



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 5 SHIPPEN ROAD, ARMONK

### Section III- DESCRIPTION OF WORK:

NEW STONE TERRACE

### Section III- CONTACT INFORMATION:

APPLICANT: REBECCA LERNER

ADDRESS: 5 SHIPPEN ROAD, ARMONK

PHONE: \_\_\_\_\_ MOBILE: 917-538-1131 EMAIL: EYESMILES@GMAIL.COM

PROPERTY OWNER: REBECCA LERNER

ADDRESS: 5 SHIPPEN ROAD, ARMONK

PHONE: \_\_\_\_\_ MOBILE: 917-538-1131 EMAIL: EYESMILES@GMIAL.COM

PROFESSIONAL: NATHAN TUROFF, BFB ARCHITECT, PC

ADDRESS: 250 TENTH AVE.

PHONE: 212-924-9087 MOBILE: 917-553-9626

EMAIL: NATHAN@BFBARCHITECT.COM

### Section IV- PROPERTY INFORMATION:

Zone: R-1.5A Tax ID (lot designation) SECTION 107.04 BLOCK 2 LOT 51



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Rebecca Lerner Date: 07-13-22

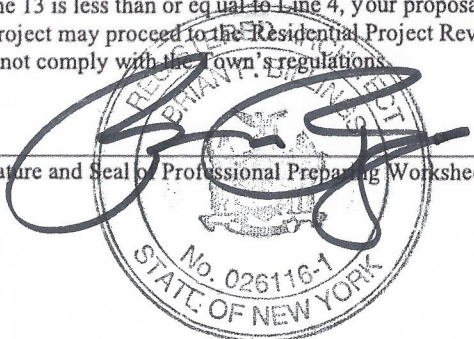
Tax Map Designation or Proposed Lot No.: Section 107.04 Block 2 Lot 51

Gross Lot Coverage

- |     |  |                         |
|-----|--|-------------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>65,473 SqFt</u>      |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):  | <u>11,322.44sq.ft.</u>  |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):   | <u>2,280</u>            |
|     | Distance principal home is beyond minimum front yard setback<br>$\frac{228}{10} = 2,280$   | <u>2,280</u>            |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3   | <u>13,602.44 sq.ft.</u> |
| 5.  | Amount of lot area covered by principal building:<br>$\frac{2,970}{\text{existing}} + \frac{0}{\text{proposed}} =$                   | <u>2,970</u>            |
| 6.  | Amount of lot area covered by accessory buildings:<br>$\frac{0}{\text{existing}} + \frac{0}{\text{proposed}} =$                      | <u>0</u>                |
| 7.  | Amount of lot area covered by decks:<br>$\frac{0}{\text{existing}} + \frac{0}{\text{proposed}} =$                                    | <u>0</u>                |
| 8.  | Amount of lot area covered by porches:<br>$\frac{0}{\text{existing}} + \frac{0}{\text{proposed}} =$                                  | <u>0</u>                |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br>$\frac{5,393}{\text{existing}} + \frac{0}{\text{proposed}} =$ | <u>5,393</u>            |
|     | DRIVEWAY= 5,030<br>FRONT WALK= 232<br>REAR WALK= 131   |                         |
| 10. | Amount of lot area covered by terraces:<br>$\frac{850}{\text{existing}} + \frac{540}{\text{proposed}} =$                             | <u>1,390</u>            |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br>$\frac{25}{\text{existing}} + \frac{0}{\text{proposed}} =$ | <u>25</u>               |
| 12. | Amount of lot area covered by all other structures:<br>$\frac{0}{\text{existing}} + \frac{0}{\text{proposed}} =$                     | <u>0</u>                |
| 13. | Proposed gross land coverage: Total of Lines 5 – 12 =  | <u>9,778 sq.ft.</u>     |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the town's regulations.

Signature and Seal of Professional Preparing Worksheet



7.13.22  
Date

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

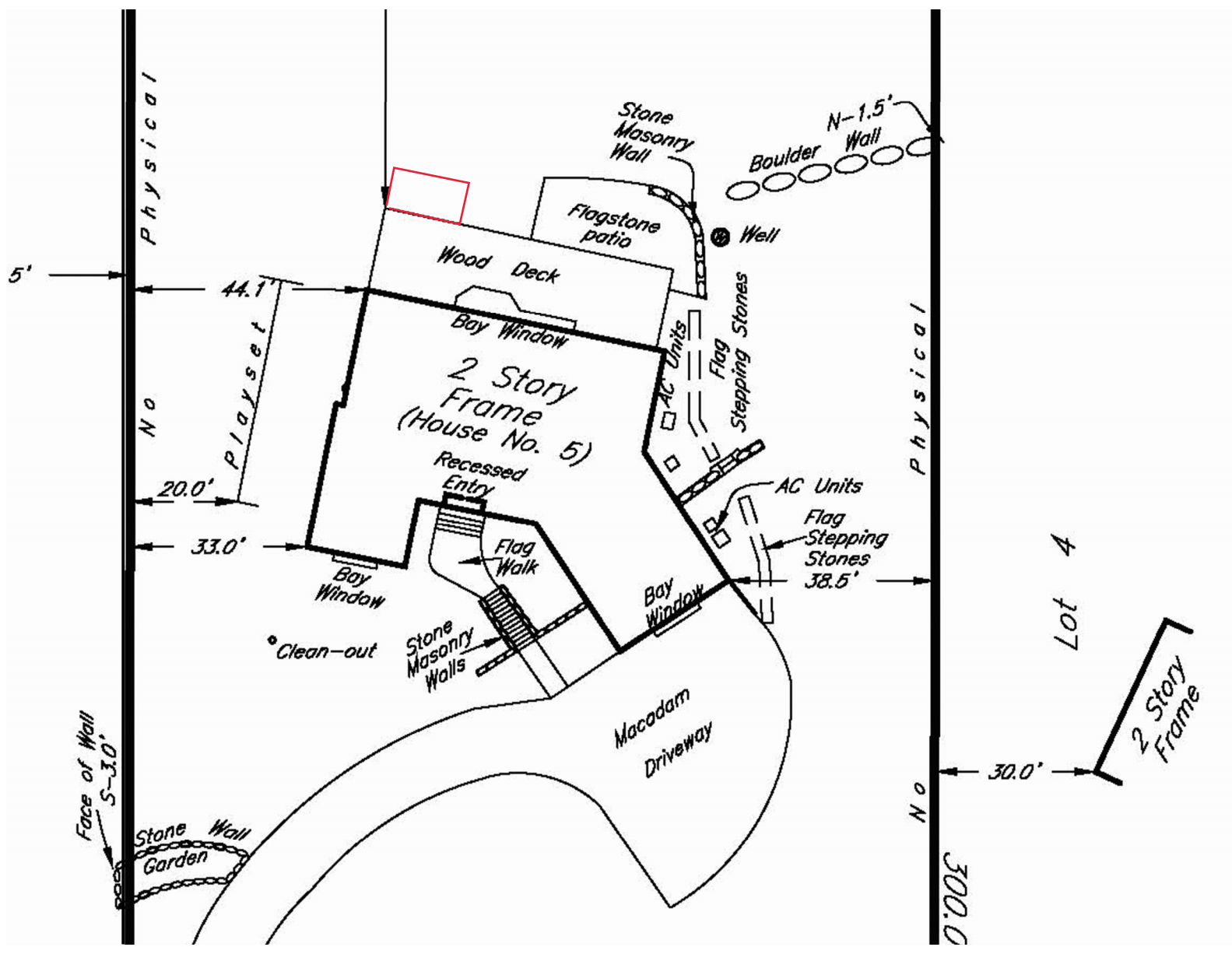
Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

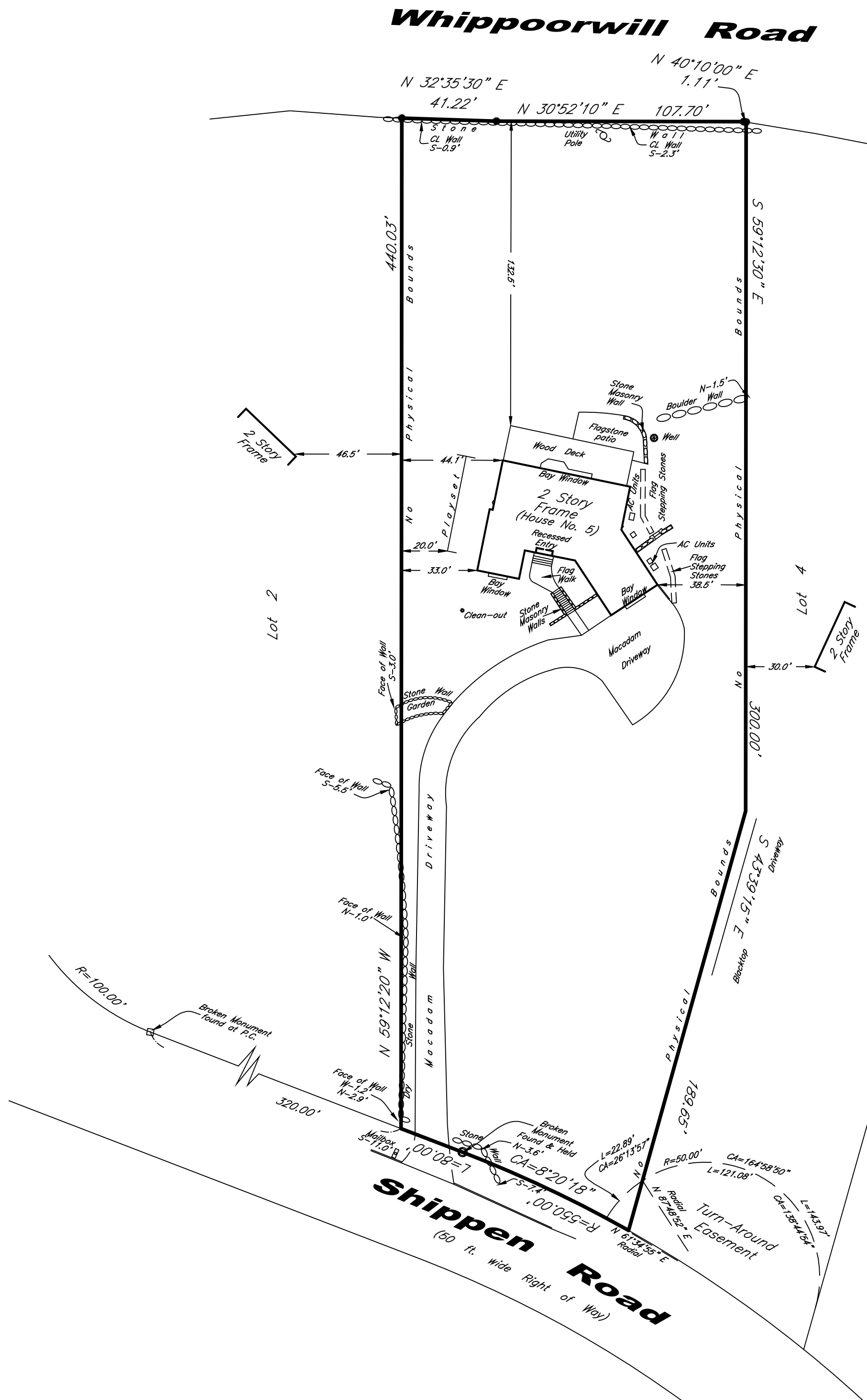
1 Acre = 43,560 sq.ft.  
 Lot = 65,473 sq.ft.  
 Excess of 1 acre =  
 65,473 - 43,560 = 21,916

= 9,350 + (.09 x 21,916)  
 = 9,350 + 1,972.44  
 = 11,322.44 sq.ft.

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.





Survey of Property  
prepared for  
**Rebecca Anne Lerner**  
in the Town of  
**North Castle**  
Westchester County, N.Y.  
Scale 1"=40'      June 15, 2021

Brought to date July 3, 2021.

The premises being Lot 3 as shown on a map entitled "Subdivision Map of Section No. 5, Whippoorwill Heights" dated August 20, 1976, last revised July 6, 1977 and filed May 5, 1978 as County Clerk Map No. 19475.

Certified to Record and Return Title Agency, Inc. Old Republic Title Insurance Company and Rebecca Anne Lerner.

Lot Area = 65,473 sq. ft. or 1.5031 acres

Subsurface structures and their encroachments, if any exist, are not shown hereon.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."

"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

Copyright (c) 2021 Ward Carpenter Engineers, Inc. All Rights Reserved.

*Ward Carpenter Engineers, Inc.*  
76 Mamaroneck Avenue  
White Plains, N.Y. 10601