

## TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

#### **RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION**

Section I- PROJECT

ADDRESS:\_\_\_\_\_

Section III- DESCRIPTION OF WORK:

#### Section III- CONTACT INFORMATION:

APPLICANT:			
ADDRESS:			
PHONE:	MOBILE:	EMAIL:	
PROPERTY OWNER:			
ADDRESS:			
PHONE:	MOBILE:	_EMAIL:	
PROFESSIONAL::			
ADDRESS:			
PHONE:	MOBILE:		
EMAIL:			
Section IV- PROPERTY INF	FORMATION:		
Zone:	Tax ID (lot designation)		



Town of North Castle Residential Project Review Committee 17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

#### **RPRC COMPLETENESS REVIEW FORM**

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

□Initi	ial Submittal Revised Preliminary
Street	Location:
Zonin	g District: Property Acreage: Tax Map Parcel ID:
Date:_	
DEPA	RTMENTAL USE ONLY
Date F	Filed: Staff Name:
Items	ninary Plan Completeness Review Checklist marked with a "[]" are complete, items left blank "[]" are incomplete and must be eted, "NA" means not applicable.
□1.	Plan prepared by a registered architect or professional engineer
<u></u> 2.	Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
□3.	Map showing the applicant's entire property and adjacent properties and streets
<b>4</b> .	A locator map at a convenient scale
<u></u> 5.	The proposed location, use and design of all buildings and structures
<u>6</u> 6.	Existing topography and proposed grade elevations
<b>7</b> .	Location of drives
8.	Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

#### **RPRC COMPLETENESS REVIEW FORM**

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- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- □12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <u>http://www.northcastleny.com/townhall.html</u>

On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



Town of North Castle Building Department

17 Bedford Road Armonk, New York 10504-1898 Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554 <u>www.northcastleny.com</u>

## **Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJEC	T ADDRESS:	DATE:
Section II - CONTA	ACT INFORMATION: (PI	ease print clearly. All information must be current.)
APPLICANT:		
ADDRESS:		
PHONE:	MOBILE:	EMAIL:
PROPERTY OWNER:		
ADDRESS:		
PHONE:	MOBILE:	EMAIL:

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

#### Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE:\_\_\_\_\_

#### PROPOSED RESIDENTIAL:

[ ] One Family Dwelling [ ] Two Family Dwelling [ ] Townhouse [ ] Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$\_\_\_\_\_

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

#### Town of North Castle Building Department

#### **Section V**- (Continued)

Ι	do he	ereby affirm and certify as follow	ws: (i) I am the architect/engineer
(circle one) licensed by	y the State of New York; (i	i) I have reviewed the plans, dra	awings and specifications for this appli-
cation and am fully far	miliar with the proposed c	onstruction; (iii) based on my ex	perience, I estimate the total cost of
construction including	all labor, all materials, al	l professional fees and all associ	ated costs to be approximately
\$	, and (iv) pursuant to Pe	enal Law 210.45, I acknowledge 1	that a false statement made knowingly is
a Class A misdemeanor	r.		
Signature:		Date:	
			Sign and Affix Seal Here
Section VI- CONT	ACT INFORMATION: (	Please print clearly. All information	must be current)
ARCHITECT/ ENG:			
ADDRESS:			
PHONE:	MO	BILE:	
EMAIL:			
CONTRACTOR:			
ADDRESS:			
PHONE:	MOBILE:	EMAIL:	
PLUMBER:			
ADDRESS:			
PHONE:	MOBILE:	EMAIL:	
ELECTRICIAN:			
PHONE:	MOBILE:	EMAIL:	

#### Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature:\_\_\_\_\_ Date:\_\_\_\_\_

### Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)
STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:
The applicant Nicholas L. Faustini Architect PC has proper consent from said owner to make this application as
submitted and said owner agrees to all terms and conditions placed upon same.
Owner's Name (PRINT) Monica Maloney Owner's Signature 1040 Holas
Owner's Name (PRINT)     MOINICA Maioney     Owner's Signature     (OVUCO )     OCCAL       Sworn to before me this     1     4ay of     0     22
Notary Signature Notary Public - State of New York Notary 2000 Notary Public - State of New York
Qualified in Westchester County My Commission Early's Strath BoHere
<b>OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE</b>
Zone: Section: Block: Lot:
Building Department Checklist:
Does this permit require RPRC approval? Yes No
GC License Work. Comp. Liability. Ins. Disability Two sets of documents
Permit Fee Payment: Check #: Cash Credit Card
Name on check:
Received By: Application No.:
BUILDING INSPECTOR APPROVAL
Has all the conditions of the RPRC been met? Yes NA
Is a Flood Development permit required? Yes No
Reviewed By: Date:
Building Inspector Approval: Date:
Conditions:

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TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### FLOOR AREA CALCULATIONS WORKSHEET

pplic	cation Name or Identifying Title:	5 HIDDEN OAK RD		Date: 05.19.22
ax M	fap Designation or Proposed Lot No.:	107.01-1-45		
oor	Area			
	Total Lot Area (Net Lot Area for L	ots Created Afte	er 12/13/06):	123,673 SF
	Maximum permitted floor area (pe	r Section 355-20	5.B(4));	11,584.12 SF
	Amount of floor area contained wit	hin first floor:		
	2091 SF existing + 484 SF	_ proposed =	81	2575 SF
	Amount of floor area contained wit	hin second floor	÷	
	718 SF existing + 0 SF	_ proposed =	-	718 SF
	Amount of floor area contained wit	hin garage:		
	$\frac{420 \text{sF}}{134 \text{sF}}$	_ proposed =	-	554 SF
	Amount of floor area contained wit	hin porches cap	able of being enclosed:	
	0 SF existing + 43 SF	_ proposed =	-	43 SF
	Amount of floor area contained wit		applicable - see definition):	
-	0.SF existing + 0.SF	_ proposed =	+	0 SF
	Amount of floor area contained wit		icable - see definition):	
	0 SF existing + 0 SF	_ proposed =	-	0 SF
	Amount of floor area contained wit	the second se	/ buildings:	
	0  sF existing + $0  sF$	_ proposed =	-	0 SF
D. Pro	o posed floor area: Total of Lines	$s_3 - 9 =$		3890 SF

If Line 10 is less than or equal to/Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

05.19.22 REGISTER Signature and Seal of Professional Preparing Worksheet Date ATEOFN



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PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

#### **GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Appli	cation Name or Identifying Title:	5 HIDDEN OAK RD	Date: 05.19.22
ax N	Map Designation or Proposed Lot No.:	107.01-1-45	
ross	Lot Coverage		
	Total lot Area (Net Lot Area for L	ots Created After 12/13/06):	123,673 SF
	Maximum permitted gross land co	overage (per Section 355-26.C(1)(b)):	16,011.48 SF
	BONUS maximum gross land cov	er (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond 32.7 x 10 =	minimum front yard setback	327 SF
	TOTAL Maximum Permitted gr	coss land coverage = Sum of lines 2 and 3	16,338.48 SF
	Amount of lot area covered by pri 2511 SF existing + 618 SF	ncipal building: proposed =	3129 SF
	Amount of lot area covered by acc <sup>0 SF</sup> existing + <sup>0 SF</sup>	essory buildings: _ proposed =	0 SF
	Amount of lot area covered by dec <sup>0 SF</sup> existing + <u>464 SF</u>	ks: _ proposed =	464 SF
	Amount of lot area covered by por 0 SF existing + 43 SF	rches: proposed =	43 SF
	Amount of lot area covered by dri 4420 SF existing + -200 SF	veway, parking areas and walkways: _ proposed =	4220 SF
0.	Amount of lot area covered by term	races: proposed =	0 SF
ı.	Amount of lot area covered by ten <u>16 SF</u> existing + <u>0 SF</u>	nis court, pool and mechanical equip: _ proposed =	16 SF
2.	Amount of lot area covered by all $0 \text{ sp}$ existing $+ 0 \text{ sp}$	other structures: proposed =	0 SF
	oposed gross land coverage: T		7872 SF
13. Pr If Line the produces r	0 SF existing + 0 SF oposed gross land coverage: 7	proposed = potal of Lines 5 – 12 = pur proposal <b>complies</b> with the <b>Town's maxim</b> project Review Committee for review IF Bihe s.	7872 SF

OF

## GENERAL NOTES

ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF NORTH CASTLE, NY BUILDING CODE AND ZONING ORDINANCES THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQMNTS, \$ THE BEST TRADE PRACTICES.

2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR OR ANY SUBCONTRACTOR(S) DOING ANY WORK UNDER THIS CONTRACT SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT, AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL & ASBESTOS REMOVAL PERMITS, IF SO REQUIRED BY OWNER. THE OWNER SHALL BE RESPONSIBLE FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION

3. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN MEASUREMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS

I. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS BY ALL AUTHORITIES AND/OR GOVERNMENTAL AGENCIES HAVING JURISDICTION ON THIS MATTER, AS MAY BE NECESSARY. 5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY

PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCEMENT OF WORK. 6. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL AND

DEPARTMENTAL LAWS, ORDINANCES, RULES AND REGULATIONS, NOTICES, ORDERS AND REQUIREMENTS. THE ARCHITECTURAL FIRM HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR SUPERVISION. ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN RETAINED FOR ASBESTOS INVESTIGATION. ARCHITECT IS NOT RESPONSIBLE FOR ANY KIND OF DESIGN & SPECIFICATIONS RELATED TO ASBESTOS PRESENCE

8. DAMAGED WORK: EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED TO ANY WORK ON THIS PROJECT BY HIS OWN FORCES OR THOSE OF HIS SUB-CONTRACTORS, OR BY OTHERS CONNECTED WITH HIS OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENT OF SUCH DAMAGED WORK AT HIS EXPENSE, TO THE REASONABLE SATISFACTION OF THE OWNER.

9. SAFETY REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE NECESSARY BRACING AND BARRICADES NCLUDING TEMPORARY WALKS, FENCES AND OTHER PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. IO. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: ELECTRICAL, PLUMBING, ETC. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR & OBTAIN INSPECTIONS AND REQ'D SIGN-OFFS. I. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED

OR PLUGGED 12. JOB MAINTENANCE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. CONTRACTORS WORKING UNDER SEPARATE CONTRACTS WILL COOPERATE IN THIS REQUIREMENT, BUT THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REQUIRED CLEANING AND MAINTAINING OF THE SITE.

A. WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED. B. PRIOR TO TURNING BUILDING OVER TO OWNER, REMAINING RUBBISH SHALL BE REMOVED, THE GROUND AREAS RAKED CLEAN AND THE ENTIRE BUILDING CLEANED AS SPECIFIED UNDER "CLEANING". 13. CLEANING: IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE SENERAL CONTRACTOR SHALL WASH AND CLEAN THE FOLLOWING:

A REMOVE TEMPORARY PROTECTION. B. REMOVE MARKS, STAINS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED WOODWORK.

C. REMOVE SPOTS, MORTAR, PLASTER, SOIL AND PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR WIPE CLEAN.

D. CLEAN FIXTURES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNDAMAGED NEW APPEARING CONDITION. E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MEG. RECOMMENDATIONS. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO UNIFORM SHEEN. G. CLEAN BOTH SIDES OF GLASS

GENERAL SPECIFICATIONS

#### SITE WORK

THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS.

A. REMOVE ALL BRUSH WITHIN CONTRACT AREA. B. REMOVE UNNECESSARY WALLS, FOUNDATIONS, CURBS, AS INDICATED ON PLANS.

C. EXCAVATION OF EARTH, ROCK, AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES AND SITE GRADING. D. MIN. 6" POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB.

E. FURNISHING AND PLACING SHORING AND BEARING REQUIRED AND REMOVAL OF SAME FROM SITE. F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED. UNDER NO CIRCUMSTANCES SHALL EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS. DIAGONAL SHORING AT INSIDE OF FOUNDATION WALLS SHALL BE PROVIDED @ 8'-O" O.C. PRIOR TO BACKFILLING. G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED

2. EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING LEARANCE AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PIERS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY BRACING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS & ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING. UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE.

3. BACKFILLING & GRADING: CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS. A. EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY, DEBRIS OR ORGANIC MATTER.

B. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, PUDDLED AND TAMPED OR ROLLED, SO AS TO PREVENT FUTURE SETTLEMENT. C. ENTIRE AREAS UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN

BRUSHED TRAP ROCK COMPACTED AND LEVELED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN. 4. UTILITY TRENCHES: ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED BELOW THE FROST LINE, MIN. 3' - 6".

5. SEEDING: LANDSCAPING IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSES. COST OF ANY DAMAGES TO BUILT STRUCTURES OR SITE STRUCTURES DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

#### CONCRETE & MASONRY

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.

2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PIERS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED. 3. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH COMBINATION EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 1/2" EXPANSION JOINT WITH BITUMINOUS FILLER. 4. CONCRETE SLAB SHALL BE PROVIDED WITH 6X6/IOXIO WELDED WIRE MESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE #4 RE-BARS 24"O.C. TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS

5. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE (2) & MILS. THICK, UNLESS OTHERWISE INDICATED ON DRAWINGS.

6. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN TRUE LEVEL PLANE, FLOATED AND TROWELED TO A HARD SMOOTH AND EVEN FINISH 7. ALL MASONRY UNITS SHALL BE OF THE SIZE INDICATED ON THE PLANS. NON-CORROSIVE DURO-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASONRY JOINTS & #4 VERTICAL REBARS @ 32" O.C OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS REINFORCING

6. CEMENT FOR MASONRY SHALL BE PORTLAND CEMENT CONFORMING TO ASTM DESIGNATION CI44 PASSING NO. 8 SIEVE, HYDRATED LIME SHALL CONFORM TO ASTM DESIGNATION C-6. 9. MORTAR FOR THE ENTIRE WORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME, I PART PORTLAND CEMENT, 1/4 PART HYDRATE LIME, AND 3 PARTS SAND. WATER / CEMENT RATIO SHALL BE 0.35 - 0.40 MAXIMUM.

#### <u>METALS</u>

STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A - 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDES STEEL BEAMS, STEEL PIPE COLUMNS, STEEL ANGLES, AND STEEL BEAMS USED AS HEADERS OVER DOORS AND WINDOWS.

#### MOOD & PLASTICS

ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. I AND 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRESS OF 900PSI

2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS 3. ALL PLYMOOD SHALL BE MIN. 1/2" "CDX" EXTERIOR GRADE FOR SIDING AND MIN. 5/8" "CDX" FOR ROOF DECKING, OR AS INDICATED ON PLANS.

4. ALL FRAMING LUMBER SHALL BE KILN DRIED.

5. ROOF TRUSSES WIDER THAN 24" O.C. SHALL HAVE 2" X 4" WOOD BLOCKING UNDER ALL PLYWOOD JOINTS (IF APPLICABLE) 6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE RAFTERS & CEILING JOISTS AROUND ALL SKYLIGHT

OPENINGS (IF APPLICABLE).

THERMAL & MOISTURE PROTECTION

INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUIDING CODE - LATEST EDITION. 2. EXTERIOR DOOR FRAMES, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CAULKED WITH NON- BITUMINOUS, NON-STAINING "MONO" MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

#### DOORS & WINDOWS

ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATING INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADDL INFO. 2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATING SHALL BE AS INDICATED ON PLANS

#### FINISHES

. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION, WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS. 2. MASONRY WALLS - SPLIT-RIB BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION. 3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSUM BOARD PANELS (THICKNESS - INDICATED ON PLANS) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A WASHABLE FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE, OR PER OWNER'S INSTRUCTIONS OVER CEMENT BOARD AS REQUIRED. ALL BATH GYPSUM BOARD SHALL BE MOISTURE RESISTANT TYPE.

#### ELECTRICAL

ALL ELECTRICAL WORK SHALL SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.

#### <u>PLUMBING</u>

ALL PLUMBING WORK SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLOG. DEPARTMENT, AND SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR. 2. HOUSE DRAIN AND SEWER LINE WILL BE CAST IRON PIPE OR AS REQUIRED BY LOCAL PLUMBING CODES. ALI BELOW GRADE WASTE PIPING TO BE EXTRA HEAVY CAST IRON WITH LEAD AND OAKUM JOINTS. 3. ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, W/95/5 SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND OF PROPER SIZE. PROVIDE (1) 3/4" HOSE BIB AS INDICATED ON PLANS. PROVIDE CHROME PLATED SHUT-OFF VALVES UNDER ALL FIXTURES. HOSE CONNECTIONS TO BE ANTI-FREEZE. 4. PROVIDE HOT AND COLD WATER LINES TO DISHWASHER. CLOTHES WASHER AND TO ALL OTHER FIXTURES. , PLUMBING FIXTURES ARE TO BE MEG. BY AMERICAN STANDARD, KOHLER OR EQUIVALENT, MODEL # TO BE SELECTED BY OWNER.

HEATING

#### HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS O° F WITH A 15 MPH WIND.

2. HEATING SYSTEM SHALL BE GAS FIRED (OIL IF GAS NOT AVAILABLE). HEATING SYSTEM SHALL HAVE A MIN. COMBUSTION EFFICIENCY OF 75% AT MAX. RATED OUTPUT. ALL HOT WATER PIPING SHALL RECEIVE MIN. I" OF PIPE INSULATION WHEN IN UNHEATED SPACES, IN ADDITION TO REGULAR BUILDING INSULATION. 3. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED. 4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #'S OF HEATING AND COOLING SYSTEMS, AND SHALL PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE ENERGY CODES.

# STEEL & CONCRETE DESIGN DATA

#### STEEL DESIGN DATA

STRUCTURAL STEEL: W SHAPES TUBE COLUMNS HIGH STRENGTH BOLTS: Shapes & plates WELDING ELECTRODES - SERIES: ANCHOR BOLTS:

ASTM A992 GR 50 ASTM - A500, GRADE B ASTM - A325 ASTM - A36 EIO FI554 (FY=36KSI)

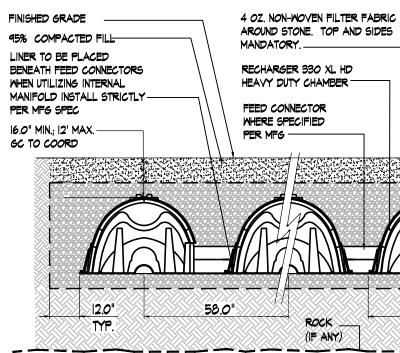
CONCRETE DESIGN DATA . ALL CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACIBIO-2005. 2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. 3. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE W/ ASTM A615, GRADE 60, ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI STANDARD 315. 4 CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE. 5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

BEAMS AND COLUMN TIES: 1 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER SLABS: 3/4".

FOOTINGS AND PADS POURED ON GROUND: 3".

6. DETAILING AND FABRICATION OF REINFORCING UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH ACI 315 LATEST EDITION

7. PLACING AND SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI. "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS AND ACI-313.



<u>STORM DRAINAGE CALCULATIONS:</u>

SURFACES CREATED 941 SF X 0.625 (50 YEAR RAIN EVENT 7.5") = 588.1 CU FT ;

PROPOSED (7) CULTEC 330 XL HD RECHARGER UNITS WITH 12" GRAVEL ABOVE \$ 12" BELOW CHAMBER AS WELL AS 12" GRAVEL BORDER; PROPOSED CHAMBER CAPACITY SHALL THEREFORE BE 674 CU.FT.

<u>CULTEC RECHARGER GENERAL NOTES</u> : RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS. ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



# 1-2 INCH DIA WASHED CRUSHED STONE 10.0" MIN., GC TO COORD REQ'D DEPTH

THIS PROJECT RESULTS IN THE CREATION OF IMPERVIOUS SURFACE AREAS OF 1363 SF IMPERVIOUS

# 5 HIDDEN OAK ROAD

GROSS FLOOR AREA SUMMARY	
EXISTING BASEMENT	85
PROP. BASEMENT ADDITION (NON HABITABLE)	57
TOTAL PROPOSED BASEMENT	143

*NOTE*: BASEMENT NOT COUNTED TOWARDS FLOOR AREA BASEMENT NOT CONSIDERED A STORY	AS
Existing first floor Proposed first floor addition Total proposed first floor	<u>484 S</u> ₹
EXISTING SECOND FLOOR	718 SF
EXISTING GARAGE PROPOSED GARAGE ADDITION PROPOSED GARAGE	134 SF
PROPOSED COVERED PORTICO	43 SF

TOTAL PROPOSED FLOOR AREA. .3890 SF

## SURVEY NOTE:

SURVEY INFORMATION TAKEN FROM SURVEY DATED NOVEMBER 28 2017 BY LINK LAND SURVEYORS P.C., MAHOPAC NY. TOPOGRAPHY INFORMATION OBTAINED FROM WESTCHESTER GIS MAP

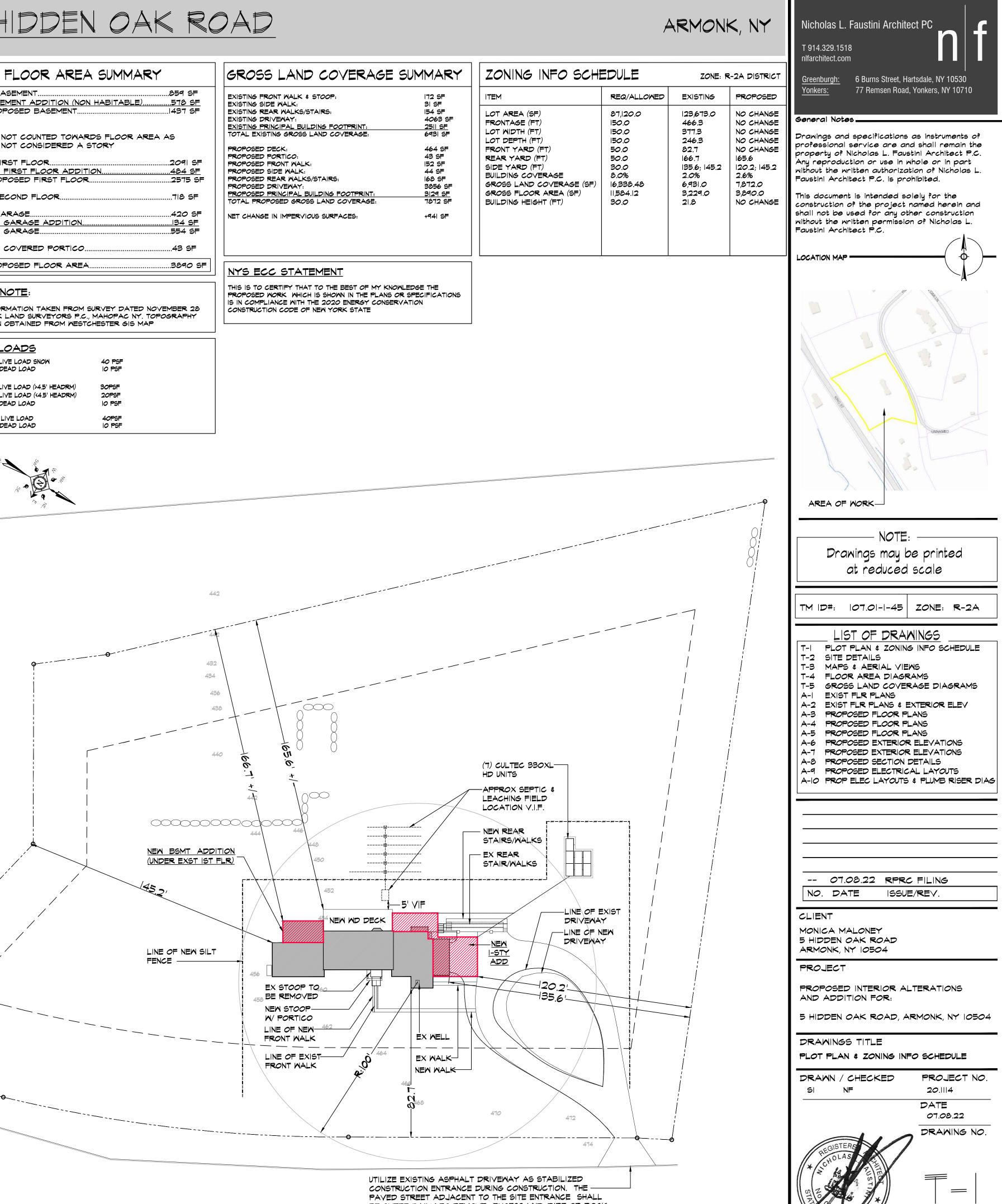
	LOADS		
<u>R00</u> F	LIVE LOAD SNOW DEAD LOAD	40 PSF 10 PSF	
ATTIC	LIVE LOAD (>4.5' HEADRM) LIVE LOAD (<4.5' HEADRM) DEAD LOAD	30PSF 20PSF 10 PSF	
<u>IST FLR</u>	LIVE LOAD DEAD LOAD	40PSF 10 PSF	

EXISTING PLOT PLAN



EXISTING FRONT WALK & STOOP:	172 SF
EXISTING SIDE WALK:	3i sf
EXISTING REAR WALKS/STAIRS:	154 SF
EXISTING DRIVEWAY:	4063 SF
EXISTING PRINCIPAL BUILDING FOOTPRINT:	2511 SF
TOTAL EXISTING GROSS LAND COVERAGE:	693  SF
PROPOSED DECK:	464 SF
PROPOSED PORTICO:	43 SF
PROPOSED FRONT WALK:	152 SF
PROPOSED SIDE WALK:	44 SF
PROPOSED REAR WALKS/STAIRS:	168 SF
PROPOSED DRIVEWAY:	3856 SF
PROPOSED PRINCIPAL BUILDING FOOTPRINT:	3129 SF
TOTAL PROPOSED GROSS LAND COVERAGE:	7872 SF
NET CHANGE IN IMPERVIOUS SURFACES:	+94  SF

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE

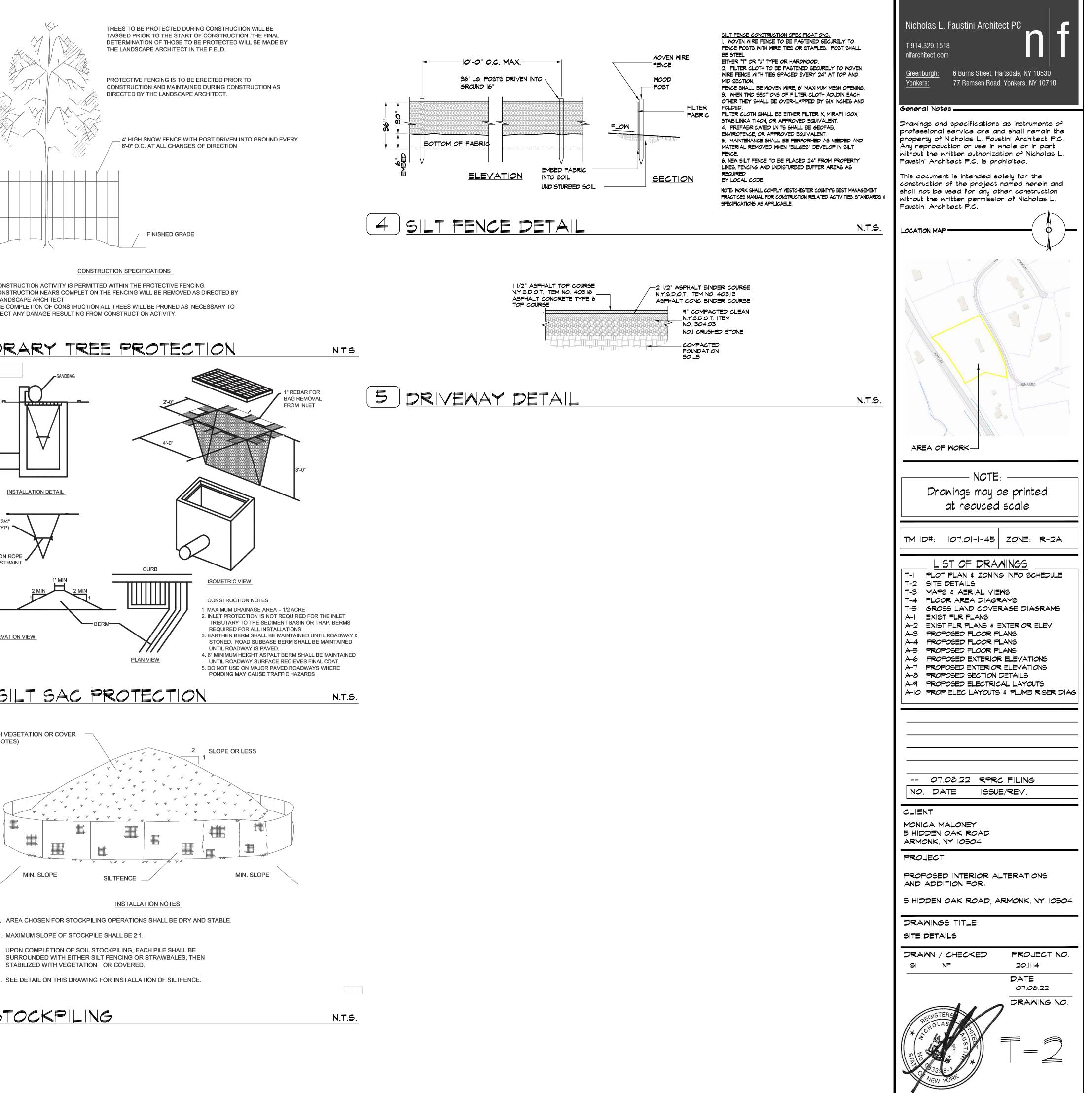


BE SWEPT DAILY TO REMOVE EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE

scale: |"=30'-0"

	RUCTIC	in se	XVEN								
. BEGIN EXCAV					TION, NEW F	rear a	DDITION, I	NEM F	OUNDATION UNDER	NEW MASTER	
2. INSTALL NEW	W FRONT STOOF FOUNDATION W NAGE STRUCTU	ALLS AS SHOM		NS.							
4. INSTALL SUB-	-BASE OF PROF Etion of grad	Posed Driven	AY ADDITI				RFACE.				
•	D AND MULCH A ES CONTAINED			5 500N A	s <b>pr</b> actio	CAL IN ,	ACCORDA	ANCE	WITH THE EROSION	AND SEDIMENT	
SOIL E	rosic	N & S	EDIN	1EN	T CC	NT	ROL	= \	IOTES		
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RECEIVE A TE SEASON PREV MATERIAL. TH	MPORARY SEEDIN /ENTS THE ESTABL E SEEDING WILL B	G. IF TOTAL SITE LISHMENT OF A TI E DONE IN ACCO	DISTURBAN( EMPORARY ( RDANCE WIT	CE EXCEED COVER, TH TH STANDA	S 5 ACRES, E DISTURBE RDS, AS FOL	THE 14 D D AREAS LOWS:	DAY PERIOD S WILL BE M	) SHAL ULCHE	L BE REDUCED TO 7 D D WITH STRAW, OR E	AYS. IF THE QUIVALENT	
B. SEE C. MUL	D: ANNUAL RYEĞR	ASS APPLIED AT STRAW MULCH A	THE RATE O	F 30 LBS./A	CRE, OR OT	HER SELI	ECT MIXTU	REDE	ING 5-10-10 OR EQUIVA SCRIBED IN THE STAN BE APPLIED AND ANC	DARDS.	
<ol> <li>ANY GRADED RECEIVE PERM</li> <li>CUT OR FILL S</li> <li>PAVED ROADW</li> </ol>	AREAS NOT SUBJE WANENT VEGETAT LOPES STEEPER T VAYS SHALL BE KE	ECT TO FURTHER IVE COVER IN ACC THAN 3:1 SHALL B EPT CLEAN AT ALL	CORDANCE \ E STABILIZEI L TIMES.	WITH THE L D IMMEDIA <sup>-</sup>	ANDSCAPE TELY AFTER	PLANS. GRADING	G.		10 DAYS OF FINAL GRA		
SEDIMENT CO 8. ALL STORM DF 9. CONSTRUCTIO	NTROL FACILITIES. RAINAGE OUTLETS DN FENCING SHALL	SHALL BE STABI BE USED TO PRO	LIZED, AS RE OTECT EXIST	QUIRED, B	EFORE THE S TO REMAIN	DISCHAR I, WETLA	RGE POINTS	BECO	DME OPERATIONAL. SENSITIVE AREAS.		
HYDRO-SEED 11. STORMWATER AREAS OR DIS 12. DUST CONTRO	OR OTHER MEANS FROM DISTURBEI CHARGED INTO IN DL - WATER SHALL	, TO THE SATISFA D AREAS MUST B ILETS OR OTHER BE APPLIED BY S	ACTION OF TH E PASSED TI DRAINAGE S SPRINKLER C	HE ENGINE HROUGH A YSTEMS. DR WATER	ER FOR ALL CONTROL E TRUCK DUR	AREAS D EVICE B	DENUDE OF EFORE BEIN DING OPER	VEGE NG DIS ATION:	CHARGED BEYOND DI	STURBED NT	1. NO CON 2. AS CON THE LAI 3. AT THE CORREC
STABILIZED. 13. THE CONTRAC RAINFALL OF ( 14. THE CONTRAC	CTOR SHALL INSPE ONE-HALF (1/2) INC CTOR SHALL REPA	CT THE EFFECTI H MAGNITUDE OF	VENESS AND R GREATER, DAMAGED ER	D CONDITIC PRIOR TO	N OF EROS	ON CON	TROL DEVIC	CES DU ECAST	E AS NEEDED UNTIL G IRING STORM EVENTS ED STORM. I NO CASE, MORE THA	, AFTER EACH	TEMPO
15.15. THE CONTE NECESSARY D	URING THE COUR	PREPARED TO IN SE OF CONSTRUC	MPLEMENT II CTION.						NTROL MEASURES AS		
CONTROL AND 17. ALL SOIL ERO	D DRAINAGE IMPRO SION AND SEDIMEI	OVEMENTS WITHI	N TWENTY F	OUR (24) H S SHALL B	OURS OF AN E MAINTAIN	IY IMPEN ED BY TH	IDING EMER	RGENC CTOR		NCE OF THE	
MAINTENANCE 18. THE CITY POTENTIAL FO	OF PERMANENT S OR ONSITE OR OFF	SOIL EROSION AN R THE NYSDEC O SITE EROSION PI	ND SEDIMEN <sup>-</sup> PR THE SITE E ROBLEMS TH	TATION CO ENGINEER IAT MAY O	NTROL MEAS MAY REQUE CCUR DURIN	SURES. ST ADDI G CONST	TIONAL MEA	SURE	S TO MINIMIZE THE		
EMULSIONS AN 20. THE CONTRAC	RE ACCEPTABLE S	UBJECT TO APPR RE TO THE SWPP	ROVAL OF TH PP REQUIREN	E ENGINEE	R. Ch limit dis	STURBAN	NCE TO 5 AC	CRESC	E MATTING OR SPRAY OR LESS. IF THE CONTI E AND A PLAN MUST B		
FOR APPROVA	L SHOWING SCHE	DULING AND STA	BILIZATION	MEASURES	TO BE PERF	ORMED.			E AND A PLAN MOST B		٢
	INSULAT	[NY] TAB ION AND FENESTR	LE N1102.1.2 ( ATION REQUIE		COMPONEN	a					
CLIMATE FENESTR ZONE U-FACT		GLAZED NESTRATION SHGC <sup>5, a</sup>		ALL WA		BASEMEN WALL <i>B</i> -VALU	R-VALUE	CRAV SPAC WAL R-VAL			
4 except						10.40					2" X 2" X 3/ RUBBER BLOCK (TYI
Marine 0.31	2 0.55	0.40 49	20 or 13 -	+ 5 <sup>h</sup> 8/1	3 19	10/13	10,2 ft	10/1	3		1/4" NYLON EXPANSION REST
For SI: 1 foot = 304.8 r	nm.										
insulation, the install b. The fenestration U-f	ums. U-factors and SHGG led R-value of the insulati actor column excludes sk	ion shall be not less that ylights. The SHGC col	n the <i>R</i> -value spe umn applies to al	cified in the ta l glazed fenest	ble. ation.				l l		
R-15 continuous ins with "15/19" shall be d. R-5 insulation shall	continuous insulation on ulation on the interior or e R-13 cavity insulation c be provided under the ful	exterior of the home o on the interior of the bas Il slab area of a heated :	r R-19 cavity ins sement wall plus slab in addition to	ulation on the R-5 continuous o the required	interior of the b insulation on th	asement wal e interior or	<ol> <li>Alternatively r exterior of the</li> </ol>	, compli home.	ance.		
table. The slab edge e. Reserved. f. Reserved.	insulation for heated slab	s shall not be required t	to extend below t	he slab.	F-200	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	na sa an		23		
h. The first value is ca continuous insulation	wity insulation, the seco	ond value is continuous	insulation. Ther	refore, as an e	xample, "13+5"	di m	6 at 5		a l		
GROUND SNOW LOAD	WIND DE		SEISMIC DESIGN		TO DAMAGE FROM	WI	INTER	E BARRIE ERLAYME		AIR MEAN EEZING ANNUAL	
30	(mph) 115	EFFECTS M	CATEGORY #	Severe	* LINE TERM DEPTH * 42" Very I		IN TEMP	EQUIRED Yey		DEX. TEMPT	
		3NQ2'		anual J Desi		eavy	10	169	165 150	2 or less 50	STABILIZE ENTIRE PILE WITH (SEE SEDIMENT CONTROL NO
Elevation 292	Latitude 41 8' 11"	Winter Heating	Summer	Cooling	gn Criterias Altitude Correction	Factor			Design Temperature Hea		
Cooling Temperature Difference	Wind Velocity Heating			Z	None		Indoor Design Temperature 72		Cooling 75	ting Temperature Difference	
121		Wind Velocity Cootin	rg Coinciden	7 t Wet Bulb 2	None Daily Range M	P	Temperature 72 Winter Humidit		75 Summer Humidity	Difference 60	
For SI: I pound per	square foot = 0.0479 k	Ray I milê pêr hour	ng Coinciden 7 = 0.447 m/s	2	Daily Rangi M		Temperature 72 Winter Humidif	à	75 Summer Humidify	Difference	
For SI: 1 pound per A. Where weath depth strengt "severe" for C34, C55, C6	l square foot = 0.0479 k ering requires a higher to required for weather concrete as det 2, <u>C73, 090</u> <u>C129</u> , <u>C</u>	Ra, I mile per hour r strength concrete or ring shall govern. Th ermined from Figu 145, C216 or C652	coinciden 7 = 0.447 m/s grade of mason e weathering ca re R301.2(4)	r Wet Buth 2 ry than nece olumn shall ). The gro	Daily Range M ssary to satisfy be filled in wi de of mass	the struch the the wee mry uni	Temperature 72 Winter Humidif - iral requiremu athering indep its shall b	y ents of t us "negl e def	75 Summer Humidity 	Difference 60	
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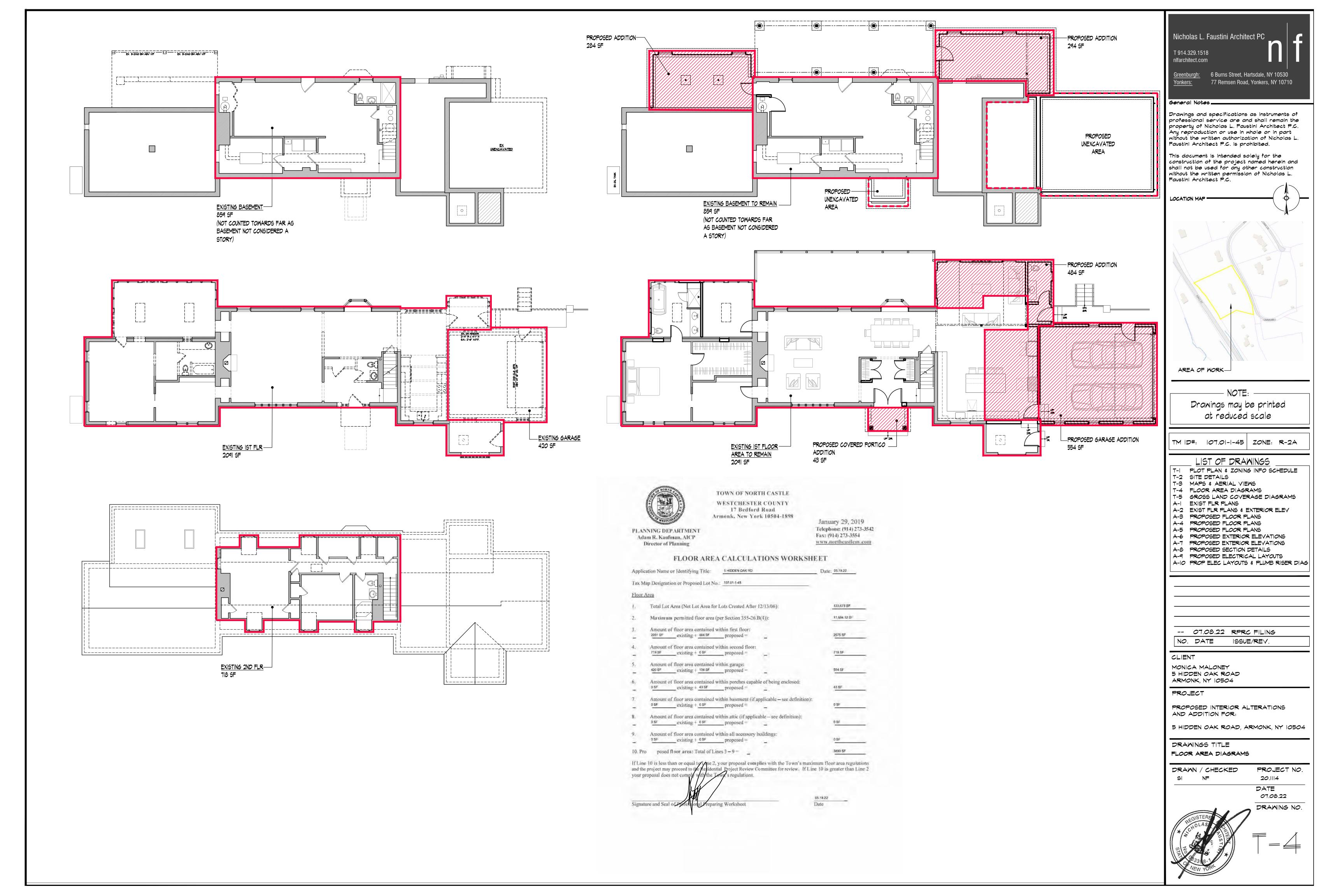
determined by the jurisdiction. O. [NY] The ground show loads to be used in determining the design snow loads for roofs are given in <u>Figure R301.2(6)</u> for sites at elevations up to 1,000 feet. Sites at elevations above 1,000 feet shall have their ground snow load increased from the mapped value by 2 psf for every 1,000 feet above 1,000



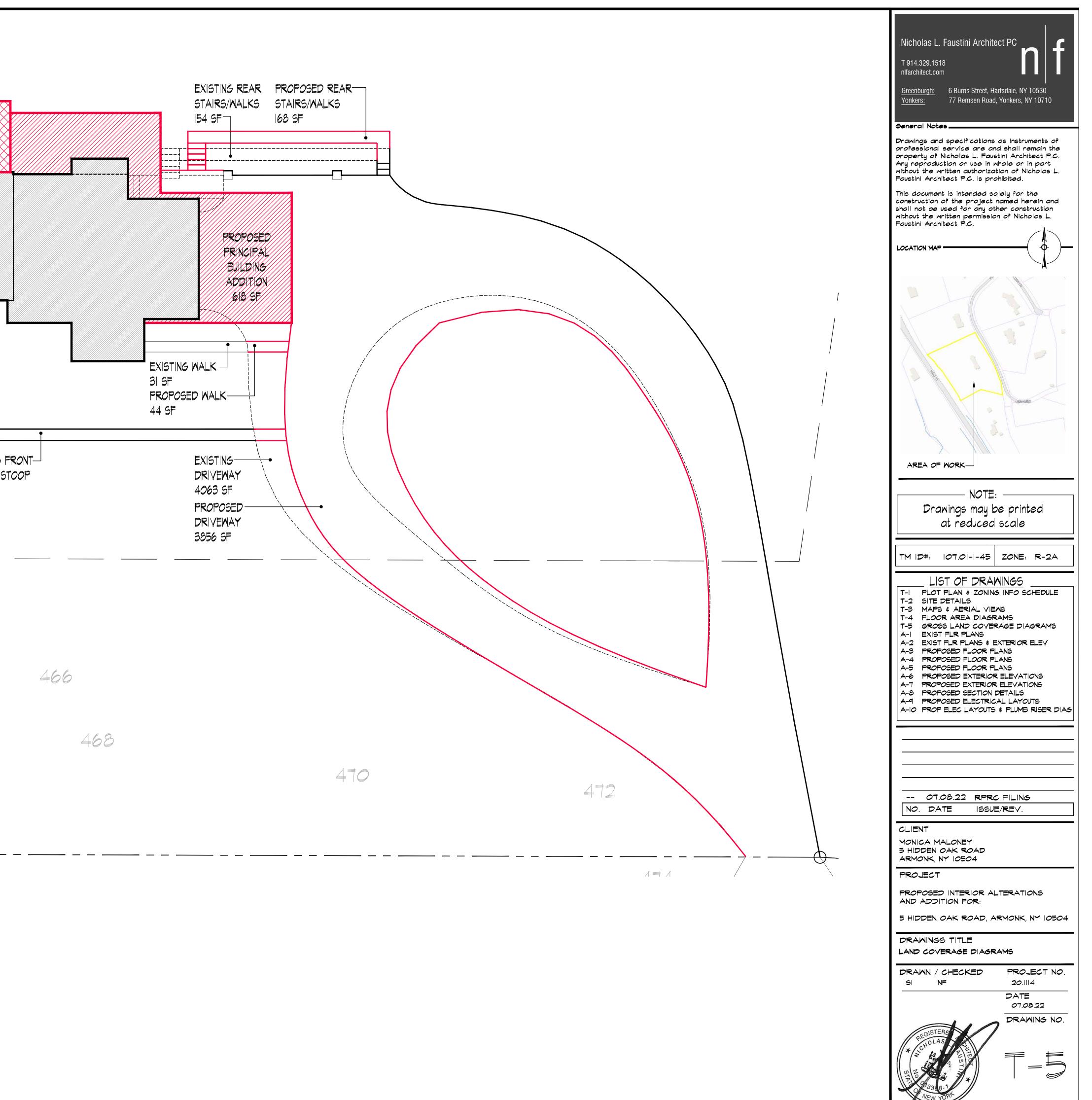


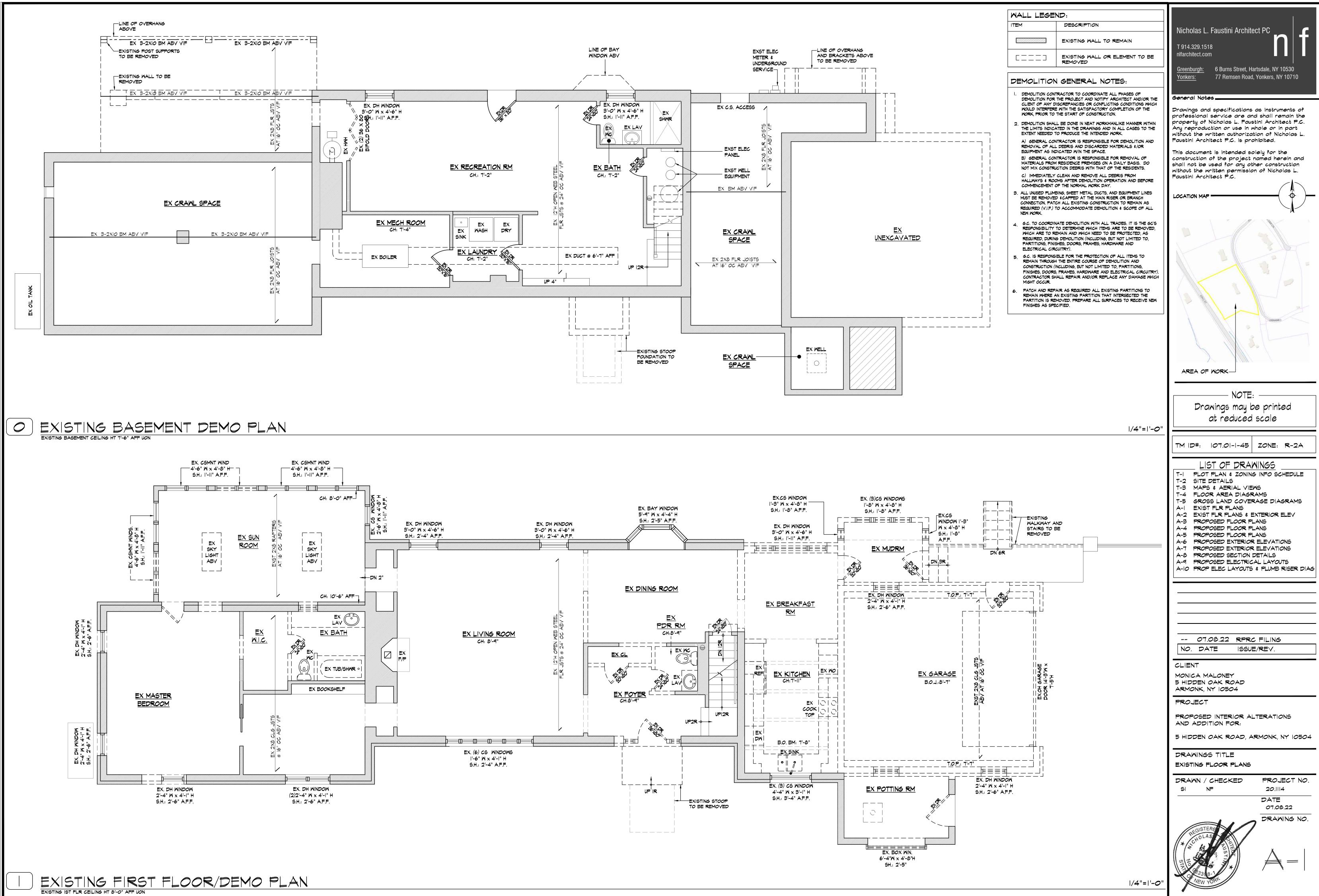
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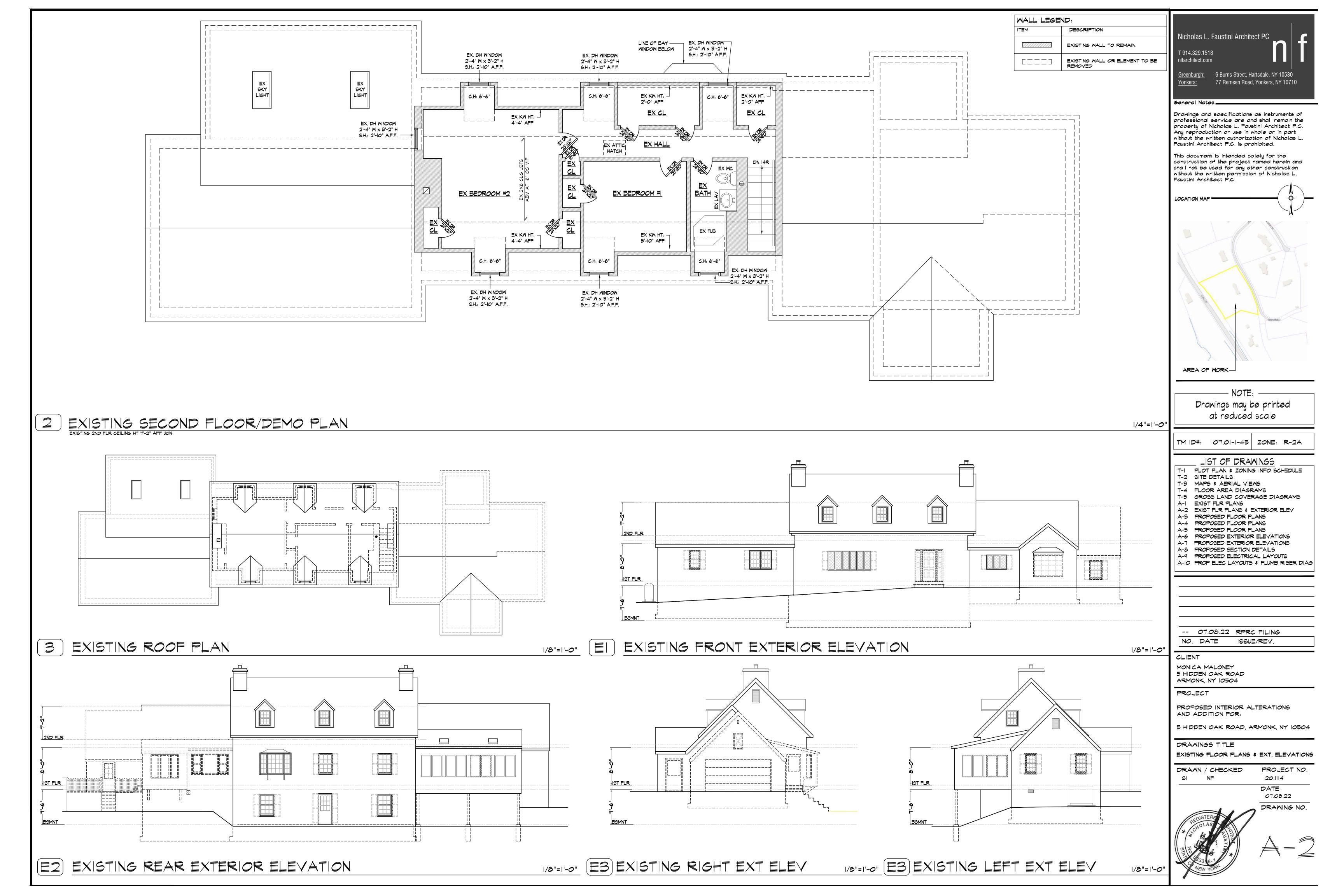
Nicholas L. Faustini Architect PC
T 914.329.1518 nlfarchitect.com
<u>Greenburgh:</u> 6 Burns Street, Hartsdale, NY 10530 <u>Yonkers:</u> 77 Remsen Road, Yonkers, NY 10710
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Faustini Architect P.C.
AREA OF WORK
NOTE:
Drawings may be printed at reduced scale
TM ID#: 107.01-1-45 ZONE: R-2A
LIST OF DRAWINGS T-I PLOT PLAN & ZONING INFO SCHEDULE T-2 SITE DETAILS T-3 MAPS & AERIAL VIEWS T-4 FLOOR AREA DIAGRAMS T-5 GROSS LAND COVERAGE DIAGRAMS A-1 EXIST FLR PLANS A-2 EXIST FLR PLANS & EXTERIOR ELEV A-3 PROPOSED FLOOR PLANS A-4 PROPOSED FLOOR PLANS A-5 PROPOSED FLOOR PLANS A-6 PROPOSED FLOOR PLANS A-7 PROPOSED FLOOR PLANS A-8 PROPOSED EXTERIOR ELEVATIONS A-9 PROPOSED SECTION DETAILS A-9 PROPOSED ELECTRICAL LAYOUTS A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG
07.08.22 RPRC FILING NO. DATE ISSUE/REV. CLIENT MONICA MALONEY 5 HIDDEN OAK ROAD ARMONK, NY 10504 PROJECT
PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR:
5 HIDDEN OAK ROAD, ARMONK, NY 10504 DRAWINGS TITLE
Dramings III Le Maps & Aerial Views
DRAWN / CHECKED PROJECT NO. SI NF 20.1114 DATE 07.08.22 DRAWING NO.
ALCHOLAS * ALCHOLAS SOLZ

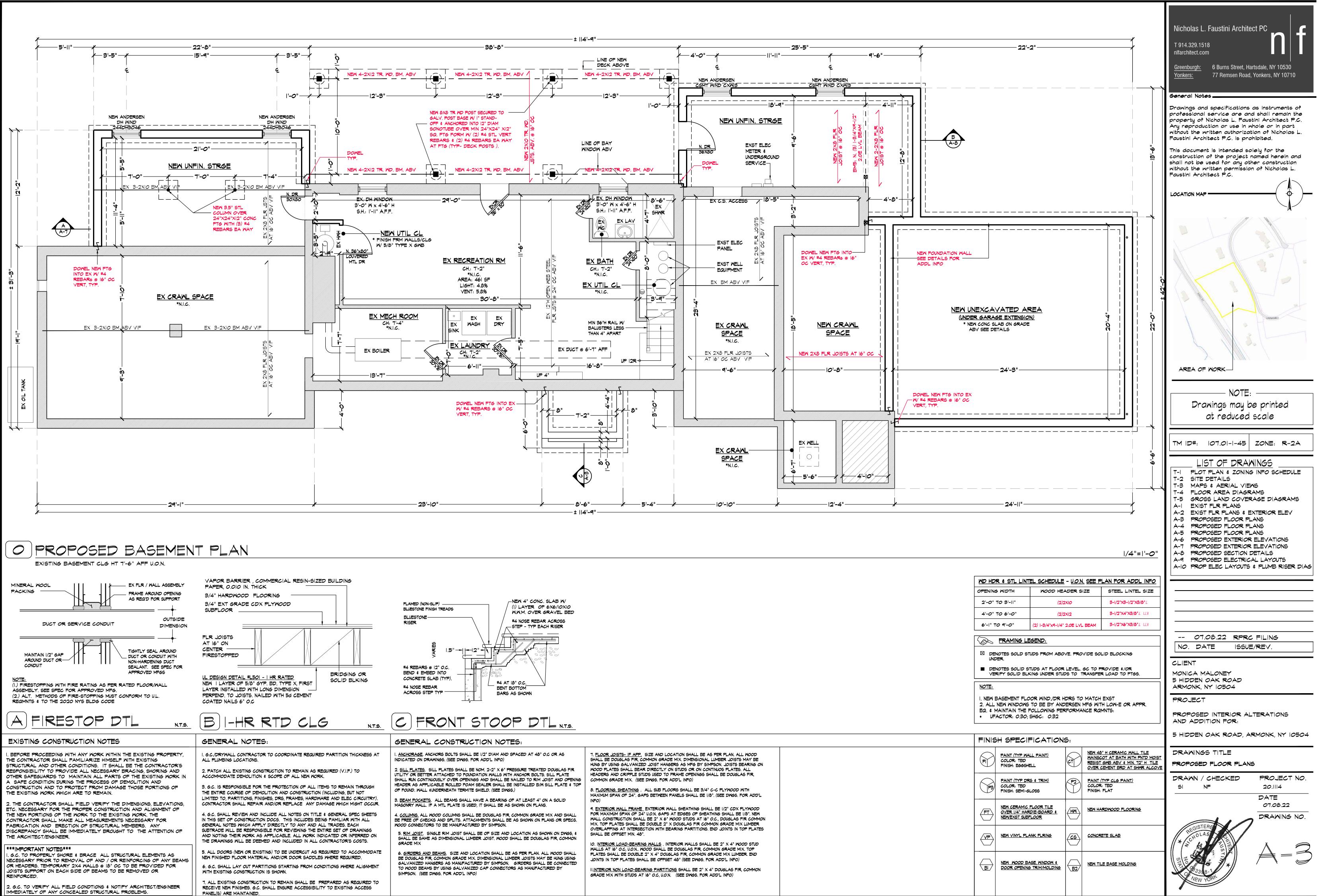


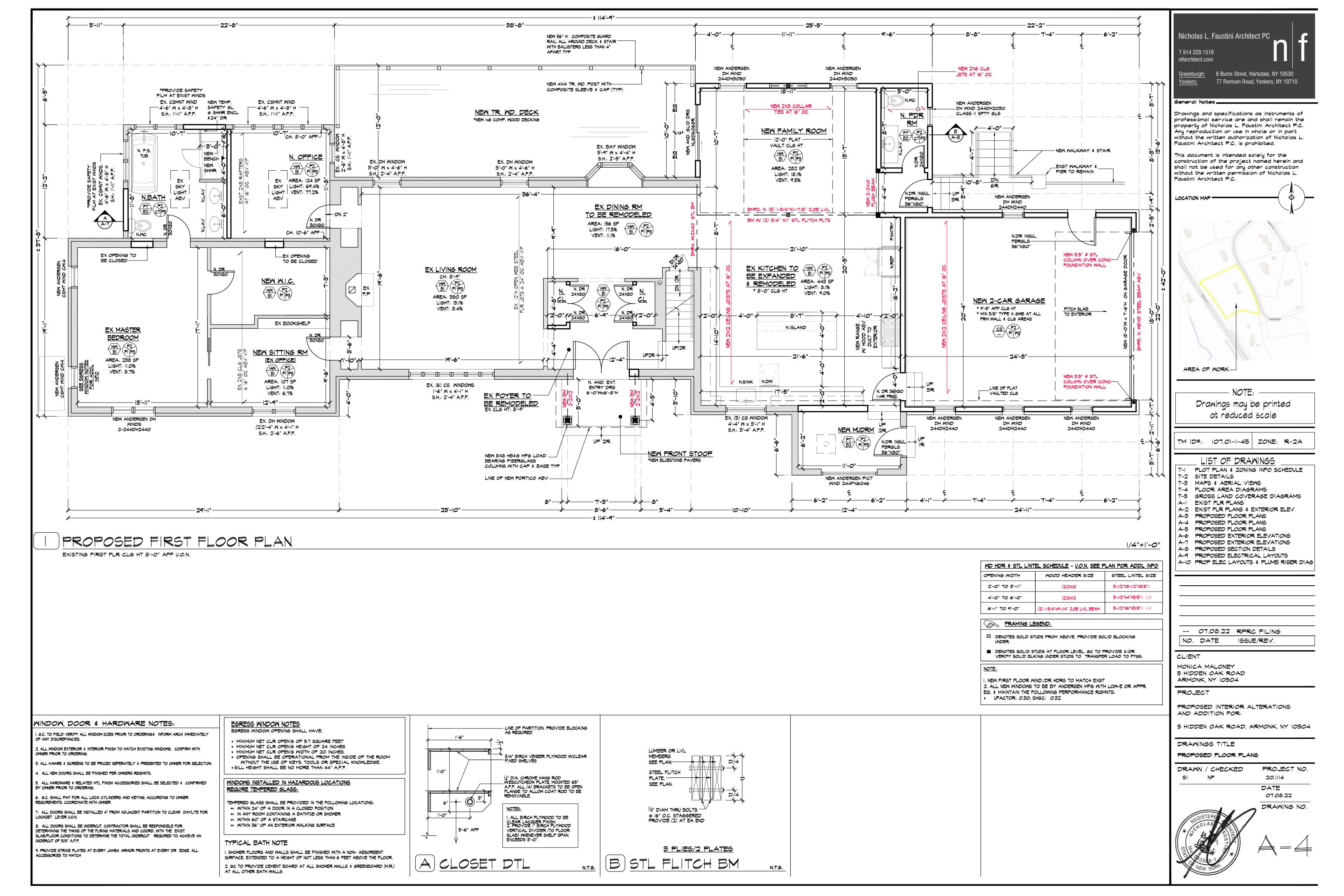
	4	PROPOSED DE ADDITION 464	$\langle \ \rangle \rangle \langle \ \rangle \rangle \rangle \rangle$
		EXISTING PRINC BUILDING FOOT 2511 SF	
PROPOSED FUEL TANK 16 SF	460	PROPOSED PORTICO ADDITION 43 SF NEW FRONT	
458		WALK 152 SF	EXIS
	462		172 :
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898	462		
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road	462 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastlenv.com		72 s 46
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898 PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning GROSS LAND COVERAGE CALCULATIONS	Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastlenv.com		
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898 PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning GROSS LAND COVERAGE CALCULATIONS Application Name or Identifying Title: 5 HIDDEN OAK RD	Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com		
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898 PLANNING DEPARTMENT Adam R. Kaufinan, AICP Director of Planning GROSS LAND COVERAGE CALCULATIONS Application Name or Identifying Title: 5HDDEN OAK RD Tax Map Designation or Proposed Lot No.: 107.03-145 Gross Lot Coverage	Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastlenv.com		
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898 PLANNING DEPARTMENT Adam R. Kaufinan, AICP Director of Planning GROSS LAND COVERAGE CALCULATIONS Application Name or Identifying Title: <u>5HIDDEN OAK RD</u> Tax Map Designation or Proposed Lot No.: <u>107.01-145</u> Gross Lot Coverage 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06):	Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com		
TOWN OF NORTH CASTLE WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898 PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning <b>GROSS LAND COVERAGE CALCULATIONS</b> Application Name or Identifying Title: <u>5HIDDEN OAK RD</u> Tax Map Designation or Proposed Lot No.: <u>107.01-145</u> Gross Lot Coverage 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastleny.com         WORKSHEET         Date: 05.19.22		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 Bedford Road         Armonk, New York 10504-1898         PLANNING DEPARTMENT         Adam R. Kaufman, AICP         Director of Planning         CROSS LAND COVERAGE CALCULATIONS         Application Name or Identifying Title:         5HDDEN OAK RD         Tax Map Designation or Proposed Lot No.:         107.01-145         Gross Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):         2.       Maximum permitted gross land cover (per Section 355-26.C(1)(b)):         3.       BONUS maximum gross land cover (per Section 355-26.C(1)(b)):         Distance principal home is beyond minimum front yard setback         327       x 10 =	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastleny.com         WORKSHEET         Date: 05.19.22		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 Bedford Road         Armonk, New York 10504-1898         PLANNING DEPARTMENT         Adam R. Kaufman, AICP         Director of Planning         GROSS LAND COVERAGE CALCULATIONS V         Application Name or Identifying Title:         5 HIDDEN OAK RD         Tax Map Designation or Proposed Lot No.:         10705 Lot Coverage         A Total lot Area (Net Lot Area for Lots Created After 12/13/06):         A maximum permitted gross land cover (per Section 355-26.C(1)(b)):         Distance principal home is beyond minimum front yard setback         3.7         A TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         A mount of lot area covered by principal building:	Telephone: (914) 273-3542   Fax: (914) 273-3554   www.northcastlenv.com   WORKSHEET   Date: 05.19.22     123,873.8F     16.01148.3F		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 BedIord Road         Armonk, New York 10504-1898         PLANNING DEP ARTMENT         Adam R. Kaufman, AICP         Director of Planning         CROSS LAND COVERAGE CALCULATIONS V         Application Name or Identifying Title: 5HDDEN OAKBD         TAX Map Designation or Proposed Lot No.: 107.01-149         Gross Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):         2.       Maximum permitted gross land cover (per Section 355-26.C(1)(b)):         3.       BONUS maximum gross land cover (per Section 355-26.C(1)(b)):         3.       Distance principal home is beyond minimum front yard setback         32.7       x 10 =         4.       TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         5.       Amount of lot area covered by principal building:         20118 <sup>±</sup> existing + 618.8 <sup>±</sup> proposed =         5.       Amount of lot area covered by accessory buildings:	Telephone: (914) 273-3542   Fax: (914) 273-3554   www.northcastlenv.com		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 Bedford Road         Armonk, New York 10504-1898         PLANNING DEP ARTMENT         Adam R. Kaufman, AICP         Director of Planning         GROSS LAND COVERAGE CALCULATIONS V         Application Name or Identifying Title:         5HDDEN COMERD         Tax Map Designation or Proposed Lot No.:         107.051-145         Gross Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):       2.         2.       Maximum permitted gross land cover (per Section 355-26.C(1)(b)):       327         3.       BONU'S maximum gross land cover (per Section 355-26.C(1)(b)):       327         Distance principal home is beyond minimum front yard setback         27         A mount of lot area covered by principal huilding:         20118 <sup>#</sup> Amount of lot area covered by principal huildings:         20118 <sup>#</sup> Amount of lot area covered by accessory buildings:         20118 <sup>#</sup> Amount of lot area covered by decks:	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastlenv.com         WORKSHEET         Date: 05.19.22         123,873 SF         16,01148 3F         327 SF         16,338 48 SF         3128 SF         3128 SF         3128 SF		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898         PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning         GROSS LAND COVERAGE CALCULATIONS 7         Application Name or Identifying Title: 5HDDEN OAK RD         Tax Map Designation or Proposed Lot No.: 107.09-146         Gross Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):         2.       Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):         3.       BONU'S maximum gross land cover (per Section 355-26.C(1)(b)):         3.       BONU'S maximum gross land cover (per Section 355-26.C(1)(b)):         3.       BONU'S maximum Permitted gross land coverage = Sum of lines 2 and 3         5.       Amount of lot area covered by principal building: 2013 #	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastlenv.com         WORKSHEET         Date: 05.19.22         123.873 SF         16.01148 3F         327 SF         16.338 48 SF         3129 SF         0 SF         0 SF         464 SF		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 Bedford Road         Armonk, New York 10504-1898         PLANNING DEP ARTMENT         Adam R. Kaufman, AICP         Director of Planning         GROSS LAND COVERAGE CALCULATIONS V         Application Name or Identifying Title:         5 MIDDEN OAK RD         Tax Map Designation or Proposed Lot No.:         1017.000         Total lot Area (Net Lot Area for Lots Created After 12/13/06):         Distance principal home is beyond minimum front yard setback         827         A TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         S. Amount of lot area covered by principal building:         28118F         existing + <u>088F</u> proposed =         A mount of lot area covered by accessory buildings:         28F         28F         28F         Proposed =         Amount of lot area covered by decks:         28F         28F         28F	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastlenv.com         WORKSHEET         Date: 051822         16,01148 3F         16,01148 3F         327 8F         16,01148 3F         327 8F         16,338 48 8F         3129 8F         0 5F         464 5F         453 5F		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY         17 BedTord Road         Amount, New York 10504-1898         PLANNING DEPARTMENT         Addam R. Kaufman, AICP         Director of Planning         CAROSS LAND COVERAGE CALCULATIONS         Application Name or Identifying Title:         19400EN OAK RD         Tax Map Designation or Proposed Lot No:         107.04145         Gross Lot Coverage         Const Lot Area (Net Lot Area for Lots Created After 12/13/06):         2.         Advance principal hour is beyond minimum front yard setback         2.       Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):         Distance principal hour is beyond minimum front yard setback         2.       A TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         5.         Amount of lot area covered by principal building:         28F         28F         28F         6.         A nount of lot area covered by decks:         28F         28F	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastlenv.com         WORKSHEET         Date: 05:1922         123,873 SF         16,01148 3F         327 8F         16,01148 3F         327 8F         16,03148 3F         3128 SF         3128 SF         464 8F         43 SF         4320 SF		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898         PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning         GROSS LAND COVERAGE CALCULATIONS VARD         Application Name or Identifying Title: 5HDDENOAKRD         Total lot Area (Net Lot Area for Lots Created After 12/13/06):         Corest Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):         2.       Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):         2.       Distance principal home is beyond minimum front yard setback         26.7       x 10 =         4.       TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         5.       Amount of lot area covered by principal building: 2015F existing + 84.85F proposed =         6.       Amount of lot area covered by decks: 95F existing + 95F proposed =         7.       Amount of lot area covered by decks: 95F existing + 44.95F proposed =         8.       Amount of lot area covered by deriveway, parking areas and walkways: 44005F existing + 959 proposed =         9.       Amount of lot area covered by driveway, parking areas and walkways: 4405F existing + 959 proposed =         9.       Amount of lot area covered by driveway, parking areas and walkways: 4405F existing + 959 proposed = </td <td>Telephone: (914) 273-3542         Fax: (914) 273-35542         Year         WWW.northcastlenv.com         WORKSHEET         Date: 051922         123,873 SF         16,00148 SF         327 SF         16,00148 SF         327 SF         16,308 48 SF         3128 SF         0 SF         484 SF         423 SF         423 SF         0 SF         423 SF         0 SF         420 SF         0 SF         420 SF         0 SF</td> <td></td> <td></td>	Telephone: (914) 273-3542         Fax: (914) 273-35542         Year         WWW.northcastlenv.com         WORKSHEET         Date: 051922         123,873 SF         16,00148 SF         327 SF         16,00148 SF         327 SF         16,308 48 SF         3128 SF         0 SF         484 SF         423 SF         423 SF         0 SF         423 SF         0 SF         420 SF         0 SF         420 SF         0 SF		
TOWN OF NORTH CASTLE         WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898         PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning         GROSS LAND COVERAGE CALCULATIONS V         Application Name or Identifying Title: 5HDDEN OAK RD         Tax Map Designation or Proposed Lot No: 10104145         Gross Lot Coverage         1.       Total lot Area (Net Lot Area for Lots Created After 12/13/06):         2.       Marsinuum permitted gross land coverage (per Section 355-26.C(1)(b)):         Distance principal home is beyond minimum front yard setback       27         27       x 10 =         4.       TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3         5.       Amount of lot area covered by principal building: 20119F         20119F       existing + 058F       proposed =         6.       Amount of lot area covered by accessory buildings: 058F       058F         058F       existing + 058F       proposed =         8.       Amount of lot area covered by perches: 058F       058F         058F       existing + 4539F       proposed =         0.       Amount of lot area covered by deriverva, parking areas and walkways: 44235F       existing + 2039F         0.8       Amount of lot area covered by driverva	Telephone: (914) 273-3542         Fax: (914) 273-3554         www.northcastlenv.com         WORKSHEET         Date: 05:1922         123,873 SF         16,01148 3F         327 8F         16,01148 3F         327 8F         16,03148 3F         3128 SF         3128 SF         464 8F         43 SF         4320 SF		

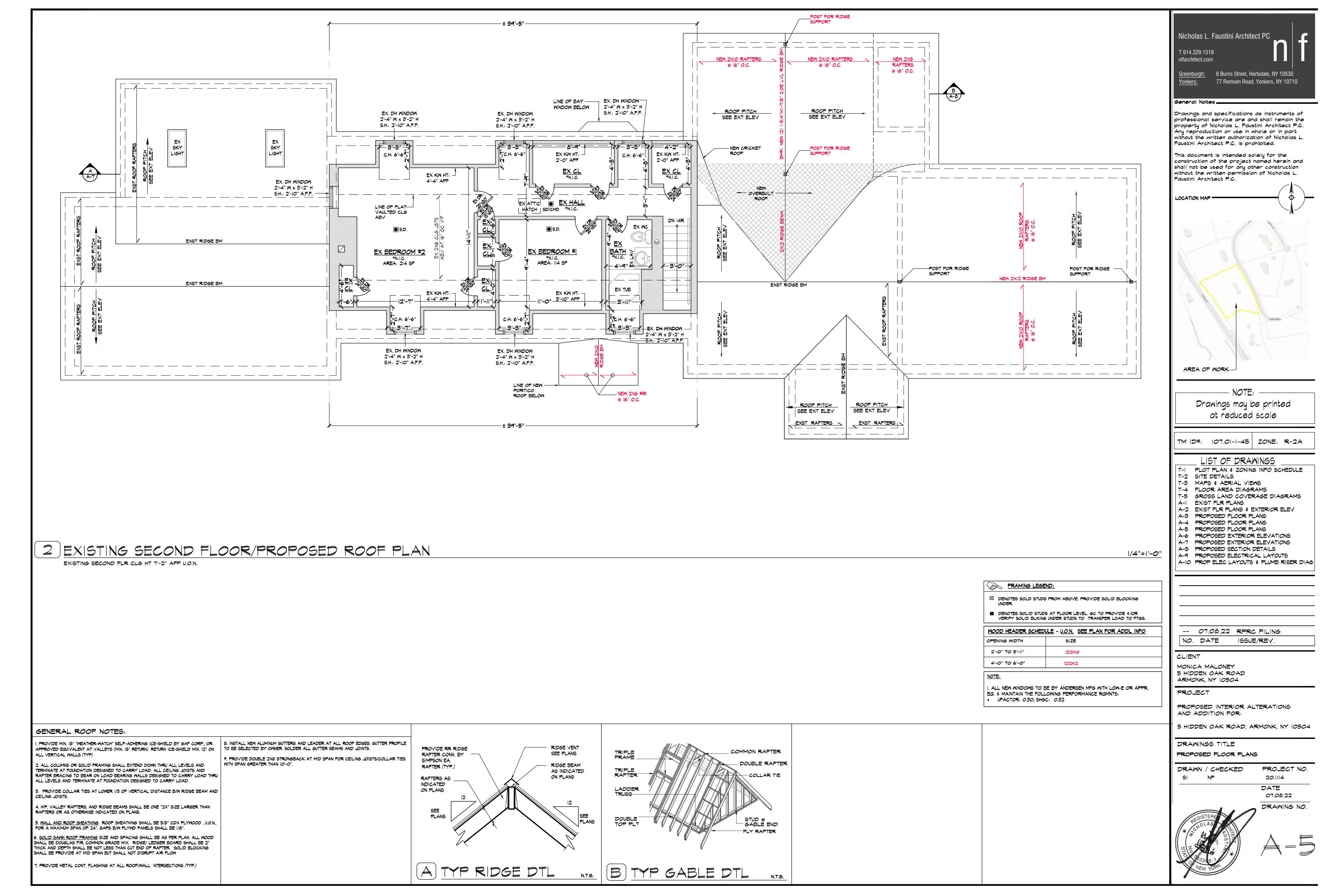






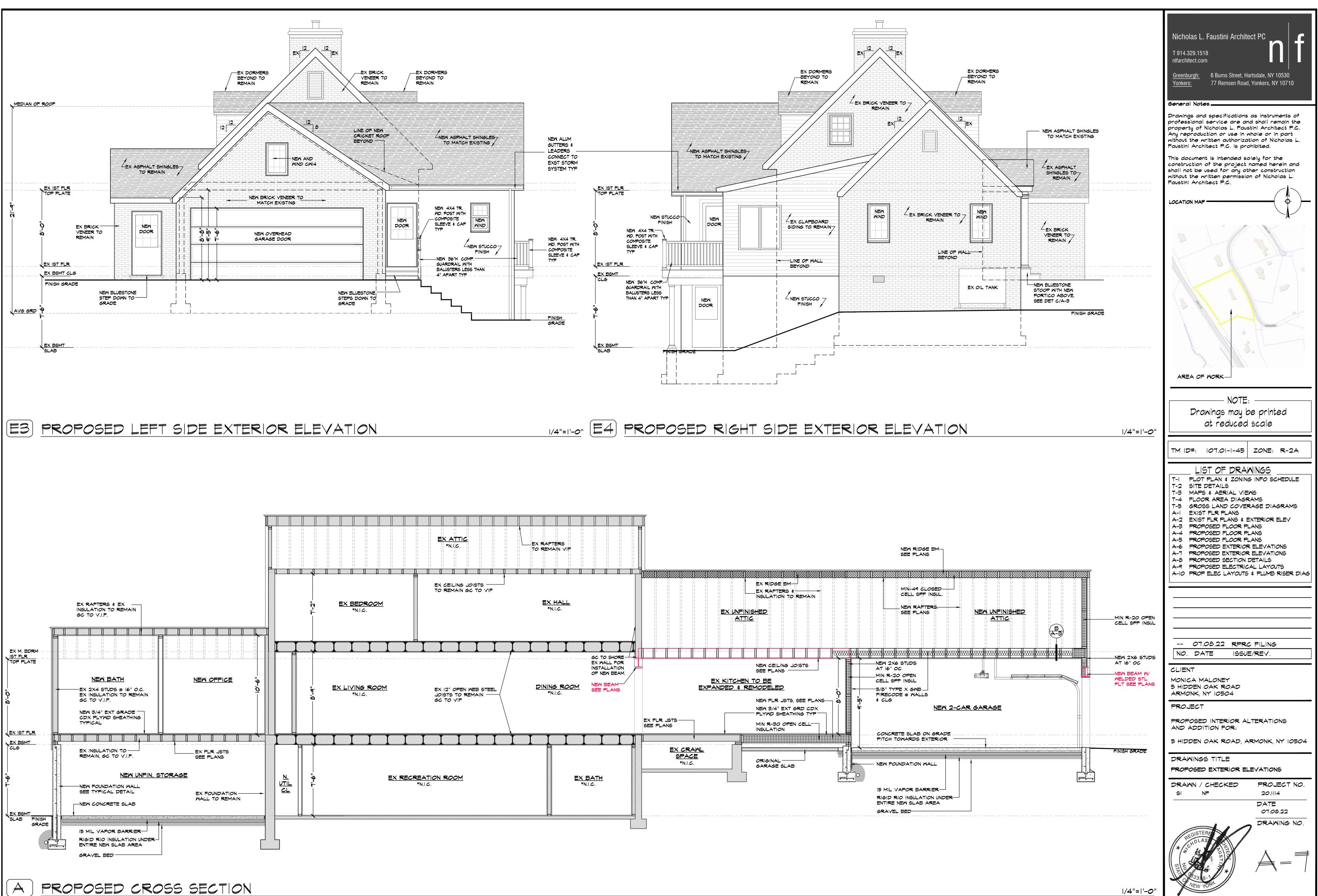


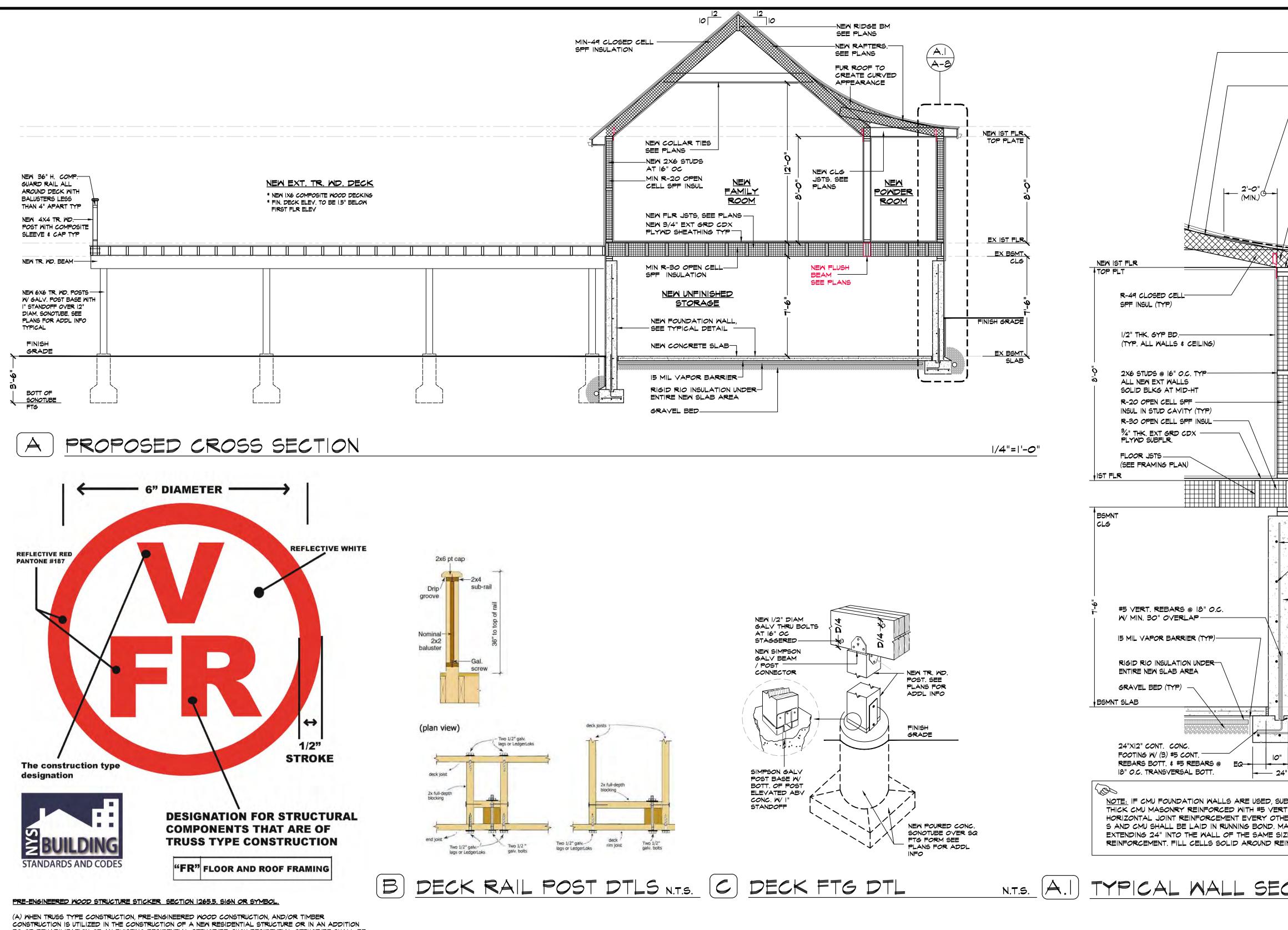






EX ASPHALT SHINGLES TO P	REMAIN EX EX	
NEW 36"H COMP. GUARD RAIL ALL AROUND DECK WITH BALUSTERS LESS THAN 4" APART TYP		



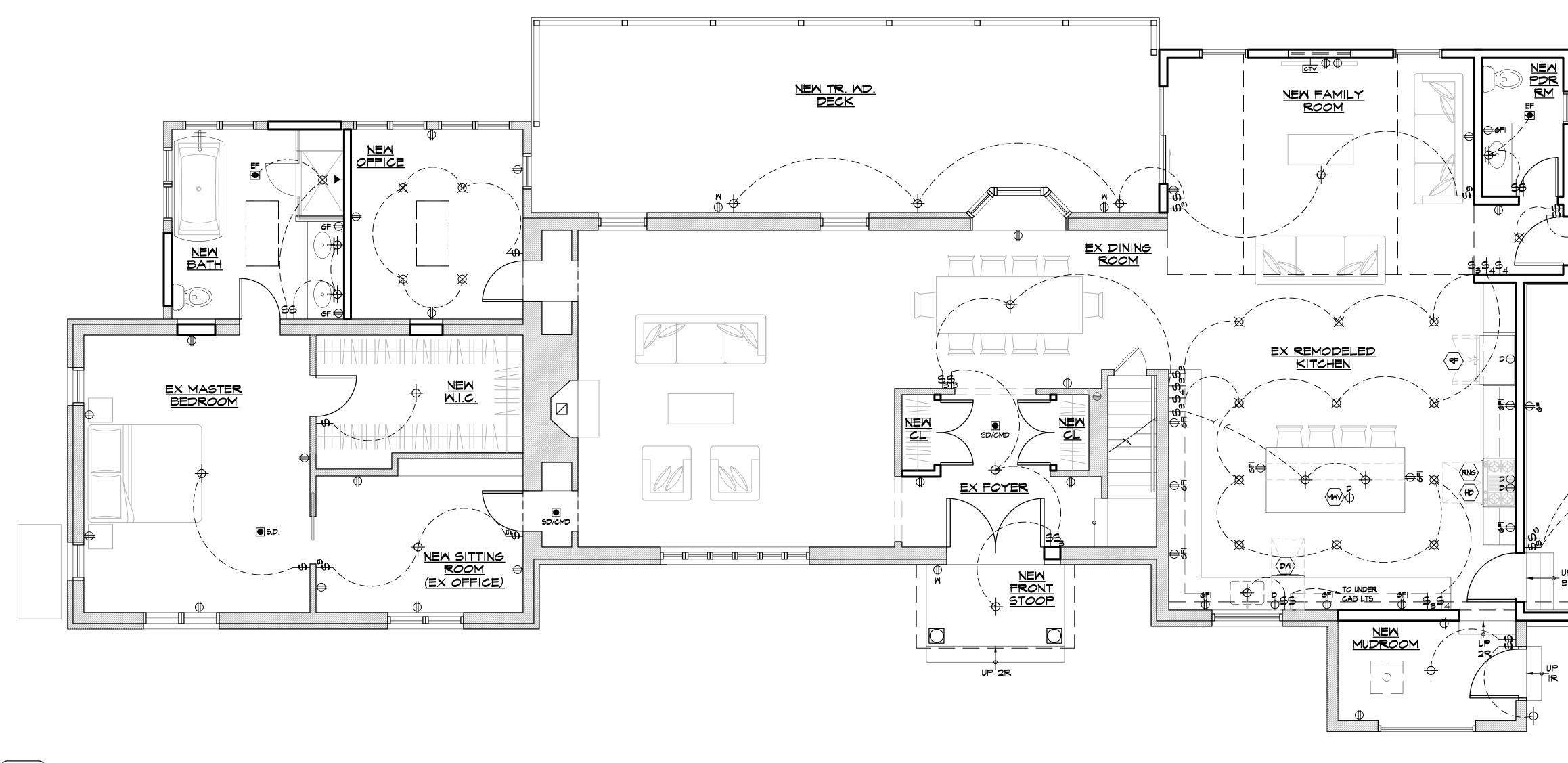


(A) AFER TRUSS THE CONSTRUCTION, FRE-ENGINEERED FOOD CONSTRUCTION, AND/OR THIDDER
CONSTRUCTION IS UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE OR IN AN ADDITION
TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SUCH RESIDENTIAL STRUCTURE SHALL BE
IDENTIFIED BY A SIGN OR SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF THIS PART.
(B) THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BY AFFIXED TO THE ELECTRIC BOX ATTACHED
TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE; PROVIDED, HOWEVER, THAT:
(I) IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC

BOX, OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX; AND (2) IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE

(2) IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

	NEW RAFTERS. SECURE RAFTS TO RIDGE BM. WITH SIMPSON RR TIES NEW ASPHALT SHINGLES OVER #30 BLDG. PAPER & 5/8" EXT. GRADE 'CDX' PLYWOOD SHEATHING (TYP.) PROVIDE ICE PROTECTION BARRIER OF 2-LAYERS OF SELF-ADHERING POLYMER MODIFIED BITUMEN	Nicholas L. Faustini Architect PCImage: Constraint of the second sec
	SHEET (TYP.) ICE SHIELD SHALL EXTEND UP THE SLOPE OF THE ROOF TO A DISTANCE MEASURING 24" INSIDE THE ENVELOPE OF THE BUILDING MEASURED FROM THE EXT. WALL HORIZONTALLY PROVIDE (4)I2D NAILS AT RAFTER TO JOIST CONNECT. - SIMPSON H2.5A W/ (5) 8D NAILS TO RAFTER \$ (4)8D NAILS TO TOP PLT TYP -MIN (2)2X6 TOP PLATE (TYP.)	General Notes Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.
	PROVIDE 6" W. GALVANIZED MTL EDGE @ ALL EAVES UNDER ICE-SHIELD (TYP.) INSTALL 2" X 2 I/2" METAL DRIP-EDGE (TYP.) I" X _" FASCIA BOARD _ALUM GUTTERS & LEADERS (TYP.) CONNECT TO STORM SYSTEM	This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.
	<ul> <li>-IX3 LOOKOUTS @ 32"O.C.</li> <li>W/ 2X3 CONT. NAILER (TYP.)</li> <li>-3/8" EXT. GRADE PLYWD</li> <li>SOFFIT WITH 2" CONT. VENT</li> <li>STRIP (TYP.)</li> <li>-PROVIDE NEW TRADITIONAL THREE COAT STUCCO</li> <li>FINISH. PROVIDE BLDG PAPER SUITABLE FOR</li> <li>STUCCO APPLICATIONS OVER PLYWD SHEATHING</li> <li>AND SELF FURRING LATH. GC TO ENSURE LATH IS</li> <li>SECURED TO SHEATHING AT 6" OC GRID MAX 4</li> <li>ENSURE LATH IS ALSO SECURED DIRECTLY TO</li> <li>EACH STUD AT 16" OC MAX OR AS REQUIRED</li> <li>BY LATH MFG . MIN STUCCO THKNS: 0.875"</li> </ul>	
	SEALER. PROVIDE 1/2" D. X 12" ANCHOR BOLTS @ 48" O.C. MAX. (TYP) THERE SHALL BE A MIN. OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EA. END OF THE PLATE SECTION. PROVIDE TERMITE SHIELD	AREA OF WORK
	- #5 REBARS @ 18" O.C. VERT & HORIZ -IO" POURED 4000 PSI CONC. FOUND WALL CENTERED ON CON. FT'G.	NOTE: Drawings may be printed at reduced scale
TICAL BARS AT E ER COURSE. MOR AINTAIN DOWELS ZE AND SPACING	<ul> <li>PROVIDE BITUMINOUS DAMPROOFING BELOW GRADE, TYP</li> <li>PROVIDE 1/2" RIGID INSULATION W/ 2-SIDED VAPOR BARRIER @ EXTERIOR OF FOUNDATION WALLS PRIOR TO BACKFILLING.</li> <li>CEMENT COVE</li> <li>2X4 KEY &amp; WATERSTOP (TYP)</li> <li>4" DRAINTILE IN GRAVEL BED ALL AROUND NEW PERIMETER WALLS.</li> <li>PROVIDE SALT HAY OVER DRAINTILE (TYP)</li> </ul>	TM ID#:IOT.OI-I-45ZONE:R-2ALIST OF DRAWINGST-IPLOT PLAN & ZONING INFO SCHEDULET-2SITE DETAILST-3MAPS & AERIAL VIEWST-4FLOOR AREA DIAGRAMST-5GROSS LAND COVERAGE DIAGRAMSA-1EXIST FLR PLANSA-2EXIST FLR PLANS & EXTERIOR ELEVA-3PROPOSED FLOOR PLANSA-4PROPOSED FLOOR PLANSA-5PROPOSED FLOOR PLANSA-6PROPOSED FLOOR PLANSA-7PROPOSED EXTERIOR ELEVATIONSA-8PROPOSED SECTION DETAILSA-9PROPOSED ELECTRICAL LAYOUTSA-10PROP ELEC LAYOUTS & PLUMB RISER DIAG
	DETAIL 1/4"=1'-0"	07.08.22 RPRC FILING NO. DATE ISSUE/REV.
		MONICA MALONEY 5 HIDDEN OAK ROAD ARMONK, NY 10504 PROJECT PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR: 5 HIDDEN OAK ROAD, ARMONK, NY 10504 DRAWINGS TITLE PROPOSED SECTION DETAILS
		DRAWN / CHECKED PROJECT NO. SI NF 20.1114 DATE 07.08.22 DRAWING NO.



# PROPOSED FIRST FLOOR ELECTRICAL LAYOUT

ELECTRICAL LEGEND			
ITEM	DESCRIPTION	ITEM	DESCRIPTION
€	DUPLEX RECEPTACLE OUTLET	<del>(</del> )	SINGLE POLE SWITCH
<b>⊖6</b> FI	OUTLET WITH GROUND FAULT INTERRUPTER	\$3	THREE WAY SWITCH
<b>⊖</b> M.	WEATHERPROOF OUTLET	\$4	FOUR WAY SWITCH
⊖₽.	DEDICATED OUTLET	\$p	DIMMER SWITCH
€	RECESSED FLOOR DUPLEX OUTLET	$\Phi$	CEILING MOUNTED LIGHT FIXTURE
CTV	CABLE TELEVISION OUTLET	X	RECESS LIGHT CLG FIXTURE. PROVIDE
Ŷ	WALL MTD LIGHT FIXTURE		MOIST RESIST TYPE AT WET LOCATIONS
- <b>ᢕ</b> -М.	WALL MTD LIGHT W/ MOTION DETECTOR	● EF	NEW 100 CFM EXHAUST FAN DUCTED TO EXTERIOR
·		ر ل	JAMB SWITCH
GC TO CONFIRM ALL CABLE TELEPHONE & DATA OUTLET LOCATION WITH OWNER PRIOR TO ORDERING OF MATERIAL OR INSTALLATION.			LED CLOSET LIGHT
			LED UNDERCABINET LIGHT
		$\Phi$	GARAGE DR OPENER WITH LIGHT
		\$ <sub>6</sub>	GARAGE DR SWITCH

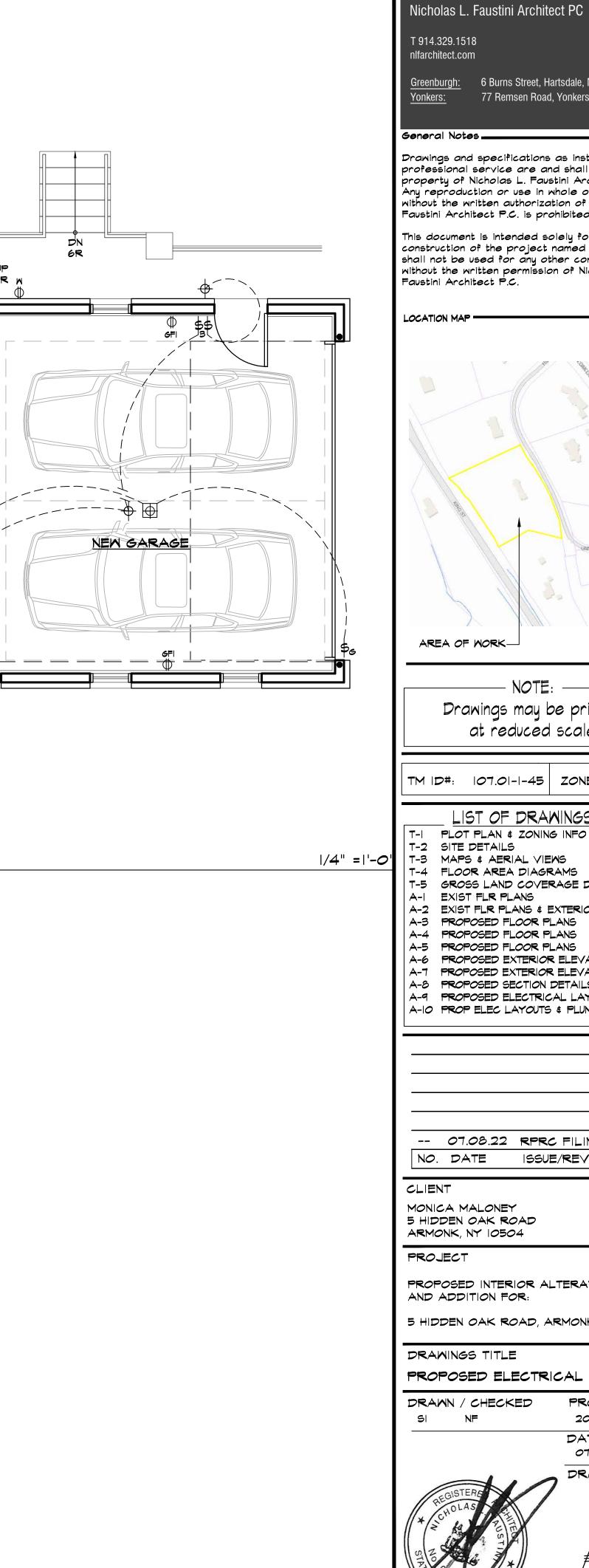
DOOR HANDLE BOOR HANDLE HERMOSTAT SWITCHES BOOR HANDLE HERMOSTAT SWITCHES BOOR HANDLE HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT HERMOSTAT SWITCHES HERMOSTAT SWITCHES HERMOSTAT HERMOSTAT SWITCHES HERMOSTAT HERMOSTAT SWITCHES HERMOSTAT HERMOSTAT SWITCHES HERMOSTAT HERMOSTAT HERMOSTAT SWITCHES HERMOSTAT	(; 6" NOTE: ALL DIMENSIONS TO CENTER LINE

TYP. MOUNTING HTS FOR DEVICES ALIGNED VERTICALLY

SENERAL ELEC NOTES:	EQUIPMENT LEGEND
	ITEM DESCRIPTION
COMPLETE SET OF ARCHITECTURAL AND ENGINEERING DOCUMENTS TO THE ELECTRICAL SUBCONTRACTORS. THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ELECTRICAL ITEMS INDICATED ON ALL DRAWINGS, NOT JUST ENGINEERING PLANS. ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICT OR INACCURACY PRIOR TO THE COMMENCEMENT OF WORK.	RF INDICATES NEW REFRIGERATOR/ FREEZER. PROVIDE NEW COPPER WATER LINE FOR WATER DISPENSER & ICE MAKER AS RQD . COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
2. ALL THERMOSTAT LOCATIONS MUST BE VERIFIED WITH OWNER IN THE FIELD PRIOR TO INSTALLATION.	DW INDICATES DISHWASHER. COORD. WITH KITCHEN CAB/EQUIP SUPPLIER
ELECTRICAL CONTRACTOR SHALL INSPECT ELECTRICAL CLOSETS TO CONFIRM THAT THEY	RNG INDICATES NEW RANGE/OVEN. COORD WITH KITCHEN CAB/EQUIP SUPPLIER
MEET ALL ELECTRICAL CODE REQUIREMENTS AND BUILDING REGULATIONS. 4. CONTRACTOR IS RESPONSIBLE FOR	HD INDICATES NEW RANGE HOOD DUCTED TO EXTERIOR . COORD WITH KITCHEN CAB/EQUIP SUPPLIER
COORDINATION OF ALL VENDORS INCLUDING TELECOMMUNICATIONS INSTALLATION, AUDIO VISUAL INSTALLATION, CABLE TV INSTALLATION, ETC.	MANY INDICATES NEW MICROWAVE. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
5. ALL ELECTRICAL RECEPTACLES UNLESS OTHERWISE	

## DETECTOR | EGEND

DET	ECTOR LEGEND	GENERAL ELEC NOTES:
ITEM	DESCRIPTION	I. THE GENERAL CONTRACTOR SHALL PROVIDE A COMPLETE SET OF ARCHITECTURAL AND
<b>●</b> S.⊅.	SMOKE DETECTOR/ALARM -HARDWIRED & INTERCONNECTED I. IN EACH SLEEPING ROOM. 2. OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. 4. SMOKE ALARM SHALL NOT BE LESS THAN 3 FT FROM DR	<ul> <li>COMPLETE SET OF ARCHITECTURAL AND ENGINEERING DOCUMENTS TO THE ELECTRICAL SUBCONTRACTORS. THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ELECTRICAL ITEMS INDICATED ON ALL DRAWINGS, NOT JUST ENGINEERING PLANS. ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICT OR INACCURACY PRIOR TO THE COMMENCEMENT OF WORK.</li> <li>2. ALL THERMOSTAT LOCATIONS MUST BE VERIFIED WITH OWNER IN THE FIELD PRIOR TO INSTALLATION.</li> <li>3. ELECTRICAL CONTRACTOR SHALL INSPECT ELECTRICAL CLOSETS TO CONFIRM THAT THEY MEET ALL ELECTRICAL CODE REQUIREMENTS AND BUILDING REGULATIONS.</li> <li>4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL VENDORS INCLUDING</li> </ul>
	OR OPENING OF BATH WITH SHOWER OR TUB UNLESS THIS WOULD PROVIDE PLACEMENT OF SMOKE ALARM PER SECTION 314.3 CARBON MONOXIDE ALARMSHARDWIRED & INTERCONNECTED I. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN IS FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN IS FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE. RATE OF RISE HEAT DETECTOR - HARDWIRED & INTERCONNECTED	<ul> <li>TELECOMMUNICATIONS INSTALLATION, AUDIO</li> <li>TELECOMMUNICATIONS INSTALLATION, AUDIO</li> <li>VISUAL INSTALLATION, CABLE TV INSTALLATION, ETC.</li> <li>ALL ELECTRICAL RECEPTACLES UNLESS OTHERWISE NOTED TO BE INSTALLED AT 15" AFF TO CENTER LINE OF BOX.</li> <li>ALL WALL MOUNTED RECEPTACLES TO HAVE DECORA STYLE WHITE COVER PLATES AND WHITE DEVICES. ALL DEDICATED CIRCUITS OR SEPARATE CIRCUITS TO HAVE GRAY DEVICE.</li> <li>EXACT LOCATIONS OF RECEPTACLES &amp; DEVICES TO BE VERIFIED IN FIELD WITH OWNER PRIOR TO INSTALLATION, DEVICES ARE REQ'D TO INSTALLED PER CODE.</li> </ul>



nlfarchitect.com Greenburgh: 6 Burns Street, Hartsdale, NY 10530 Yonkers: 77 Remsen Road, Yonkers, NY 10710 General Notes \_\_\_\_ Drawings and specifications as instruments of Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited. This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C. LOCATION MAP AREA OF WORK-- NOTE: -Drawings may be printed at reduced scale TM ID#: 107.01-1-45 ZONE: R-2A LIST OF DRAWINGS T-I PLOT PLAN & ZONING INFO SCHEDULE T-2 SITE DETAILS |/4" = |'-0' | T-3 MAPS & AERIAL VIEWS T-4 FLOOR AREA DIAGRAMS T-5 GROSS LAND COVERAGE DIAGRAMS A-I EXIST FLR PLANS A-2 EXIST FLR PLANS & EXTERIOR ELEV A-3 PROPOSED FLOOR PLANS A-4 PROPOSED FLOOR PLANS A-5 PROPOSED FLOOR PLANS A-6 PROPOSED EXTERIOR ELEVATIONS A-7 PROPOSED EXTERIOR ELEVATIONS A-8 PROPOSED SECTION DETAILS A-9 PROPOSED ELECTRICAL LAYOUTS A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG -- 07.08.22 RPRC FILING NO. DATE ISSUE/REV. MONICA MALONEY 5 HIDDEN OAK ROAD ARMONK, NY 10504 PROJECT PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR: 5 HIDDEN OAK ROAD, ARMONK, NY 10504 DRAWINGS TITLE PROPOSED ELECTRICAL LAYOUTS PROJECT NO. DRAWN / CHECKED SI NF 20.1114 DATE 07.08.22 DRAWING NO.

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