

# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 1 LEISURE FARM DRIVE WEISS RES.

Section III- DESCRIPTION OF WORK: IN THE RPRC APPLICATION DATED JAN. 29, 2021 - THE PROPOSED POOL WAS REFERRED TO BUILDING DEPARTMENT, UNDER THE CONDITION THAT APPROXIMATELY 2,780 S.F. OF EXISTING LOT COVERAGE BE REMOVED WHICH WAS THE ENTIRE FRONT PARKING AREA. DOING SO BROUGHT THE PROPERTY INT ZONING CONFORMANCE. THE APPLICATE IS ASKING FOR A 2780 SF. CROSS LAND COVERAGE VARIANCE

Section III- CONTACT INFORMATION: OF 2780 SF. SO TO KEEP THE PARKING AREA.  
APPLICANT: JARED AND NADIA WEISS (OWNER)  
ADDRESS: 1 LEISURE FARM DRIVE  
PHONE: \_\_\_\_\_ MOBILE: 914.275.5335 EMAIL: JAREDWEISS9@OUTLOOK.COM

PROPERTY OWNER: JARED AND NADIA WEISS (APPLICATE)  
ADDRESS: 1 LEISURE FARM DRIVE  
PHONE: \_\_\_\_\_ MOBILE: 914.275.5335 EMAIL: JAREDWEISS9@OUTLOOK.COM

PROFESSIONAL: FRANK CAULIANO  
ADDRESS: 8 Pine Tree P. Katonah NY 10536  
PHONE: \_\_\_\_\_ MOBILE: 914.954.4110  
EMAIL: FGIARCH@001.com

### Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.3/2/12



**Town of North Castle**  
**Residential Project Review Committee**  
17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: REVISED MASTER POOL PLAN

Initial Submittal  Revised Preliminary

Street Location: 1 LEISURE FARM DRIVE

Zoning District: R-1A Property Acreage: 1.068 Tax Map Parcel ID: 101.3/2/12

Date: \_\_\_\_\_

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

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 Fax: (914) 273-3554  
[www.northeastleny.com](http://www.northeastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 1 LEISURE FARM DR. Date: 6/20/22

Tax Map Designation or Proposed Lot No.: 101.3/2/12

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 46,522
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 9,616
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)): 430
4. Distance principal home is beyond minimum front yard setback: 43 x 10 = 430
5. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3: 10,046
6. Amount of lot area covered by principal building: 3680 existing + 0 proposed = 3680
7. Amount of lot area covered by accessory buildings: 140 existing + 0 proposed = 140 (SHED)
8. Amount of lot area covered by decks: 880 existing + 0 proposed = 880
9. Amount of lot area covered by porches: 0 existing + 0 proposed = 0
10. Amount of lot area covered by driveway, parking areas and walkways: 6544 existing + 0 proposed = 6544 DRIVE AND PARKING 6174 S.F. WALKS 370 S.F.
11. Amount of lot area covered by terraces: 400 existing + 0 proposed = 400
12. Amount of lot area covered by tennis court, pool and mechanical equip: 1035 existing + 0 proposed = 1035
13. Amount of lot area covered by all other structures: 140 existing + 0 proposed = 140 PK PADS
13. Proposed gross land coverage: Total of Lines 5 - 12 = 18,825 (OVER 2779 SF.)

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date: 6/20/22



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**Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 1 Leisure Farm Drive DATE: 6/20/22

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: Jared and Nadia Weiss

ADDRESS: 1 Leisure Farm Drive - Armonk, NY

PHONE: \_\_\_\_\_ MOBILE: 914.275.5335 EMAIL: jaredweiss9@outlook.com

PROPERTY OWNER: Jared and Nadia Weiss

ADDRESS: 1 Leisure Farm Drive - Armonk NY

PHONE: 914.275.5335 MOBILE: \_\_\_\_\_ EMAIL: jaredweiss9@outlook.com

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

NO CONSTRUCTION ACTIVITIES

Existing Parking Court to remain. no disturbance to the site, no removals, no grading.

If variance is granted

**Section IV-** ADDITIONAL QUESTIONS: (All fill over 50 yards and all bank run over 250 yards will be accessed at \$3 a yard)

Will there be any fill/ bank run brought in?  No  Yes, how many yards of fill over 50 yards? \_\_\_\_\_

Yes, how many yards of bank run over 250 yards? \_\_\_\_\_

Will there be any rock chipping?  No  Yes, file a Rock Chipping application.

**Section V-** USE AND OCCUPANCY:  Single Family  Two Family

**Section VI-** INSURANCES THAT ARE REQUIRED TO BE SUBMITTED: (All applications being submitted are required to be on NYS approved insurance forms. Check box.)

Liability Insurance (Acord form. Pease note: ACORD forms are NOT acceptable proof of NYS workers Compensation coverage.)

Workers Compensation (CE-200, C-105.2 or SI-12 form)

Disability Insurance (CE-200, DB-120.1 or DB-155 form)

# Town of North Castle Building Department

**Section VII-** PERMIT FEES : (\$100 app fee plus \$14 per \$1000, cost of construction rounded up and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ 0

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

I Jared Weiss do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 0, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Sign and Affix Seal Here

Signature: [Handwritten Signature] Date: 6/27/22

**Section VIII** CONTACT INFORMATION: (Please print clearly. All information must be current)

**ARCHITECT/ENG:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**CONTRATOR:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**PLUMBER:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**ELECTRICIAN:** \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**Section IX-** APPLICANT CERTIFICATION: I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# Town of North Castle Building Department

## **Section X- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)**

STATE OF NEW YORK            }  
COUNTY OF WESTCHESTER    } SS:

The applicant \_\_\_\_\_ has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) \_\_\_\_\_ Owner's Signature \_\_\_\_\_

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

Notary Signature \_\_\_\_\_



Notary Stamp Here

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### **OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE**

Zone: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

#### Building Department Checklist:

Does this permit require RPRC approval?  Yes  No

GC License     Work. Comp.     Liability. Ins.     Disability     Two sets of documents

Permit Fee \_\_\_\_\_ Payment:  Check #: \_\_\_\_\_  Cash  Credit Card

Name on check: \_\_\_\_\_

Received By: \_\_\_\_\_ Application No.: \_\_\_\_\_

### **BUILDING INSPECTOR APPROVAL**

Has all the conditions of the RPRC been met?  Yes  NA

Has all the conditions of the Planning Board approval been met?  Yes  NA

Is septic or well approval required?  Yes  NA

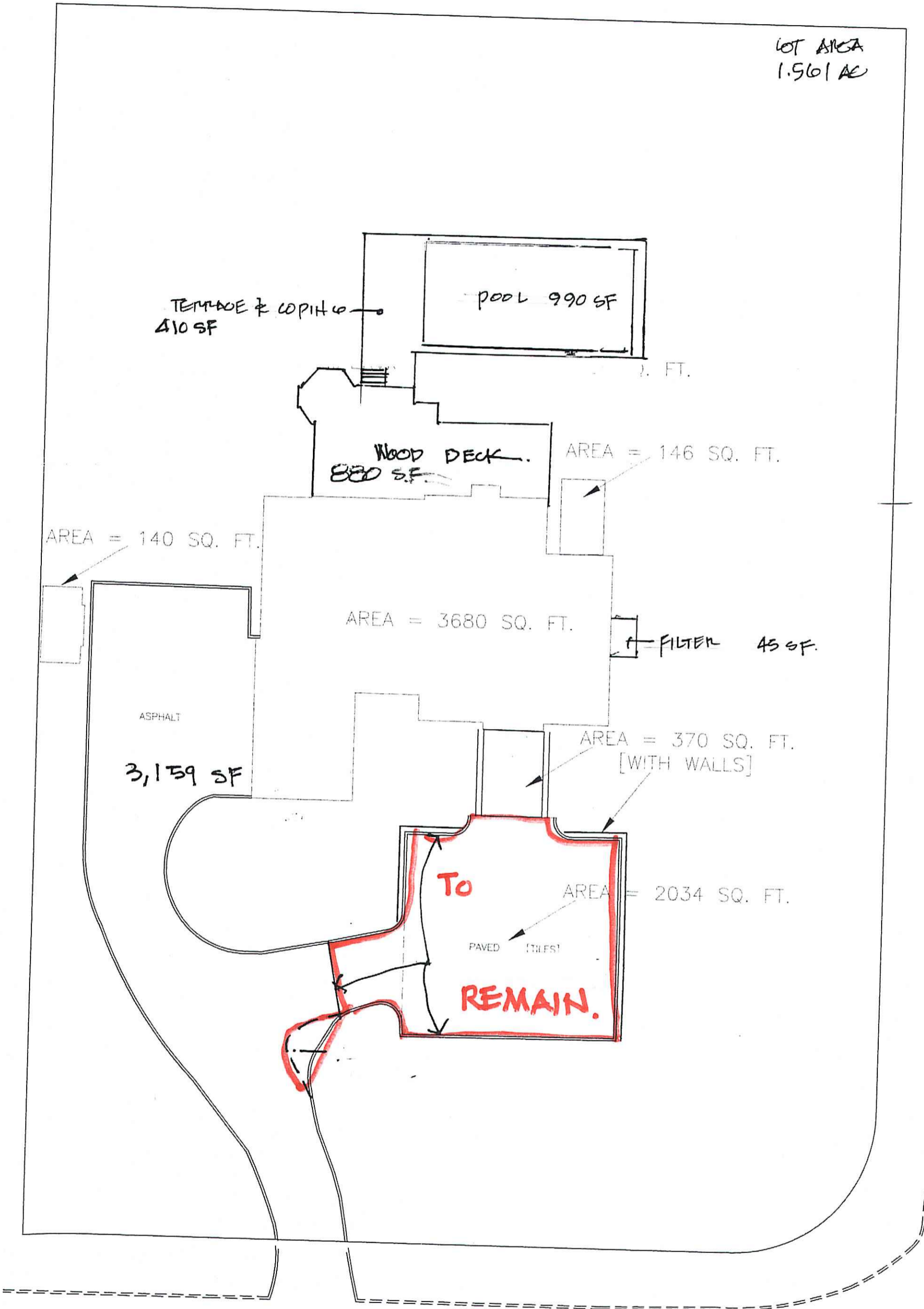
Is a Flood Development Permit required?  Yes  NA

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

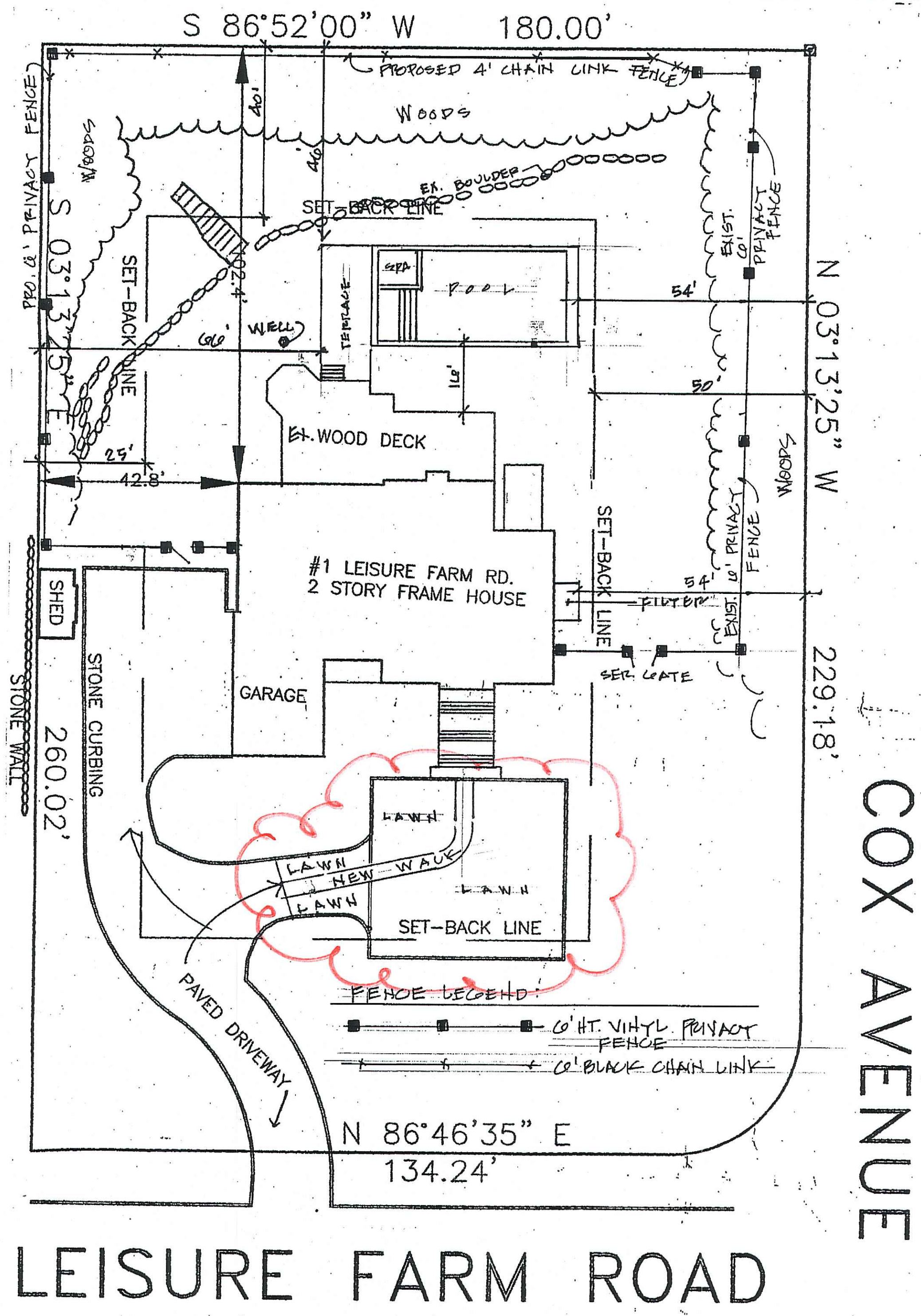
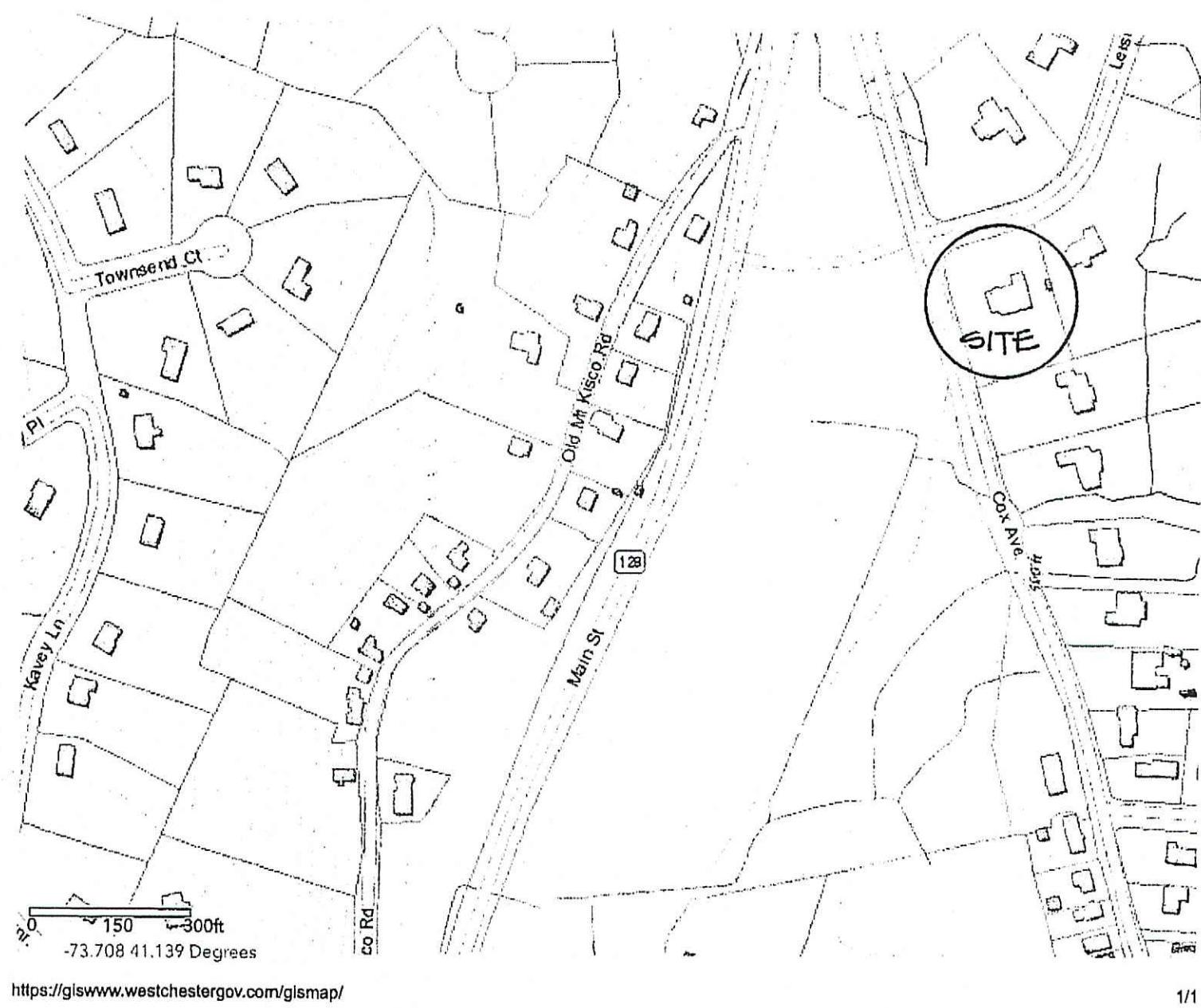
Building Inspector Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Conditions: \_\_\_\_\_

LOT AREA  
1.561 AC

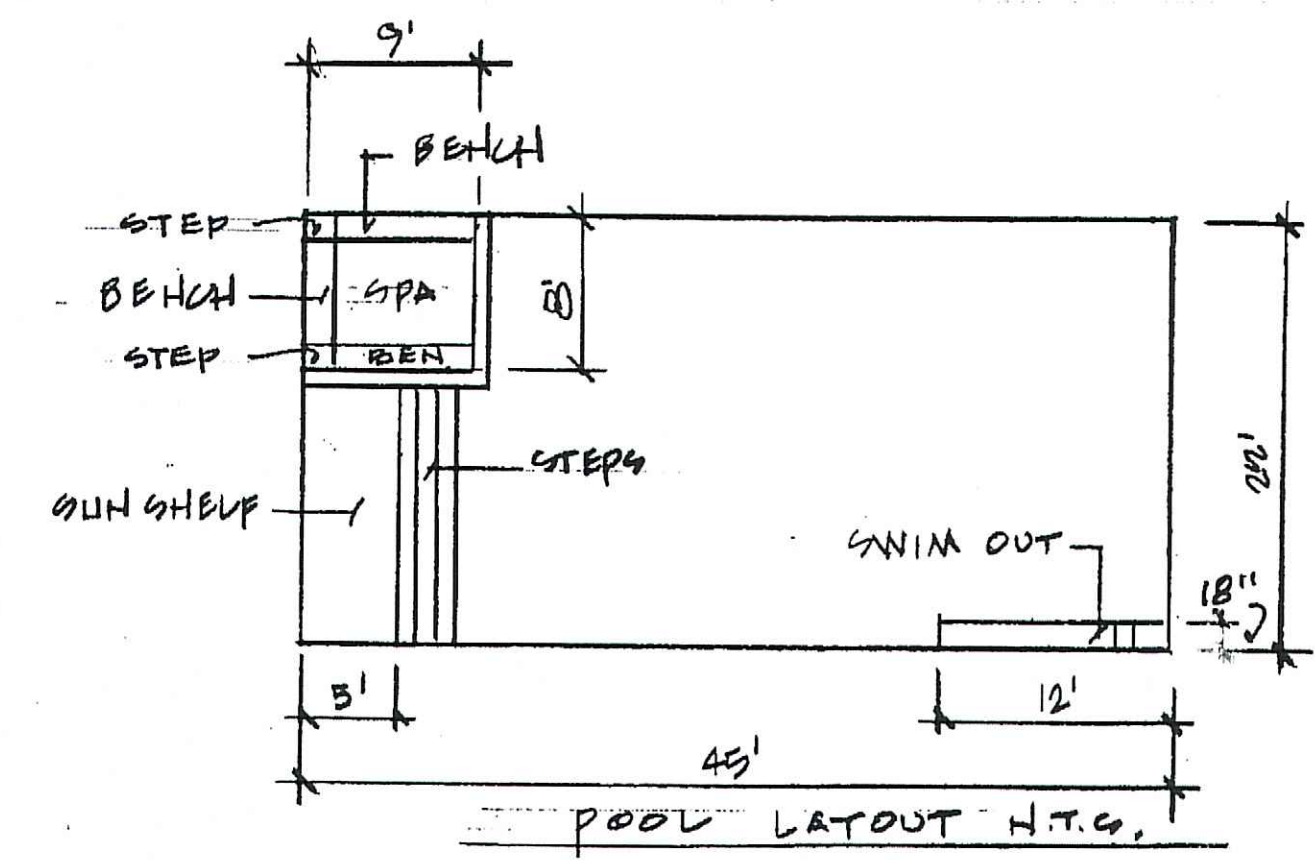
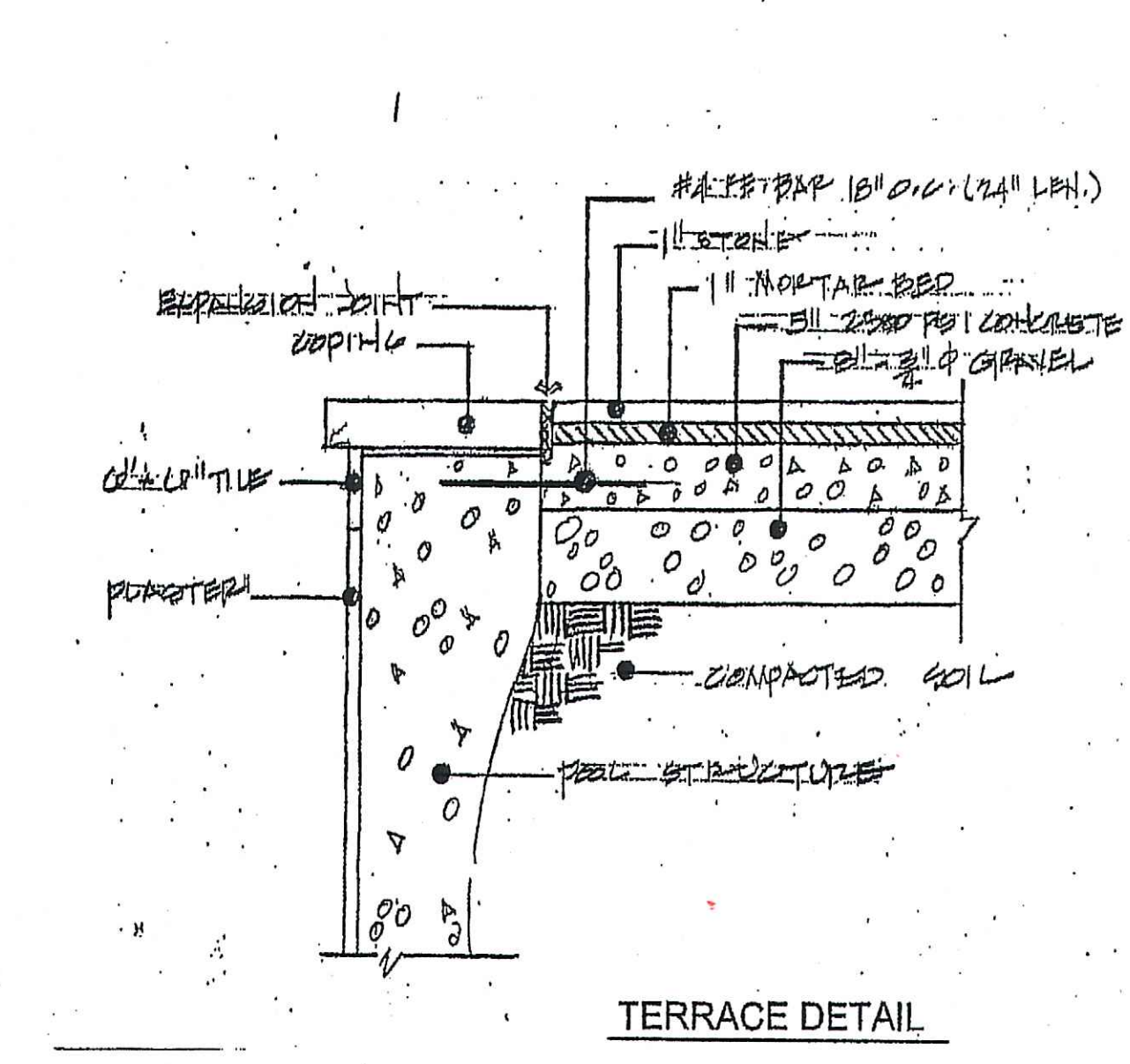
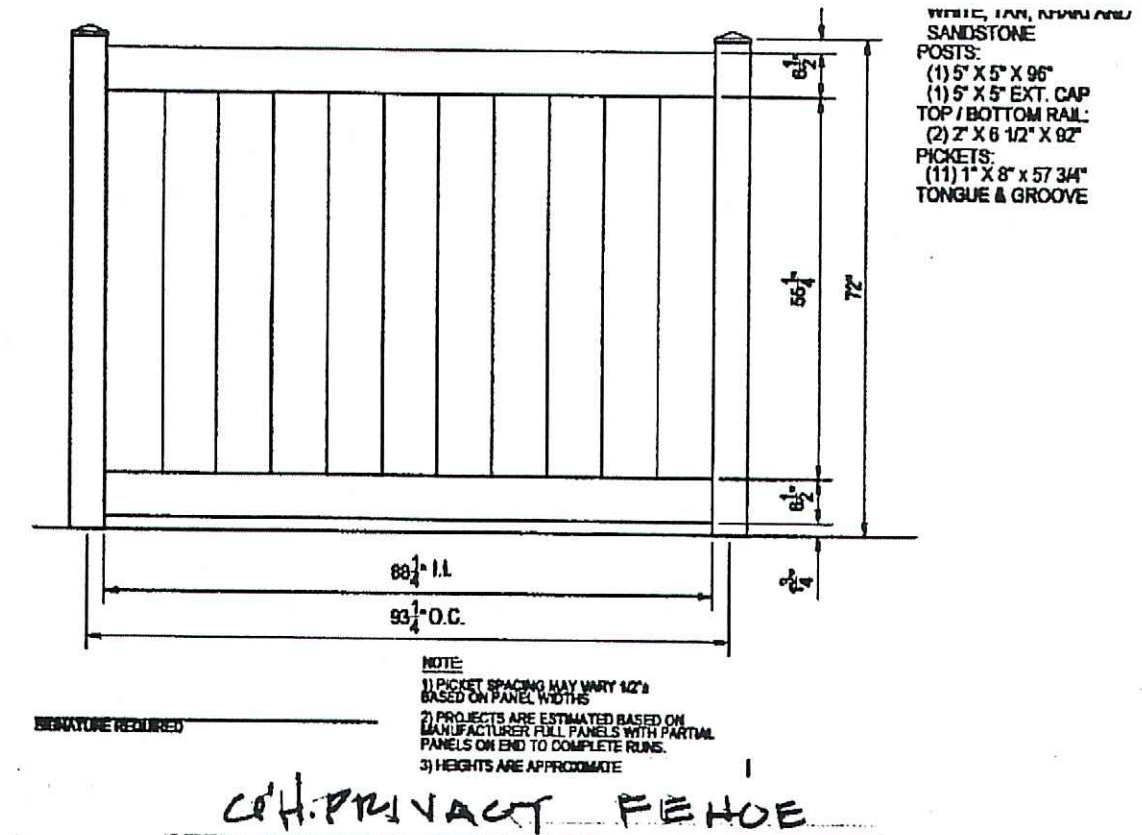


FYI



LEISURE FARM ROAD

SITE PLAN - SCALE 1" = 20'



**POOL NOTES:**

**IN-GROUND POOL DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 4 PER SECTION R326.3.2 OF THE 2020 NYS RESIDENTIAL CODE.**

**IN-GROUND SPA DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC 6 PER SECTION R326.3.3 OF THE 2020 NYS RESIDENTIAL CODE.**

**POOL AND SPA ALARMS:** ALL DOORS, OPENING TO THE POOL ENCLOSURE SHALL BE FITTED WITH A "POOLGUARD" ALARM #DAPT-WT, WHICH MEETS NYS POOL BARRIER CODE, ASTM F2208, And as per NYS R326.7 per 2020 NYS residential code.

**POOL COVER SHALL COMPLY WITH ASTM F1346.**

**ALL WINDOWS WITHIN THE POOL ENCLOSURE SHALL BE FITTED WITH A "WINDOW STOP" SO THAT WINDOWS ARE RESTRICTED TO LESS THAN 4" WHEN OPEN.**

**ALL WINDOWS AND DOORS SHALL MEET NYS 2020 NYSRBC.**

**PORTABLE WATER PROTECTION:** POOL WATER AUTO FILL: THE "POOL MISER" WATER AUTO FILL IS EQUIPPED WITH A BUILT IN CHECK VALVE - TO PROTECT POTABLE WATER SUPPLY. AS PER SECTION P2902 OF THE 2020 NYS RESIDENTIAL CODE.

**ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SHALL MEET SECTION R326.5 OF THE 2020 NYS RESIDENTIAL CODE.**

**ALL SUCTION FITTINGS SHALL COMPLY WITH ANSI/APSP/ICC 7 PER SECTION R326.5.1 OF THE 2020 NYS RESIDENTIAL CODE.**

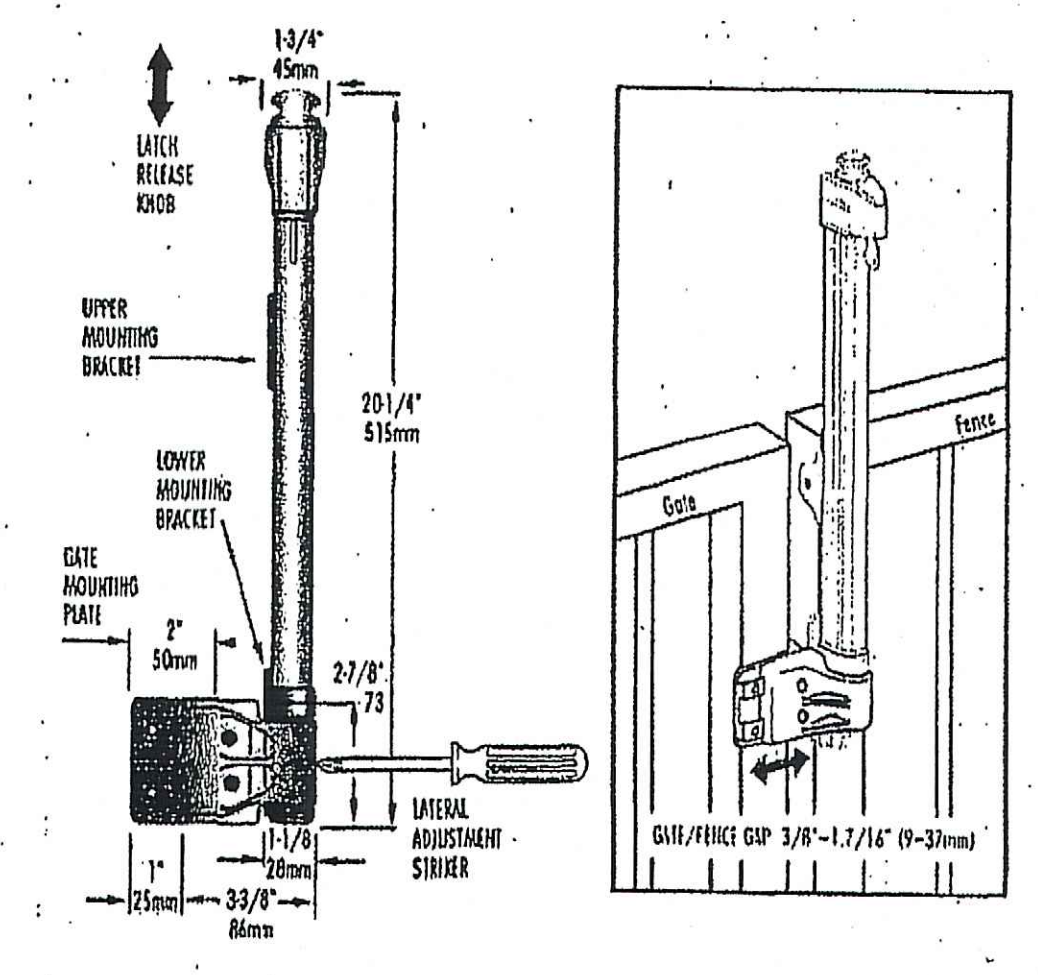
**ATMOSPHERIC VACUUM RELIEF SHALL COMPLY WITH ANSI/A112.19.17 OR AN APPROVED GRAVITY DRAINAGE SYSTEM PER SECTION R326.8.3 OF THE 2020 NYS RESIDENTIAL CODE.**

**TEMPORARY FENCING:** TEMPORARY FENCING SHALL BE INSTALLED DURING CONSTRUCTION AT THE PERIMETER OF THE POOL CONSTRUCTION AREA. SAID FENCE SHALL BE 4' HIGH AND NON-CLIMBABLE - FENCE SHALL MEET NYS RESIDENTIAL CODE FOR POOL ENCLOSURES. SAID FENCE CAN ONLY BE REMOVED WHEN THE PERMANENT FENCE, MEETING POOL ENCLOSURE CODE, IS INSTALLED. AS PER SECTION R326.4.1 OF THE 2020 NYS RESIDENTIAL CODE.

**PERMANENT POOL FENCE:**

There shall be installed and maintained on said lot, and completely enclosing the pool and pool equipment pad, fencing and gates. Said fencing shall meet (NY R326.4.2), **But that shall be 4'-0" high, black, vinyl coated chain link fence or 6' -0" high privacy fence, color shall be gray** - as noted on the plan. Hardware and supports shall also be black vinyl coated. Gates shall be self-closing and self-latching AND LOCKABLE, designed to keep and capable of keeping such gates securely closed and locked at all times, when not in actual use. Latch shall be Magna-Latch as approved by 2020 NYS pool enclosure code. Gates shall open away from pool area as per 2020 NYS code. Bottom of the fence shall not exceed 2" from finished grade. AS PER (NYS R326.4.2.3 THROUGH NYS R326.4.2.7.3)

**CONTRACTOR SHALL PROVIDE PROTECTION OF ADJOINING PROPERTIES AS PER B3307.1 of the 2015 international building code.**



GATE MAGNA-LATCH (top pull)  
As per NYS code

**SWIMMING POOL AND SPA SPECIFICATIONS:**

**PERMITS:** Pool contractor shall submit their own, signed and sealed, engineered construction drawings and engineering drawings to obtain all necessary permits from the Town of North Castle, NY. All Permit fees by owner.

**GENERAL:** Any questions related to pool design or layout shall be directed to this office. Pool contractor shall supply and install all equipment necessary to operate the pool and all related equipment, including all electrical and plumbing connections. Propane or Gas service and connections by owner. Pool shall be grounded in strict accordance with the latest addition of AEI 680 of the national electrical and state board of fire underwriters. No pool terrace included in this proposal. Pool contractor shall install silt fencing.

**STRUCTURE:** Reinforcing bars for pool and spa shall be #4 bars, 12" on center both vertically and horizontally, in walls and floor where pool is 4 foot or less in water depth, and 6" on center both vertically and horizontally, in walls and floor where pool is more than 4 foot in water depth. Shot-crete shall be 4000 PSI, min., pool walls shall be 8" minimum thickness. Pool interlocking bond beam shall be 12" wide minimum. Pool contractor shall grade within 15" of the proposed pool. Pool is 22' x 45'

**DEPTH:** Pool water depths shall be 4'-0" in shallow end and 6'-6" in deep end or as per owner. Spa shall be 48" in water depth.

**EQUIPMENT:** Two (2) skimmers permanently set into bond beam, and a minimum of four returns, by Hayward products, Inc. or approved equal. FIVE (5) JANDY "NICHELESS LED LIGHTS" GEN. 2 underwater pool lights, locations as directed by the Architect. All electrical switches including Jandy panel shall be located in the house as directed by owner. Filter shall be a Jandy, CL-580 -Pro Series Cartridge filter. All pool and spa pumps shall be Jandy VS FloPro 2.7 HP Pumps or approved equal, High Performance pumps. A 399,000 BTU, Jandy propane or natural gas pool heater shall be installed. Salt chlorine generating system, sized to pool.

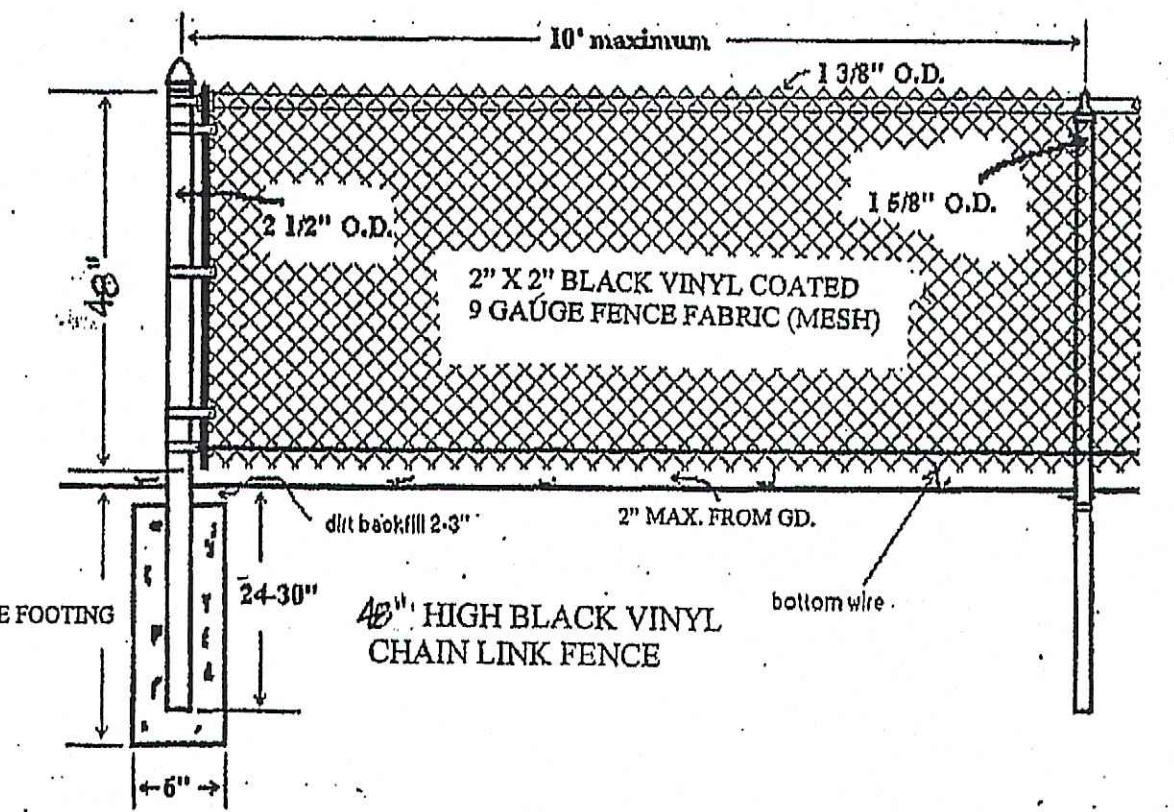
Eight (8) spa jets shall be installed in spa, installed to client requirements, two side wall intakes (not in floor), spa jets shall be connected to two (2), 2 HP full rated, Hayward spa jet pumps. One (1) spa air bubbler. A Jandy "Aqua Link" 8, automatic computer system, installed in the house. Spa wall coping shall match pool coping, except spa coping shall be finished on inside and outside edges, and be 10" wide. Entire spa coping is spillway. Pool water by owner. An automatic pool filter unit by Pool Miser in pool and "check Valve" by pool contractor as per code. One (1) JANDY "NICHELESS LED" underwater spa light. One Polaris 3900 Sport, with 3/4 HP pump, installed. Two GFI outlets at pool side, and one GFI at filter pad, by pool contractor. A spa side 4 function controller. A "Meyco Lite" mesh (green) winter safety swimming pool cover, installed, shall be included in the pool bid.

Installation of an automatic pool cover, by Cover Star, or approved equal, under coping tracks included, concrete cover box to be surfaced in stone to match pool coping, cover color to be selected by owner. Two anti-vortex 8" main drain with hydrostatic pressure valve in pool. All equipment shall be the latest models available and shall be approved by the architect. One each of the following: hand skimmer, wall brush, and manual cleaner unit with a 16' telescopic pole handle.

**TILE, PLASTER AND COPING:** Tile in pool and spa, shall be a single row of 6" x 6" frost-proof tile, as selected by owner from samples supplied by Landscape Architect and Pool Co. Tile grout color shall match pool plaster color "Diamond Brick - Watercolor series" interior finish. Coping shall be Italian Bluestone "Blue Lake" stone, a consistent 2" thick, and 14" wide. Thermal surface and be "Eased Edge" or "Rock Face" coping. Both shallow end corners shall be "L" units at shallow end, no miter or butt joints.

**OPTIONS:** Pool contractor shall provide options for the following:

- 1: Jandy 'App' installed for remote WIFI operation. WIFI connection by owner.
- 2: One (1) bronze or stainless-steel umbrella sleeve installed in sun shelf.
- 3: Removal of excavated material from the site.



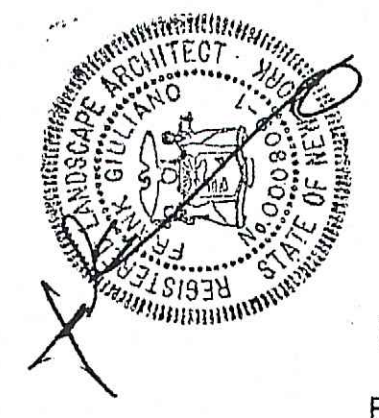
**ZONING CHART FOR POOL:**

ITEM	REQUIRED/PERMITTED	PROPOSED
R-1A ZONE		
LOT SIZE:	43,560	46,522 (existing)
REAR SETBACK:	40'	46'
SIDE SETBACK:	25'	66'
ROAD SETBACK:	50'	54'
FILTER:	50'	54'
GROSS LAND. COV.		
	10,046 SF	10,010 SF

**MASTER POOL PLAN**

WEISS RESIDENCE  
1 LEISURE FARM DRIVE  
ARMONK, NY 10504

SEC. 101.3 - BLOCK 2 - LOT 12  
FIRE AND AMB. DIS. #2  
Byram Central School District



ZONE: R-1A JANUARY 29, 2021  
LOT AREA: 46,522 SF - 1.068 ACRES!  
FRANK GIULIANO - LANDSCAPE ARCHITECTS  
8 PINE TREE DRIVE, KATONAH, N.Y. 10536  
PH: 914.954.4110 FGIARCH@AOL.COM

SURVEY BY:  
WELSH ENGINEERING AND LAND SURVEYING  
DATED: JANUARY 17, 2021