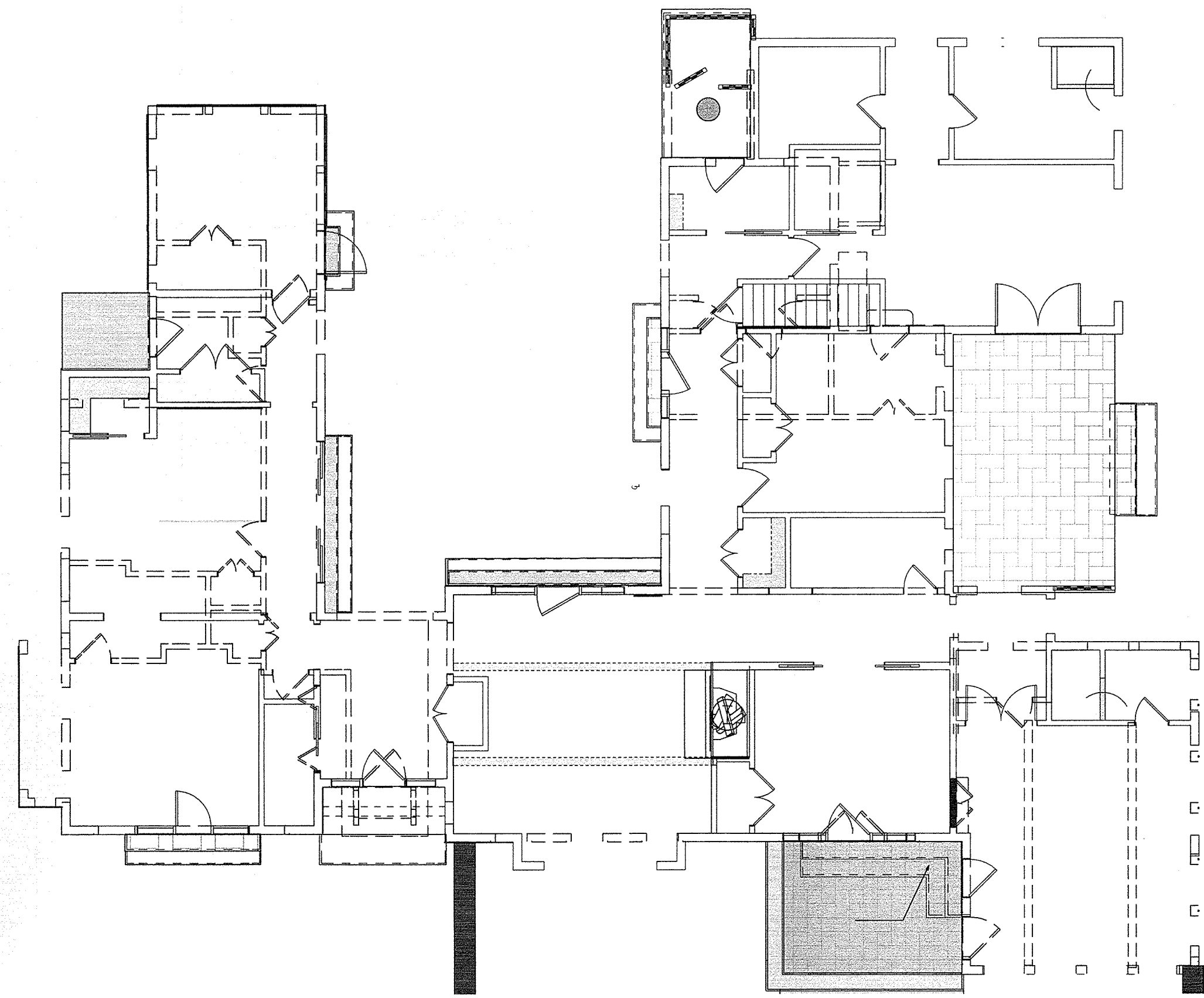
DRAWN BY: Fernando Moran  
APPROVED BY: D.H.A.  
DATE: 01/15/22  
REVISIONS:  
1 May 04, 2022  
2 May 23, 2022  
3 May 27, 2022  
4 May 31, 2022  
5 June 03, 2022  
6 June 10, 2022

SCALE: AS NOTED

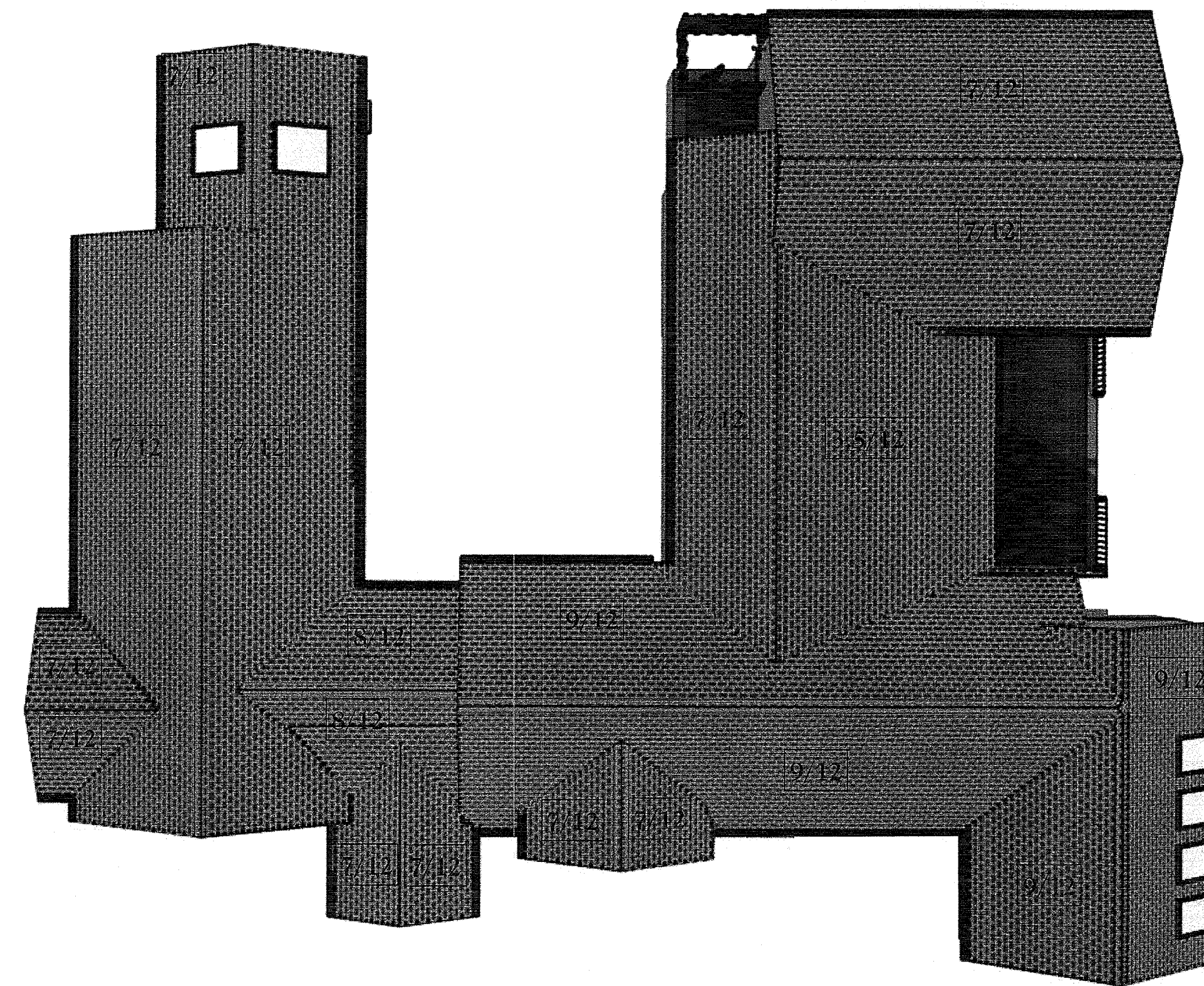
DRAWING NUMBER

**EX-1**

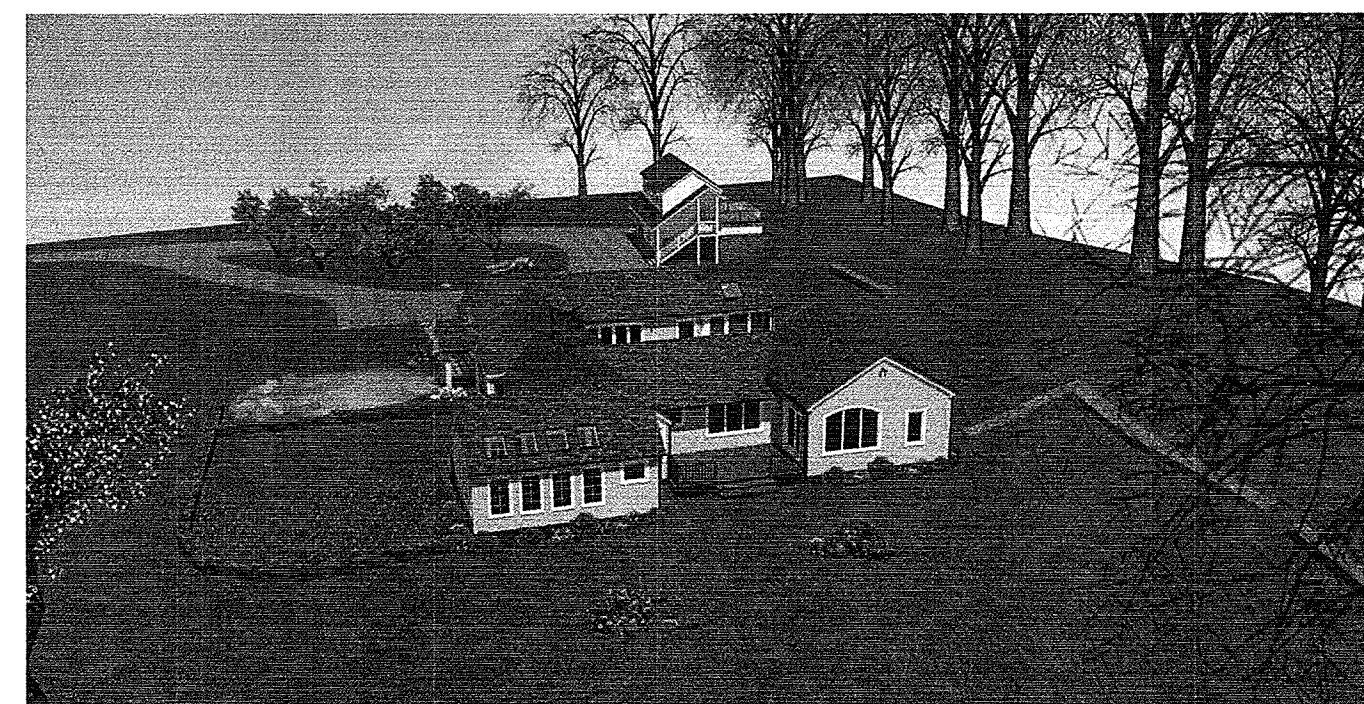
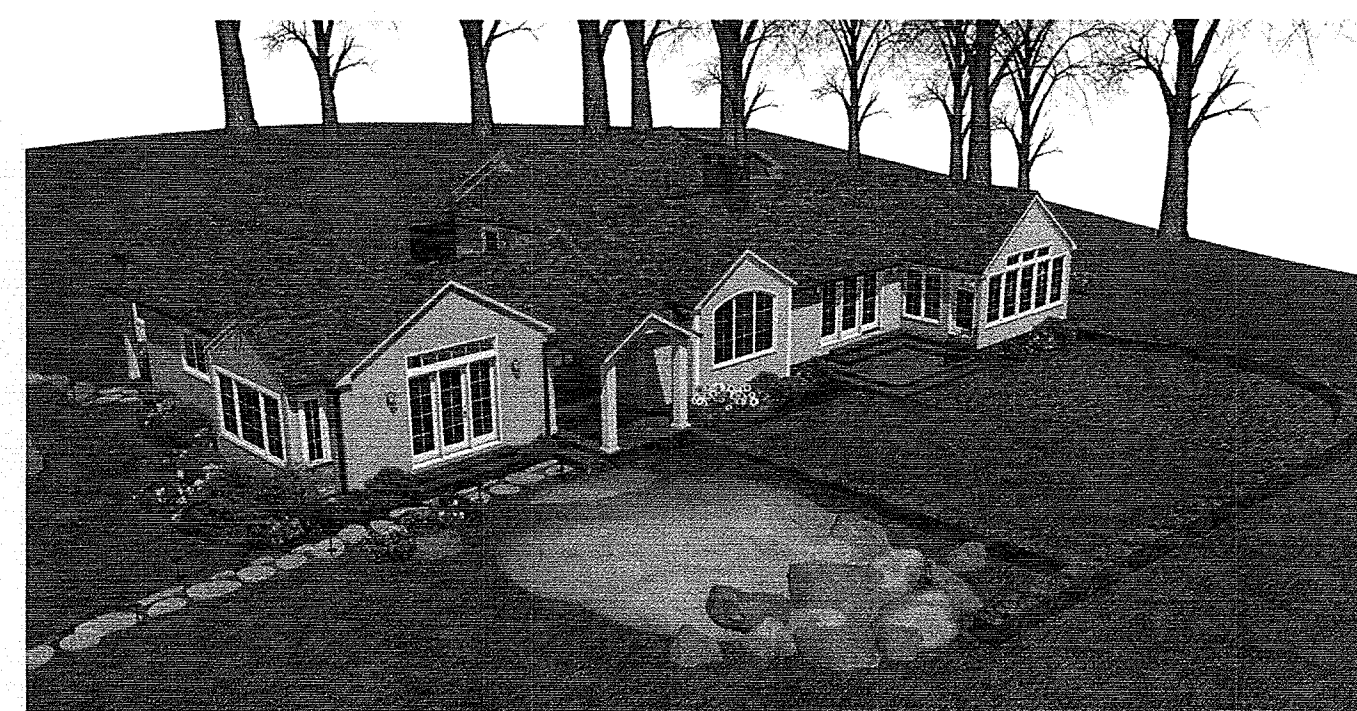




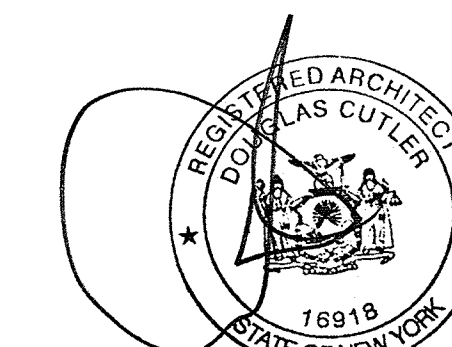
**DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**PROPOSED ROOF PLAN**  
SCALE: 1/8"=1'-0"



**PROPOSED EXTERIOR OVERHEAD VIEWS**



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**PROPOSED DEMO AND ROOF PLAN**  
NOTES:

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

DRAWN BY:  
Fernando Moran  
APPROVED BY:  
D.H.A.  
DATE: 01/15/22

REVISIONS:	
1	May 04, 2022
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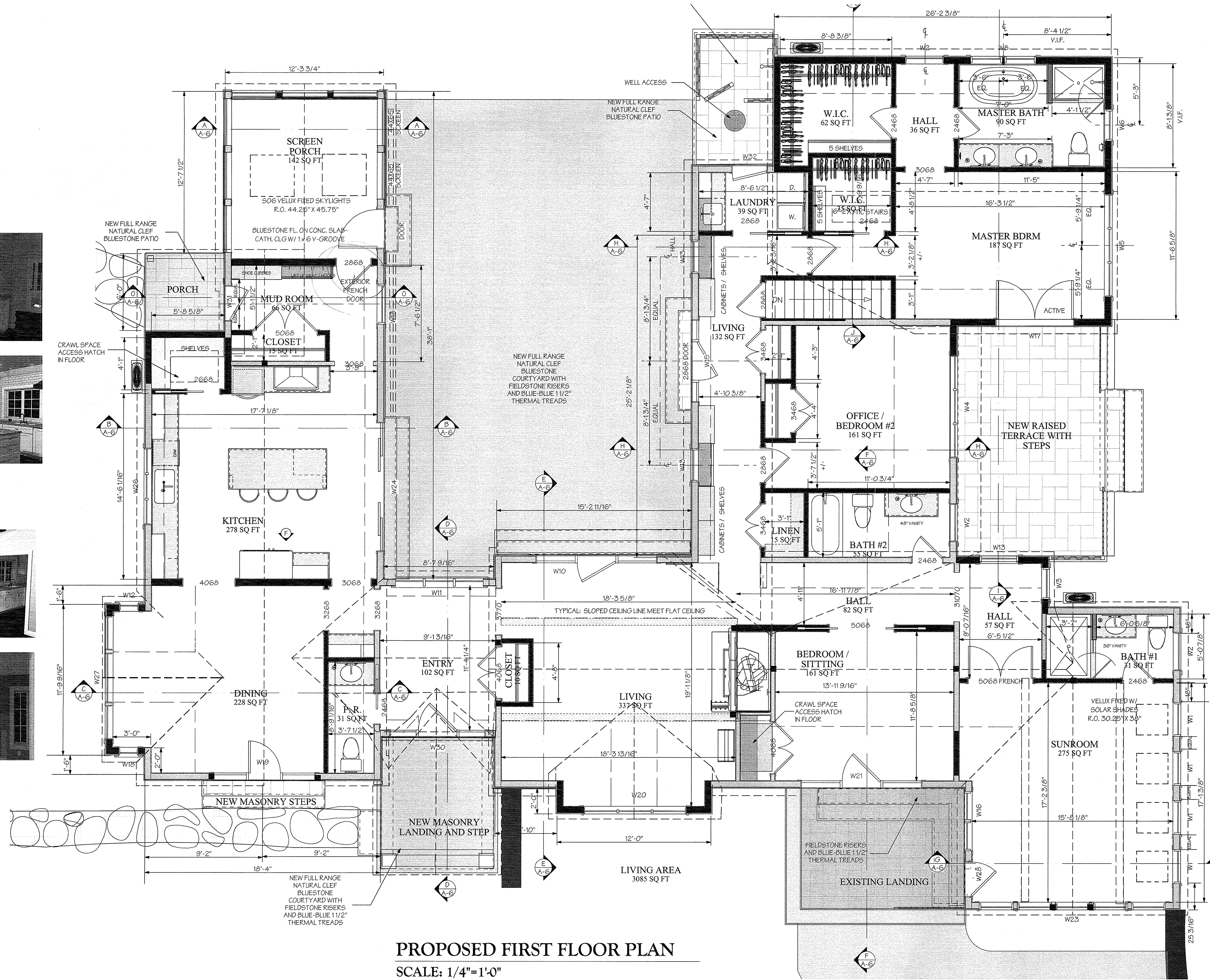
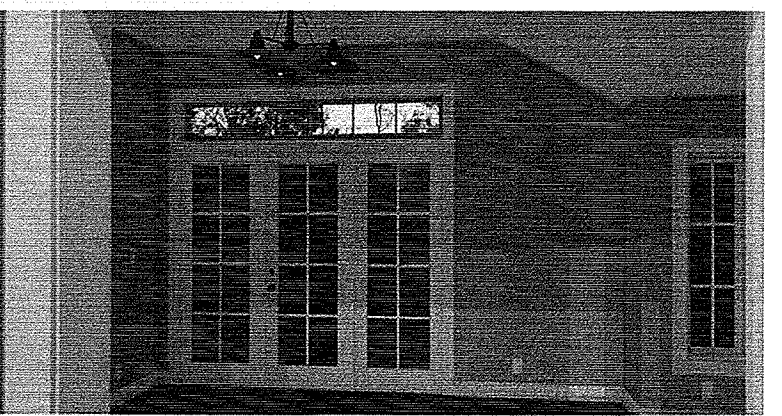
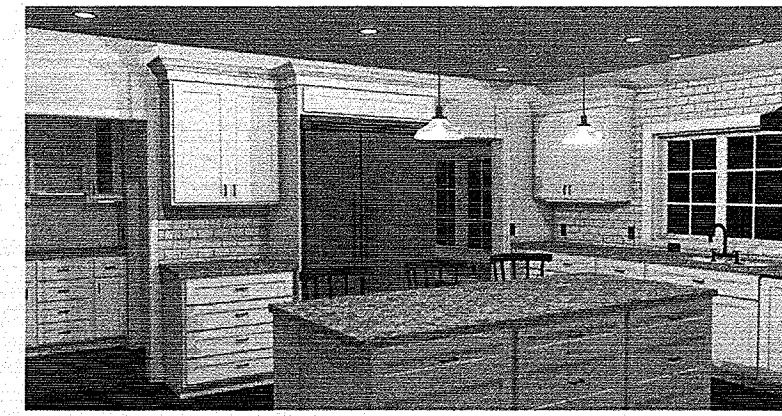
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DRAWING NUMBER

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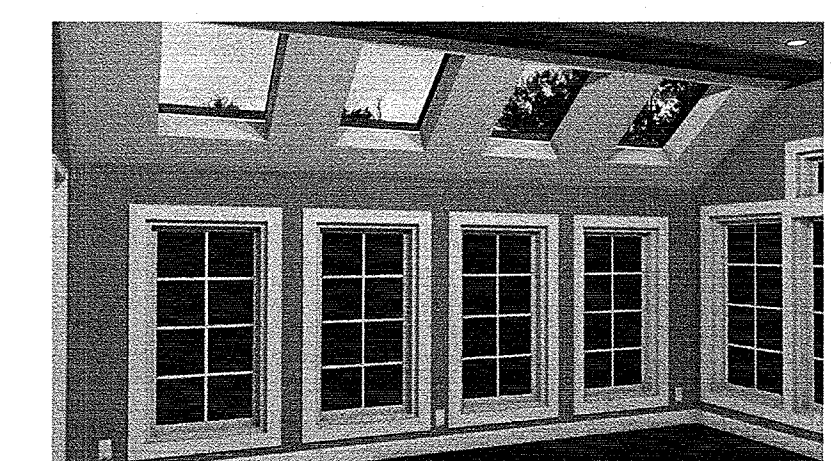
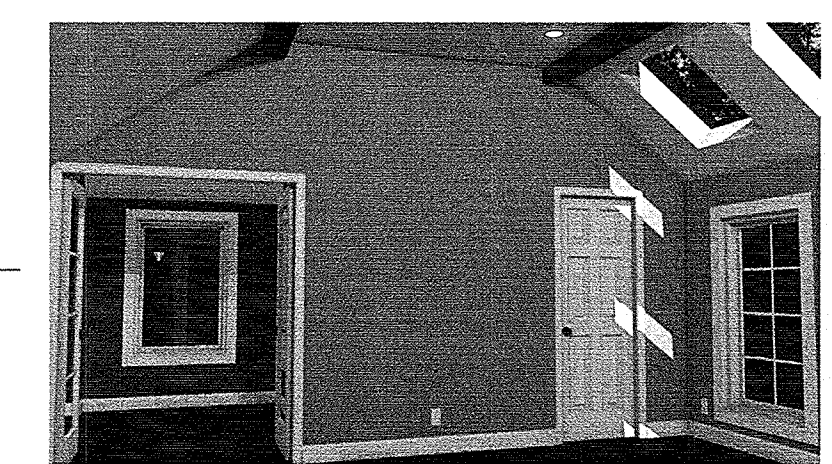
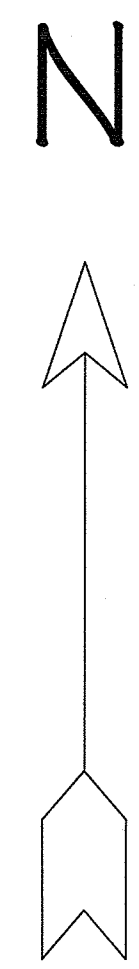
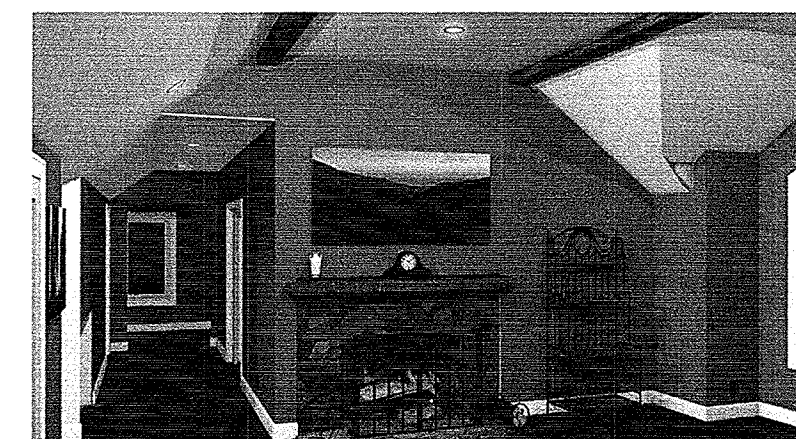
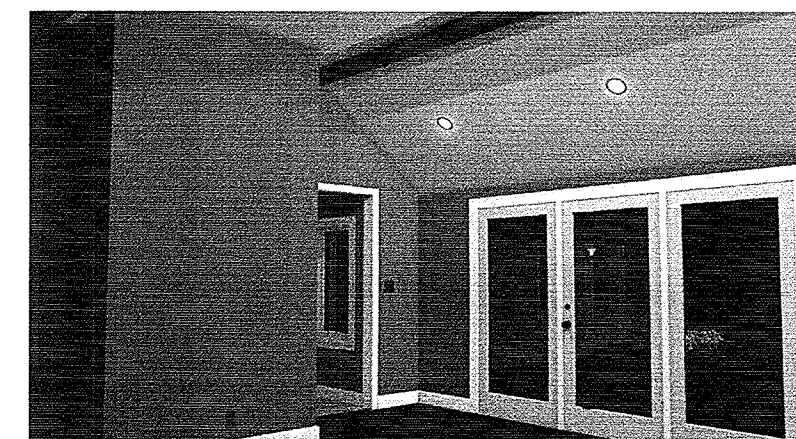
DATE OF PRINT: 6/15/22





**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

- WALL LEGEND**
- DEMO - WALL TO BE REMOVED
  - EXISTING - WALL TO REMAIN
  - NEW - STUD WALL @ 16" O.C.
  - LOW WALL
  - NEW CONC. WALL
  - NEW CONC. BLOCK WALL



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Ridgefield, CT 06877  
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Fax 203.431.5798  
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**PROPOSED FIRST FLOOR PLAN**

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

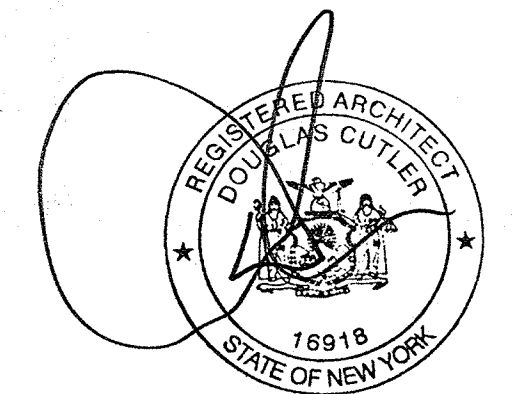
DRAWN BY: Fernando Moran  
APPROVED BY: D.H.A.  
DATE: 01/15/22

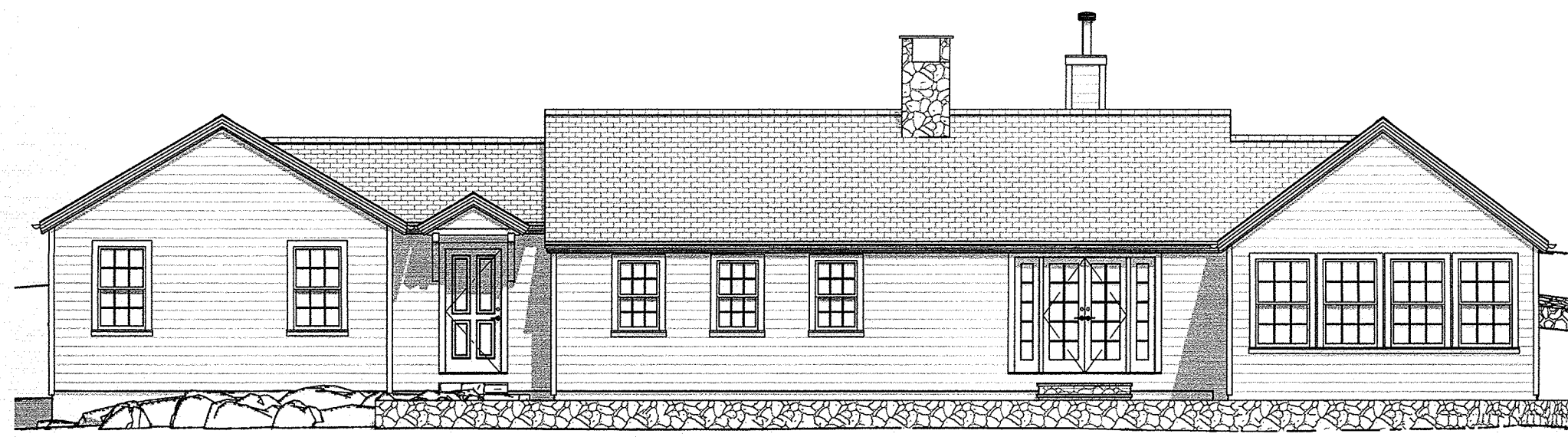
REVISIONS:

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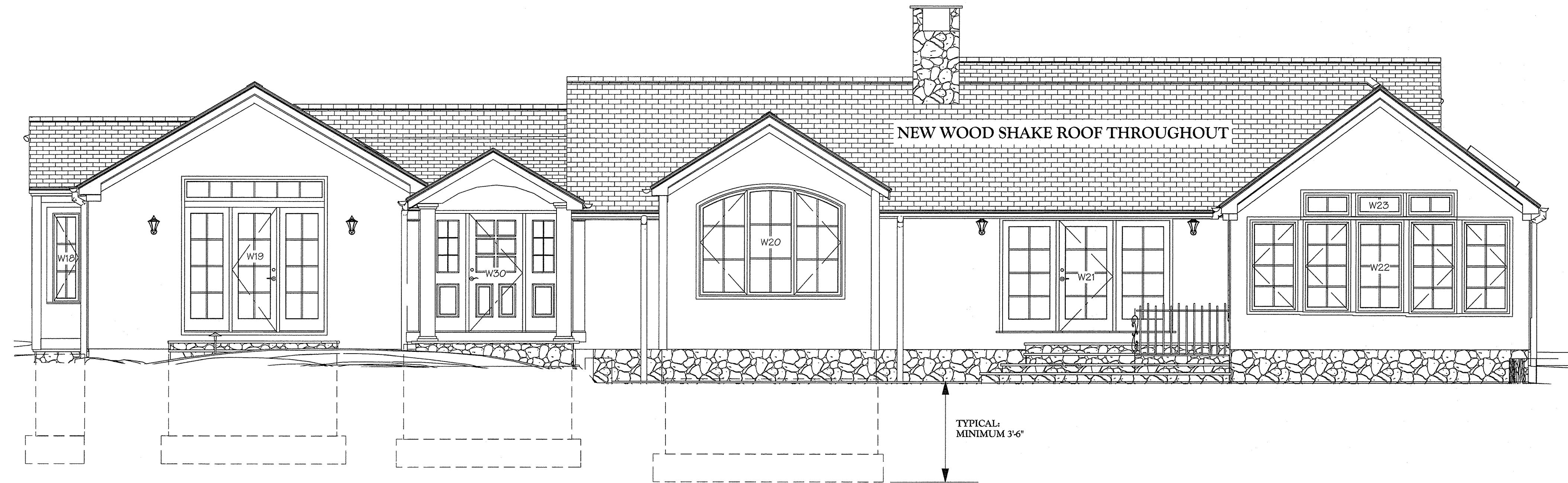
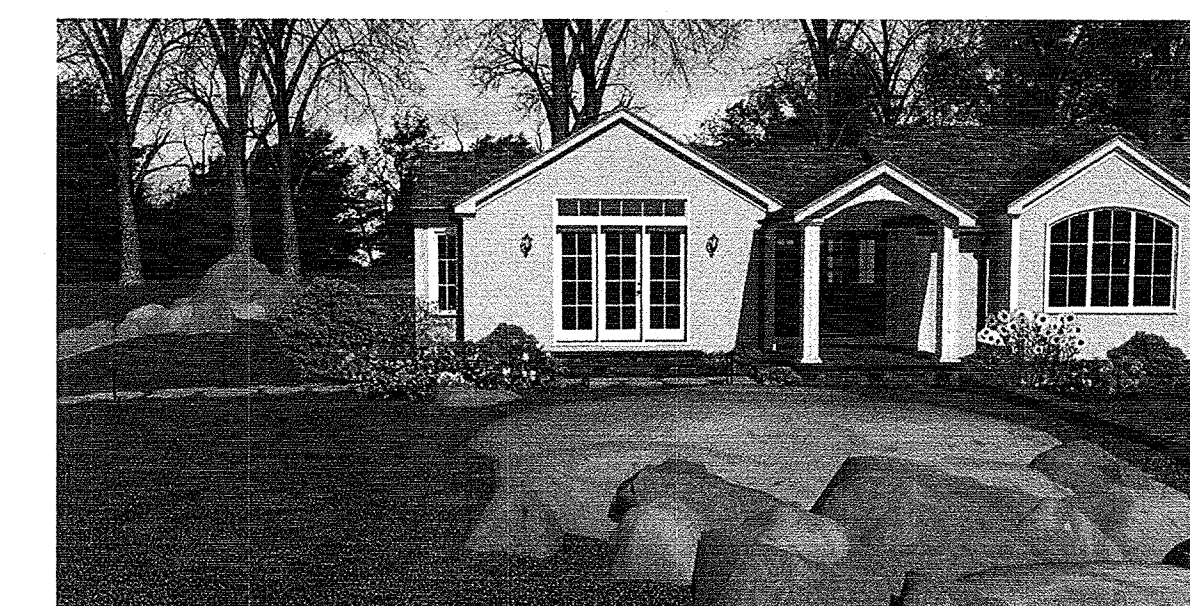
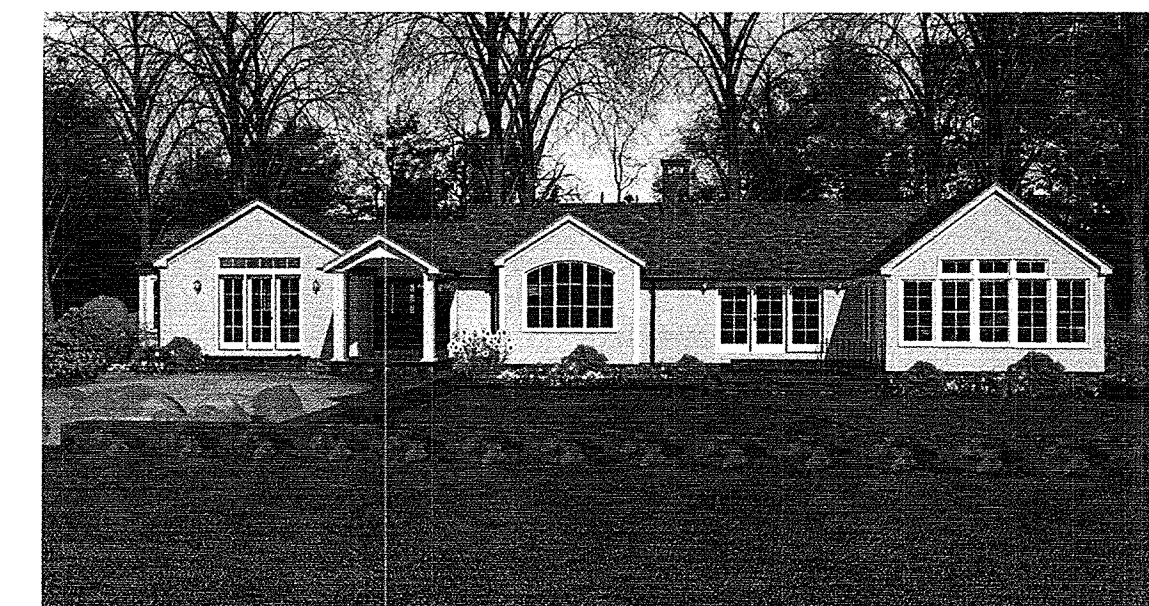
SCALE: AS NOTED  
DRAWING NUMBER

**A-3**





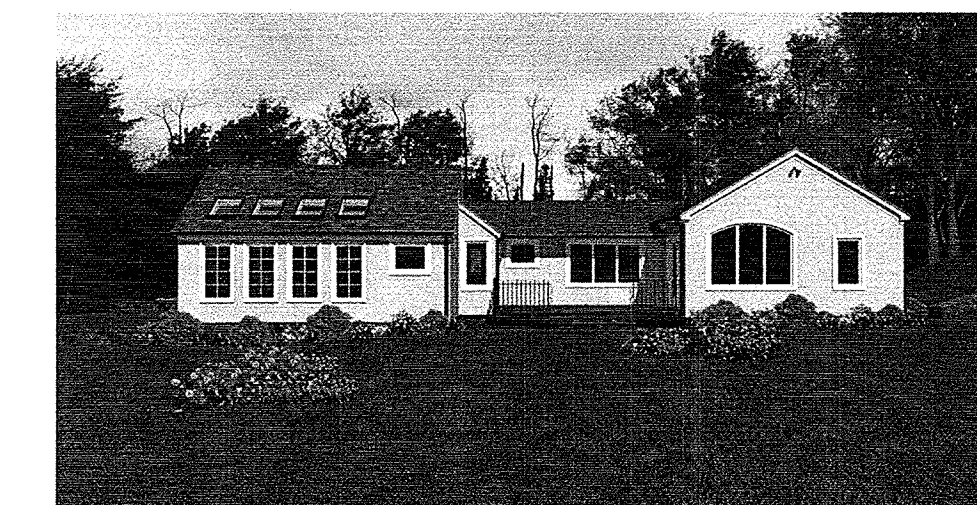
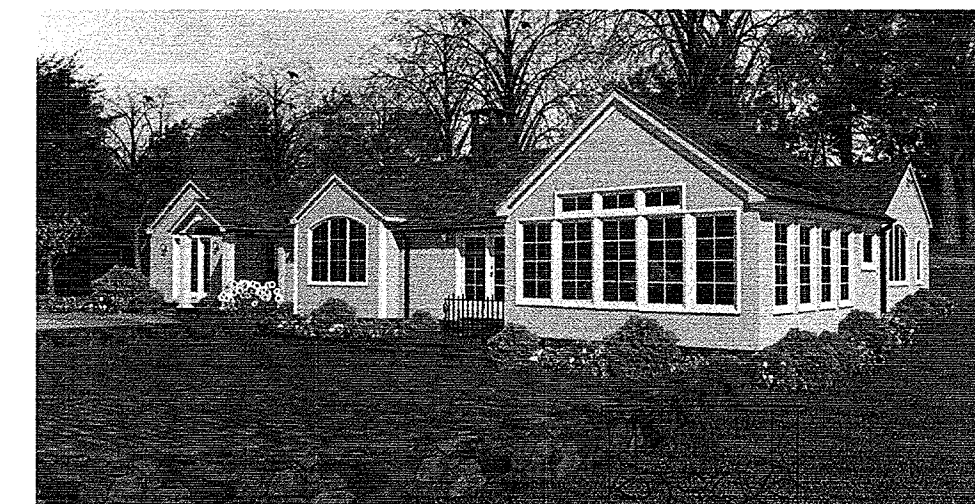
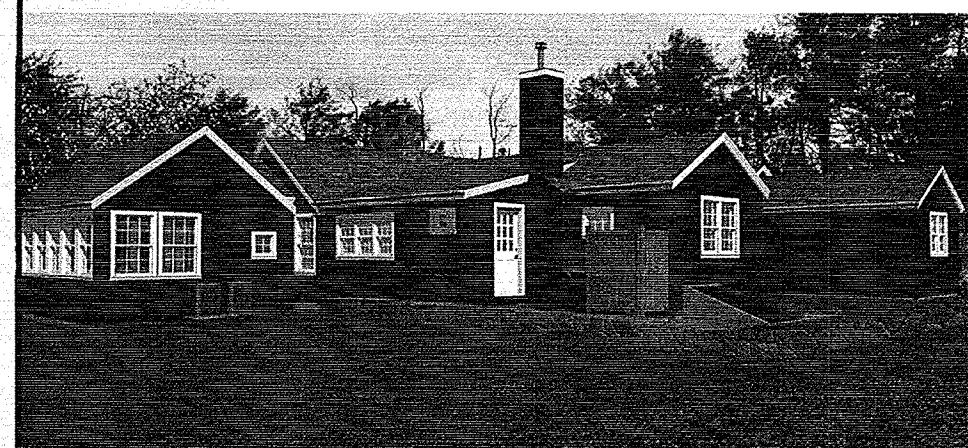
**EXISTING FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



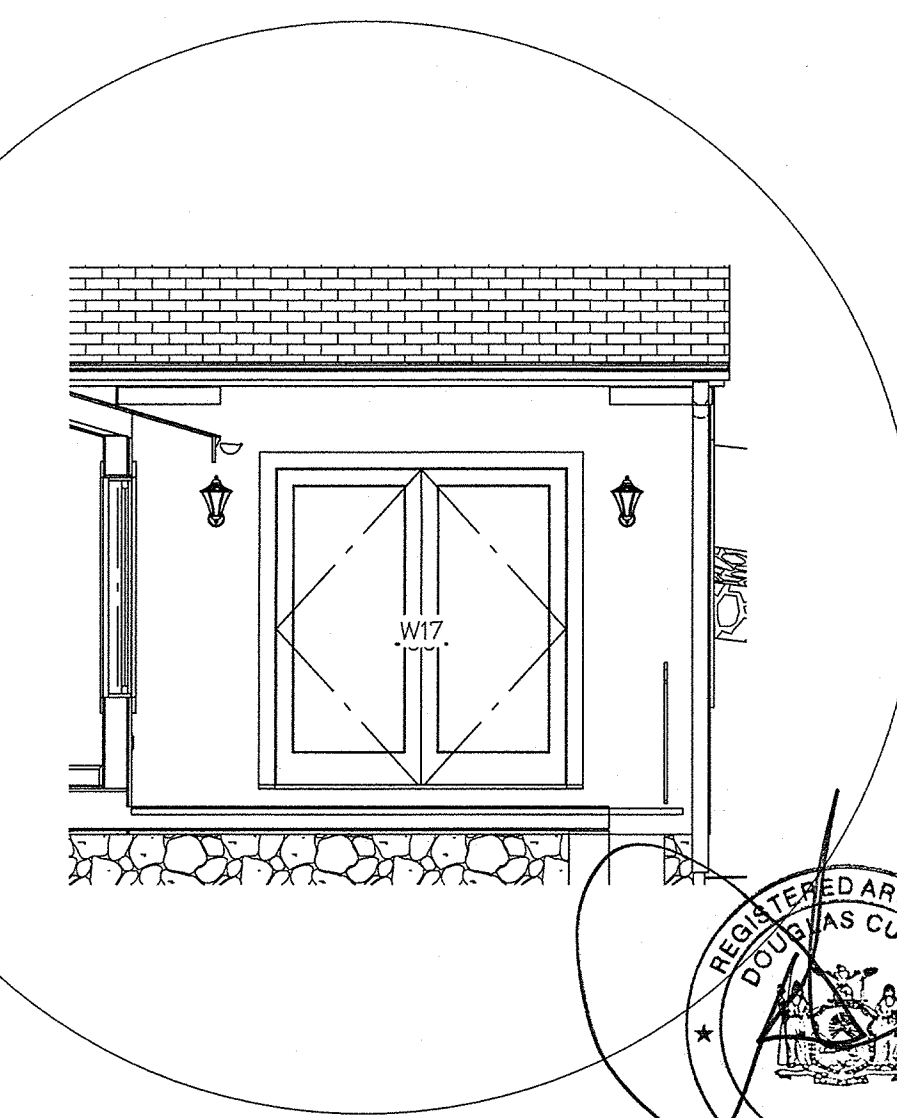
**PROPOSED FRONT ELEVATION (SOUTH)**  
SCALE: 1/4"=1'-0"



**EXISTING RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



**PROPOSED RIGHT ELEVATION (EAST)**  
SCALE: 1/4"=1'-0"



- WALL LEGEND**
- DEMO - WALL TO BE REMOVED
  - EXISTING - WALL TO REMAIN
  - NEW - STUD WALL @ 16" O.C.
  - LOW WALL
  - NEW CONC. WALL
  - NEW CONC. BLOCK WALL

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Ridgefield, CT 06877  
Office 203.431.9104  
Fax 203.431.5798  
www.dbarinc.com

**PROPOSED FRONT & RIGHT ELEVATIONS**

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

DRAWN BY:  
Fernando Moran  
APPROVED BY:  
D.H.A.  
DATE: 01/15/22  
REVISIONS:

1	May 04, 2022
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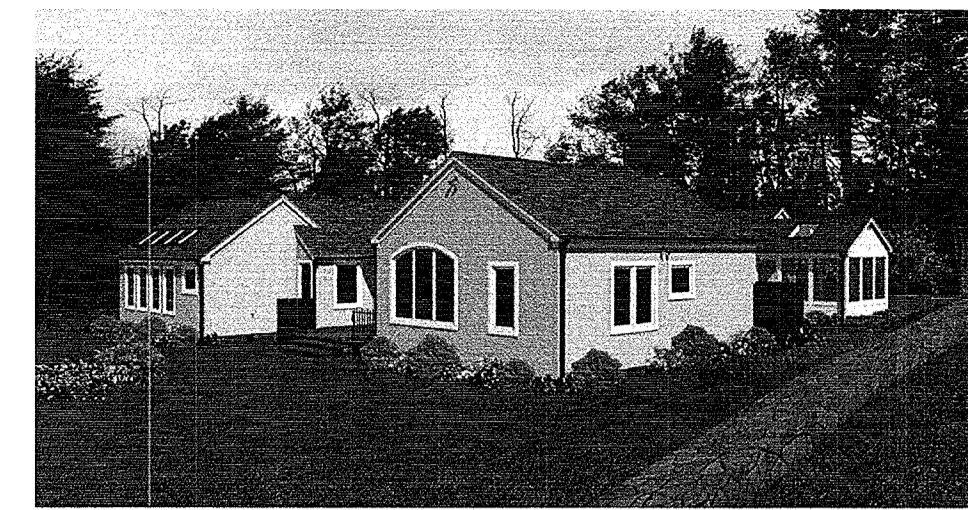
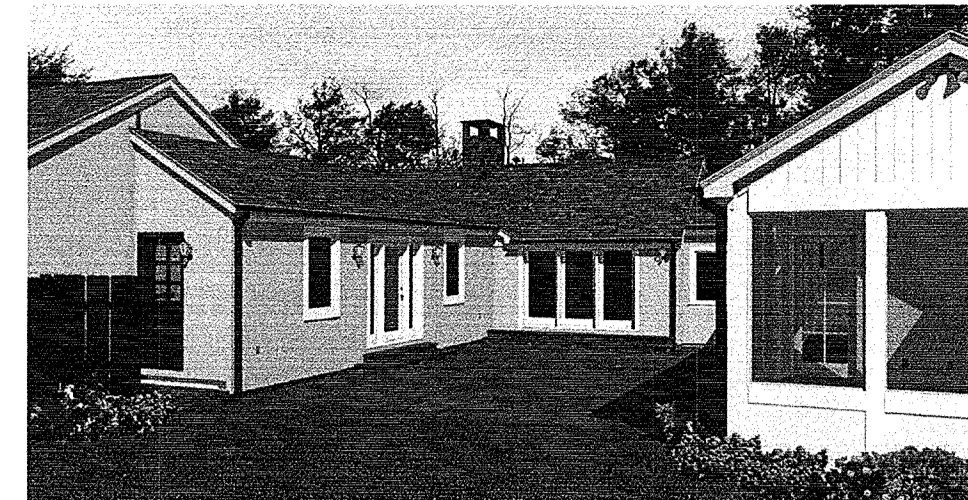
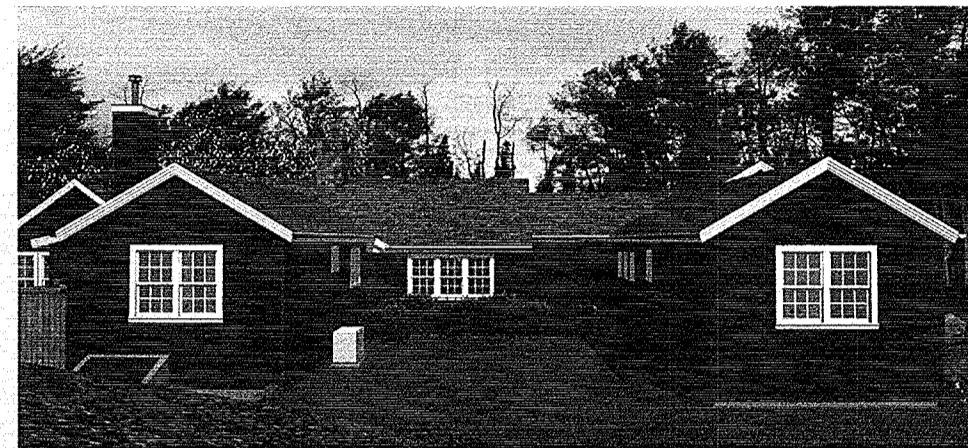
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DATE OF PRINT: 01/03/22

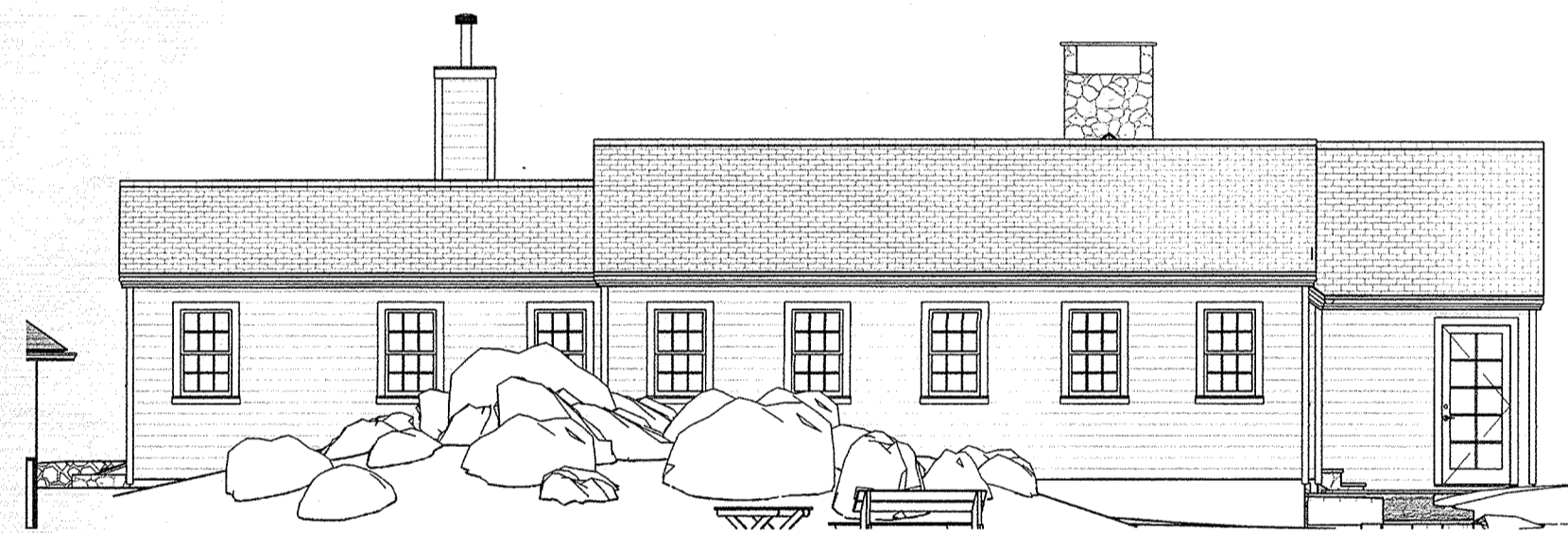




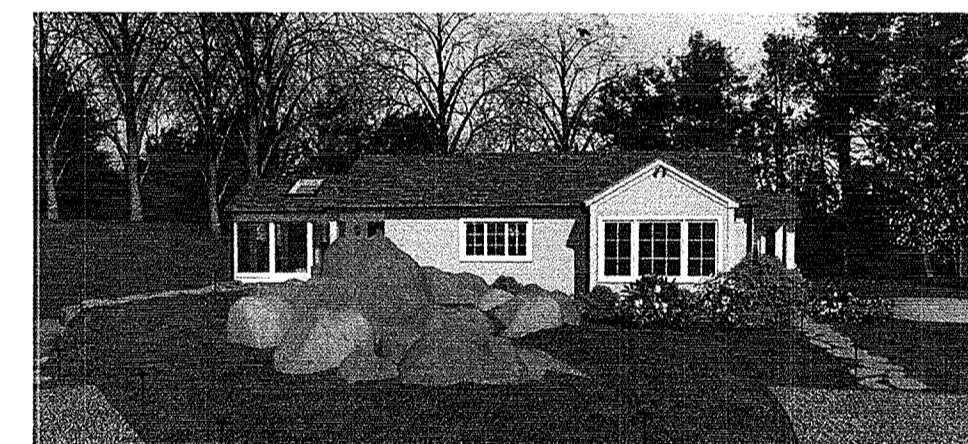
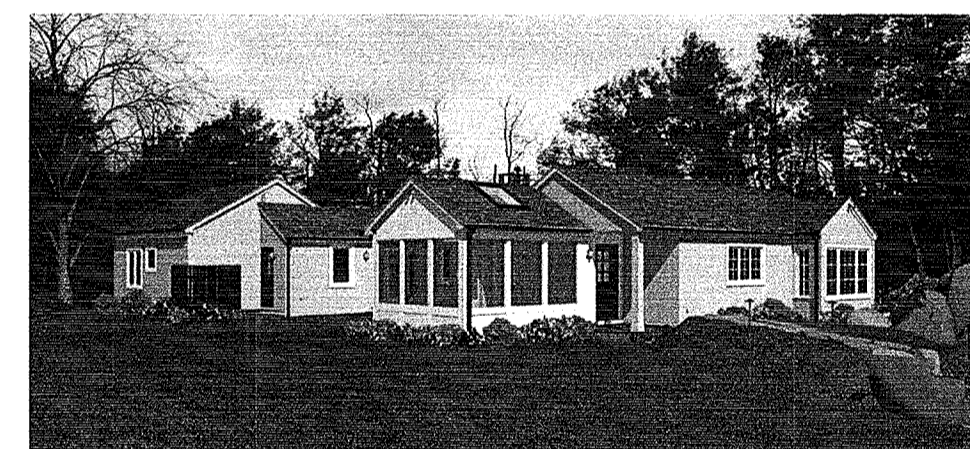
**EXISTING REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**PROPOSED REAR ELEVATION (NORTH)**  
SCALE: 1/4"=1'-0"



**EXISTING LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



**PROPOSED LEFT ELEVATION (WEST)**  
SCALE: 1/4"=1'-0"

- WALL LEGEND**
- DEMO - WALL TO BE REMOVED
  - EXISTING - WALL TO REMAIN
  - NEW - STUD WALL @ 16" O.C.
  - LOW WALL
  - NEW CONC. WALL
  - NEW CONC. BLOCK WALL

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Fax 203.431.5798  
www.dbarinc.com

**PROPOSED REAR & LEFT ELEVATIONS**

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

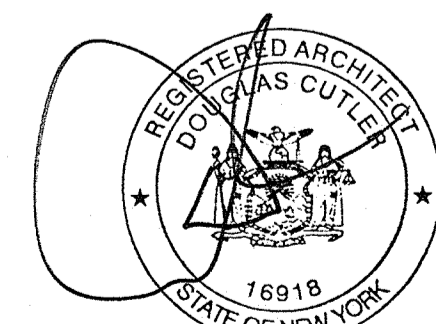
DRAWN BY:  
Fernando Moran

APPROVED BY:  
D.H.A.

DATE: 01/15/22

REVISIONS:

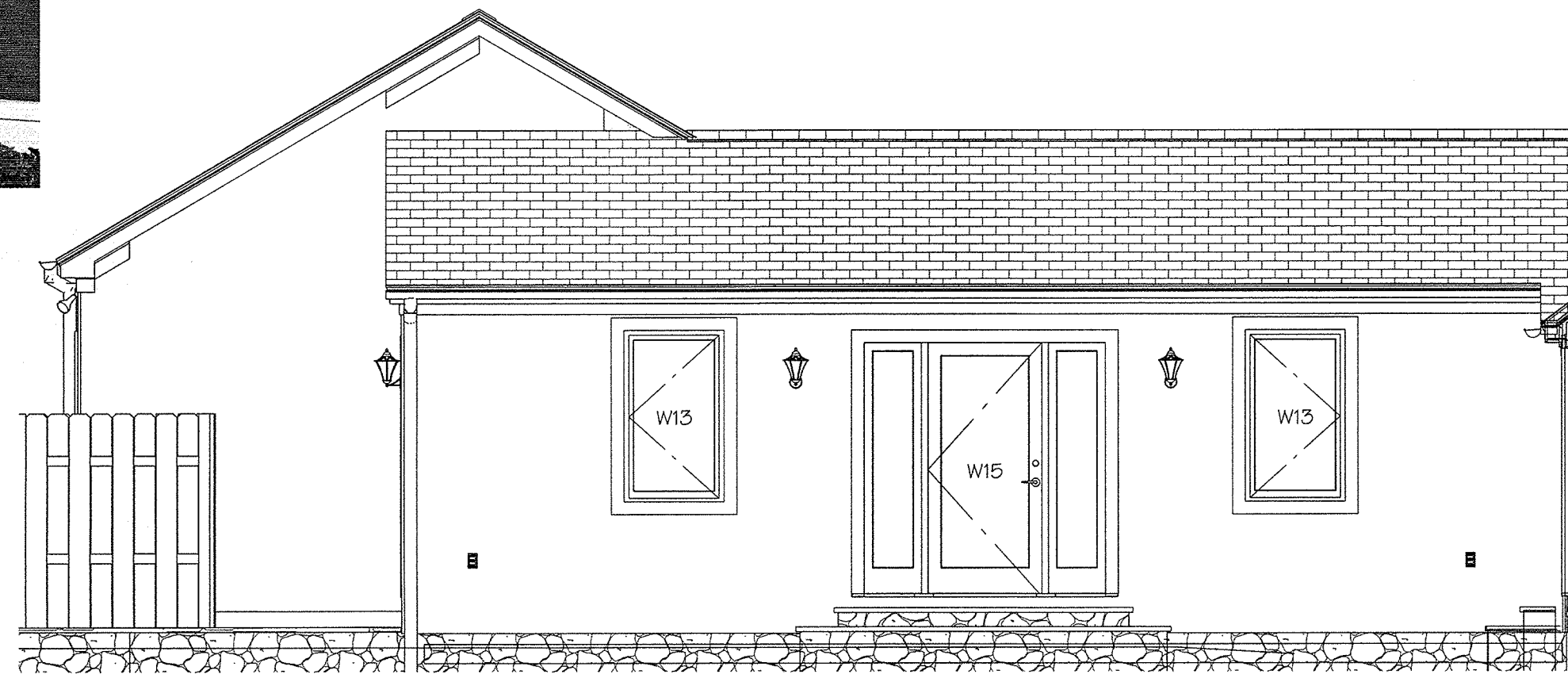
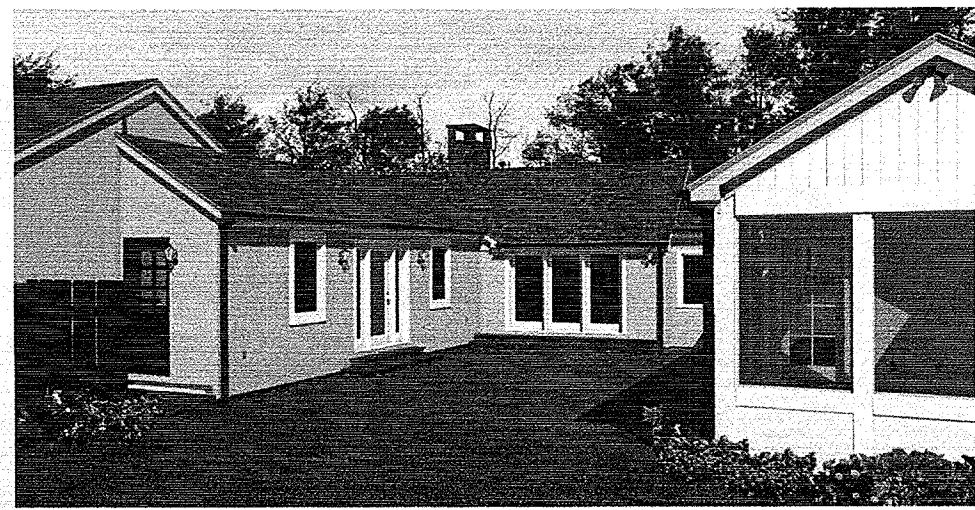
1	May 04, 2022
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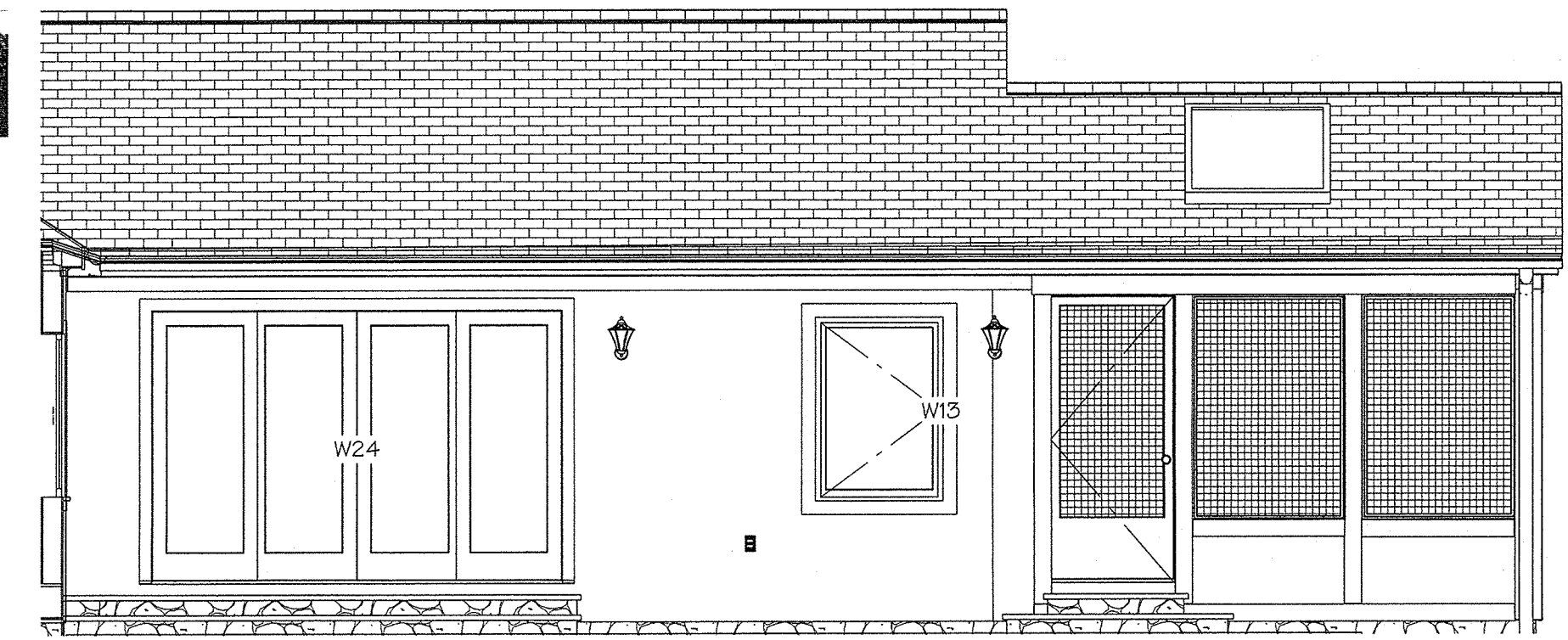
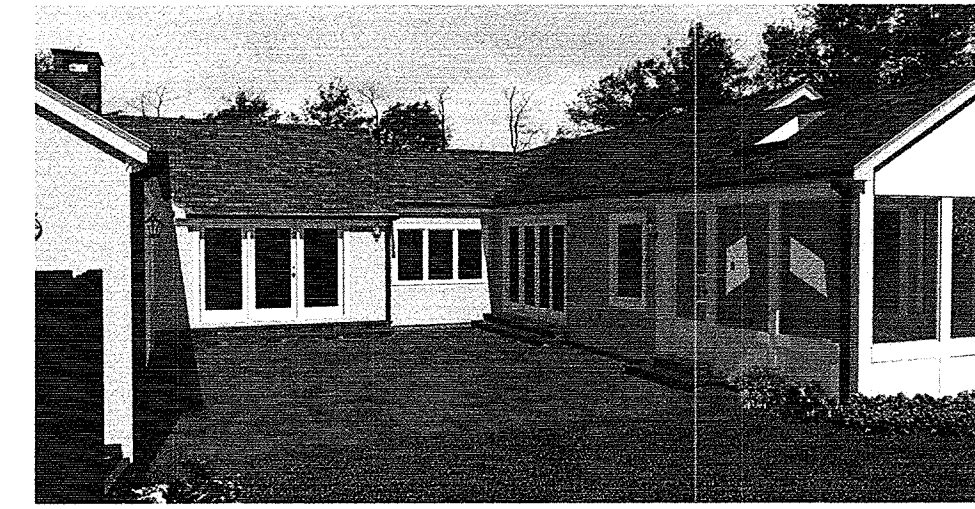
SCALE:  
AS NOTED

DRAWING NUMBER

**A-5**



**COURTYARD WEST**  
SCALE: 1/4"=1'-0"



**COURTYARD EAST**  
SCALE: 1/4"=1'-0"

**WINDOW AND DOOR SCHEDULE:**

WIN/ DR QTY	WIDTH	HEIGHT	MATERIAL	DESIGN	GLAZING	COLOR	COMMENT	LOCATION	
W1 4	2' 8"	813	5' 0"	1524	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	SUNROOM
W2 3	3' 0"	915	2' 5"	736	PASSIV ALUCLAD	FIXED	Triple	WHITE	HALL/BATH/CL
W3 1	2' 8"	813	4' 6"	1219	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	HALLWAY
W4 1	8' 0"	2439	4' 6"	1371	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	OFFICE
W5 1	8' 0"	2439	6' 0"	1829	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	MASTER BED
W6 1	2' 8"	813	4' 6"	1371	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	MASTER BATH
W8 1	5' 0"	1524	4' 6"	1371	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	MASTER BATH
W10 1	9' 0"	2743	6' 8"	2032	PASSIV ALUCLAD	DOOR	Triple	WHITE	LIVINGROOM
W11 1	8' 0"	2439	4' 0"	1219	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	FOYER
W12 1	1' 6"	457	5' 0"	1524	PASSIV ALUCLAD	FIXED	Triple	WHITE	DINING
W13 4	3' 0"	915	4' 6"	1371	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	HALLWAYS
W15 1	5' 2"	1575	6' 8"	2032	PASSIV ALUCLAD	DOOR	Triple	WHITE	HALL
W16 1	4' 8"	813	5' 6"	1371	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	SUNROOM
W17 1	6' 0"	1829	6' 8"	2032	PASSIV ALUCLAD	DOOR	Triple	WHITE	MASTER BED
W18 1	1' 6"	457	5' 0"	1524	PASSIV ALUCLAD	FIXED	Triple	WHITE	DINING
W19 1	8' 0"	2439	9' 0"	2743	PASSIV ALUCLAD	DOOR	Triple	WHITE	DINING
W20 1	8' 0"	2439	6' 0"	1829	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	TRIPLE DR WITH TRANSOM
W21 1	9' 6"	2895	6' 4"	1930	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	TRIPLE ARCH
W22 1	13' 4"	4064	5' 6"	1676	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	5 WIDE TRANSOMS
W23 1	8' 0"	2439	2' 0"	610	PASSIV ALUCLAD	FIXED	Triple	WHITE	SUNROOM
W24 1	10' 0"	3048	6' 8"	2032	ECOCLAD	SLIDER	Triple	WHITE	FOUR PANEL DOOR
W26 1	6' 0"	1829	3' 4"	1016	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	TRIPLE
W27 1	9' 6"	2895	5' 0"	1524	PASSIV ALUCLAD	TILT & TURN	Triple	WHITE	TRIPLE
W28 1	2' 8"	813	6' 4"	1930	PASSIV ALUCLAD	DOOR	Triple	WHITE	KITCHEN
W30 1	7'	1048	6' 8"	2660	PRESTIGE HW	DOOR	Triple	TBC	DINING
W31 1	2' 8"	1016	6' 8"	2134	ULTRATECH	DOOR	Triple	TBC	SUNROOM
W32 1	2' 8"	1016	6' 8"	2134	ULTRATECH	DOOR	Triple	TBC	FRONT DR
									MUD DR
									LAUND DR

WIRE MESH, SCRATCH COAT AND FINISH COAT OF CONCRETE STUCCO

2 x 6 SPF STUD @ 16" O.C.

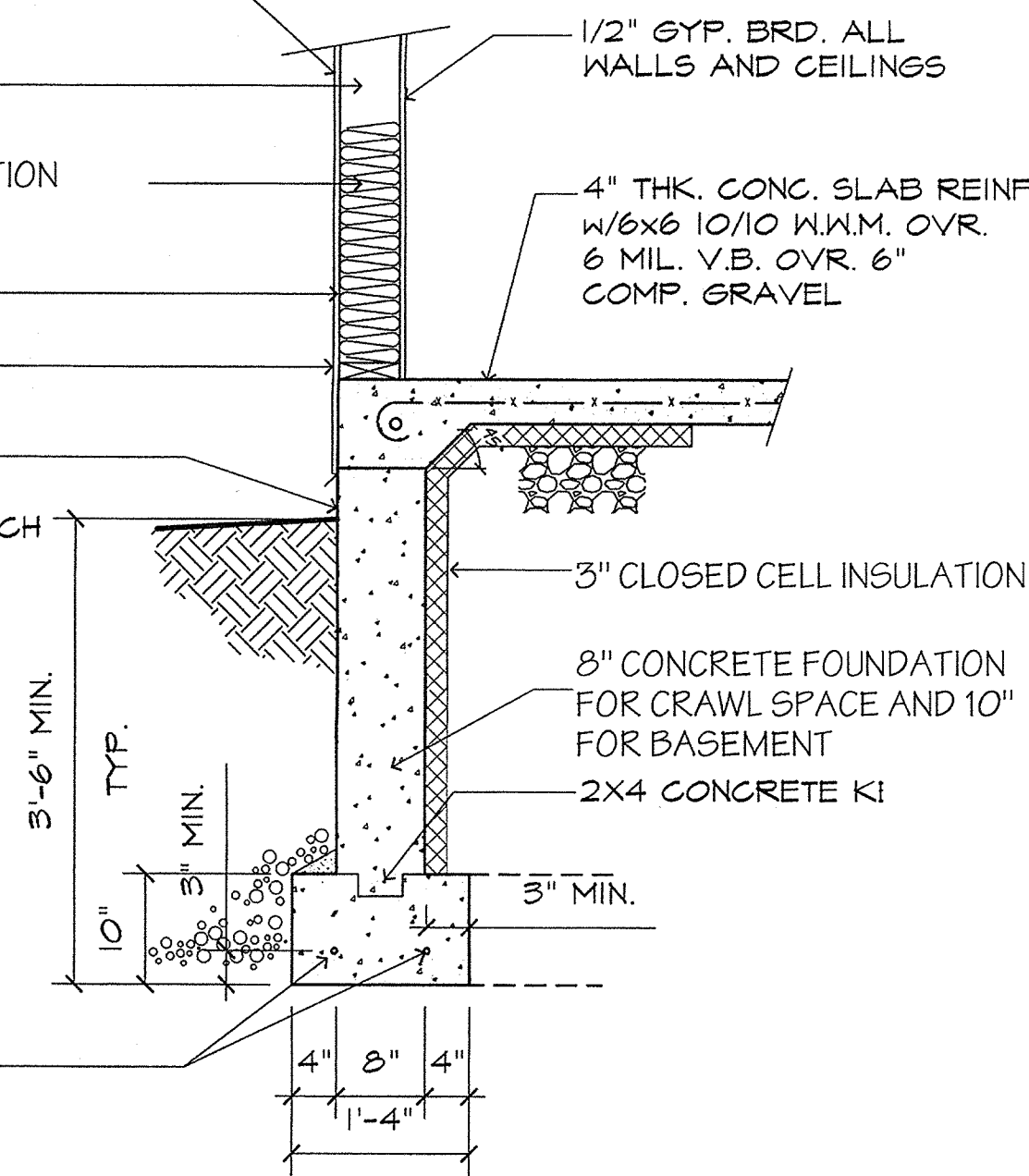
SEE A-7 FOR INSULATION DETAILS

TYVEK WRAP

1/2" CDX PLYWOOD OR EQUAL

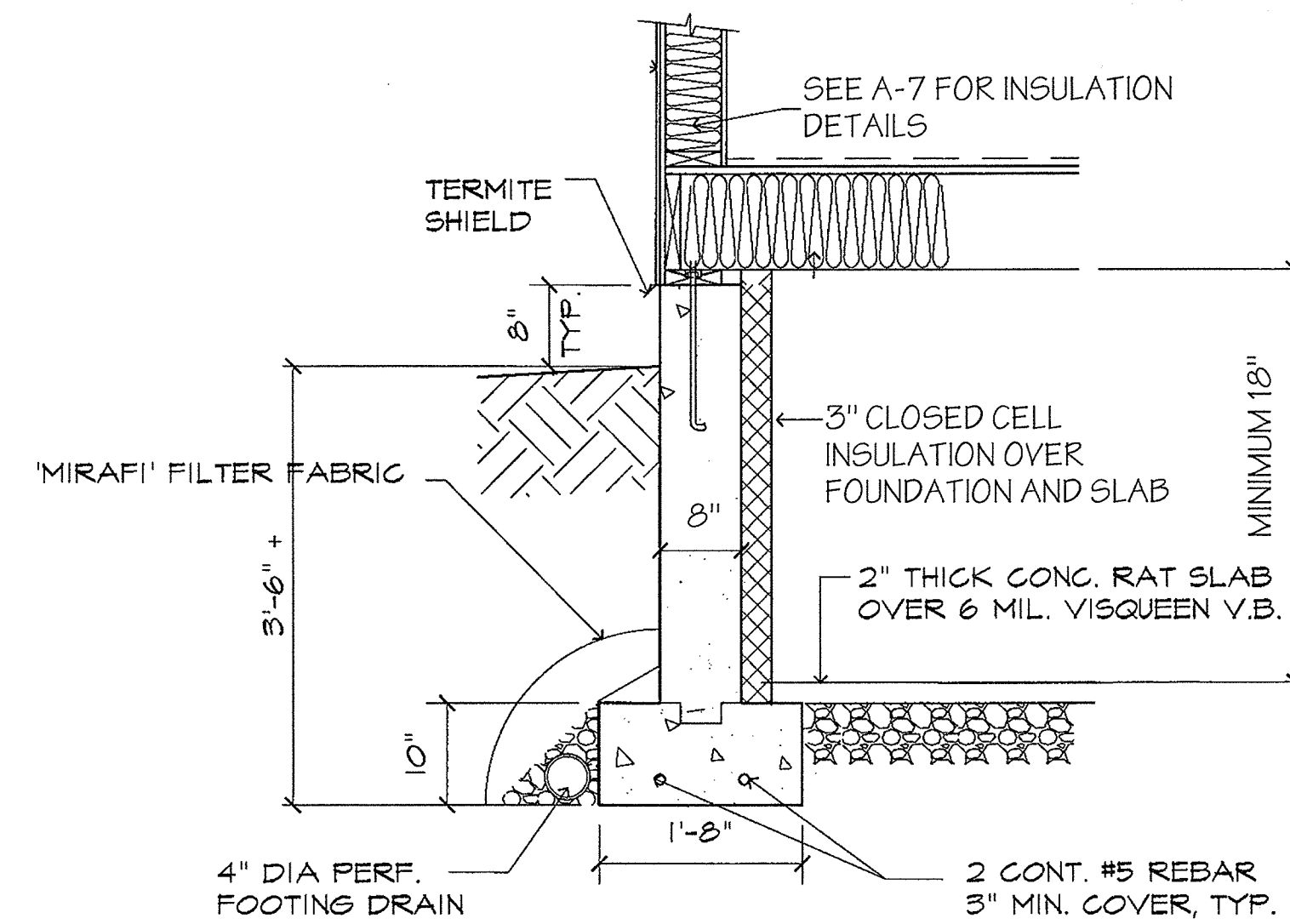
"TOUGH AND DRY" WATER PROOF SYSTEM FROM "DUTCH BOY"

2 CONT. #5 REBAR 3" MIN. COVER, TYP.



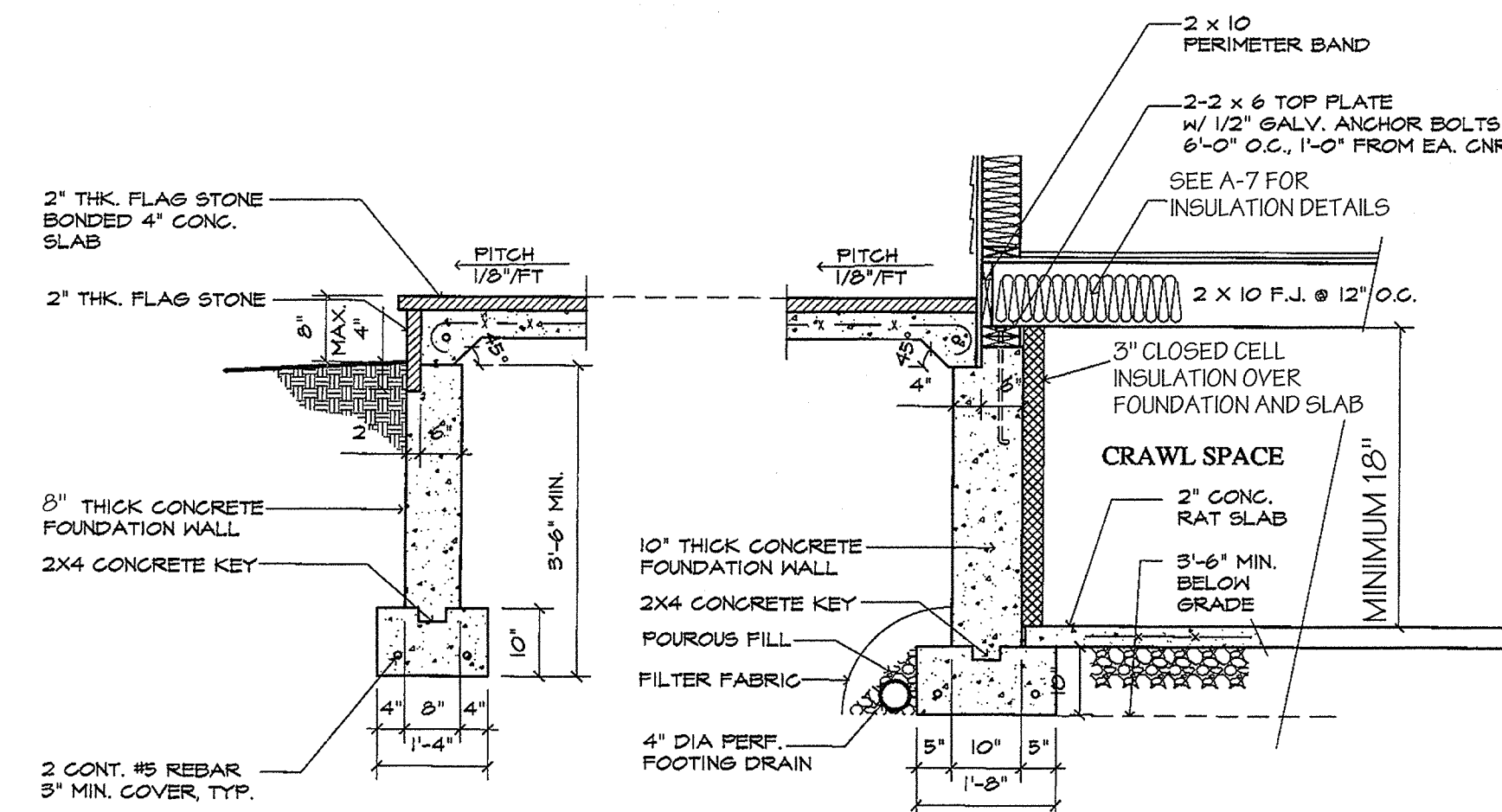
**FOUNDATION DETAIL**

SCALE 1/2" = 1'-0"



**CRAWL SPACE DETAIL**

SCALE 1/2" = 1'-0"



**CRAWL SPACE AND PORCH DETAIL**

SCALE 1/2" = 1'-0"

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Fax 203.431.5798  
www.dbarinc.com

**DESIGN BUILDERS & REMODELING, INC.**

**PROPOSED COURTYARD ELEVATIONS / WINDOW & DOOR SCHEDULE**

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

DRAWN BY: Fernando Moran  
APPROVED BY: D.H.A.  
DATE: 01/15/22

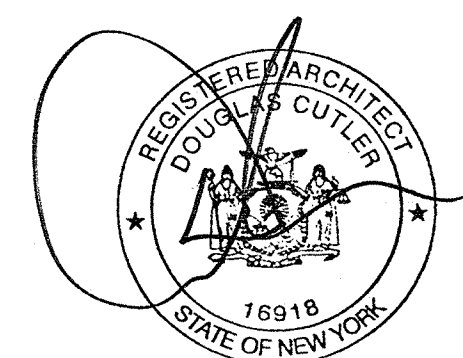
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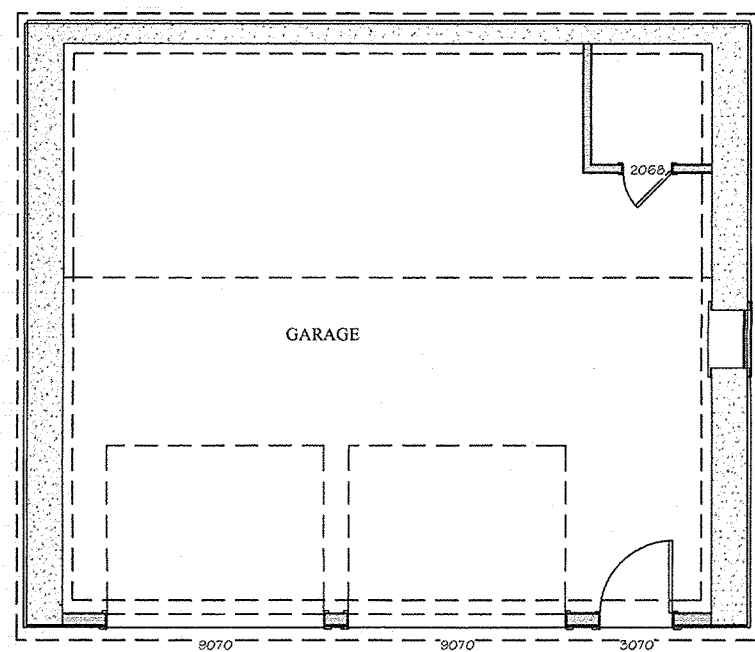
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SCALE: AS NOTED

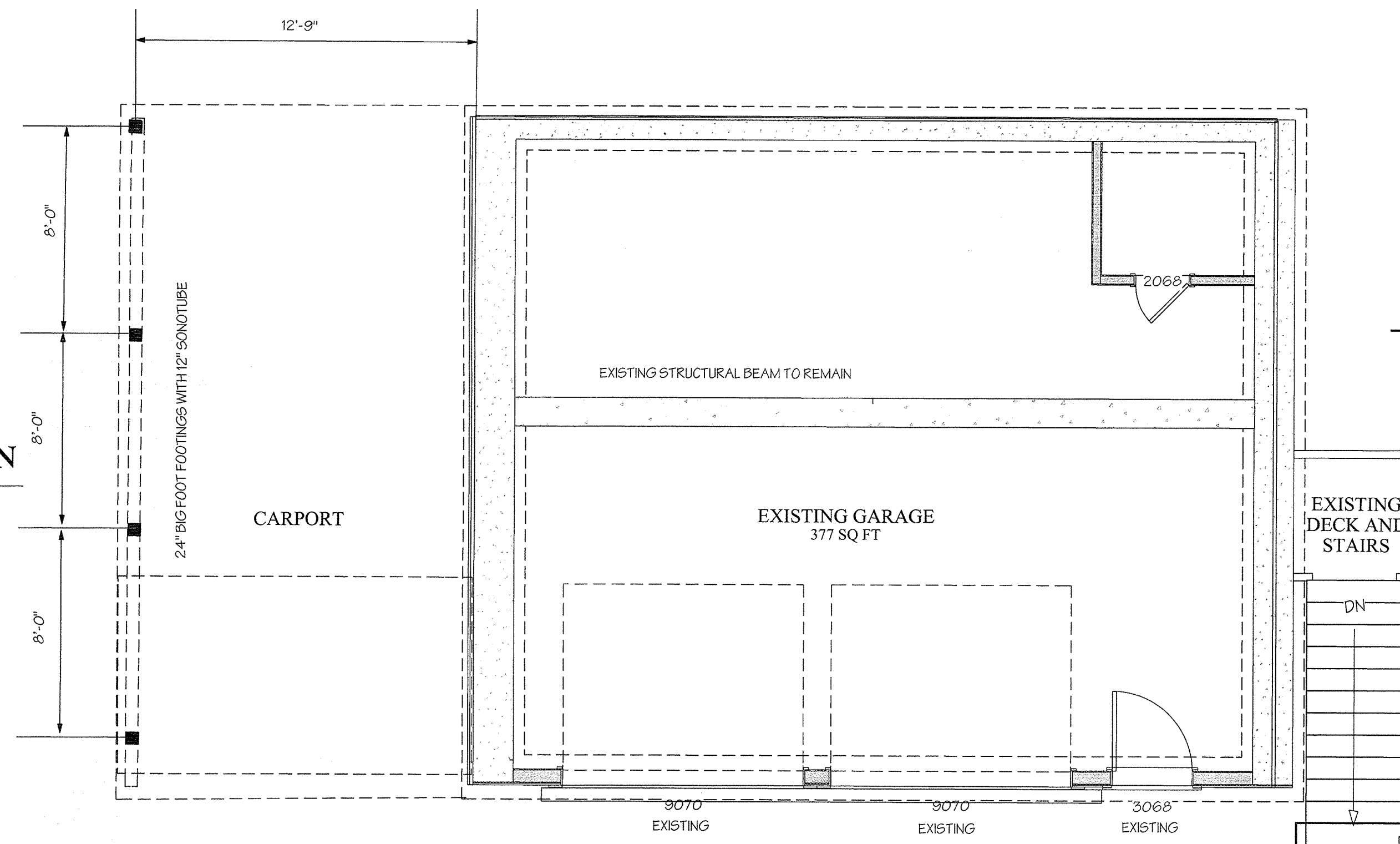
DRAWING NUMBER

**A-6**

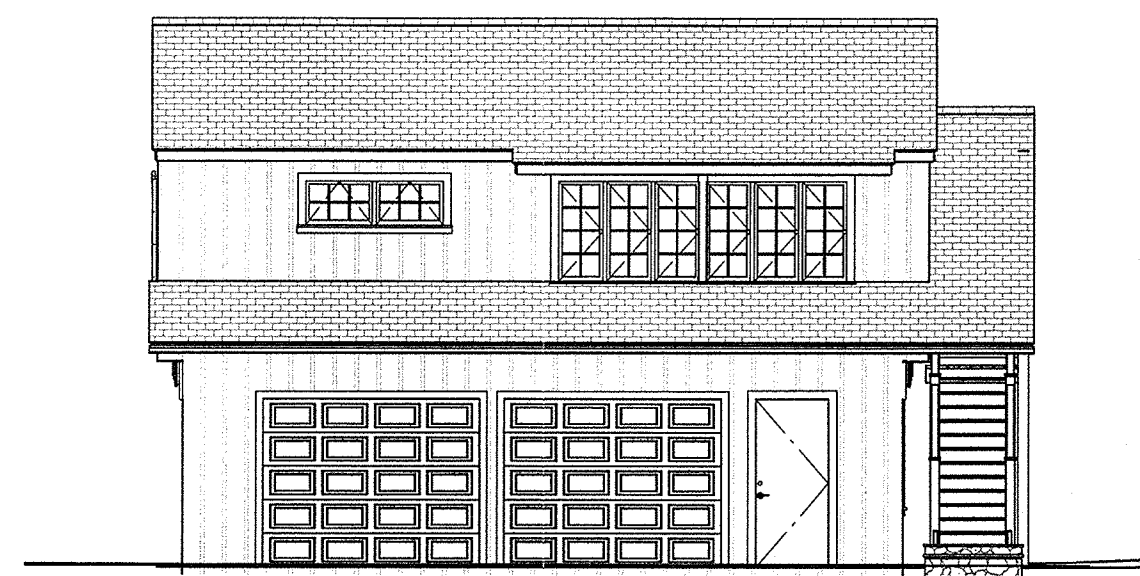




**EXISTING GARAGE FLOOR PLAN**  
SCALE: 1/8"=1'-0"



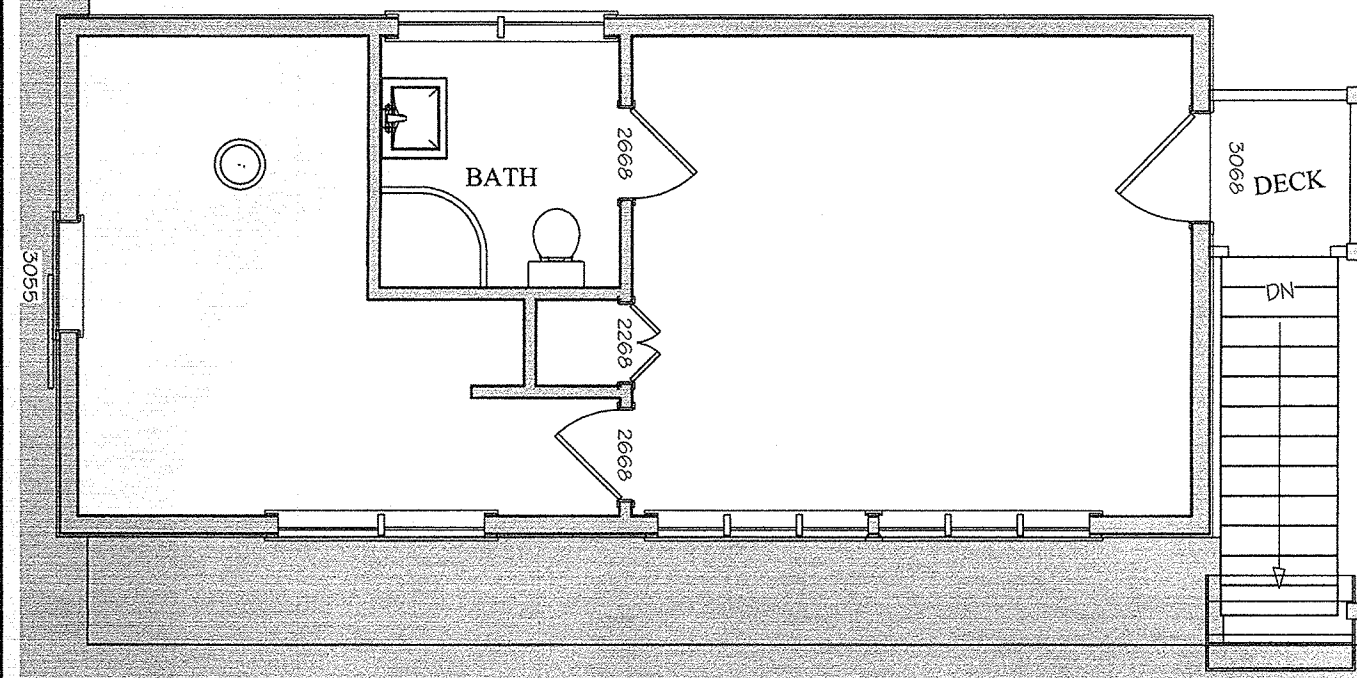
**GARAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



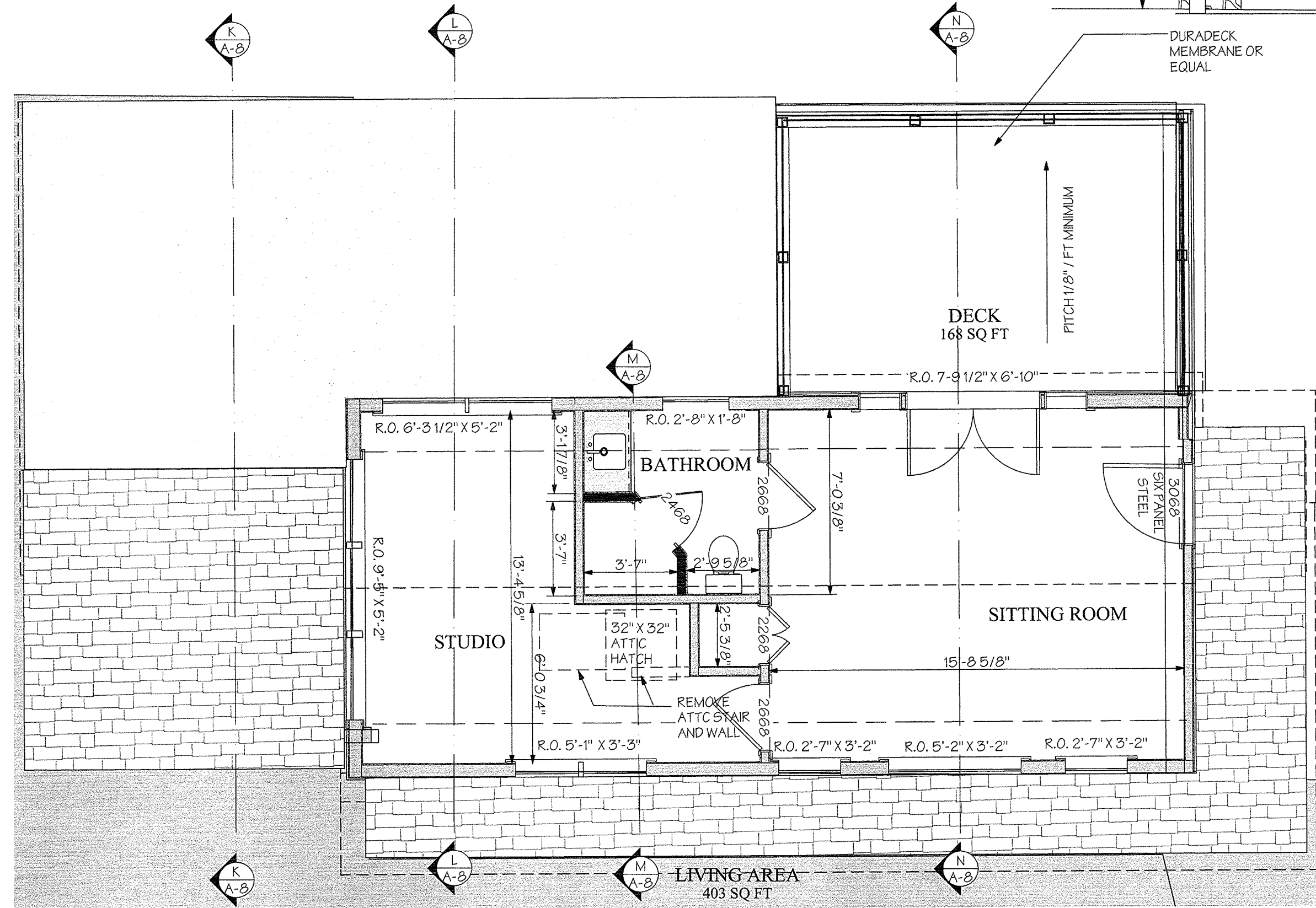
**EXISTING FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



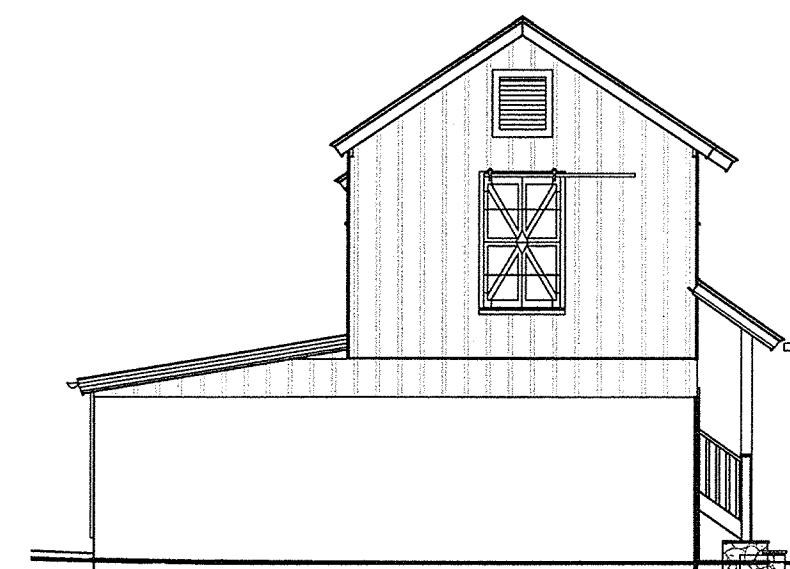
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



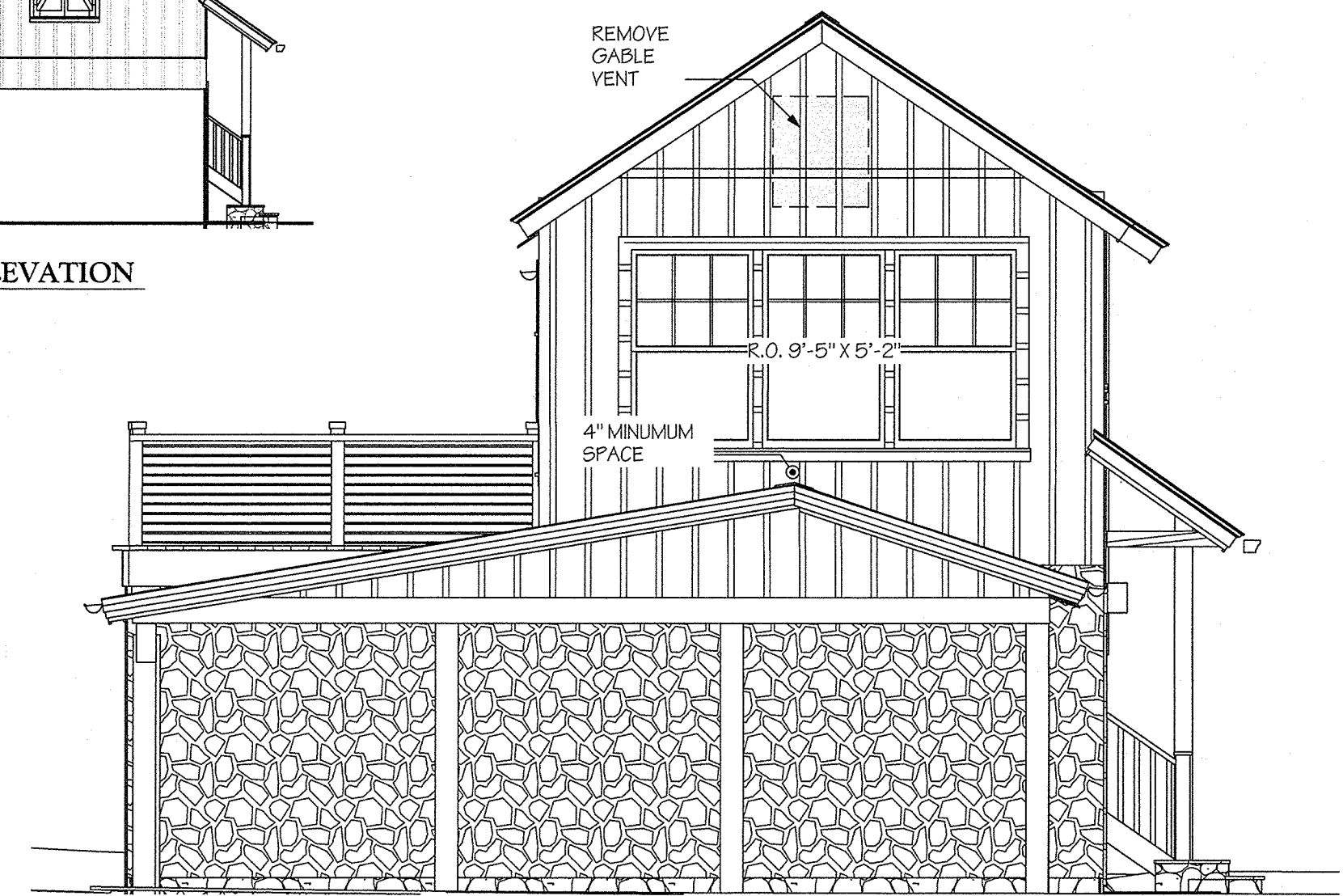
**EXISTING SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



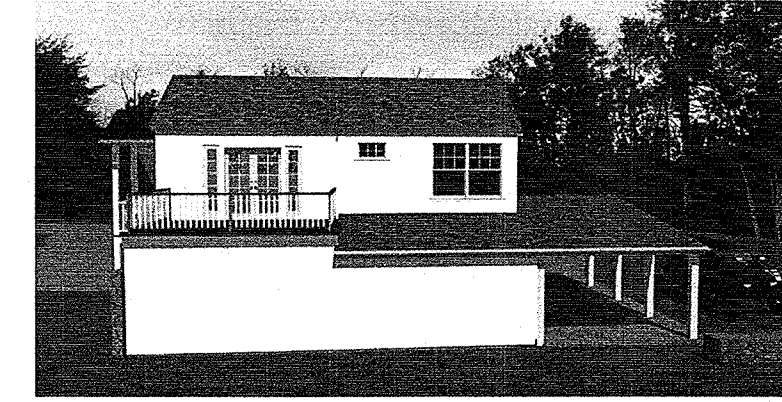
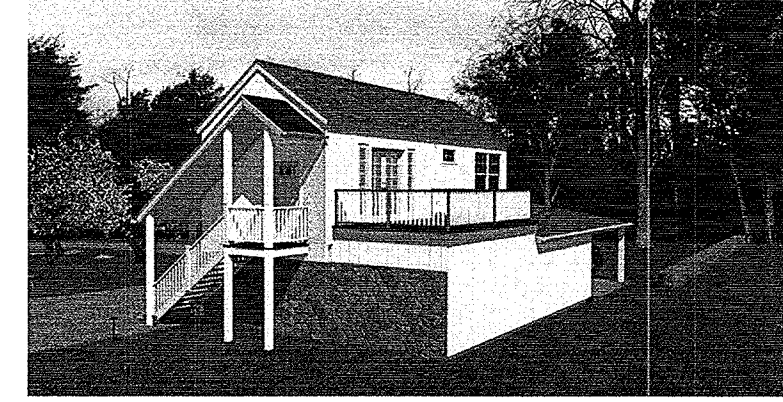
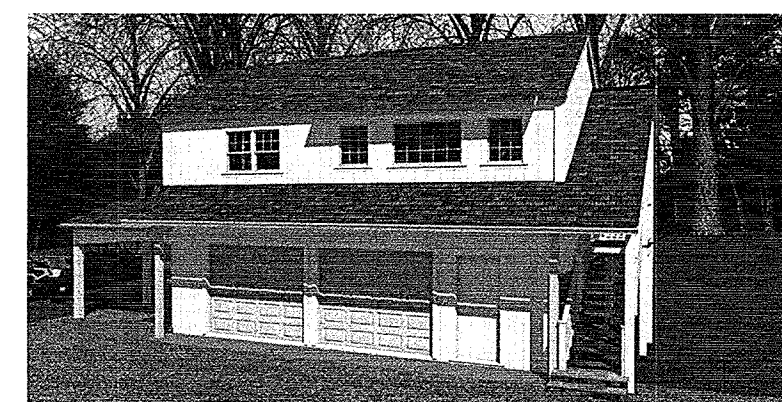
**EXISTING LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**WALL LEGEND**

- DEMO - WALL TO BE REMOVED
- EXISTING - WALL TO REMAIN
- NEW - STUD WALL @ 16" O.C.
- LOW WALL
- NEW CONC. WALL
- NEW CONC. BLOCK WALL



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Ridgefield, CT 06877  
Office 203.431.9104  
Fax 203.431.5798  
www.dbarinc.com & REMODELING, INC.

**GARAGE PLANS**

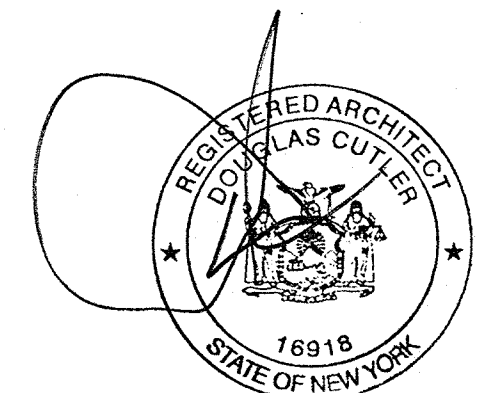
**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

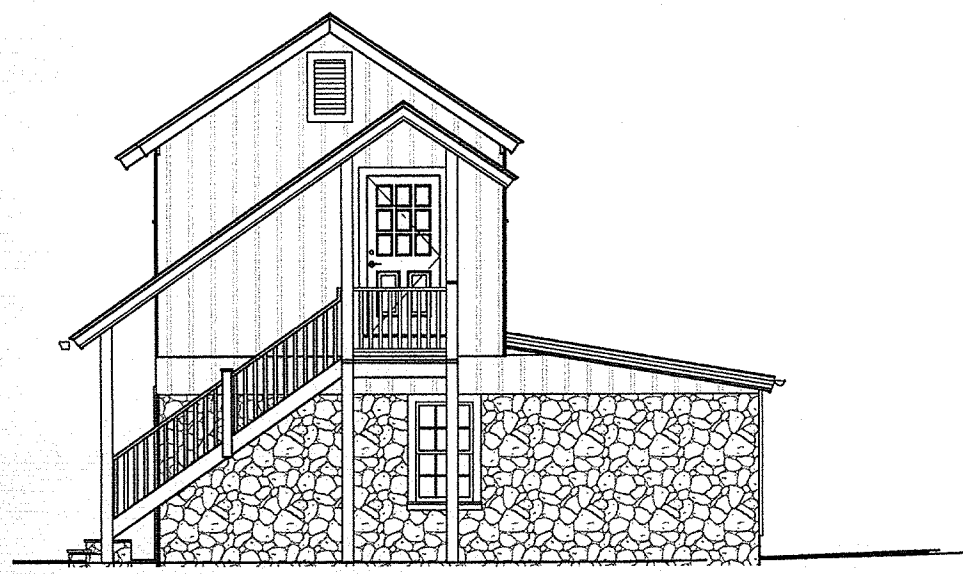
DRAWN BY: Fernando Moran  
APPROVED BY: D.H.A.  
DATE: 01/15/22  
REVISIONS:  
1 May 04, 2022  
2 May 23, 2022  
3 May 27, 2022  
4 May 31, 2022  
5 June 03, 2022  
6 June 10, 2022  
SCALE: AS NOTED

DRAWING NUMBER

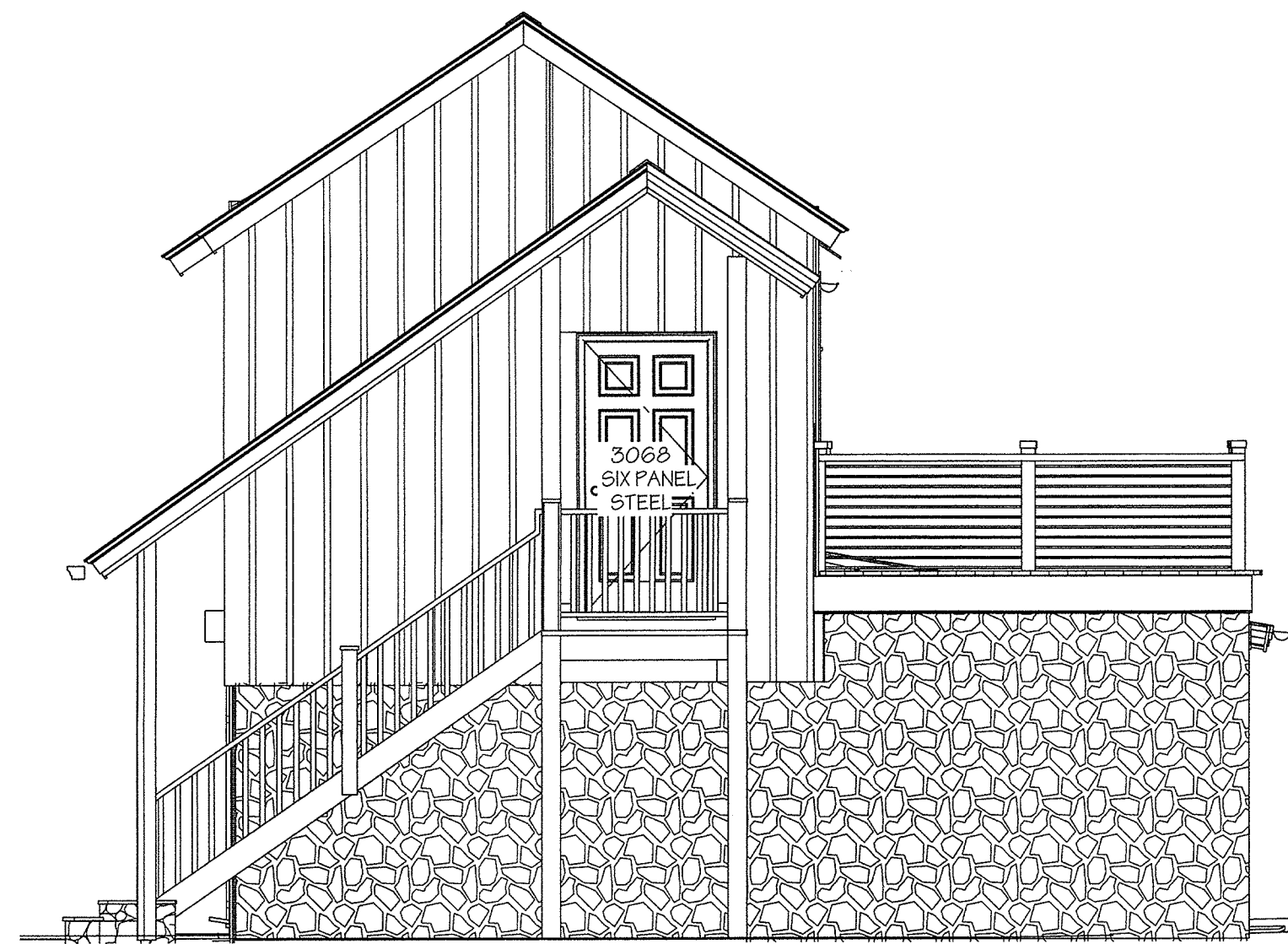
**GAR-1**

DATE OF PRINT: 6/04/2022

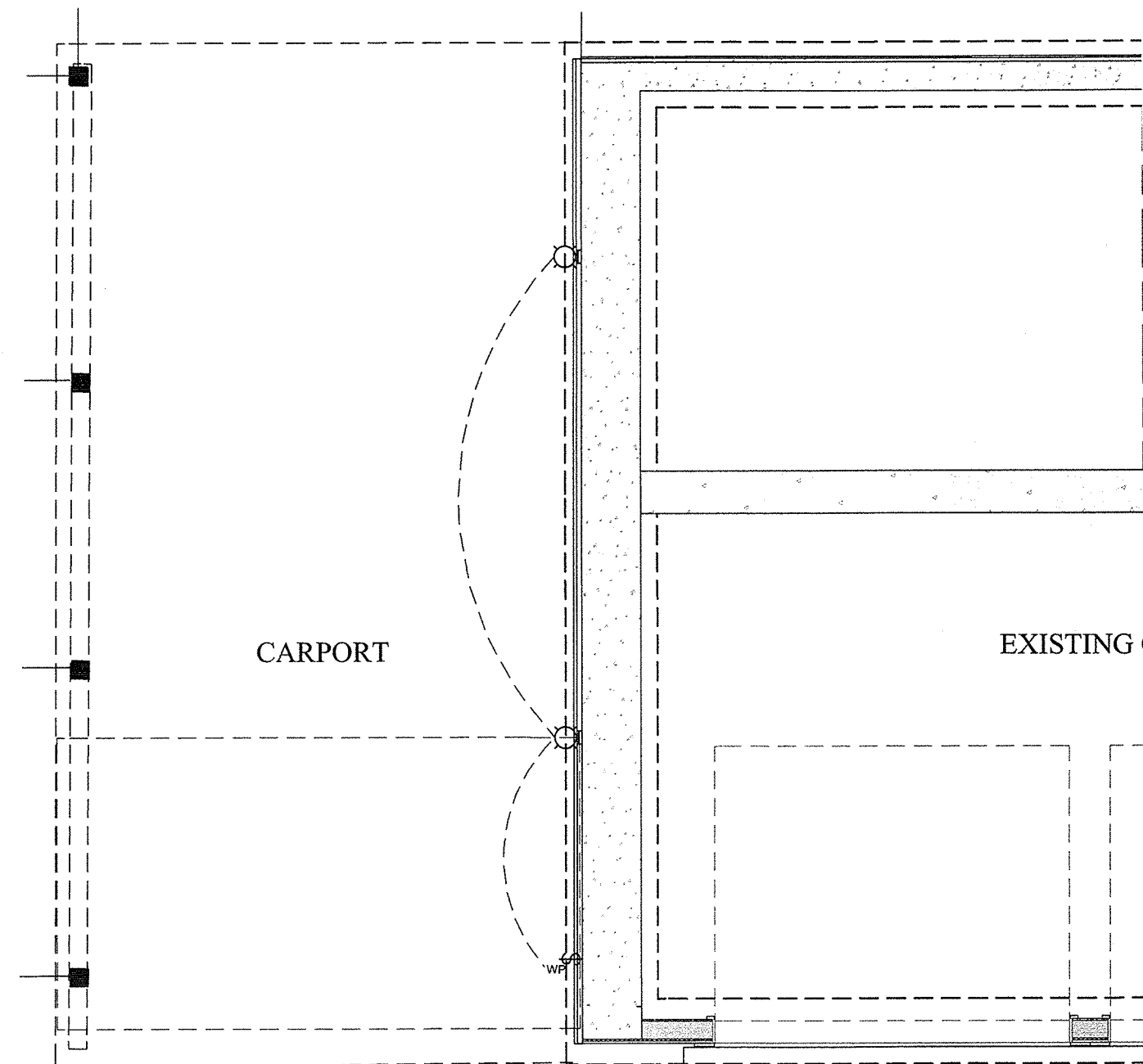




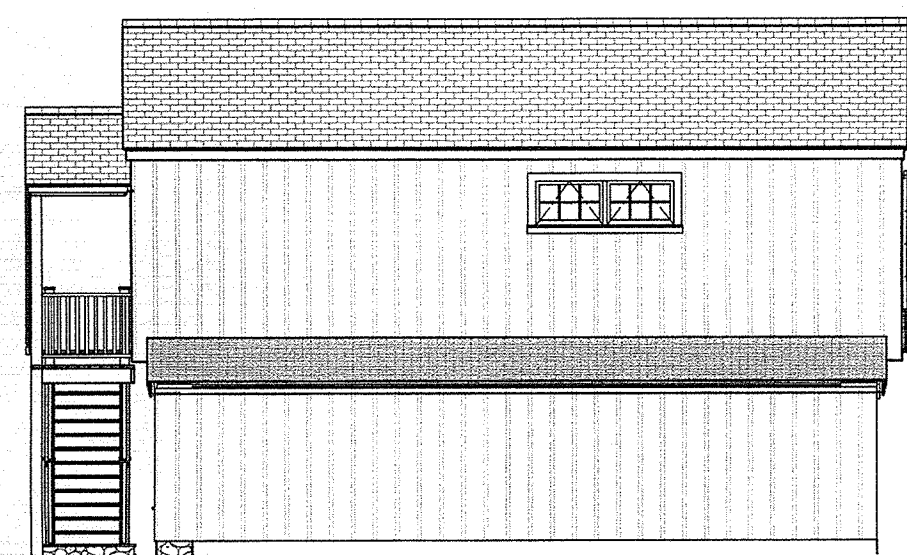
**EXISTING RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



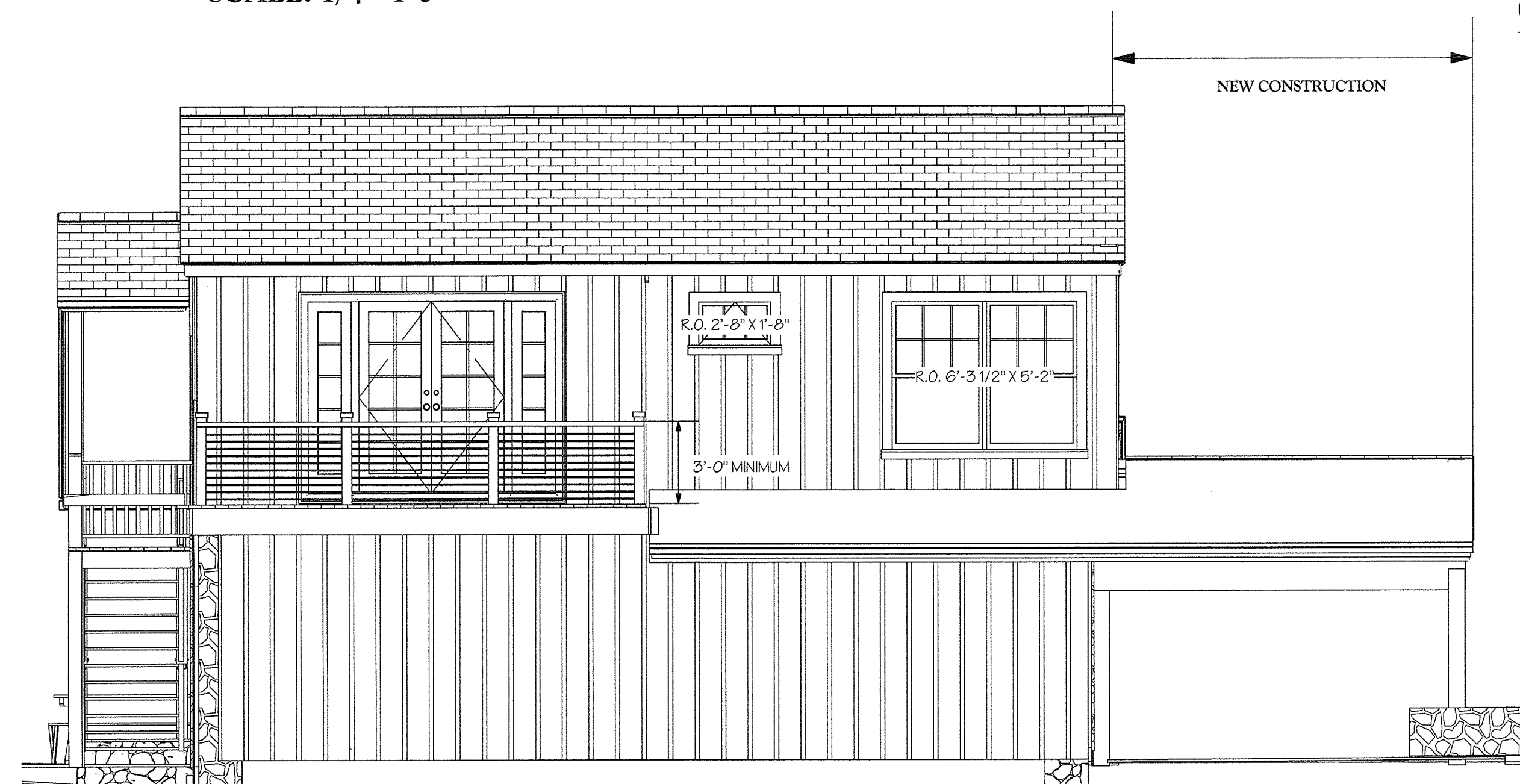
**PROPOSED RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



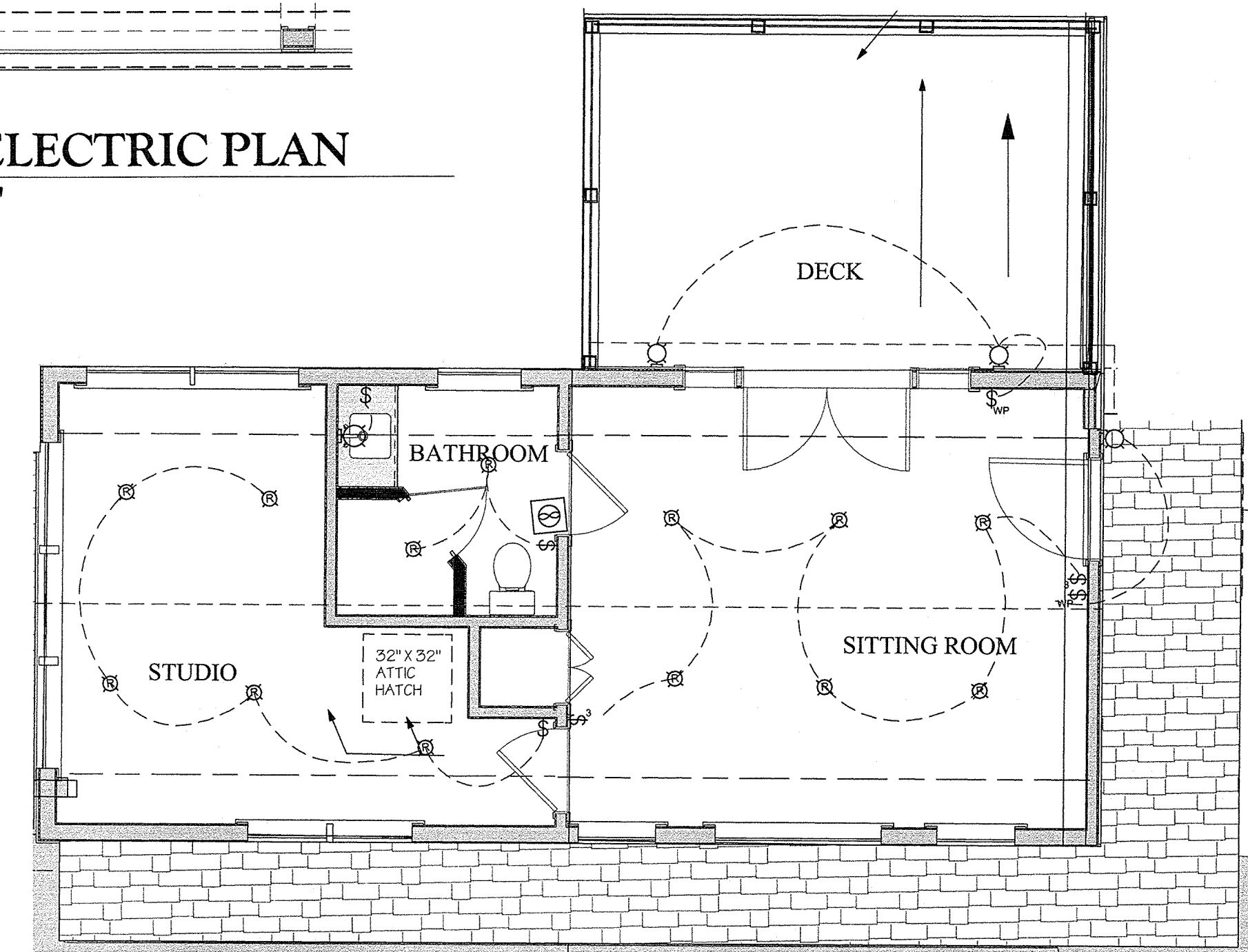
**CARPOT ELECTRIC PLAN**  
SCALE: 1/4"=1'-0"



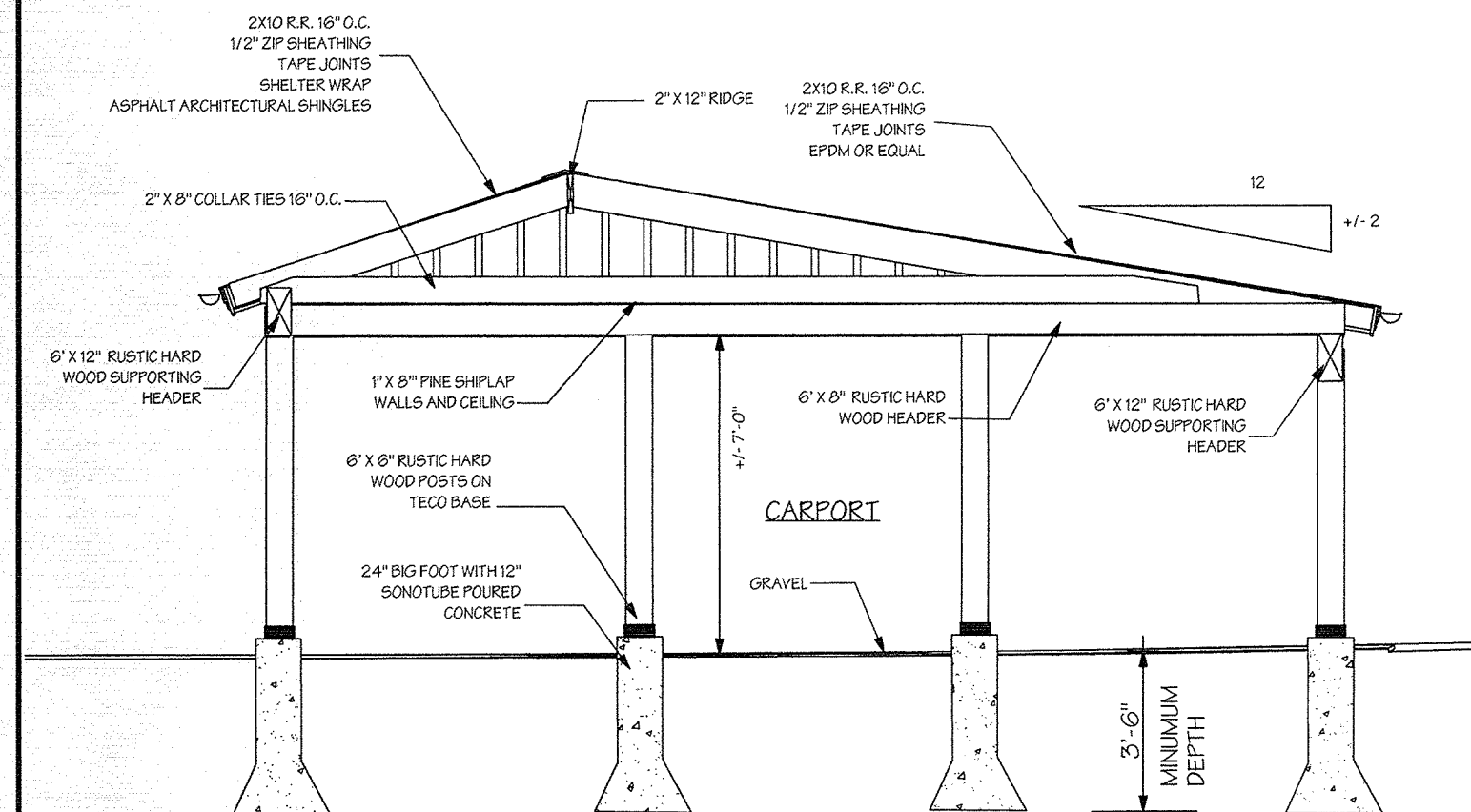
**EXISTING REAR ELEVATION**  
SCALE: 1/8"=1'-0"



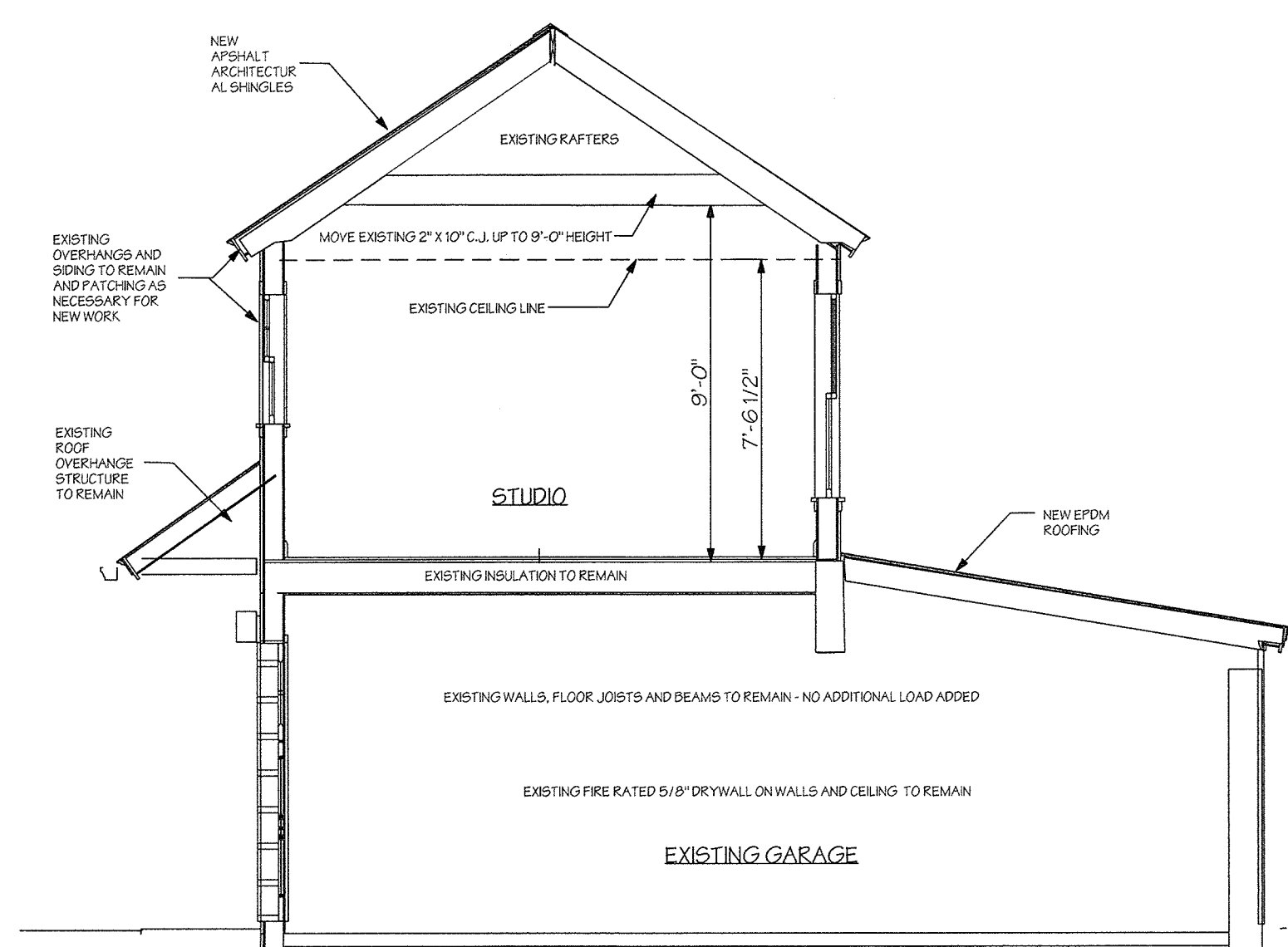
**PROPOSED REAR ELEVATION**  
SCALE: 1/4"=1'-0"



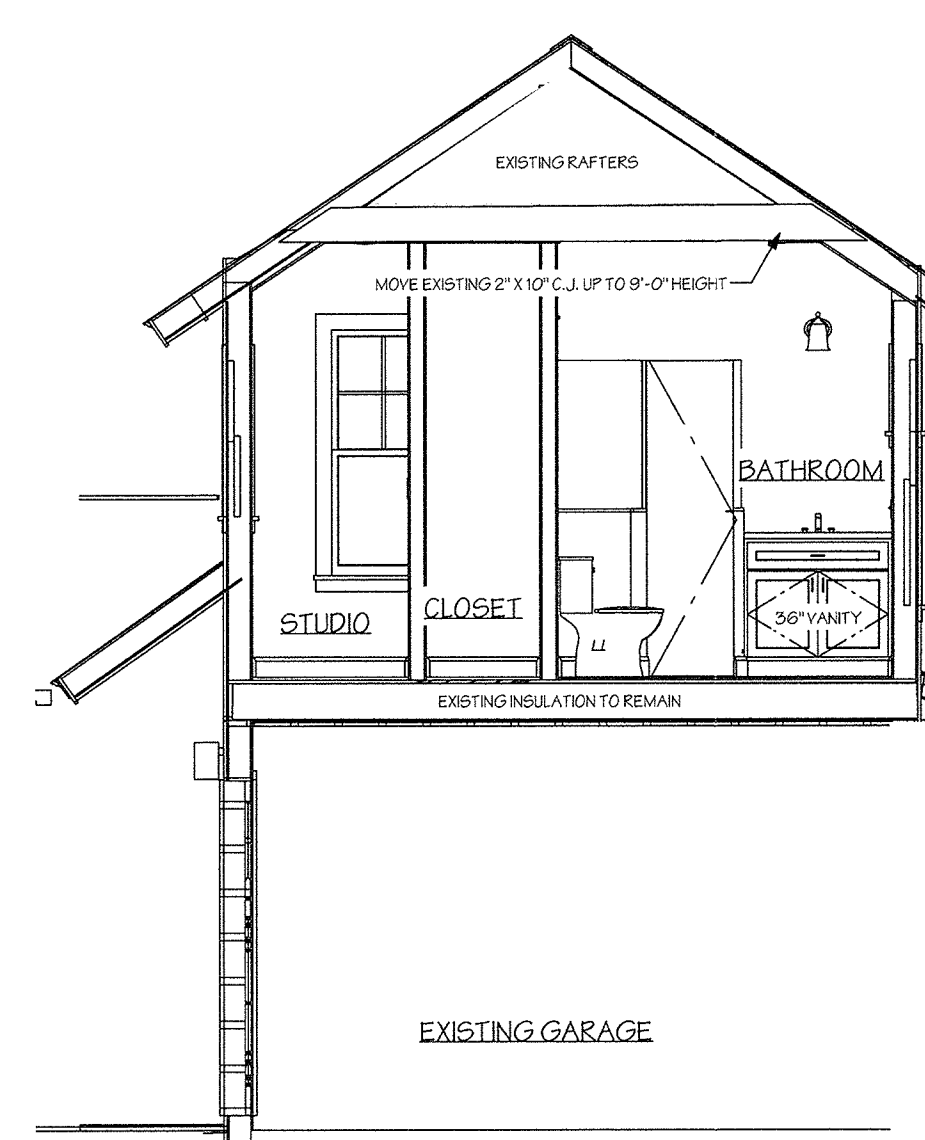
**2ND FLOOR ELECTRIC PLAN**  
SCALE: 1/4"=1'-0"



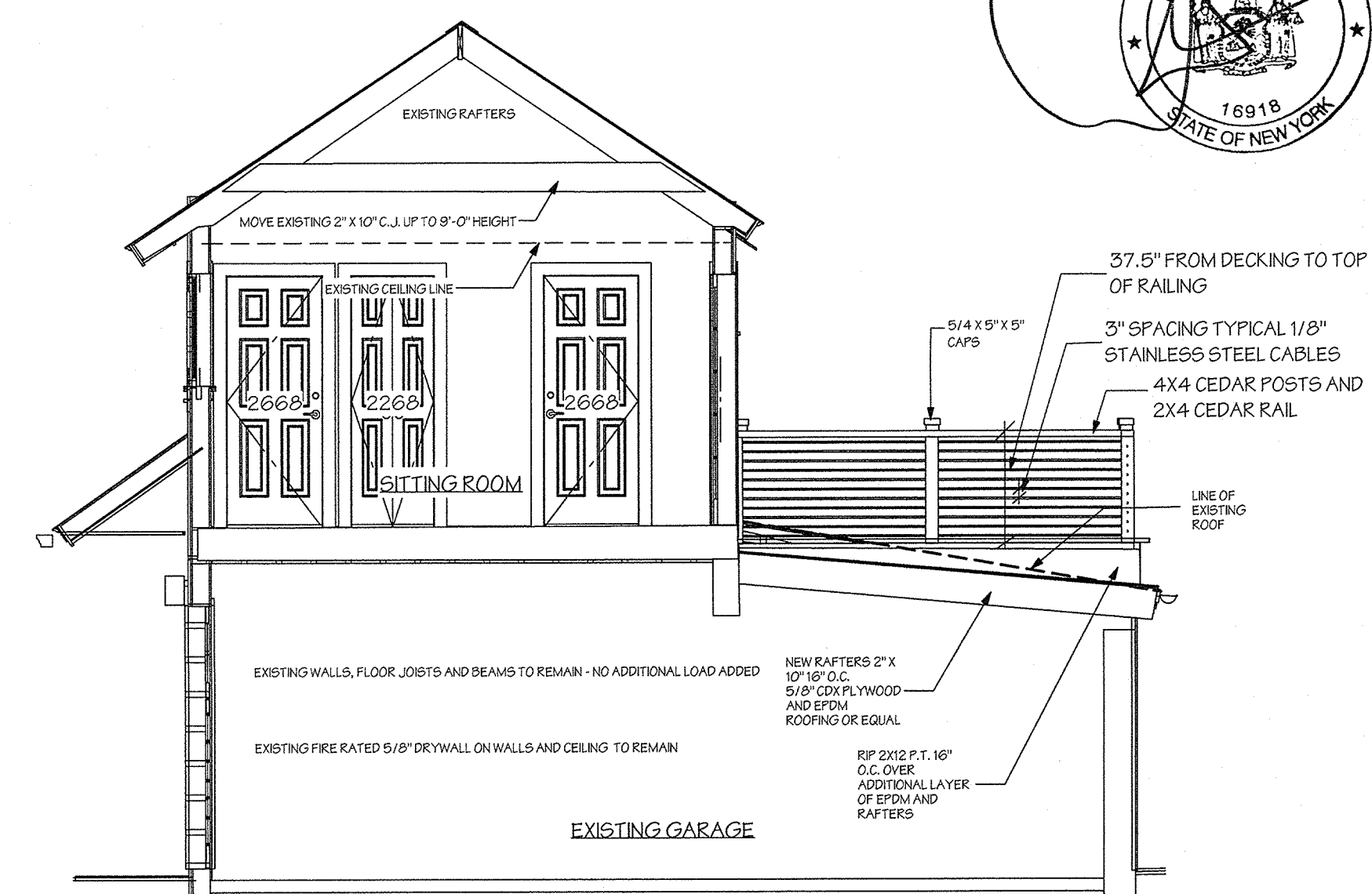
**SECTION K-K**  
SCALE: 1/4"=1'-0"



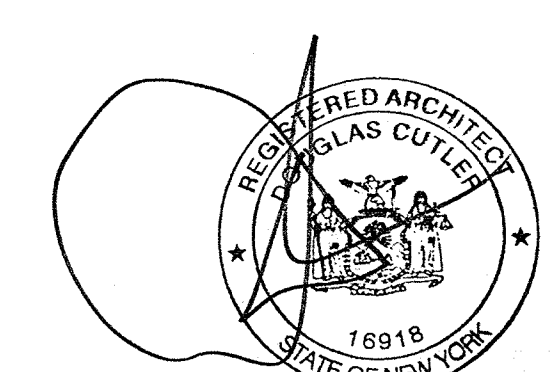
**SECTION L-L**  
SCALE: 1/4"=1'-0"



**SECTION M-M**  
SCALE: 1/4"=1'-0"



**SECTION N-N**  
SCALE: 1/4"=1'-0"



**GARAGE SECTIONS  
AND ELECTRIC**

**MITCHELL & RINA REICHGUT**  
24 St. Mary Church Road  
Bedford, NY 10506

DRAWN BY:  
Fernando Moran

APPROVED BY:  
D.H.A.

DATE: 01/15/22

REVISIONS:

1	May 04, 2022
2	May 23, 2022
3	May 27, 2022
4	May 31, 2022
5	June 03, 2022
6	June 10, 2022

SCALE: AS NOTED

DRAWING NUMBER

**GAR-2**

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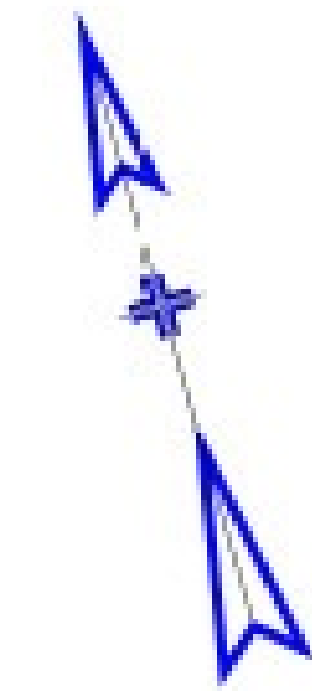
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NOTES

DATE OF PRINT: 01/15/22

TOPOGRAPHIC  
SURVEY OF PROPERTY  
SITUATE IN THE  
**TOWN OF NORTH CASTLE**  
WESTCHESTER COUNTY  
NEW YORK

SCALE : 1"= 30'  
SURVEYED: JANUARY 15, 2021



- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF NORTH CASTLE MAP 96.01 - BLOCK 1 - LOT 17 PROPERTY AREA = 21.083 Acres  
Address: 24 SAINT MARY'S CHURCH ROAD
- THE PREMISES SHOWN HEREON BEING A PORTION OF LOT 17 AS SHOWN ON A MAP ENTITLED "SUBDIVISION OF PROPERTY BELONGING TO ROBERT HARRIS AND DAVIDY BORGAL, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS AS MAP NO. 2000."
- THE ELEVATIONS SHOWN HEREON ARE IN THE "NAVD 83" (NORTH AMERICAN VERTICAL DATUM 1983).
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINER MAY DISCLOSE.
- THE OFFSETS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE CREATION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.
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NO.	DATE	DESCRIPTION	BY
1.	05-24-22	PROPOSED NEW ADDITIONS	JRL

Digitally signed by Joseph R. Link L.S.  
DN: cn=Joseph R. Link L.S., o=JRL Surveying, ou=JRL Surveying, email=jlink@jrlsurveying.com, c=US  
Date: 2022.05.24 22:48:48  
+0400  
Joseph R. Link L.S.  
JOSEPH R. LINK  
NEW YORK STATE LICENSED  
LAND SURVEYOR NO. 050456  
NEW YORK STATE LICENSED  
LAND SURVEYOR SEAL  
Phone: 914-941-1440 Web: http://jrlsurveying.com

Now or formerly Henrietta Lockwood

TOWN OF NORTON  
WESTCHESTER COUNTY, NEW YORK  
Being part of Lot 1, "Subdivision of Property  
Belonging to Robert Holm and Dudley Bausol, etc."  
as filed July 9, 1982 as Map No. 20957.  
Aug. 9, 2000  
Scale: 1"=50'



Now or formerly  
Robert Porke  
(Liber 5245 Pg 160)

1  
21.083 AC

2

Now or formerly Ronald Atkins

N/F  
Francis C.  
Fosburgh

Now or formerly William Heller

I, Harold F. Campbell, the surveyor who made this map, do hereby  
certify that this survey was completed August 9, 2000 and that this  
map was completed August 9, 2000.

Harold F. Campbell Jr.  
N.Y. State Lic. Surveyor



Certified to First American Title Insurance Company of New York  
in accordance with the Existing Code of Practice for Land Surveys  
adopted by the New York State Association of Professional Land  
Surveyors.

Harold F. Campbell Jr.

Possession only as indicated.  
Property corner monuments were not placed  
as part of this survey.

Standard deviation of a distance is a function of the length of the distance and the accuracy of the measuring instrument. The standard deviation of a distance is directly proportional to the length of the distance. The standard deviation of an angle is a function of the length of the distance and the accuracy of the measuring instrument. The standard deviation of an angle is directly proportional to the length of the distance. The standard deviation of a bearing is a function of the standard deviation of an angle. The standard deviation of a bearing is directly proportional to the length of the distance. The standard deviation of a position is a function of the standard deviation of a distance and the standard deviation of an angle. The standard deviation of a position is directly proportional to the length of the distance. The standard deviation of a position is directly proportional to the length of the distance.





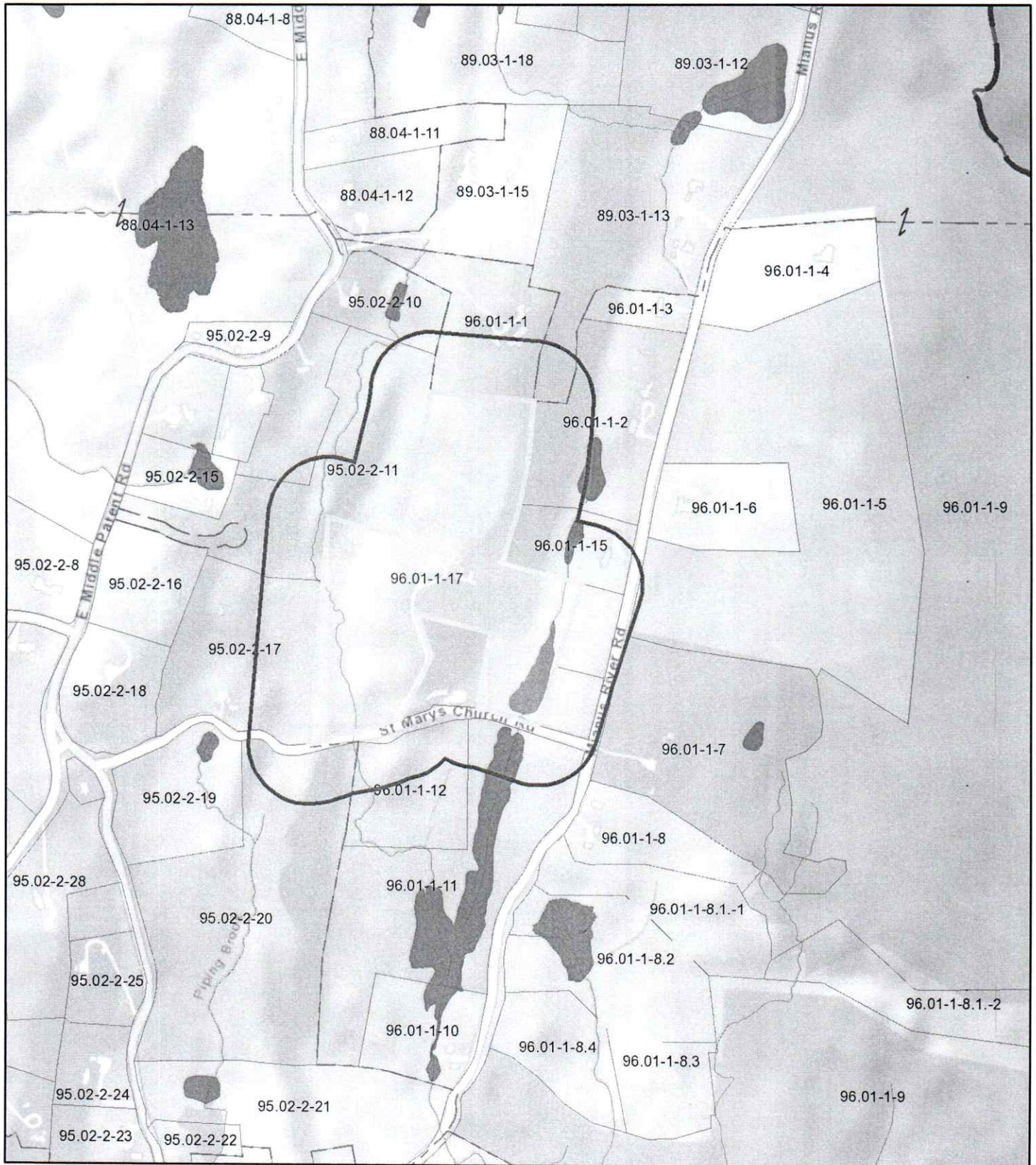
North Castle, NY

1 inch = 567 Feet



July 30, 2021

www.cai-tech.com



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