



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: _____

Section III- DESCRIPTION OF WORK:

Section III- CONTACT INFORMATION:

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER:

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: _____ Tax ID (lot designation) _____



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



Town of North Castle Building Department

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

Residential Building Permit Application

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

Section I- PROJECT ADDRESS: _____ DATE: _____

Section II- CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROPERTY OWNER: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section III- DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

Section IV- USE AND OCCUPANCY:

EXISTING/ CURRENT USE: _____

PROPOSED RESIDENTIAL:

One Family Dwelling Two Family Dwelling Townhouse Detached Accessory Structure

Section V- PERMIT FEES: (\$100 app fee plus \$14 per \$1000, cost of construction and a \$75 CO fee.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ _____

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000 or more.

Town of North Castle Building Department

Section V- (Continued)

I _____ do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$_____, and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: _____ Date: _____

Sign and Affix Seal Here

Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

CONTRACTOR: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PLUMBER: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

ELECTRICIAN: _____

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: _____ Date: _____

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION IF APPLICABLE: (To be notarized)

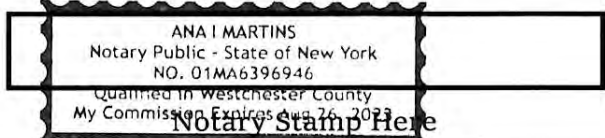
STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS:

The applicant Nicholas L. Faustini Architect PC has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Monica Maloney Owner's Signature Monica Maloney

Sworn to before me this 17th day of June, 2022

Notary Signature [Signature]



OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: _____ Section: _____ Block: _____ Lot: _____

Building Department Checklist:

- Does this permit require RPRC approval? Yes No
- GC License Work. Comp. Liability. Ins. Disability Two sets of documents
- Permit Fee _____ Payment: Check #: _____ Cash Credit Card
- Name on check: _____

Received By: _____ Application No.: _____

BUILDING INSPECTOR APPROVAL

- Has all the conditions of the RPRC been met? Yes NA
- Is a Flood Development permit required? Yes No

Reviewed By: _____ Date: _____

Building Inspector Approval: _____ Date: _____

Conditions: _____



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlenv.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 HIDDEN OAK RD Date: 05.19.22

Tax Map Designation or Proposed Lot No.: 107.01-1-45

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 123,673 SF
2. **Maximum** permitted floor area (per Section 355-26.B(4)): 11,584.12 SF
3. Amount of floor area contained within first floor:
2091 SF existing + 484 SF proposed = 2575 SF
4. Amount of floor area contained within second floor:
718 SF existing + 0 SF proposed = 718 SF
5. Amount of floor area contained within garage:
420 SF existing + 134 SF proposed = 554 SF
6. Amount of floor area contained within porches capable of being enclosed:
0 SF existing + 43 SF proposed = 43 SF
7. Amount of floor area contained within basement (if applicable – see definition):
0 SF existing + 0 SF proposed = 0 SF
8. Amount of floor area contained within attic (if applicable – see definition):
0 SF existing + 0 SF proposed = 0 SF
9. Amount of floor area contained within all accessory buildings:
0 SF existing + 0 SF proposed = 0 SF
10. Proposed floor area: Total of Lines 3 – 9 = 3890 SF

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

05.19.22
Date





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 HIDDEN OAK RD Date: 05.19.22

Tax Map Designation or Proposed Lot No.: 107.01-1-45

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 123,673 SF
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 16,011.48 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
32.7 x 10 = 327 SF
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 16,338.48 SF
5. Amount of lot area covered by **principal building**:
2511 SF existing + 618 SF proposed = 3129 SF
6. Amount of lot area covered by **accessory buildings**:
0 SF existing + 0 SF proposed = 0 SF
7. Amount of lot area covered by **decks**:
0 SF existing + 464 SF proposed = 464 SF
8. Amount of lot area covered by **porches**:
0 SF existing + 43 SF proposed = 43 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
4420 SF existing + -200 SF proposed = 4220 SF
10. Amount of lot area covered by **terraces**:
0 SF existing + 0 SF proposed = 0 SF
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
16 SF existing + 0 SF proposed = 16 SF
12. Amount of lot area covered by **all other structures**:
0 SF existing + 0 SF proposed = 0 SF
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 7872 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



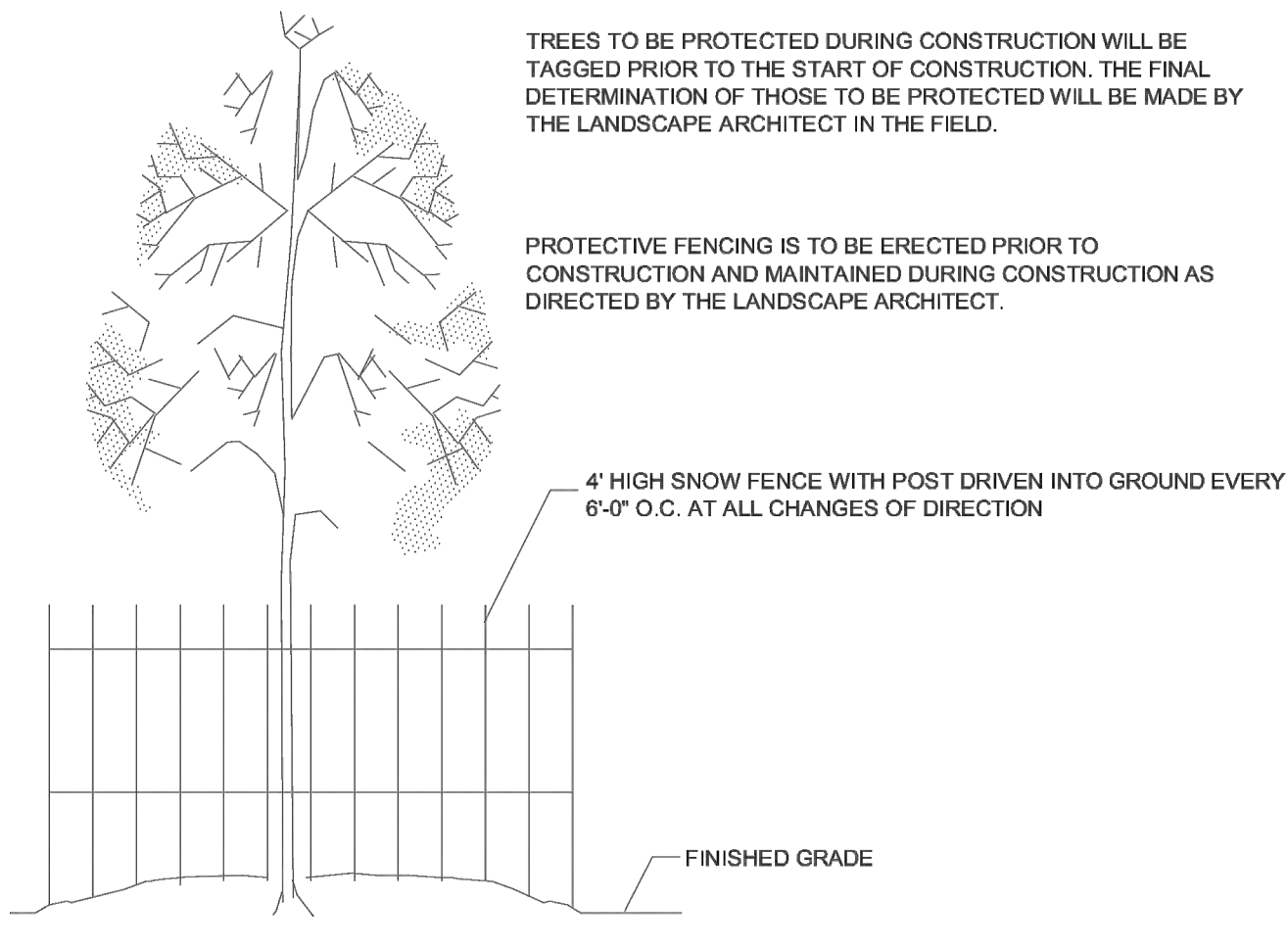
CONSTRUCTION SEQUENCE

INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON PLAN.

- BEGIN EXCAVATION FOR FOUNDATIONS OF NEW GARAGE ADDITION, NEW REAR ADDITION, NEW FOUNDATION UNDER NEW MASTER BATH, AND NEW FRONT STOOP.
- INSTALL NEW FOUNDATION WALLS AS SHOWN ON PLANS.
- INSTALL DRAINAGE STRUCTURES AND PIPES.
- INSTALL SUB-BASE OF PROPOSED DRIVEWAY ADDITION WHERE REQUIRED.
- UPON COMPLETION OF GRADING OPERATIONS, INSTALL FINISHED DRIVEWAY SURFACE.
- TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.

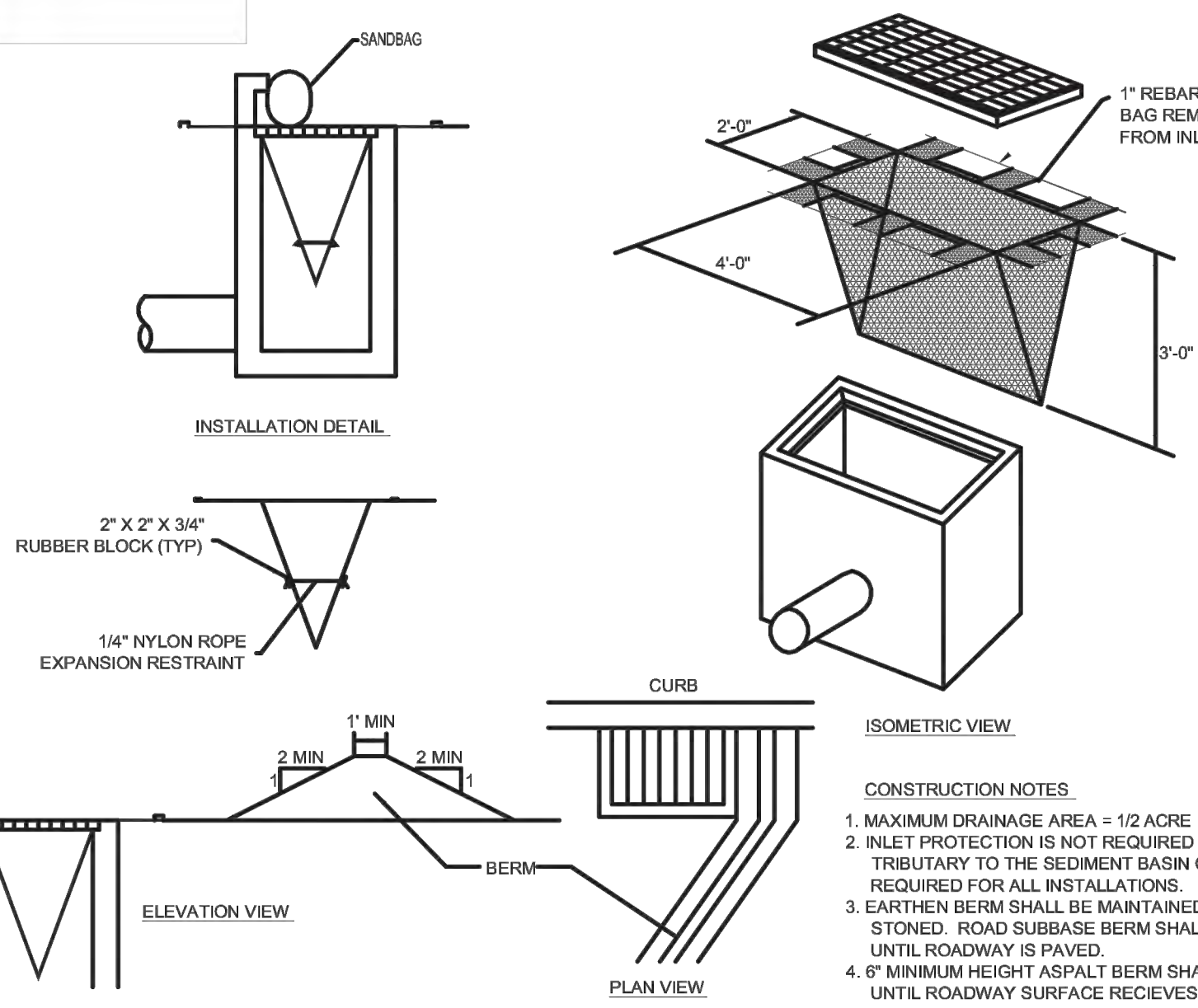
SOIL EROSION & SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, DIVISION OF WATER, AUGUST 2005) AND SPOES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-0-10-001).
- CONSTRUCTION SHALL BE SEQUENCED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE NOTES.
- ANY DISTURBED AREAS THAT ARE LEFT EXPOSED MORE THAN 14 DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF TOTAL SITE DISTURBANCE EXCEEDS 5 ACRES, THE 14 DAY PERIOD SHALL BE REDUCED TO 7 DAYS. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH STANDARDS, AS FOLLOWS:
 - FERTILIZER: FERTILIZER SHALL BE APPLIED AT THE RATE OF 14-LBS/1000 S.F. OR 600 LBS /ACRE, USING 5-10-10 OR EQUIVALENT.
 - SEED: ANNUAL RYEGRASS APPLIED AT THE RATE OF 30 LBS./ACRE, OR OTHER SELECT MIXTURE DESCRIBED IN THE STANDARDS.
 - MULCH: SMALL GRAIN STRAW MULCH APPLIED AT A RATE OF 80-LBS./1000 S.F. OR 2 TONS/ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO THE STANDARDS.
- ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN 10 DAYS OF FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN ACCORDANCE WITH THE LANDSCAPE PLANS.
- CUT OR FILL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- CONSTRUCTION FENCING SHALL BE USED TO PROTECT EXISTING TREES TO REMAIN, WETLANDS AND OTHER SENSITIVE AREAS.
- IF FOR ANY REASON THE CONSTRUCTION IS SATIATED FOR PROTRACTED PERIODS, THE CONTRACTOR SHALL STABILIZE THE SELECT MATERIAL BY HYDRO-SEED OR OTHER MEANS, TO THE SATISFACTION OF THE ENGINEER FOR ALL AREAS DENUDE OF VEGETATION.
- STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED AREAS OR DISCHARGED INTO INLETS OR OTHER DRAINAGE SYSTEMS.
- DUST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER TRUCK DURING GRADING OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL GRADES ARE STABILIZED.
- THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF (1/2) INCH MAGNITUDE OR GREATER, PRIOR TO WEEKENDS AND PRIOR TO OVERCAST STORM.
- THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY, AND IN NO CASE, MORE THAN TWENTY FOUR (24) HOURS AFTER OBSERVING SUCH DEFICIENCIES.
- THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROLS AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE AVAILABLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN TWENTY FOUR (24) HOURS OF ANY IMPENDING EMERGENCY SITUATION.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CITY, OR THE NYSDEC OR THE SITE ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION.
- ALL STOCKPILE AREAS TO REMAIN MORE THAN 14 DAYS SHALL BE STABILIZED PER NOTE THREE ABOVE. JUTE MATTING OR SPRAY EMULSIONS ARE ACCEPTABLE SUBJECT TO APPROVAL OF THE ENGINEER.
- THE CONTRACTOR SHALL ADHERE TO THE SWPPP REQUIREMENTS WHICH LIMIT DISTURBANCE TO 5 ACRES OR LESS. IF THE CONTRACTOR IS TO DISTURB OVER 5 ACRES, THE TOWN AND OWNER MUST BE NOTIFIED PRIOR TO THE INCREASED DISTURBANCE AND A PLAN MUST BE SUBMITTED FOR APPROVAL SHOWING SCHEDULING AND STABILIZATION MEASURES TO BE PERFORMED.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A PHASING PLAN, TO BE SUBMITTED FOR APPROVAL, PRIOR TO CONTRACT.

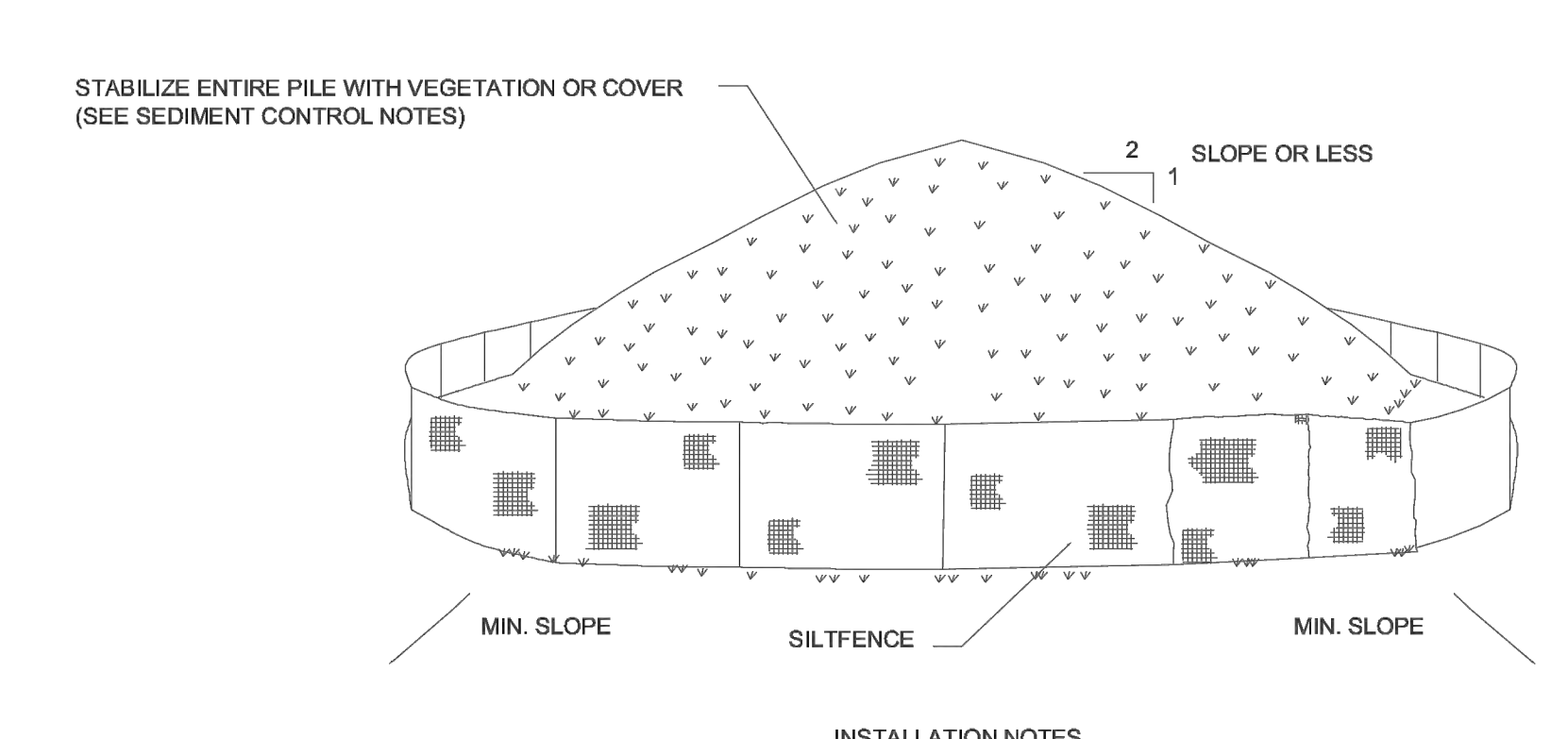


- CONSTRUCTION SPECIFICATIONS**
- NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
 - AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.

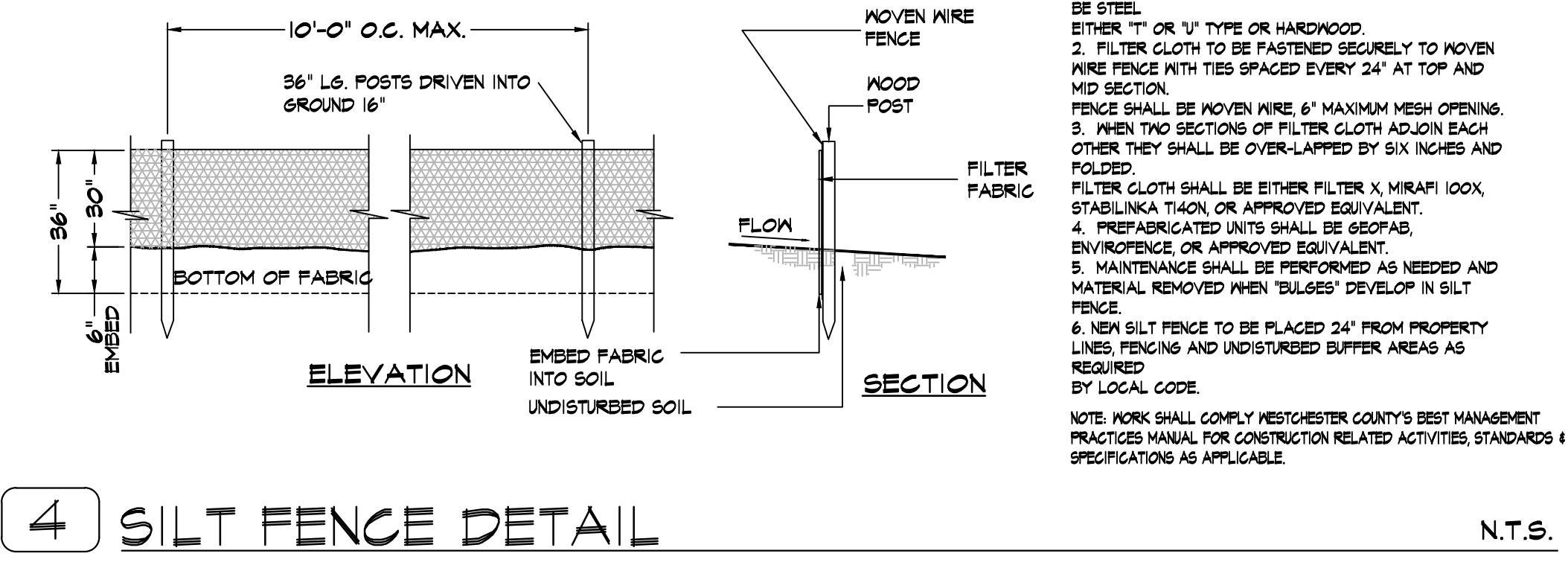
1 TEMPORARY TREE PROTECTION N.T.S.



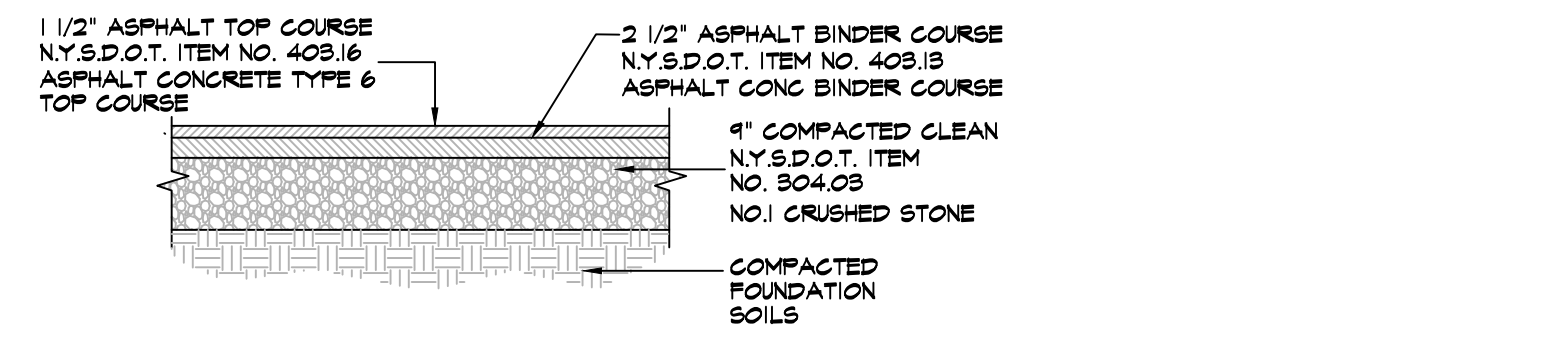
2 INLET SILT SAC PROTECTION N.T.S.



3 SOIL STOCKPILING N.T.S.



4 SILT FENCE DETAIL N.T.S.



5 DRIVEWAY DETAIL N.T.S.

[NY] TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ¹ WALL R-VALUE	SLAB ¹ R-VALUE	CRAWL SPACE ¹ WALL R-VALUE
4 except Marine	0.32	0.55	0.40	49	20 or 13 + S ²	8/13	19	10/13	10, 2 ft	10/13

For SI: 1 foot = 304.8 mm.
 NR = Not Required.
 a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-values specified in the table.
 b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
 d. R-5 Insulation shall be placed in the cavity area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
 e. Reserved.
 f. Reserved.
 g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
 h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

GROUND/SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY ¹	SUBJECT TO DAMAGE FROM WEATHERING ²			WATER DESIGN TEMP ³	ICE BARRIER IMPERMEABILITY REQUIREDS ⁴	FLOOD HAZARDOUS ⁵	AIR SPREADING INDEX ⁶	MEAN ANNUAL TEMP ⁷
	SPEED ⁸ (mph)	TOPOGRAPHIC EFFECTS ⁹		WEATHERING ²	FROST LINE DEPTH ¹⁰	TERMINI ¹¹					
30	55F	4e	B	Severe	42"	Very Heavy	3D	Yes	Yes	1500 or less	3D

Manual J Design Criteria

Exterior Envelope	Envelope	Winter Heating	Summer Cooling	Alphabetic Construction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
202	45 5'11"	33	87	None	75	75	60
Design Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Exhausted Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
53.5	-	-	72	M	-	-	-

For SI: 1 pound per square foot = 0.0479 kPa; 1 inch = 25.4 mm; 1 cubic foot = 0.0283 m³.

- Where weathering requires a higher strength concrete or grade of masonry than necessary to satisfy the structural requirements of this code, the first line strength category required for weathering shall govern. The weathering column shall be filled in with the weathering index, "highly resistant" ("resistant") or "severe" for concrete as determined from Figure R302.2(4). The grade of masonry units shall be determined from ASTM C84, C55, C60, C73, C90, C93, C94, C95, C216 or C662.
- Where the first line design requires design loadings from Table R302.2(1), the first line design strength required for weathering shall govern. The jurisdiction shall fill in this part of the table with the minimum design strength below final grade.
- The jurisdiction shall fill in this part of the table to indicate the need for protection depending on whether there has been a history of local subterranean beneath damage.
- The jurisdiction shall fill in this part of the table with the wind speed from the basic wind speed map [Figure R302.2(5)]. Wind exposure category shall be determined on a site-specific basis in accordance with Section R302.2.6.
- The outdoor design dry-bulb temperatures shall be selected from the columns of 97.1-percent values for winter from Appendix C of the Plumbing Code of New York State. Deviations from the Appendix C temperatures shall be permitted to reflect local climatic or local weather experience as determined by the building official. [Also see Figure R302.2(1)].
- The jurisdiction shall fill in this part of the table with the minimum design category determined from Section R302.2.3.1.
- [NY] To establish flood hazard areas, each community regulated under Title 26, Part 1203 of the Official Compilation of Codes, Rules and Regulations of the State of New York (NYCRR) shall adopt a flood hazard map and supporting data. The flood hazard map shall include, at a minimum, special flood hazard areas as identified by the Federal Emergency Management Agency in the Flood Insurance Study for the community, as amended or revised when:
 - The accompanying Flood Insurance Rate Map (FIRM).
 - Flood Boundary and Floodway Map (FBFM), and
 - Related supporting data along with any revisions thereto.

The adopted flood hazard map and supporting data are hereby adopted by reference and declared to be part of this section.

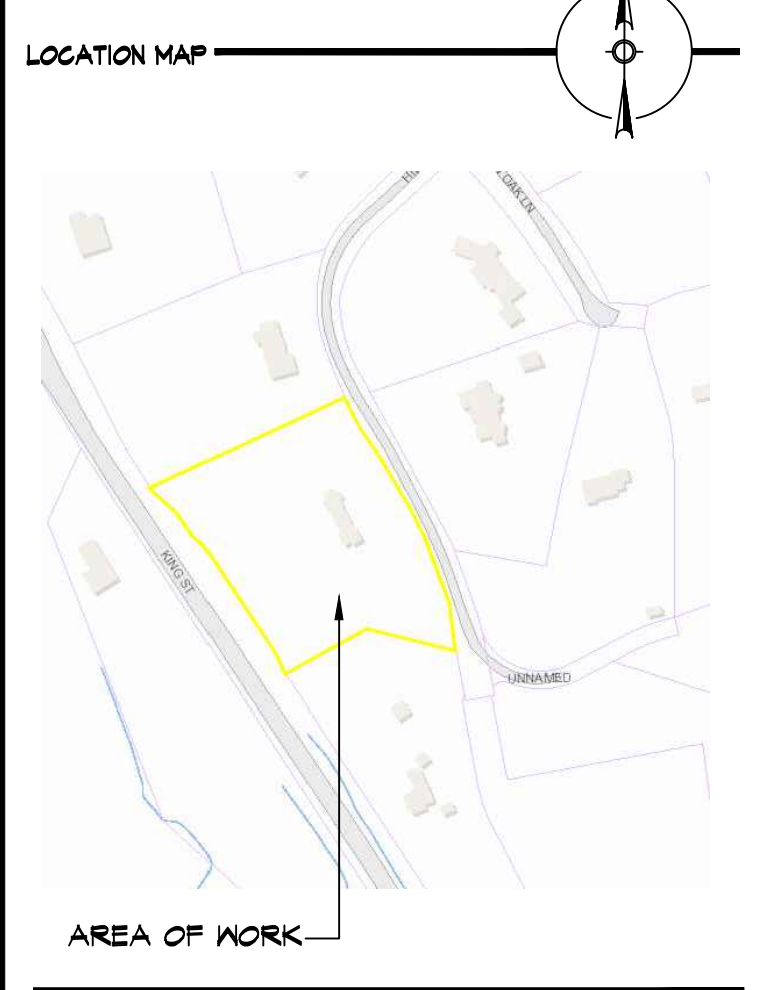
- In accordance with Sections R302.2.2, R302.4.3.1, R302.4.3.2, R302.4.3.3, R302.4.3.4, R302.4.3.5, and R302.4.3.6, where there has been a history of local damage from the effects of ice damming, the jurisdiction shall fill in this part of the table with "YES." Otherwise, the jurisdiction shall fill in this part of the table with "NO."
- The jurisdiction shall fill in this part of the table with the 100-year return period air freezing index (AFI) from Figure R302.2(2) or from the 100-year (91 percent) value on the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)".
- The jurisdiction shall fill in this part of the table with the mean annual temperature from the National Climatic Data Center data table "Air Freezing Index-USA Method (Base 32°F)".
- In accordance with Section R302.2.3.2, where there is local historical data documenting destructive damage to buildings due to atmospheric wind speed-up effects, the jurisdiction shall fill in this part of the table with "YES." Otherwise, the jurisdiction shall indicate "NO" in this part of the table.
- In accordance with Figure R302.2(5), where there is local historical data documenting unusual wind conditions, the jurisdiction shall fill in this part of the table with "YES" and identify any specific requirements. Otherwise, the jurisdiction shall indicate "NO" in this part of the table.
- In accordance with Section R302.2.3.2, the jurisdiction shall indicate the wet-bulb globe wind speed. Otherwise, the jurisdiction shall indicate "NO" in this part of the table.
- The jurisdiction shall fill in these sections of the table to establish the design criteria using Table 1a or 1b from ACCA Manual J or established criteria determined by the jurisdiction.
- [NY] The ground snow loads to be used in determining the design snow loads for roofs are given in Figure R301.2(6) for roofs of elevations up to 1,200 feet. Slopes at elevations above 1,200 feet shall have their ground snow loads increased from the unroofed value by 2 psf for every 1,200 feet above 1,200 feet.

Nicholas L. Faustini Architect PC
 T 914.329.1518
 nfaarchitect.com
 Greenburgh: 6 Burns Street, Hartsdale, NY 10530
 Yonkers: 77 Remsen Road, Yonkers, NY 10710

General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

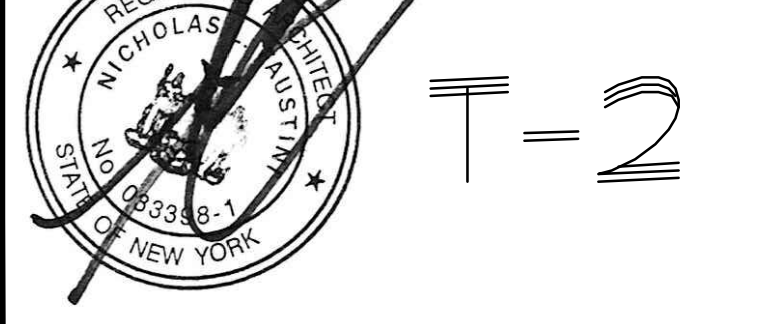
- LIST OF DRAWINGS**
- T-1 PLOT PLAN & ZONING INFO SCHEDULE
 - T-2 SITE DETAILS
 - T-3 MAPS & AERIAL VIEWS
 - T-4 FLOOR AREA DIAGRAMS
 - T-5 GROSS LAND COVERAGE DIAGRAMS
 - A-1 EXIST FLR PLANS
 - A-2 EXIST FLR PLANS & EXTERIOR ELEV
 - A-3 PROPOSED FLOOR PLANS
 - A-4 PROPOSED FLOOR PLANS
 - A-5 PROPOSED FLOOR PLANS
 - A-6 PROPOSED EXTERIOR ELEVATIONS
 - A-7 PROPOSED EXTERIOR ELEVATIONS
 - A-8 PROPOSED SECTION DETAILS
 - A-9 PROPOSED ELECTRICAL LAYOUTS
 - A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 DRAWN / CHECKED PROJECT NO.
 SI NF 20114
 DATE 07.08.22
 DRAWING NO.



T=2



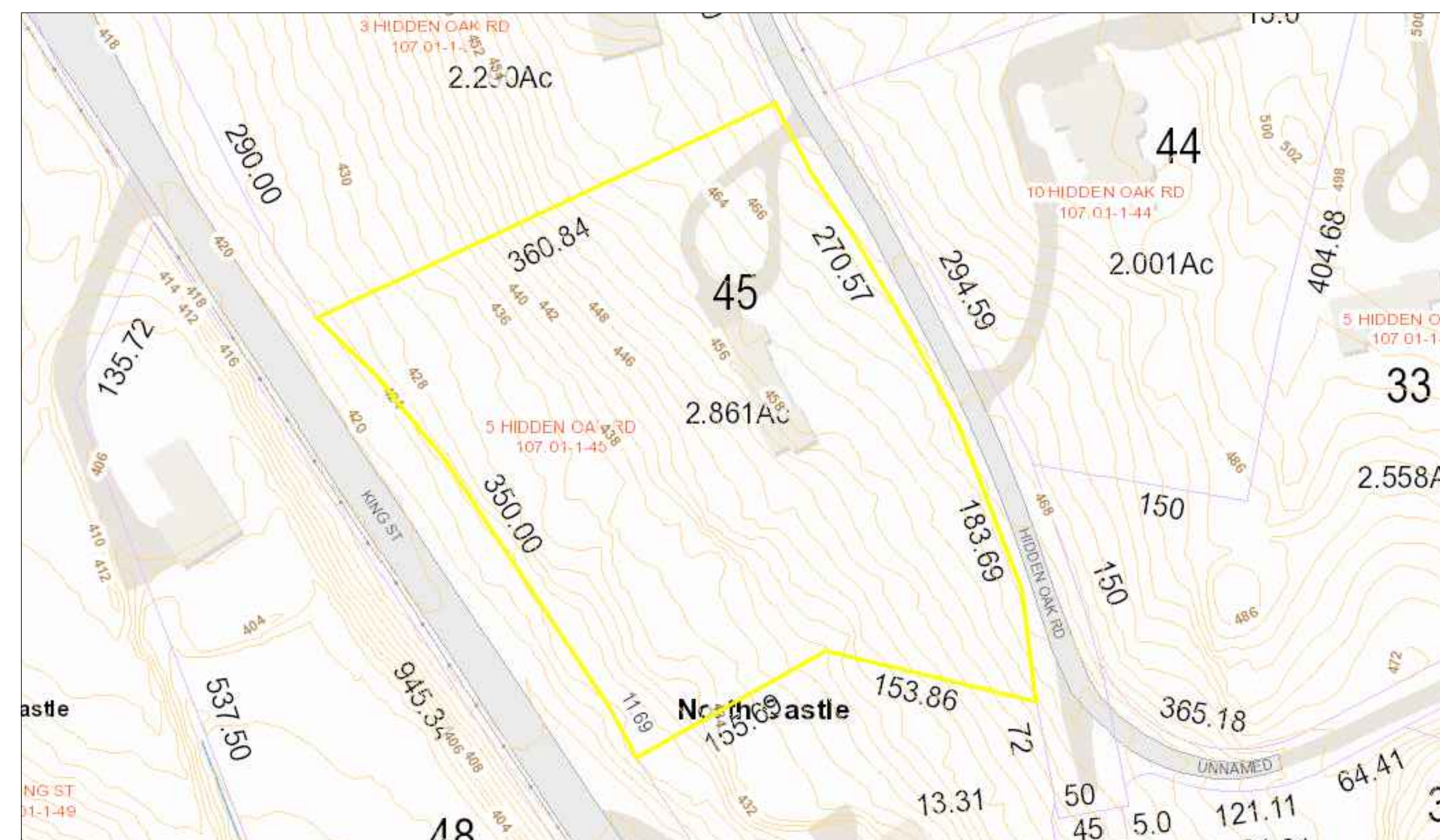
1 GOOGLE MAP - AERIAL VIEW

scale: N.T.S.



2 LOCATION MAP

scale: N.T.S.



3 TAX MAP

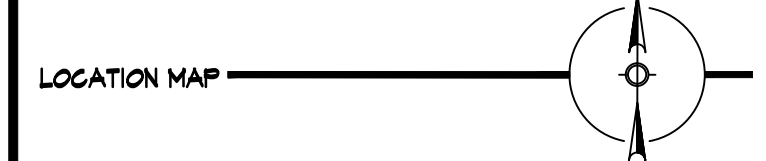
scale: N.T.S.



General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



LOCATION MAP



AREA OF WORK

NOTE:
 Drawings may be printed
 at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

- T-1 PLOT PLAN & ZONING INFO SCHEDULE
- T-2 SITE DETAILS
- T-3 MAPS & AERIAL VIEWS
- T-4 FLOOR AREA DIAGRAMS
- T-5 GROSS LAND COVERAGE DIAGRAMS
- A-1 EXIST FLR PLANS
- A-2 EXIST FLR PLANS & EXTERIOR ELEV
- A-3 PROPOSED FLOOR PLANS
- A-4 PROPOSED FLOOR PLANS
- A-5 PROPOSED FLOOR PLANS
- A-6 PROPOSED EXTERIOR ELEVATIONS
- A-7 PROPOSED EXTERIOR ELEVATIONS
- A-8 PROPOSED SECTION DETAILS
- A-9 PROPOSED ELECTRICAL LAYOUTS
- A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

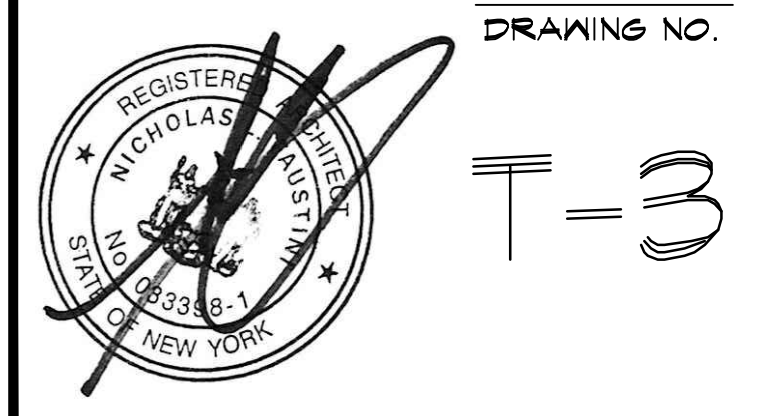
07.08.22 RPRC FILING		
NO.	DATE	ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS
 AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 MAPS & AERIAL VIEWS

DRAWN / CHECKED	PROJECT NO.
SI NF	201114
	DATE
	07.08.22
	DRAWING NO.
	T-3





General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

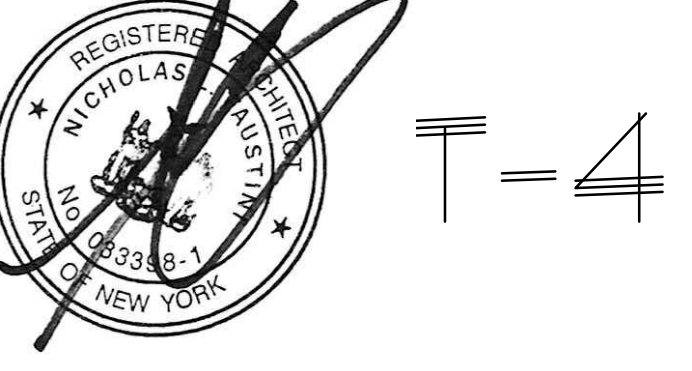
T-1	PLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MAPS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED SECTION DETAILS
A-8	PROPOSED ELECTRICAL LAYOUTS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

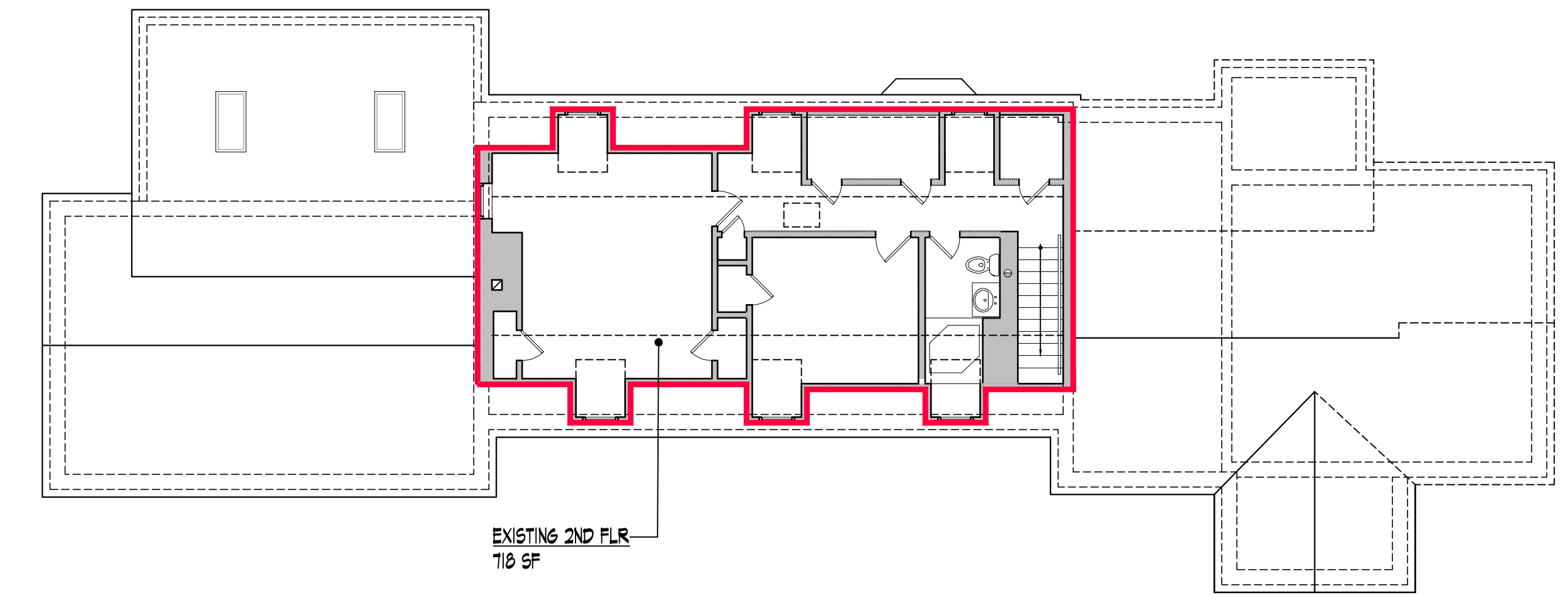
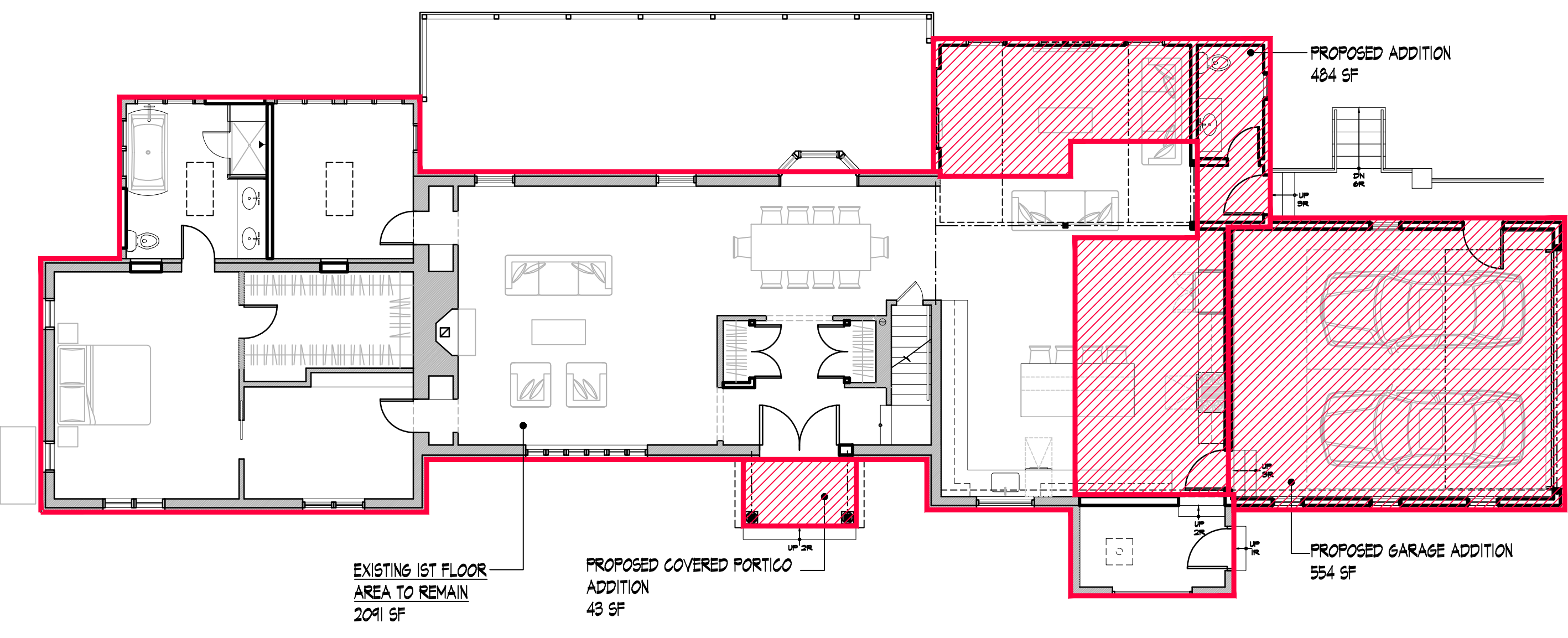
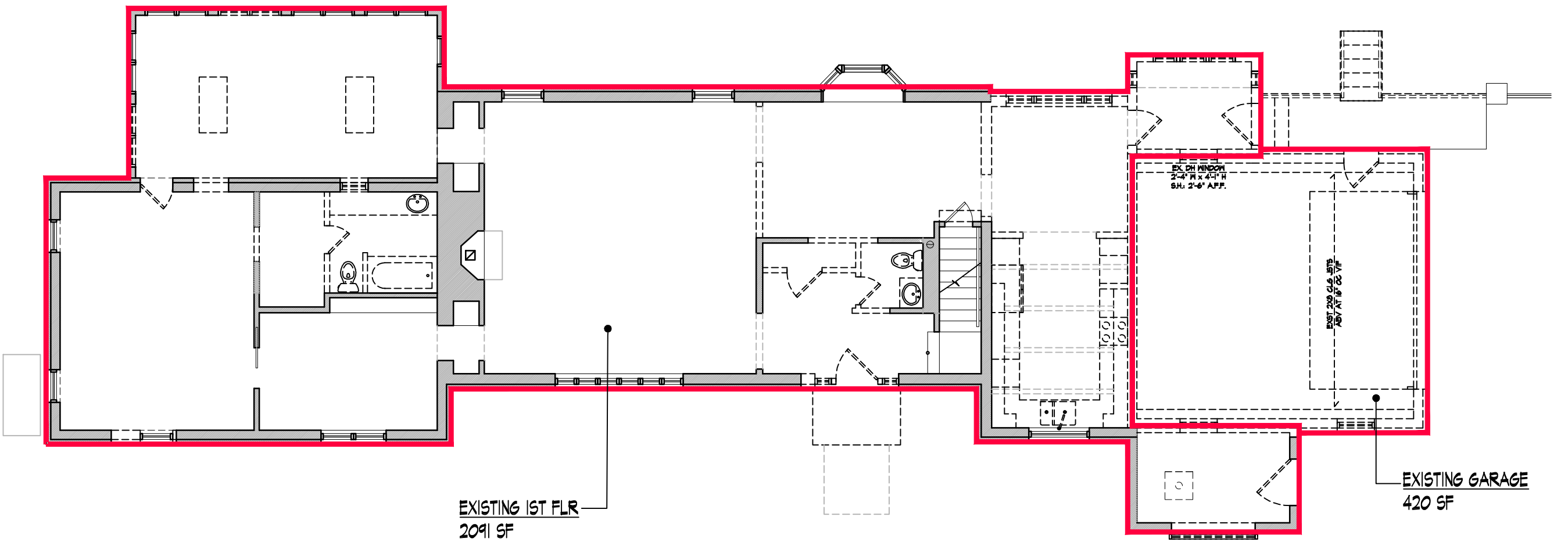
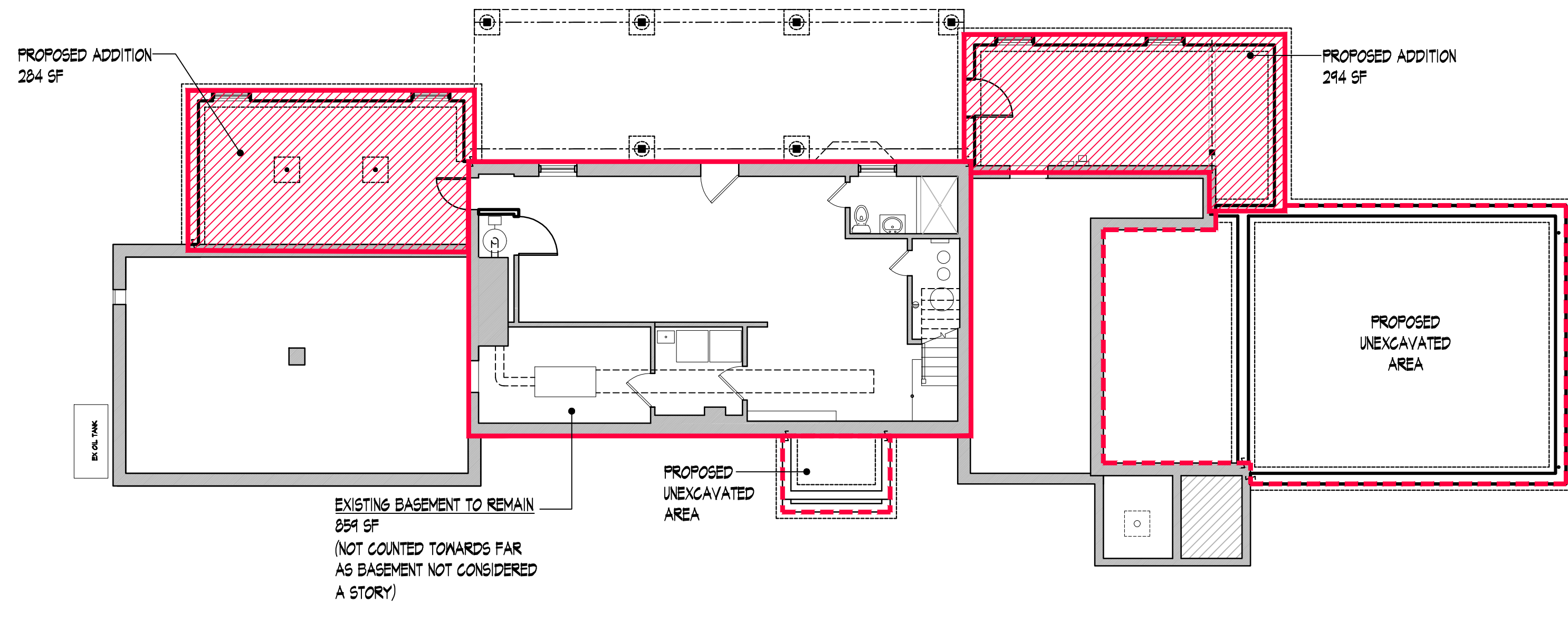
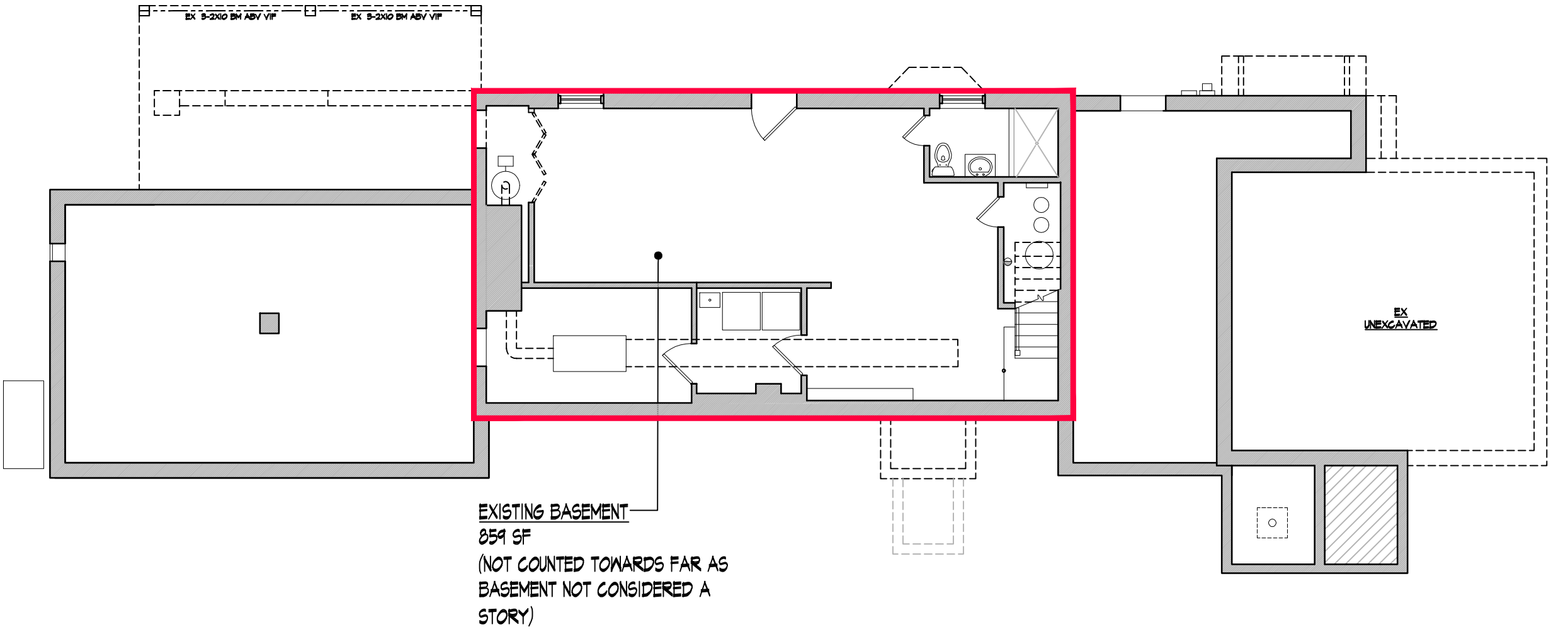
PROJECT
 PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 FLOOR AREA DIAGRAMS

DRAWN / CHECKED	PROJECT NO.
SI NF	201114
	DATE
	07.08.22
	DRAWING NO.



T-4



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northeasttwp.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 HIDDEN OAK RD Date: 05.19.22

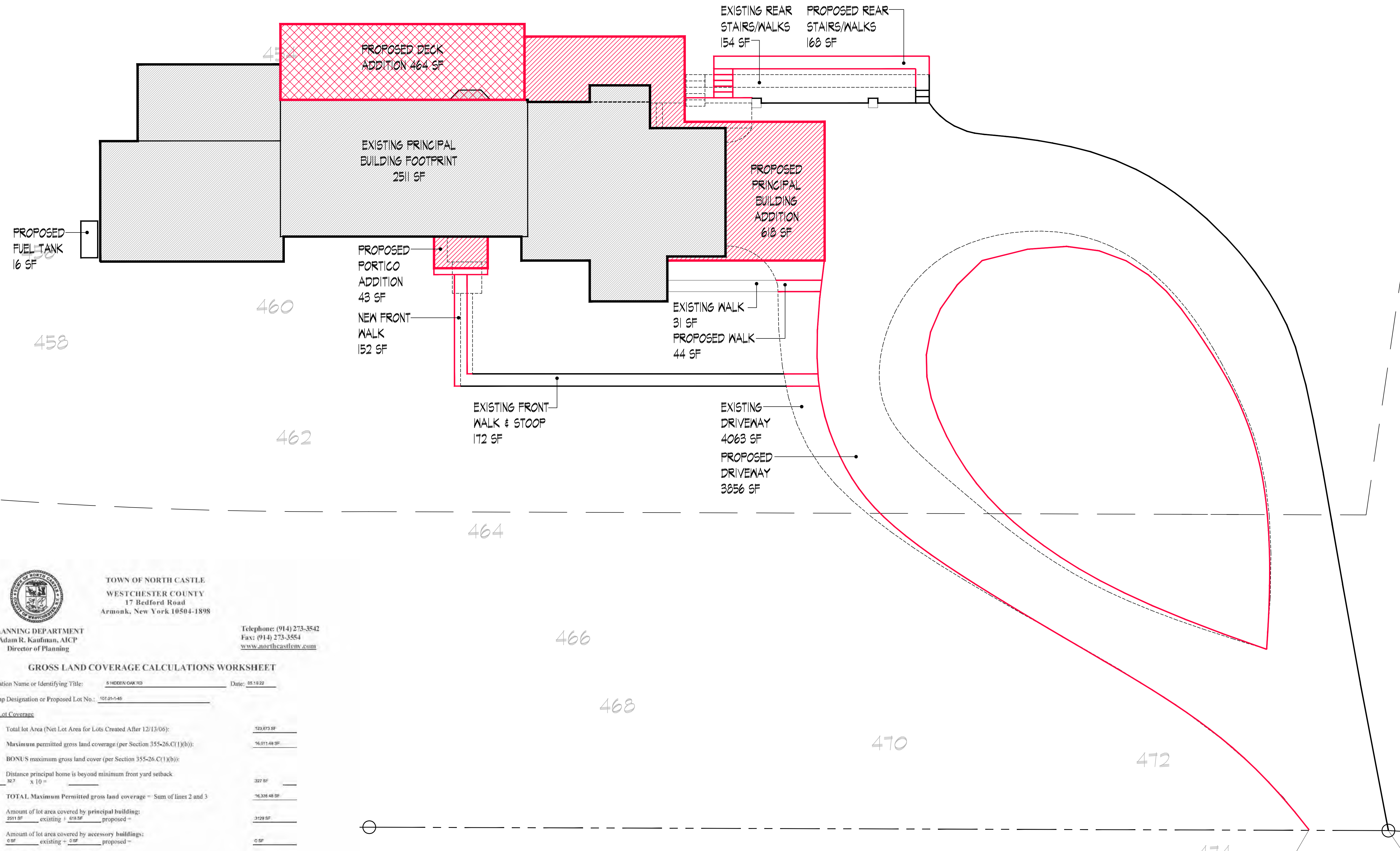
Tax Map Designation or Proposed Lot No.: 107.01-1-45

Floor Area		
1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	123,673 SF
2.	Maximum permitted floor area (per Section 355-26 B(4)):	11,584.12 SF
3.	Amount of floor area contained within first floor: 2091 SF existing + 484 SF proposed =	2575 SF
4.	Amount of floor area contained within second floor: 718 SF existing + 0 SF proposed =	718 SF
5.	Amount of floor area contained within garage: 420 SF existing + 134 SF proposed =	554 SF
6.	Amount of floor area contained within porches capable of being enclosed: 0 SF existing + 43 SF proposed =	43 SF
7.	Amount of floor area contained within basement (if applicable - see definition): 0 SF existing + 0 SF proposed =	0 SF
8.	Amount of floor area contained within attic (if applicable - see definition): 0 SF existing + 0 SF proposed =	0 SF
9.	Amount of floor area contained within all accessory buildings: 0 SF existing + 0 SF proposed =	0 SF
10.	Proposed floor area: Total of Lines 3 - 9 =	3800 SF

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet: Date: 05.19.22

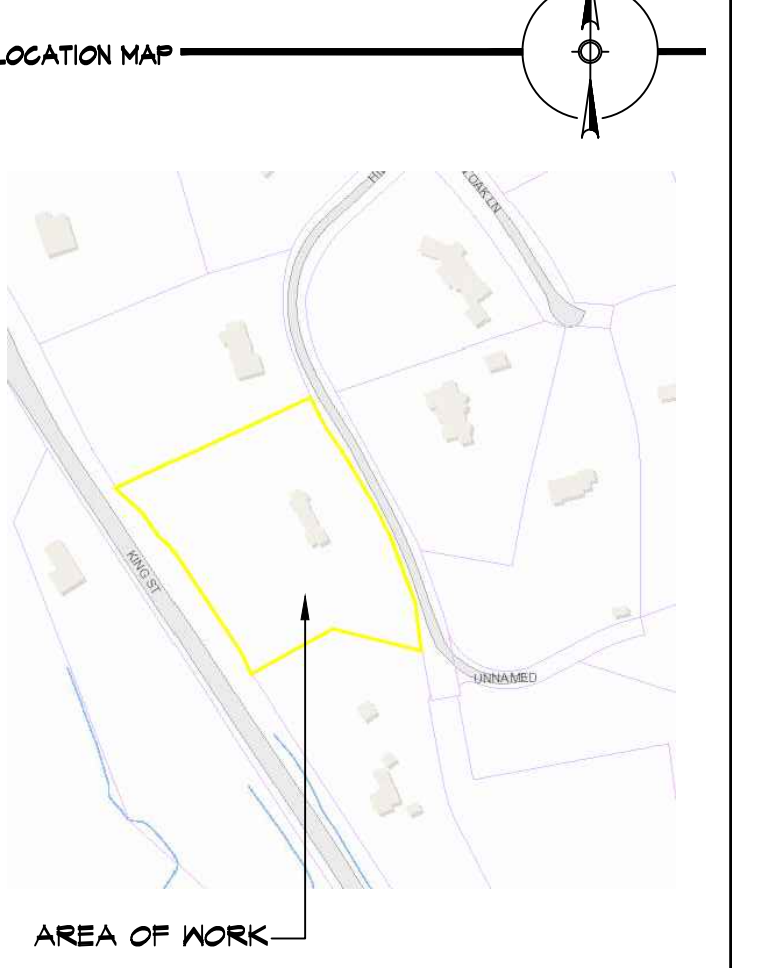
452



Nicholas L. Faustini Architect PC
 T 914.329.1518
 nlfarchitect.com
 Greenburgh: 6 Burns Street, Hartsdale, NY 10530
 Yonkers: 77 Remsen Road, Yonkers, NY 10710

General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

- LIST OF DRAWINGS**
- T-1 PLOT PLAN & ZONING INFO SCHEDULE
 - T-2 SITE DETAILS
 - T-3 MAPS & AERIAL VIEWS
 - T-4 FLOOR AREA DIAGRAMS
 - T-5 GROSS LAND COVERAGE DIAGRAMS
 - A-1 EXIST FLR PLANS
 - A-2 EXIST FLR PLANS & EXTERIOR ELEV
 - A-3 PROPOSED FLOOR PLANS
 - A-4 PROPOSED FLOOR PLANS
 - A-5 PROPOSED FLOOR PLANS
 - A-6 PROPOSED EXTERIOR ELEVATIONS
 - A-7 PROPOSED EXTERIOR ELEVATIONS
 - A-8 PROPOSED SECTION DETAILS
 - A-9 PROPOSED ELECTRICAL LAYOUTS
 - A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

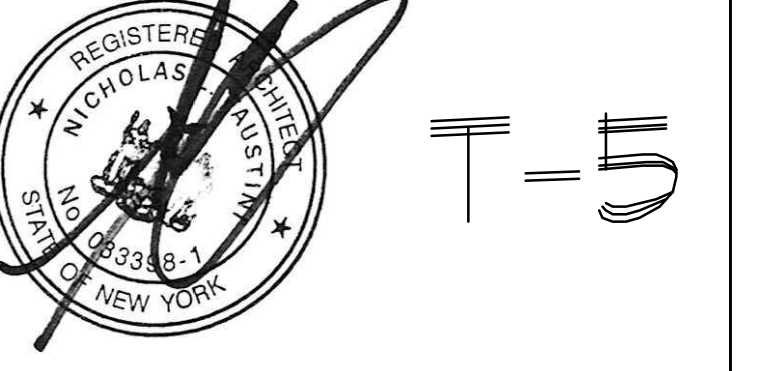
PROJECT
 PROPOSED INTERIOR ALTERATIONS
 AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 LAND COVERAGE DIAGRAMS

DRAWN / CHECKED PROJECT NO.
 SI NF 201114

DATE
 07.08.22

DRAWING NO.
 T-5



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
 www.northcastletown.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 5 HIDDEN OAK RD Date: 05.18.22

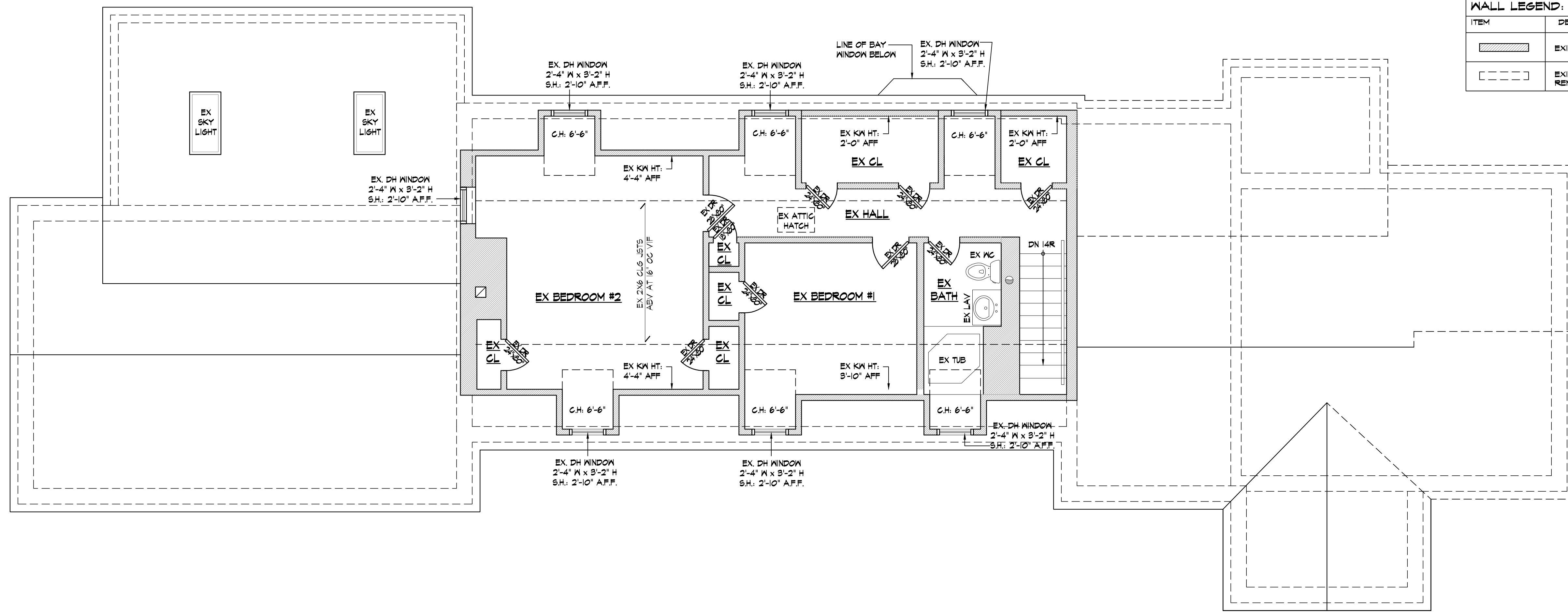
Tax Map Designation or Proposed Lot No.: 507.05-148

Gross Lot Coverage

1. Total lot area (Net Lot Area for Lots Created After 12/13/06):	793,873 SF
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):	16,011.48 SF
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
Distance principal home is beyond minimum front yard setback: 327' x 10' =	327 SF
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	16,338.48 SF
5. Amount of lot area covered by principal building: 2511 SF existing + 618 SF proposed =	3129 SF
6. Amount of lot area covered by accessory buildings: 0 SF existing + 0 SF proposed =	0 SF
7. Amount of lot area covered by decks: 0 SF existing + 464 SF proposed =	464 SF
8. Amount of lot area covered by porches: 0 SF existing + 43 SF proposed =	43 SF
9. Amount of lot area covered by driveway, parking areas and walkways: 4420 SF existing + 320 SF proposed =	4740 SF
10. Amount of lot area covered by terraces: 0 SF existing + 0 SF proposed =	0 SF
11. Amount of lot area covered by tennis court, pool and mechanical equip: 16 SF existing + 0 SF proposed =	16 SF
12. Amount of lot area covered by all other structures: 0 SF existing + 0 SF proposed =	0 SF
13. Proposed gross land coverage: Total of Lines 5-12 =	7872 SF

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Planning Worksheet Date: 06.18.22

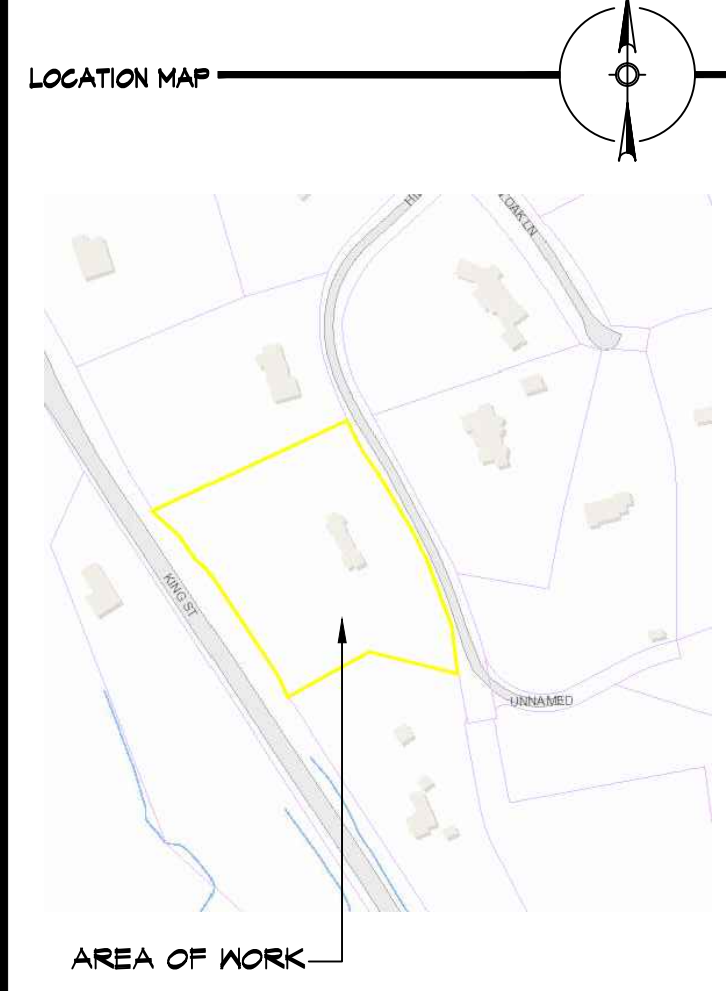


WALL LEGEND:

ITEM	DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL OR ELEMENT TO BE REMOVED

Nicholas L. Faustini Architect PC
 T 914.329.1518
 nlfarchitect.com
 Greenburgh: 6 Burns Street, Hartsdale, NY 10530
 Yonkers: 77 Remsen Road, Yonkers, NY 10710

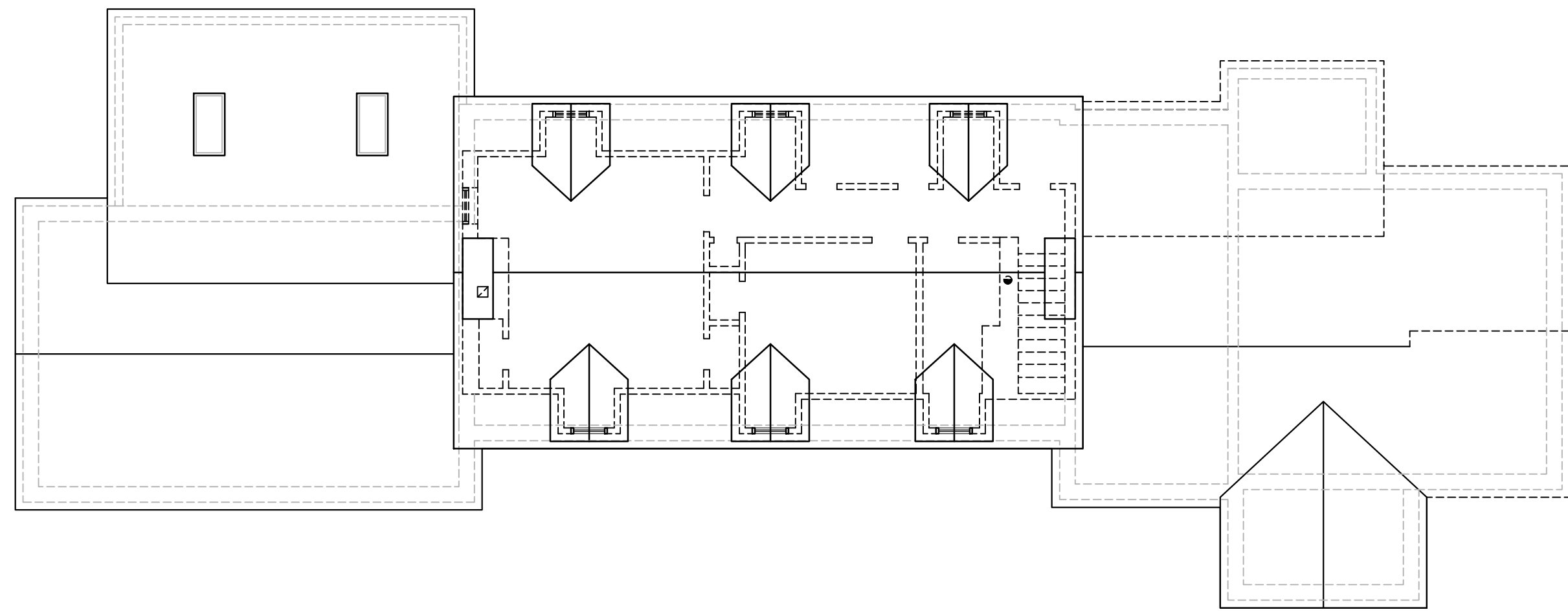
General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.
 This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

2 EXISTING SECOND FLOOR/DEMO PLAN
 EXISTING 2ND FLR CEILING HT 7'-2" AFF UON

1/4"=1'-0"

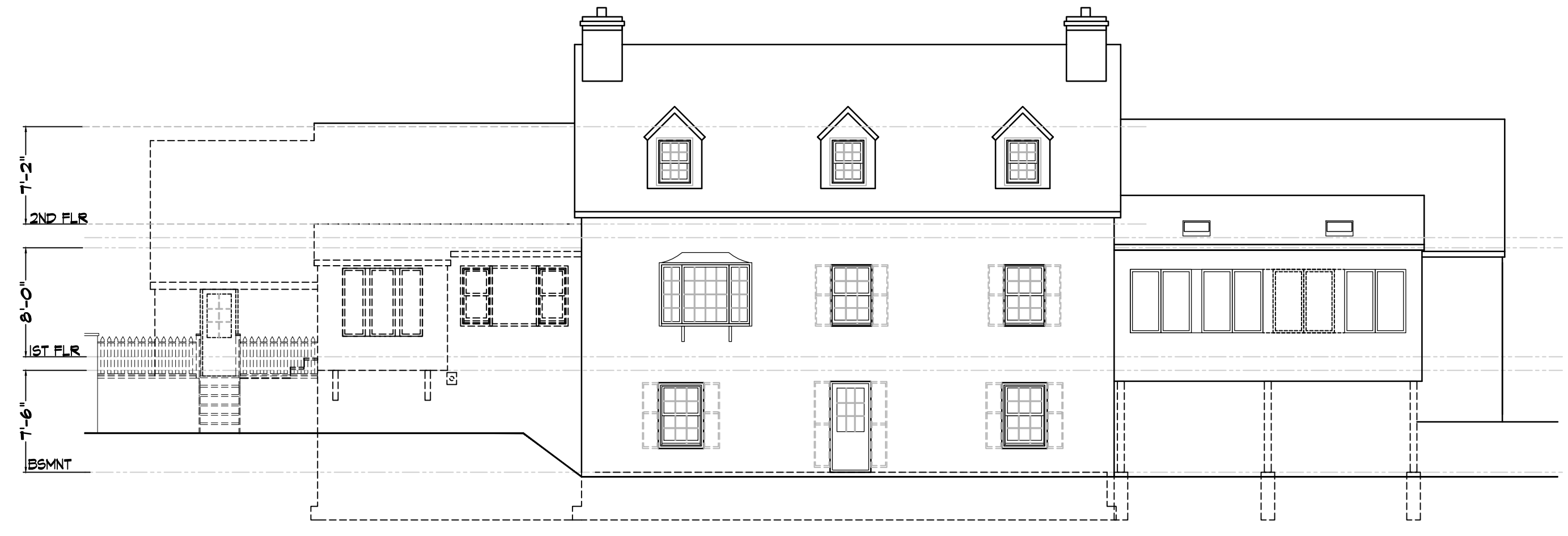


3 EXISTING ROOF PLAN

1/8"=1'-0"

E1 EXISTING FRONT EXTERIOR ELEVATION

1/8"=1'-0"



E2 EXISTING REAR EXTERIOR ELEVATION

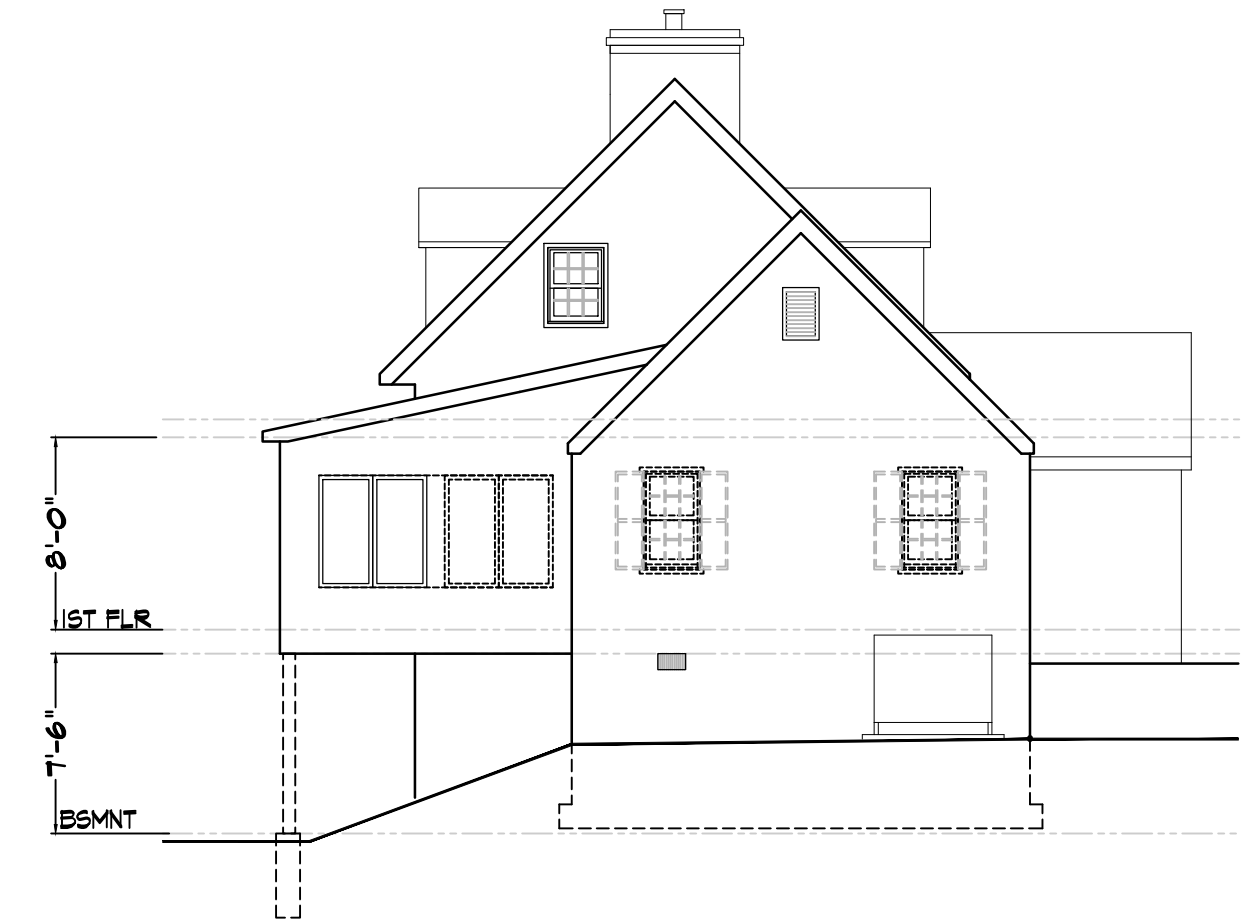
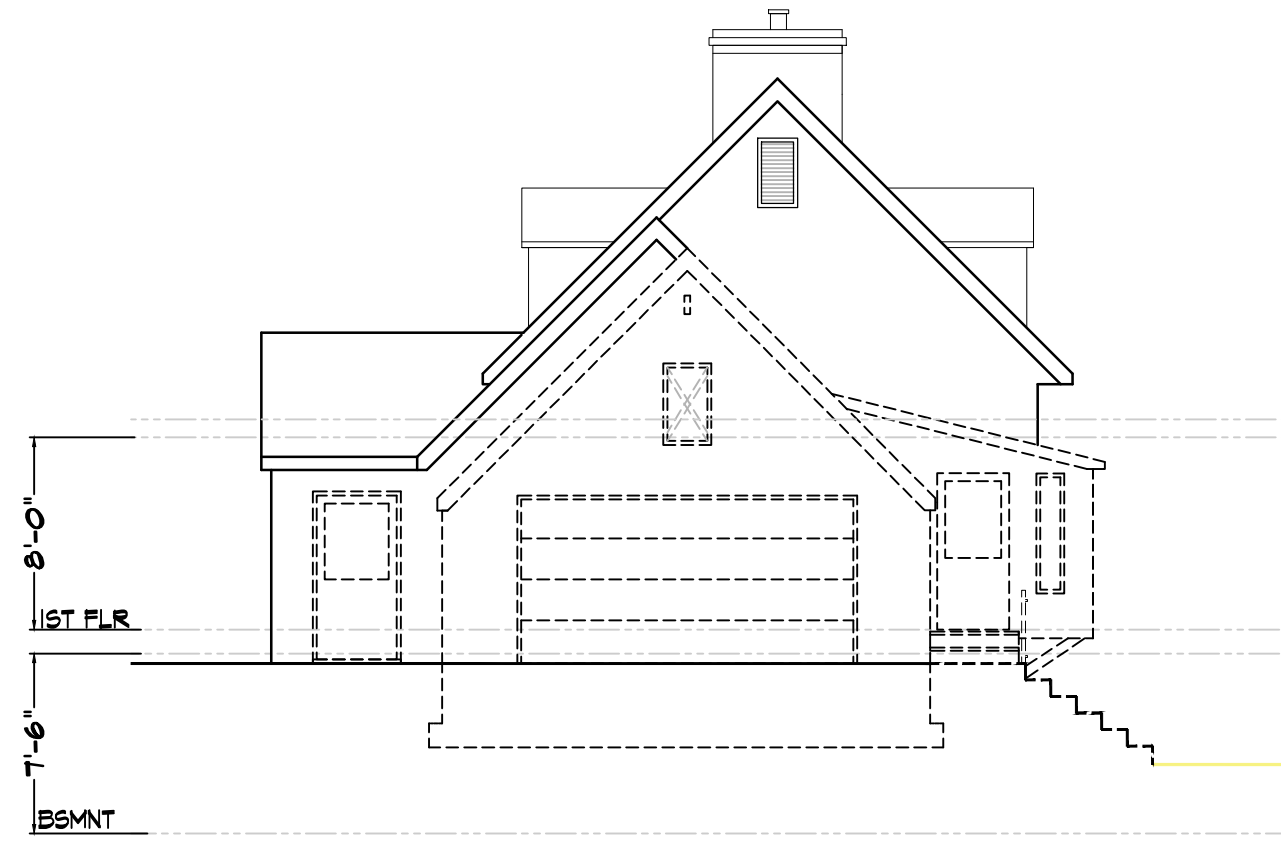
1/8"=1'-0"

E3 EXISTING RIGHT EXT ELEV

1/8"=1'-0"

E3 EXISTING LEFT EXT ELEV

1/8"=1'-0"



LIST OF DRAWINGS

T-1	PLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MAPS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED EXTERIOR ELEVATIONS
A-8	PROPOSED SECTION DETAILS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

NO.	DATE	ISSUE/REV.
--	07.08.22	RPRC FILING

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS
 AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 EXISTING FLOOR PLANS & EXT. ELEVATIONS

DRAWN / CHECKED	PROJECT NO.
SI / NF	20.114
	DATE
	07.08.22
	DRAWING NO.



A-2

General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP

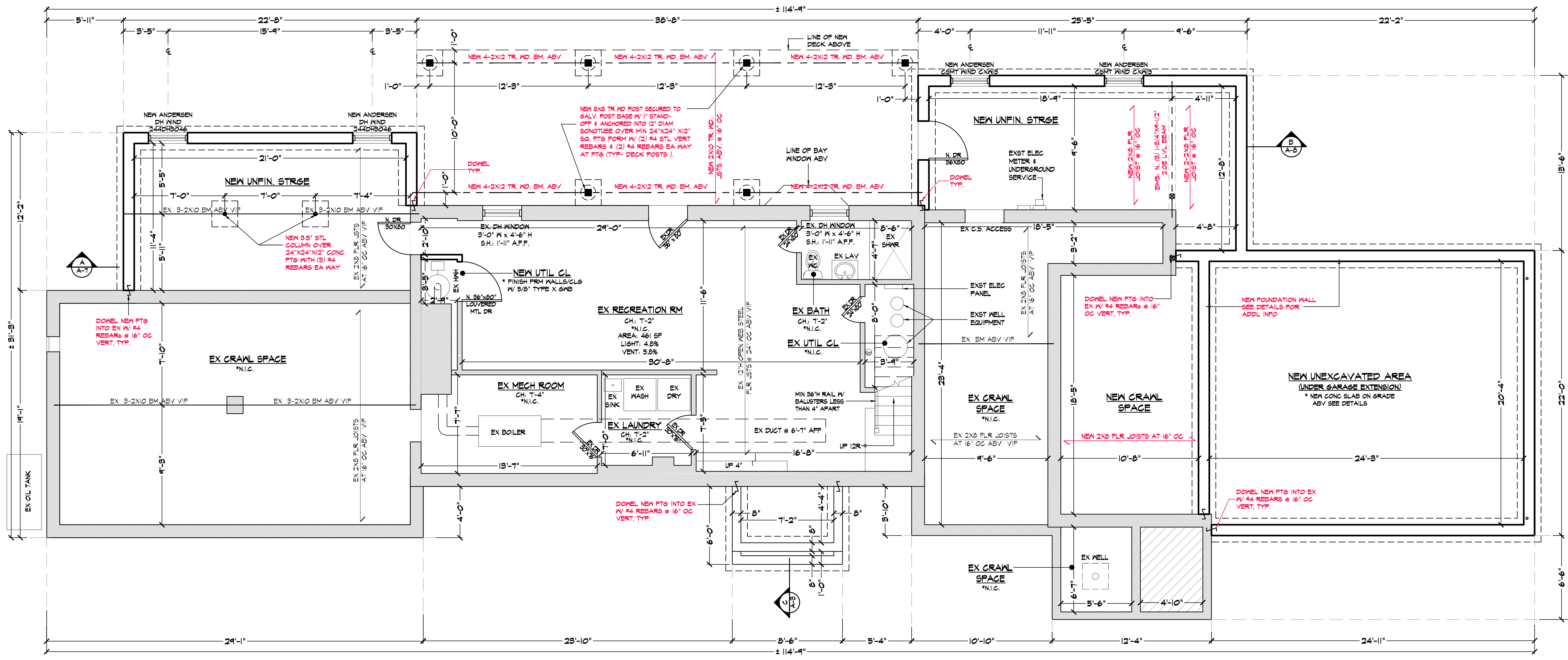


NOTE:
Drawings may be printed at reduced scale

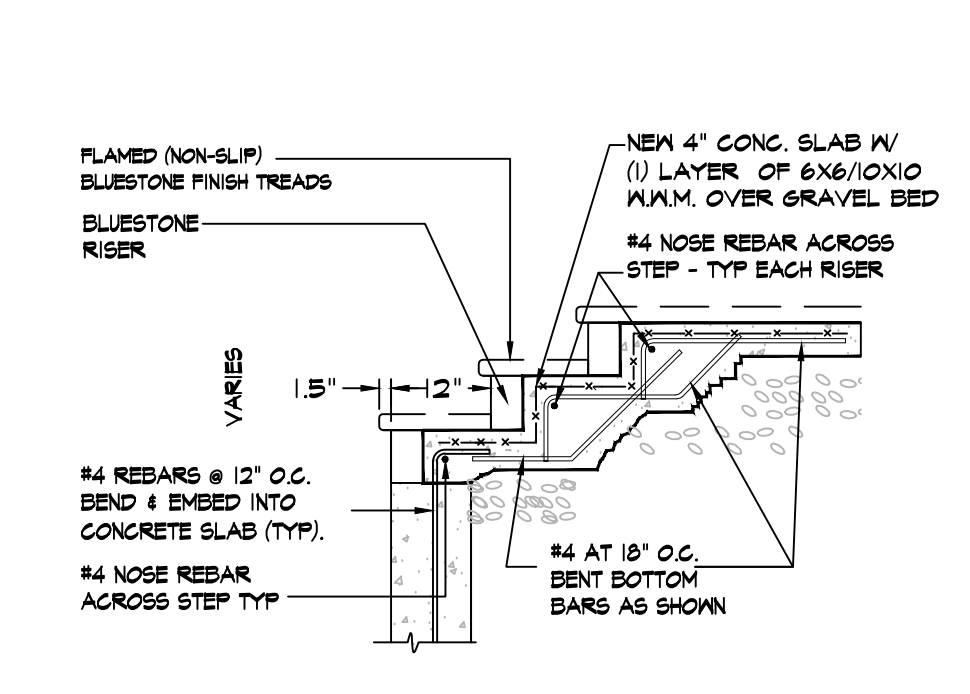
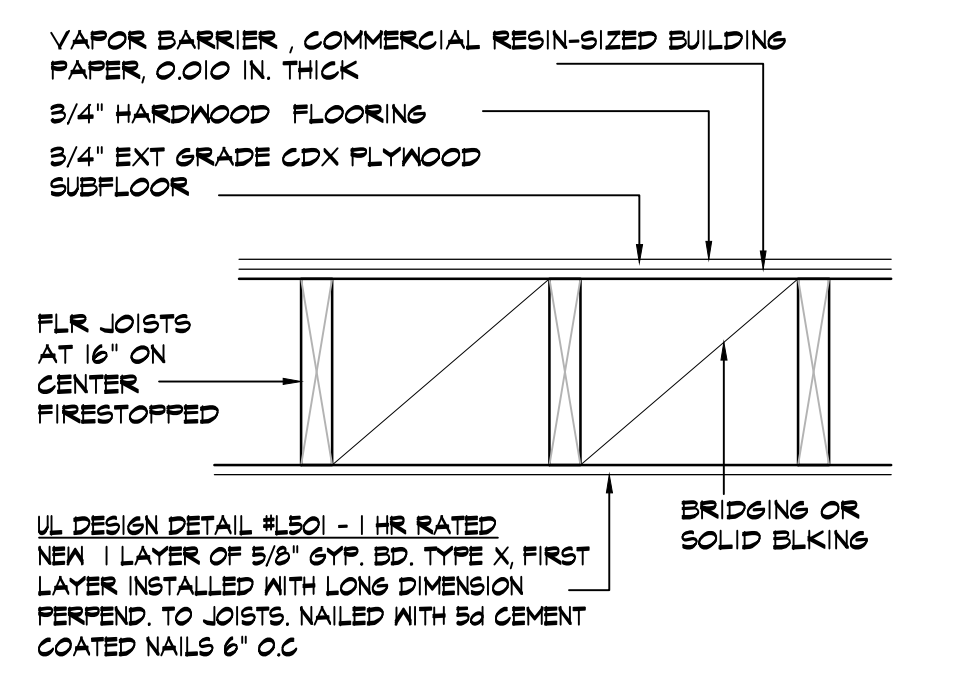
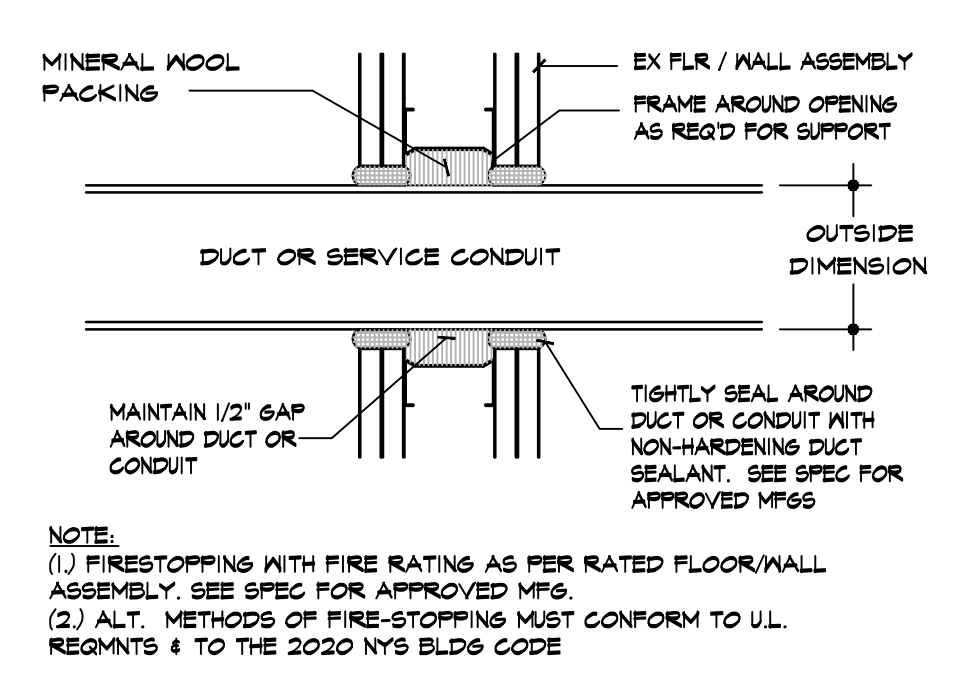
TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

- T-1 PLOT PLAN & ZONING INFO SCHEDULE
- T-2 SITE DETAILS
- T-3 MAPS & AERIAL VIEWS
- T-4 FLOOR AREA DIAGRAMS
- T-5 GROSS LAND COVERAGE DIAGRAMS
- A-1 EXIST FLR PLANS
- A-2 EXIST FLR PLANS & EXTERIOR ELEV
- A-3 PROPOSED FLOOR PLANS
- A-4 PROPOSED FLOOR PLANS
- A-5 PROPOSED FLOOR PLANS
- A-6 PROPOSED EXTERIOR ELEVATIONS
- A-7 PROPOSED EXTERIOR ELEVATIONS
- A-8 PROPOSED SECTION DETAILS
- A-9 PROPOSED ELECTRICAL LAYOUTS
- A-10 PROF ELEC LAYOUTS & PLUMB RISER DIAG



O PROPOSED BASEMENT PLAN
EXISTING BASEMENT CLG HT T-6" AFF U.O.N.



A FIRESTOP DTL N.T.S.

B 1-HR RTD CLG N.T.S.

C FRONT STOOP DTL N.T.S.

EXISTING CONSTRUCTION NOTES:

- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING PROPERTY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTIONS OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

*****IMPORTANT NOTES*****

- S.C. TO PROPERLY SHORE & BRACE ALL STRUCTURAL ELEMENTS AS NECESSARY PRIOR TO REMOVAL OF AND / OR REINFORCING OF ANY BEAMS OR HEADERS. TEMPORARY 2X4 WALLS @ 18" O.C. TO BE PROVIDED FOR JOISTS SUPPORT ON EACH SIDE OF BEAMS TO BE REMOVED OR REINFORCED.
- S.C. TO VERIFY ALL FIELD CONDITIONS & NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY CONCEALED STRUCTURAL PROBLEMS.

GENERAL NOTES:

- S.C./DRYWALL CONTRACTOR TO COORDINATE REQUIRED PARTITION THICKNESS AT ALL PLUMBING LOCATIONS.
- PATCH ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED (V.I.F.) TO ACCOMMODATE DEMOLITION & SCOPE OF ALL NEW WORK.
- S.C. IS RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN THROUGH THE ENTIRE COURSE OF DEMOLITION AND CONSTRUCTION (INCLUDING, BUT NOT LIMITED TO, PARTITIONS, FINISHES, DRS, FRAMES, HARDWARE AND ELEC CIRCUITRY). CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGE WHICH MIGHT OCCUR.
- S.C. SHALL REVIEW AND INCLUDE ALL NOTES ON TITLE & GENERAL SPEC SHEETS IN THIS SET OF CONSTRUCTION DOCS. THIS INCLUDES BEING FAMILIAR WITH ALL GENERAL NOTES WHICH APPLY DIRECTLY TO ANY AND ALL TRADES. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR IMPLIED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTOR'S COSTS.
- ALL DOORS (NEW OR EXISTING) TO BE UNDERTAKEN AS REQUIRED TO ACCOMMODATE NEW FINISHED FLOOR MATERIAL AND/OR DOOR SADDLES WHERE REQUIRED.
- S.C. SHALL LAY OUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PREPARED AS REQUIRED TO RECEIVE NEW FINISHES. S.C. SHALL ENSURE ACCESSIBILITY TO EXISTING ACCESS PANEL(S) ARE MAINTAINED.

GENERAL CONSTRUCTION NOTES:

- ANCHORAGE ANCHORS BOLTS SHALL BE 1/2" DIAM AND SPACED AT 48" O.C. OR AS INDICATED ON DRAWINGS. (SEE DWGS. FOR ADDL INFO)
- SILL PLATES: SILL PLATES SHALL BE NOM. 2" X 2" X 6' PRESSURE TREATED DOUGLAS FIR UTILITY OR BETTER ATTACHED TO FOUNDATION WALLS WITH ANCHOR BOLTS. SILL PLATE SHALL RUN CONTINUOUSLY OVER OPENINGS AND SHALL BE NAILED TO RIM JOIST AND OPENING HEADER AS APPLICABLE. ROLLED FORM SEALER SHALL BE INSTALLED B/W SILL PLATE & TOP OF FOUND. WALL. UNDERNEATH TERMITES SHIELD. (SEE DWGS.)
- BEAM ROCKETS: ALL BEAMS SHALL HAVE A BEARING OF AT LEAST 4" ON A SOLID MASONRY WALL. IF A MTL PLATE IS USED, IT SHALL BE AS SHOWN ON PLANS.
- COLUMNS: ALL WOOD COLUMNS SHALL BE DOUGLAS FIR COMMON GRADE MIX AND SHALL BE FREE OF CHECKS AND SPLITS. ATTACHMENTS SHALL BE AS SHOWN ON PLANS OR SPECS. WOOD CONNECTORS TO BE MANUFACTURED BY SIMPSON.
- RIM JOIST: SINGLE RIM JOIST SHALL BE OF SIZE AND LOCATION AS SHOWN ON DWGS, & SHALL BE SAME AS DIMENSIONAL LUMBER JOIST. WOOD SHALL BE DOUGLAS FIR COMMON GRADE MIX.
- GIRDERS AND BEAMS: SIZE AND LOCATION SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR COMMON GRADE MIX. DIMENSIONAL LUMBER JOISTS MAY BE KING USING GALVANIZED HANGERS AS MANUFACTURED BY SIMPSON. GIRDERS SHALL BE CONNECTED TO WOOD BEAMS BY USING GALVANIZED CAP CONNECTORS AS MANUFACTURED BY SIMPSON. (SEE DWGS. FOR ADDL INFO)

FLOOR JOISTS: IF APP. SIZE AND LOCATION SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR COMMON GRADE MIX. DIMENSIONAL LUMBER JOISTS MAY BE KING BY USING GALVANIZED JOIST HANGERS AS MFG BY SIMPSON. JOISTS BEARING ON WOOD PLATES SHALL BEAR DIRECTLY ON STUDS OR ON CONTIGUOUS PLATES. ALL HEADERS AND CRIPPLE STUDS USED TO FRAME OPENINGS SHALL BE DOUGLAS FIR COMMON GRADE MIX. (SEE DWGS. FOR ADDL INFO)

FLOORING SHEATHING: ALL SUB FLOORS SHALL BE 3/4" C-C PLYWOOD WITH MAXIMUM SPAN OF 24". GAPS BETWEEN PANELS SHALL BE 1/8". (SEE DWGS. FOR ADDL INFO)

EXTERIOR WALL FRAMING: EXTERIOR WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD FOR MAXIMUM SPAN OF 24" U.O.N. GAPS AT EDGES OF SHEATHING SHALL BE 1/8". NEW WALL CONSTRUCTION SHALL BE 2" X 4" WOOD STUDS AT 16" O.C. DOUGLAS FIR COMMON MIX TOP PLATES SHALL BE DOUBLE 2" X 4" DOUGLAS FIR COMMON GRADE MIX LUMBER OVERLAPPING AT INTERSECTION WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN 48".

INTERIOR LOAD-BEARING WALLS: INTERIOR WALLS SHALL BE 2" X 4" WOOD STUD WALLS AT 16" O.C. U.O.N. WOOD SHALL BE DOUGLAS FIR COMMON GRADE MIX. TOP PLATES SHALL BE DOUBLE 2" X 4" DOUGLAS FIR COMMON GRADE MIX LUMBER. END JOINTS IN TOP PLATES SHALL BE OFFSET 48" (SEE DWGS. FOR ADDL INFO)

INTERIOR NON-LOAD-BEARING PARTITIONS: SHALL BE 2" X 4" DOUGLAS FIR COMMON GRADE MIX WITH STUDS AT 16" O.C. U.O.N. (SEE DWGS. FOR ADDL INFO)

FINISH SPECIFICATIONS:

(P1) PAINT (TYP WALL PAINT) COLOR: TEB FINISH: EGGSHELL	(C1) NEW 48" H CERAMIC WALL TILE MANSOET AT BATH WITH RPTD MDSST RESIST GND ABV & MIN 1/2" H. TILE OVER GEMENT BRD AT SHWR ALCOVE
(P2) PAINT (TYP DRS & TRIM) COLOR: TEB FINISH: SEMI-GLOSS	(P3) PAINT (TYP GLS PAINT) COLOR: TEB FINISH: FLAT
(FT) NEW CERAMIC FLOOR TILE OVER 1/4" HARDIE-BOARD & NEW/EXT SURFLOOR	(H1) NEW HARDWOOD FLOORING
(VP) NEW VINYL PLANK FLOORING	(CB) CONCRETE SLAB
(B1) NEW WOOD BASE MOLDING & DOOR OPENING TRIM MOLDING	(B2) NEW TILE BASE MOLDING

WD HDR & STL LINTEL SCHEDULE - U.O.N. SEE PLAN FOR ADDL INFO

OPENING WIDTH	WOOD HEADER SIZE	STEEL LINTEL SIZE
2'-0" TO 3'-11"	(2)2X10	3-1/2"X8-1/2"X8' LVL
4'-0" TO 6'-0"	(2)2X12	3-1/2"X14"X8' LVL
6'-1" TO 9'-0"	(2) 1-3/4"X14"X4" 2.0E LVL BEAM	3-1/2"X8"X8' LVL

FRAMING LEGEND:

- ☒ DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLOOR LEVEL. SC TO PROVIDE &/OR VERIFY SOLID BLKING UNDER STUDS TO TRANSFER LOAD TO FTGS.

NOTE:

- NEW BASEMENT FLOOR WIND/DR HDRS TO MATCH EXST
- ALL NEW WINDOWS TO BE BY ANDERSEN MFG WITH LOW-E OR APPR. EQ. & MAINTAIN THE FOLLOWING PERFORMANCE RQMNTS:
* UFACTOR: 0.30; SHGC: 0.32

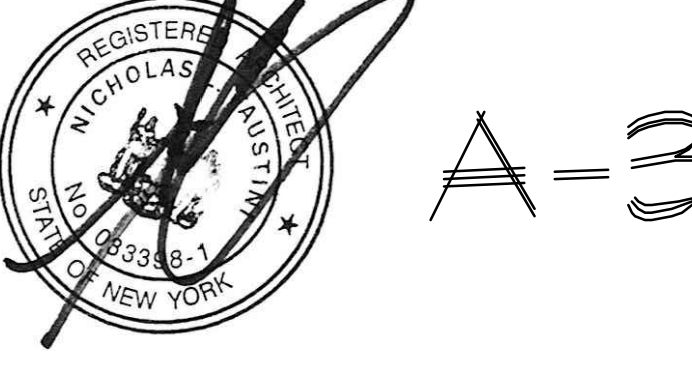
07.08.22 RPRC FILING
NO. DATE ISSUE/REV.

CLIENT:
MONICA MALONEY
5 HIDDEN OAK ROAD
ARMONK, NY 10504

PROJECT:
PROPOSED INTERIOR ALTERATIONS
AND ADDITION FOR:
5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE:
PROPOSED FLOOR PLANS

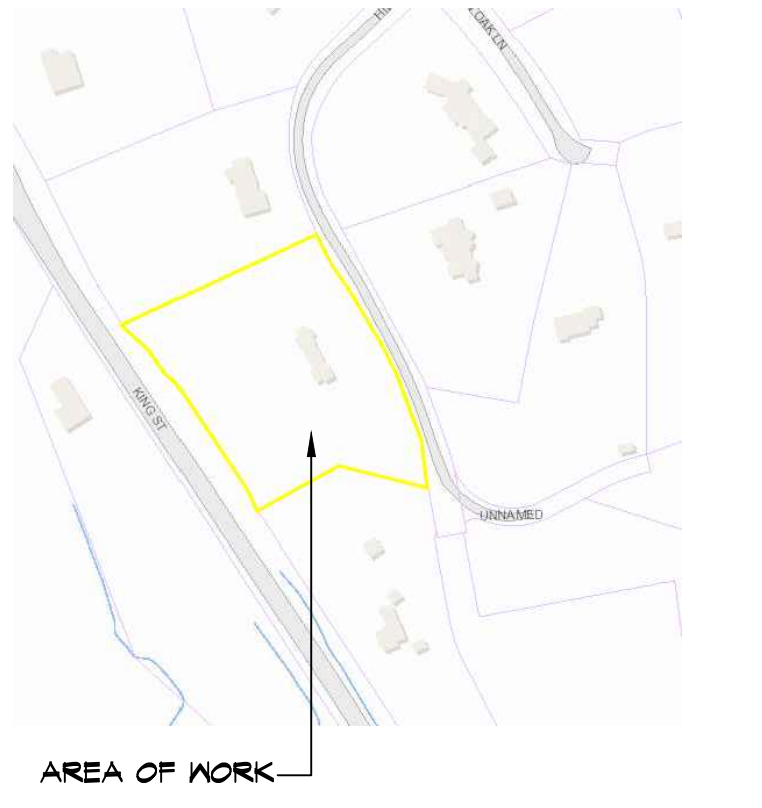
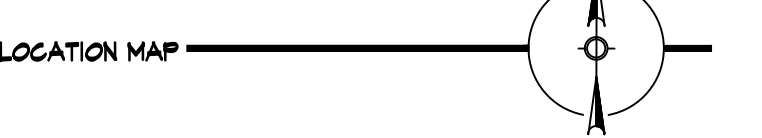
DRAWN / CHECKED: SI NP
PROJECT NO.: 20.114
DATE: 07.08.22
DRAWING NO.:



A-3

General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

T-1	PLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MAPS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED EXTERIOR ELEVATIONS
A-8	PROPOSED SECTION DETAILS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

WD HDR & STL LINTEL SCHEDULE - U.O.N. SEE PLAN FOR ADDL INFO

OPENING WIDTH	WOOD HEADER SIZE	STEEL LINTEL SIZE
2'-0" TO 3'-11"	(2)2X10	8-1/2"x8-1/2"x8'-1"
4'-0" TO 6'-0"	(2)2X12	8-1/2"x4"x8'-1" LVL
6'-1" TO 9'-0"	(2) 1-3/4"x4-1/4" 2.0E LVL BEAM	8-1/2"x8"x8'-1" LVL

FRAMING LEGEND:

- ☒ DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLOOR LEVEL. GC TO PROVIDE 1/4" OR VERIFY SOLID BLKNG UNDER STUDS TO TRANSFER LOAD TO FTGS.

NOTE:
 1. NEW FIRST FLOOR WIND/JDR HDRS TO MATCH EXST
 2. ALL NEW WINDOWS TO BE BY ANDERSEN MFG WITH LOW-E OR APPR. EQ. & MAINTAIN THE FOLLOWING PERFORMANCE RGMTS:
 • UFACTOR: 0.30, SHGC: 0.32

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

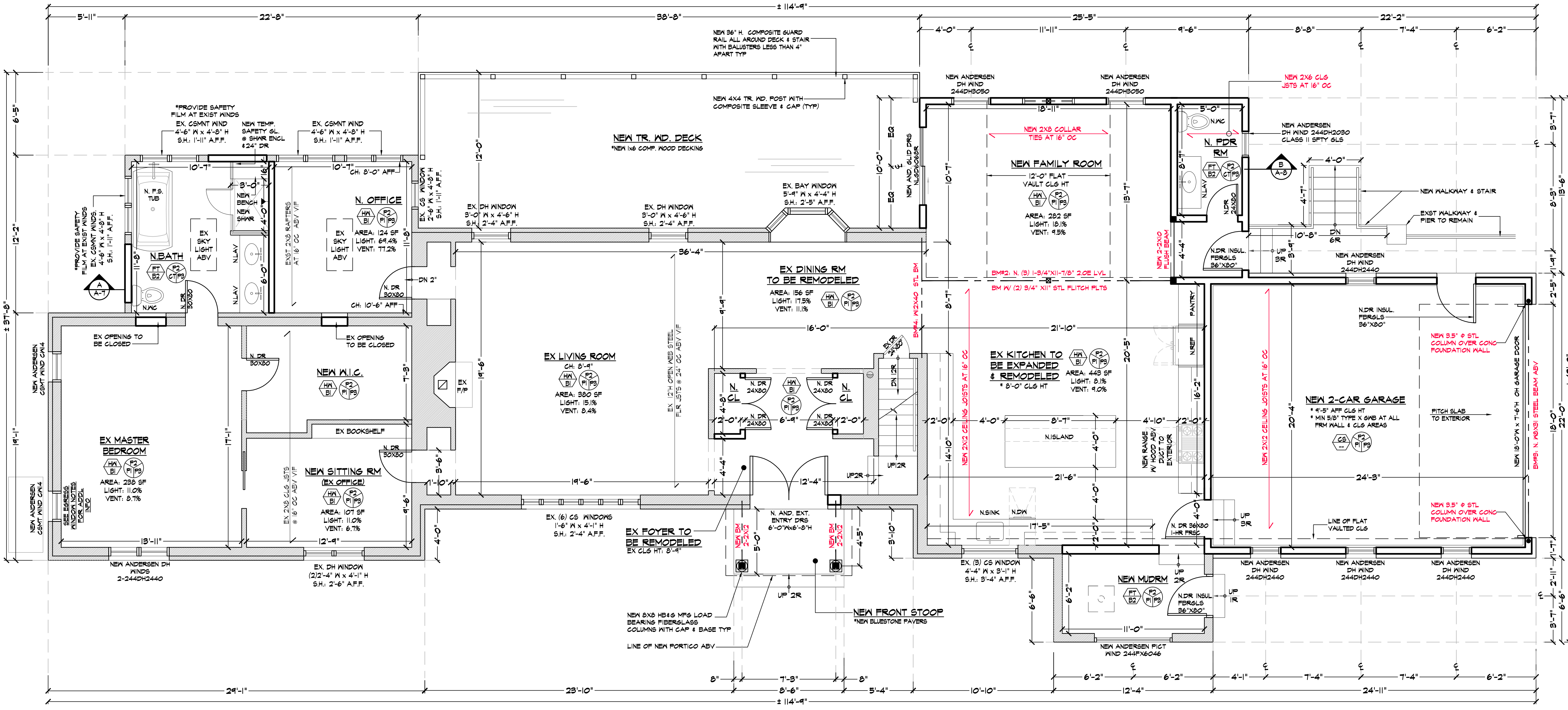
DRAWINGS TITLE
 PROPOSED FLOOR PLANS

DRAWN / CHECKED
 SF / NF

PROJECT NO.
 20.114

DATE
 07.08.22

DRAWING NO.
 A-4



PROPOSED FIRST FLOOR PLAN
 EXISTING FIRST FLR CLG HT 8'-0" AFF U.O.N.

WINDOW, DOOR & HARDWARE NOTES:

- GC TO FIELD VERIFY ALL WINDOW SIZES PRIOR TO ORDERING. INFORM ARCH IMMEDIATELY OF ANY DISCREPANCIES.
- ALL WINDOW EXTERIOR & INTERIOR FINISH TO MATCH EXISTING WINDOWS. CONFIRM WITH OWNER PRIOR TO ORDERING.
- ALL HVAIRE & SCREENS TO BE PRICED SEPARATELY & PRESENTED TO OWNER FOR SELECTION.
- ALL NEW DOORS SHALL BE FINISHED PER OWNERS REQMTS.
- ALL HARDWARE & RELATED MTL FINISH ACCESSORIES SHALL BE SELECTED & CONFIRMED BY OWNER PRIOR TO ORDERING.
- GC SHALL PAY FOR ALL LOCK CYLINDERS AND KEYING, ACCORDING TO OWNER REQUIREMENTS. COORDINATE WITH OWNER.
- ALL DOORS SHALL BE INSTALLED 4" FROM ADJACENT PARTITION TO CLEAR DAYLITE FOR LOCKSET LEVER U.O.N.
- ALL DOORS SHALL BE UNDERCUT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE THING OF THE FLOORING MATERIALS AND COORD. WITH THE EXIST. SLAB/FLOOR CONDITIONS TO DETERMINE THE TOTAL UNDERCUT REQUIRED TO ACHIEVE AN UNDERCUT OF 3/8" A.F.F.
- PROVIDE STRIKE PLATES AT EVERY JAMB & ARMOR FRONTS AT EVERY DR. EDGE. ALL ACCESSORIES TO MATCH.

EGRESS WINDOW NOTES
 EGRESS WINDOW OPENINGS SHALL HAVE:

- MINIMUM NET CLR OPENING OF 5.7 SQUARE FEET
- MINIMUM NET CLR OPENING HEIGHT OF 24 INCHES
- MINIMUM NET CLR OPENING WIDTH OF 20 INCHES
- OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
- SILL HEIGHT SHALL BE NO MORE THAN 44" A.F.F.

WINDOWS INSTALLED IN HAZARDOUS LOCATIONS REQUIRE TEMPERED GLASS:

TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- WITHIN 24" OF A DOOR IN A CLOSED POSITION
- IN ANY ROOM CONTAINING A BATHTUB OR SHOWER
- WITHIN 60" OF A STAIRCASE
- WITHIN 36" OF AN EXTERIOR WALKING SURFACE

TYPICAL BATH NOTE

- SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- GC TO PROVIDE CEMENT BOARD AT ALL SHOWER WALLS & GREENBOARD (M.R.) AT ALL OTHER BATH WALLS



WINDOW, DOOR & HARDWARE NOTES:

- GC TO FIELD VERIFY ALL WINDOW SIZES PRIOR TO ORDERING. INFORM ARCH IMMEDIATELY OF ANY DISCREPANCIES.
- ALL WINDOW EXTERIOR & INTERIOR FINISH TO MATCH EXISTING WINDOWS. CONFIRM WITH OWNER PRIOR TO ORDERING.
- ALL HVAIRE & SCREENS TO BE PRICED SEPARATELY & PRESENTED TO OWNER FOR SELECTION.
- ALL NEW DOORS SHALL BE FINISHED PER OWNERS REQMTS.
- ALL HARDWARE & RELATED MTL FINISH ACCESSORIES SHALL BE SELECTED & CONFIRMED BY OWNER PRIOR TO ORDERING.
- GC SHALL PAY FOR ALL LOCK CYLINDERS AND KEYING, ACCORDING TO OWNER REQUIREMENTS. COORDINATE WITH OWNER.
- ALL DOORS SHALL BE INSTALLED 4" FROM ADJACENT PARTITION TO CLEAR DAYLITE FOR LOCKSET LEVER U.O.N.
- ALL DOORS SHALL BE UNDERCUT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE THING OF THE FLOORING MATERIALS AND COORD. WITH THE EXIST. SLAB/FLOOR CONDITIONS TO DETERMINE THE TOTAL UNDERCUT REQUIRED TO ACHIEVE AN UNDERCUT OF 3/8" A.F.F.
- PROVIDE STRIKE PLATES AT EVERY JAMB & ARMOR FRONTS AT EVERY DR. EDGE. ALL ACCESSORIES TO MATCH.

EGRESS WINDOW NOTES
 EGRESS WINDOW OPENINGS SHALL HAVE:

- MINIMUM NET CLR OPENING OF 5.7 SQUARE FEET
- MINIMUM NET CLR OPENING HEIGHT OF 24 INCHES
- MINIMUM NET CLR OPENING WIDTH OF 20 INCHES
- OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
- SILL HEIGHT SHALL BE NO MORE THAN 44" A.F.F.

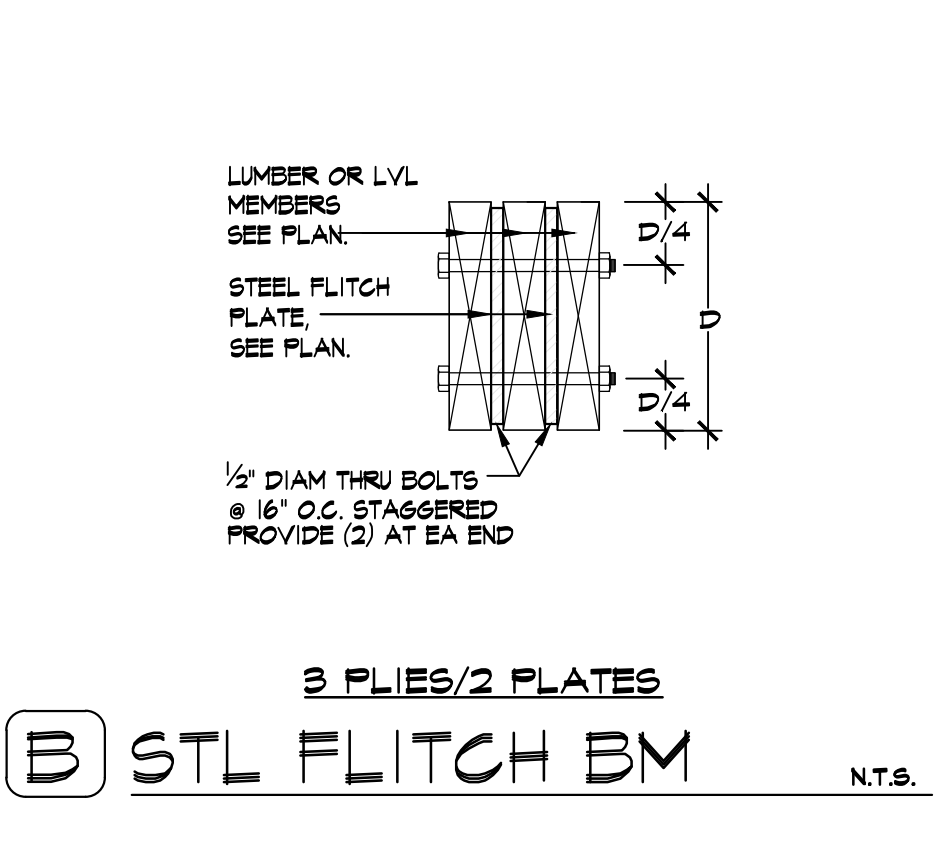
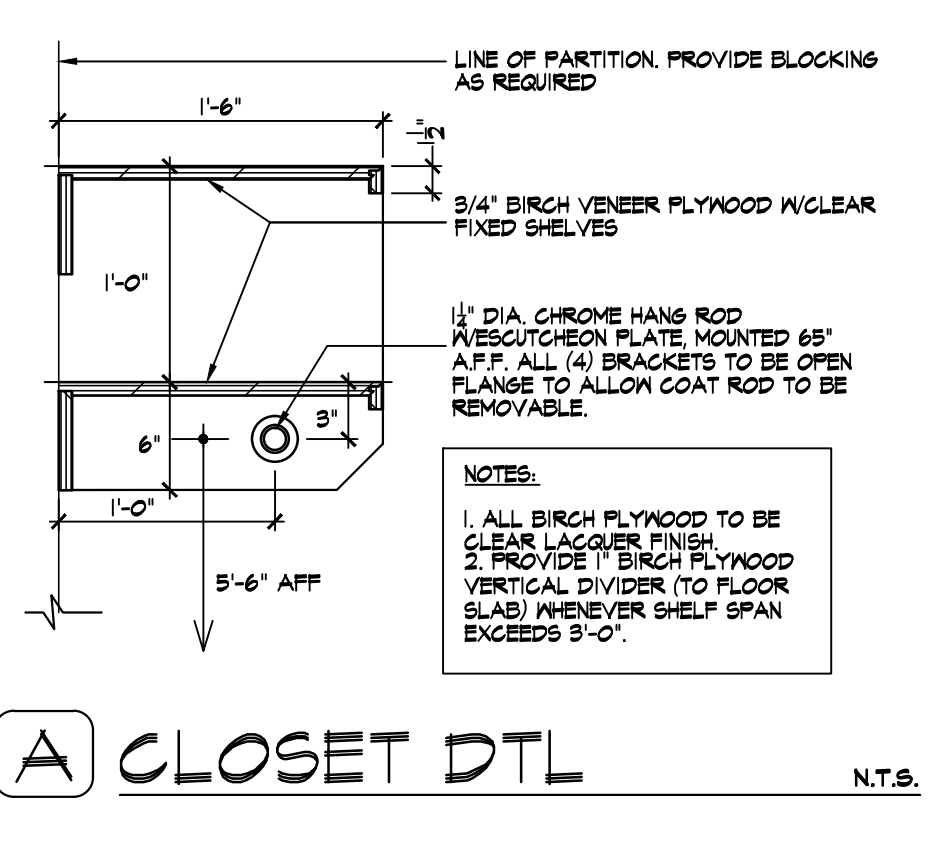
WINDOWS INSTALLED IN HAZARDOUS LOCATIONS REQUIRE TEMPERED GLASS:

TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- WITHIN 24" OF A DOOR IN A CLOSED POSITION
- IN ANY ROOM CONTAINING A BATHTUB OR SHOWER
- WITHIN 60" OF A STAIRCASE
- WITHIN 36" OF AN EXTERIOR WALKING SURFACE

TYPICAL BATH NOTE

- SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- GC TO PROVIDE CEMENT BOARD AT ALL SHOWER WALLS & GREENBOARD (M.R.) AT ALL OTHER BATH WALLS



General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

T-1	PLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MASS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED EXTERIOR ELEVATIONS
A-8	PROPOSED SECTION DETAILS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING	
NO. DATE	ISSUE/REV.

CLIENT
MONICA MALONEY
5 HIDDEN OAK ROAD
ARMONK, NY 10504

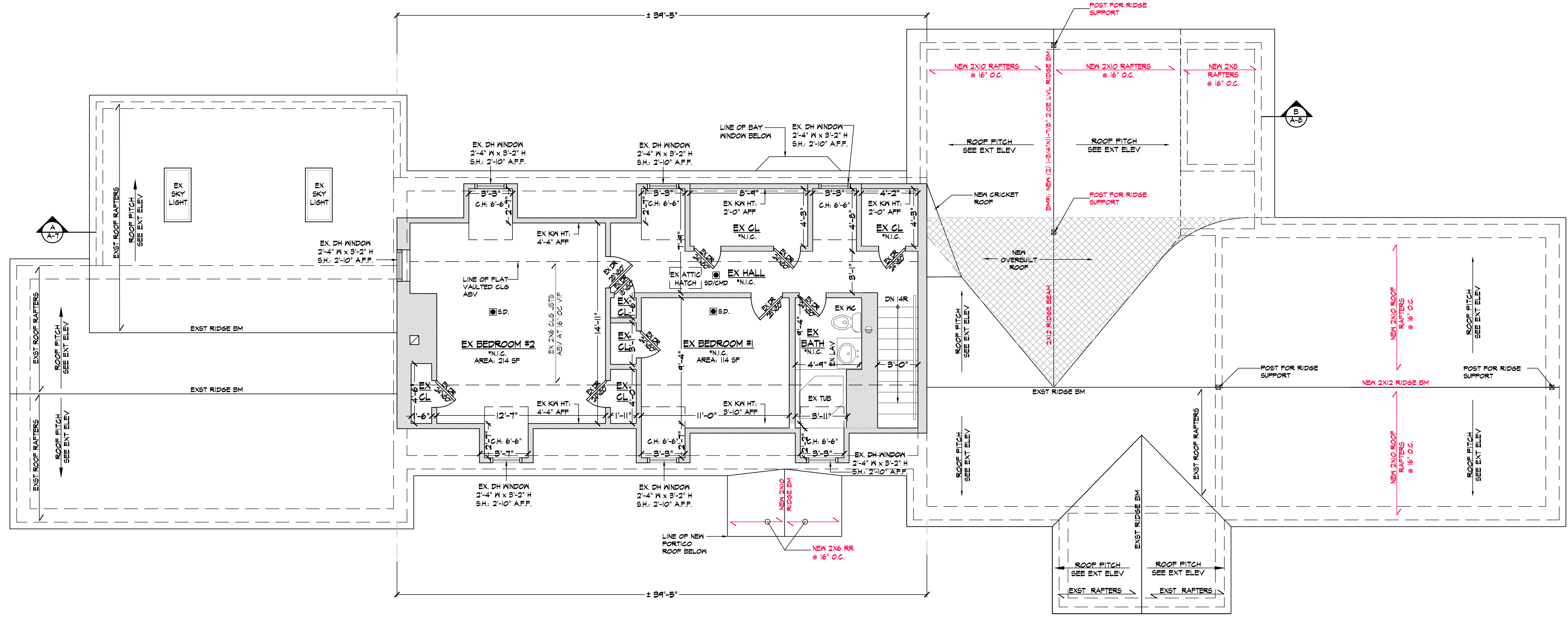
PROJECT
PROPOSED INTERIOR ALTERATIONS
AND ADDITION FOR:
5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
PROPOSED FLOOR PLANS

DRAWN / CHECKED	PROJECT NO.
SI NLF	20.114
DATE	DATE
07.08.22	07.08.22
DRAWING NO.	



A-5



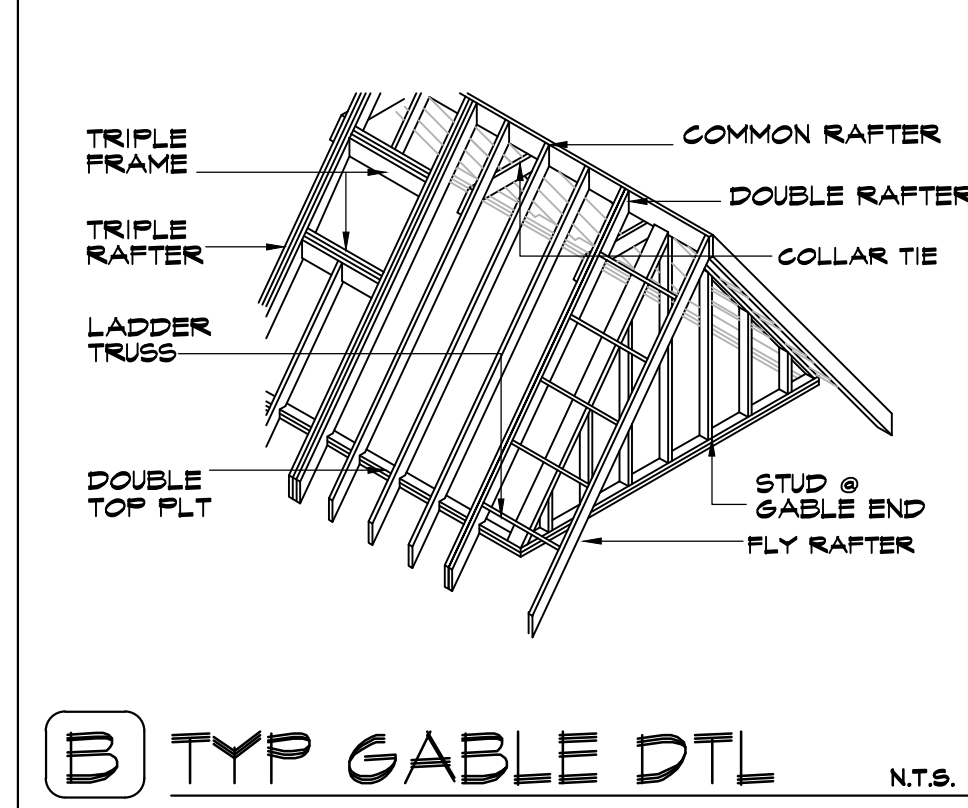
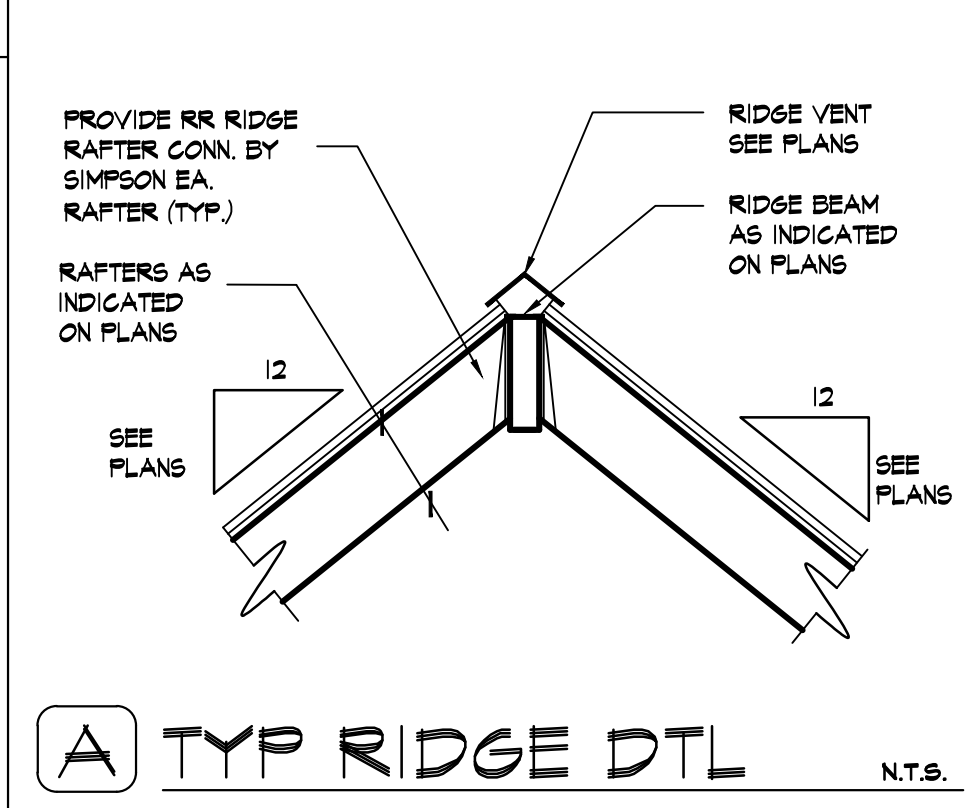
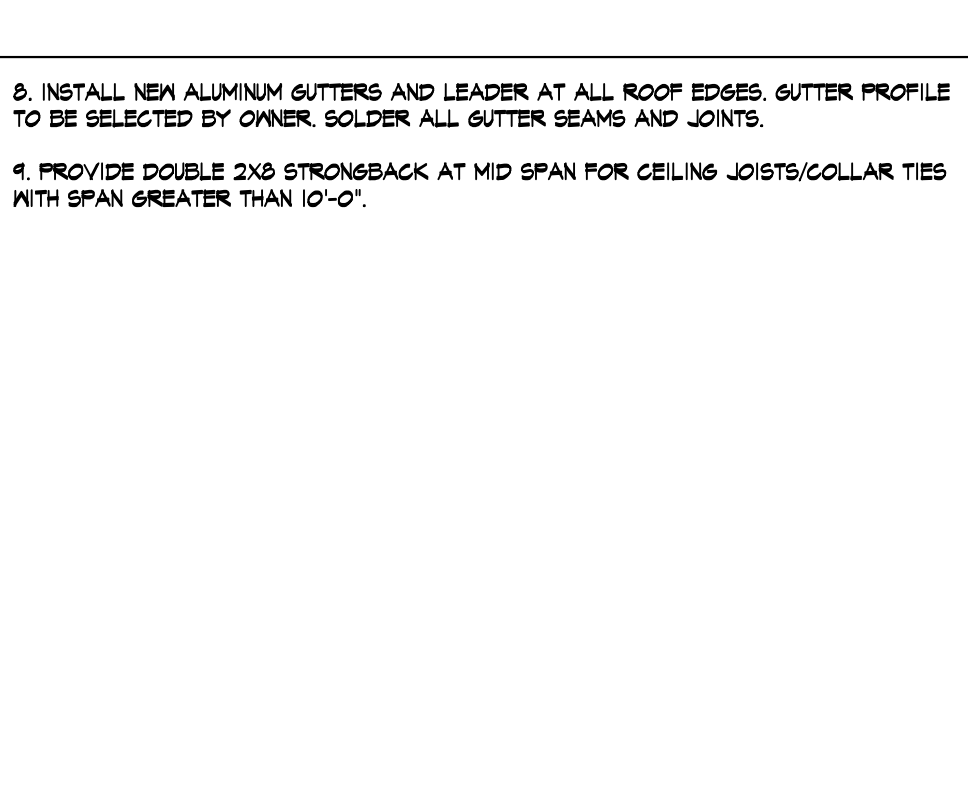
2 EXISTING SECOND FLOOR/PROPOSED ROOF PLAN

EXISTING SECOND FLR CLG HT 7'-2" AFF U.O.N.

1/4"=1'-0"

GENERAL ROOF NOTES:

1. PROVIDE MIN. 18" WEATHER-MATCH SELF-ADHERING ICE-SHIELD BY GAF CORP. OR APPROVED EQUIVALENT AT VALLEYS (MIN. 18" RETURN). RETURN ICE-SHIELD MIN. 12" ON ALL VERTICAL WALLS (TYP).
2. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD.
3. PROVIDE COLLAR TIES AT LOWER 1/3 OF VERTICAL DISTANCE B/W RIDGE BEAM AND CEILING JOISTS.
4. HIP, VALLEY RAFTERS, AND RIDGE BEAMS SHALL BE ONE "2X" SIZE LARGER THAN RAFTERS OR AS OTHERWISE INDICATED ON PLANS.
5. WALL AND ROOF SHEATHING: ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD, U.O.N., FOR A MAXIMUM SPAN OF 24". GAPS B/W PLYWOOD PANELS SHALL BE 1/8".
6. SOLID SAWN ROOF FRAMING SIZE AND SPACING SHALL BE AS PER PLAN. ALL WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX. RIDGE/LEDGER BOARD SHALL BE 2" THICK AND DEPTH SHALL BE NOT LESS THAN CUT END OF RAFTER. SOLID BLOCKING SHALL BE PROVIDED AT MID SPAN BUT SHALL NOT DISRUPT AIR FLOW.
7. PROVIDE METAL CONT. FLASHING AT ALL ROOF/WALL INTERSECTIONS (TYP).
8. INSTALL NEW ALUMINUM GUTTERS AND LEADER AT ALL ROOF EDGES. GUTTER PROFILE TO BE SELECTED BY OWNER. SOLDER ALL GUTTER SEAMS AND JOINTS.
9. PROVIDE DOUBLE 2X6 STRONGBACK AT MID SPAN FOR CEILING JOISTS/COLLAR TIES WITH SPAN GREATER THAN 10'-0".



FRAMING LEGEND:

- ☒ DENOTES SOLID STUDS FROM ABOVE. PROVIDE SOLID BLOCKING UNDER.
- DENOTES SOLID STUDS AT FLOOR LEVEL. GC TO PROVIDE 4/OR VERIFY SOLID BLKING UNDER STUDS TO TRANSFER LOAD TO FTSS.

WOOD HEADER SCHEDULE - U.O.N. SEE PLAN FOR ADDL. INFO

OPENING WIDTH	SIZE
2'-0" TO 3'-11"	(2)2X10
4'-0" TO 6'-0"	(2)2X12

NOTE:

1. ALL NEW WINDOWS TO BE BY ANDERSEN MFG WITH LOW-E OR APPR. EQ. & MAINTAIN THE FOLLOWING PERFORMANCE RGMTS:
• UFACTOR: 0.30; SHGC: 0.32

General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP



AREA OF WORK

NOTE:

Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

- T-1 PLOT PLAN & ZONING INFO SCHEDULE
- T-2 SITE DETAILS
- T-3 MAPS & AERIAL VIEWS
- T-4 FLOOR AREA DIAGRAMS
- T-5 GROSS LAND COVERAGE DIAGRAMS
- A-1 EXIST FLR PLANS
- A-2 EXIST FLR PLANS & EXTERIOR ELEV
- A-3 PROPOSED FLOOR PLANS
- A-4 PROPOSED FLOOR PLANS
- A-5 PROPOSED FLOOR PLANS
- A-6 PROPOSED EXTERIOR ELEVATIONS
- A-7 PROPOSED EXTERIOR ELEVATIONS
- A-8 PROPOSED SECTION DETAILS
- A-9 PROPOSED ELECTRICAL LAYOUTS
- A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING
NO. DATE ISSUE/REV.

CLIENT
MONICA MALONEY
5 HIDDEN OAK ROAD
ARMONK, NY 10504

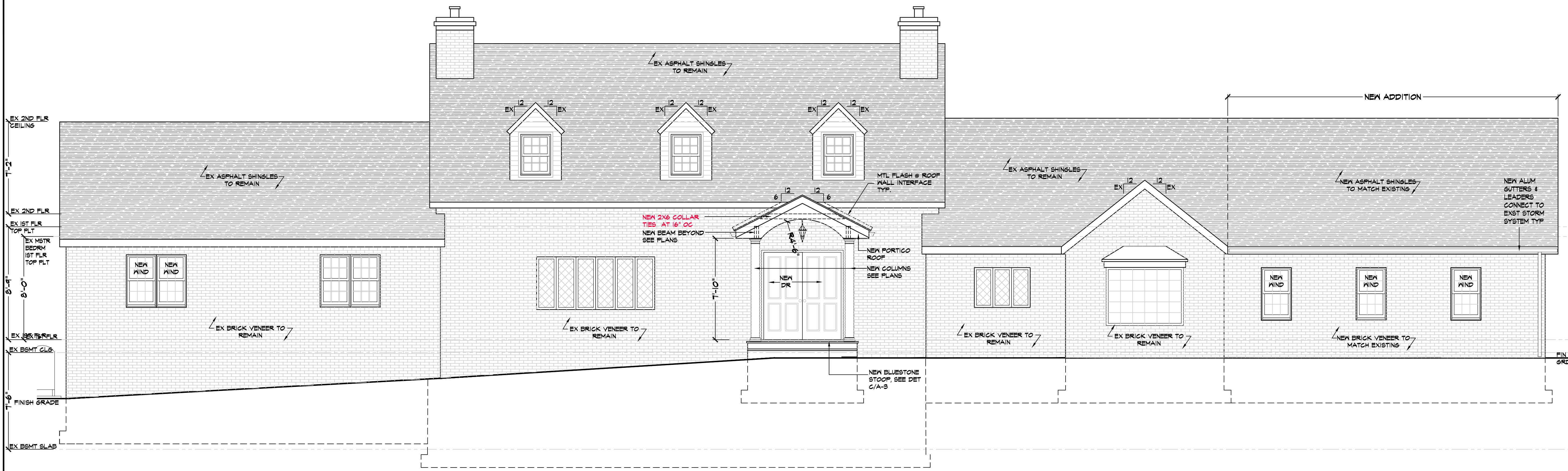
PROJECT
PROPOSED INTERIOR ALTERATIONS
AND ADDITION FOR:
5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
PROPOSED EXTERIOR ELEVATIONS

DRAWN / CHECKED	PROJECT NO.
SI NF	20.1114
	DATE
	07.08.22
	DRAWING NO.

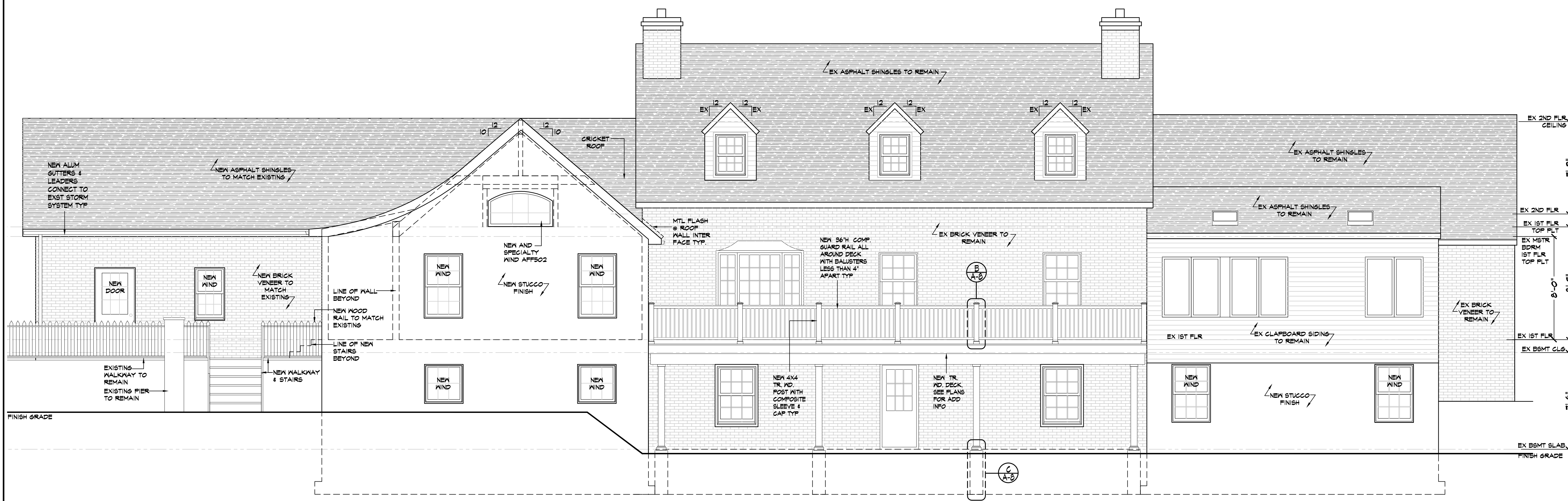


A-6



E1 PROPOSED FRONT EXTERIOR ELEVATION

1/4"=1'-0"



E2 PROPOSED REAR EXTERIOR ELEVATION

1/4"=1'-0"

General Notes

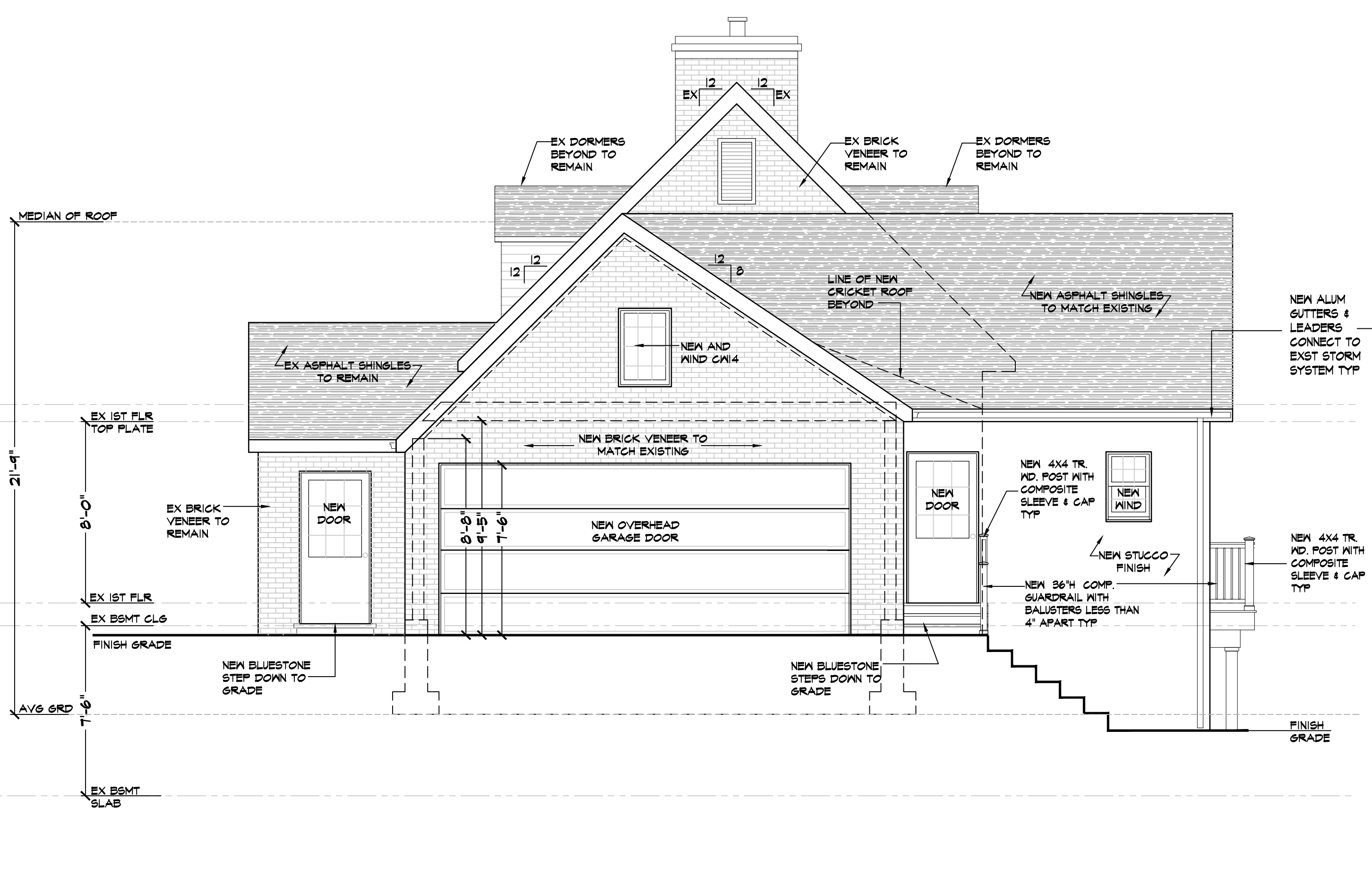
Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP

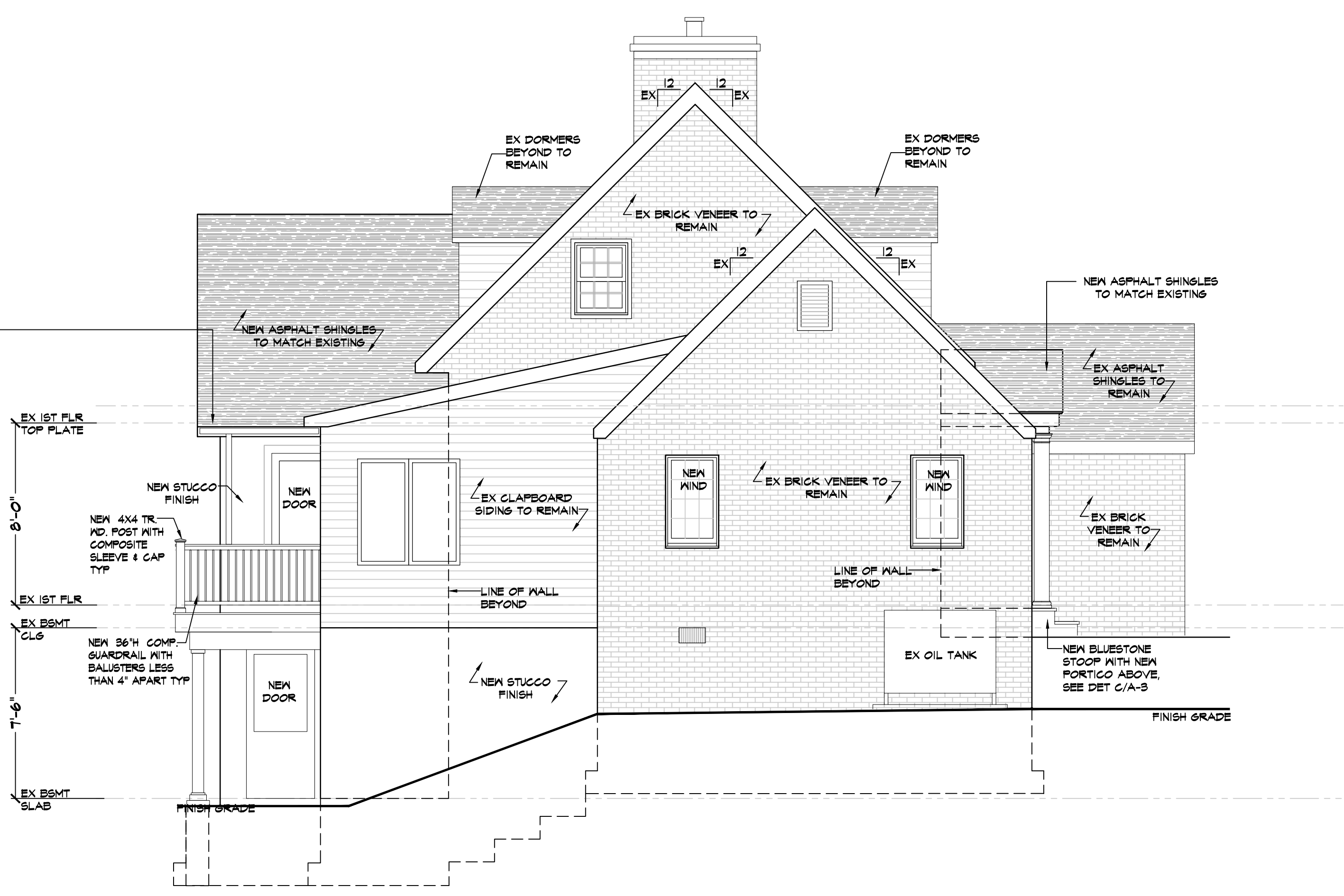


NOTE:
Drawings may be printed at reduced scale



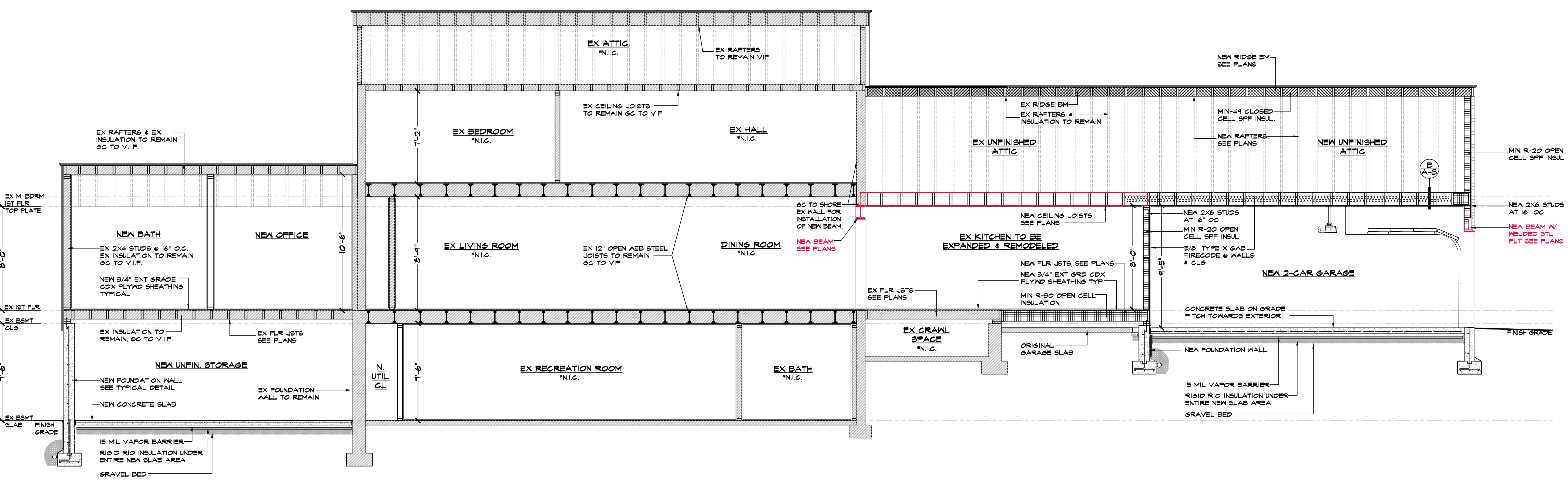
E3 PROPOSED LEFT SIDE EXTERIOR ELEVATION

1/4"=1'-0"



E4 PROPOSED RIGHT SIDE EXTERIOR ELEVATION

1/4"=1'-0"



A PROPOSED CROSS SECTION

1/4"=1'-0"

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

T-1	FLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MAPS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED EXTERIOR ELEVATIONS
A-8	PROPOSED SECTION DETAILS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING

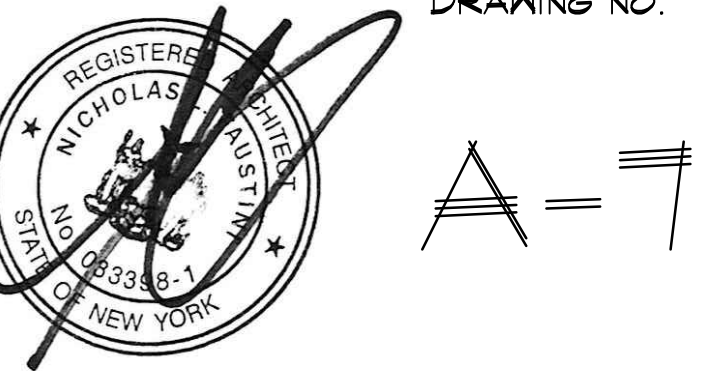
NO.	DATE	ISSUE/REV.

CLIENT
MONICA MALONEY
5 HIDDEN OAK ROAD
ARMONK, NY 10504

PROJECT
PROPOSED INTERIOR ALTERATIONS
AND ADDITION FOR:
5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
PROPOSED EXTERIOR ELEVATIONS

DRAWN / CHECKED	PROJECT NO.
SI NF	20.1114
	DATE
	07.08.22
	DRAWING NO.



A=7

General Notes

Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.

LOCATION MAP



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

- T-1 FLOT PLAN & ZONING INFO SCHEDULE
- T-2 SITE DETAILS
- T-3 MAPS & AERIAL VIEWS
- T-4 FLOOR AREA DIAGRAMS
- T-5 GROSS LAND COVER DIAGRAMS
- A-1 EXIST FLR PLANS
- A-2 EXIST FLR PLANS & EXTERIOR ELEV
- A-3 PROPOSED FLOOR PLANS
- A-4 PROPOSED FLOOR PLANS
- A-5 PROPOSED FLOOR PLANS
- A-6 PROPOSED EXTERIOR ELEVATIONS
- A-7 PROPOSED EXTERIOR ELEVATIONS
- A-8 PROPOSED SECTION DETAILS
- A-9 PROPOSED ELECTRICAL LAYOUTS
- A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

-- 07.08.22 RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

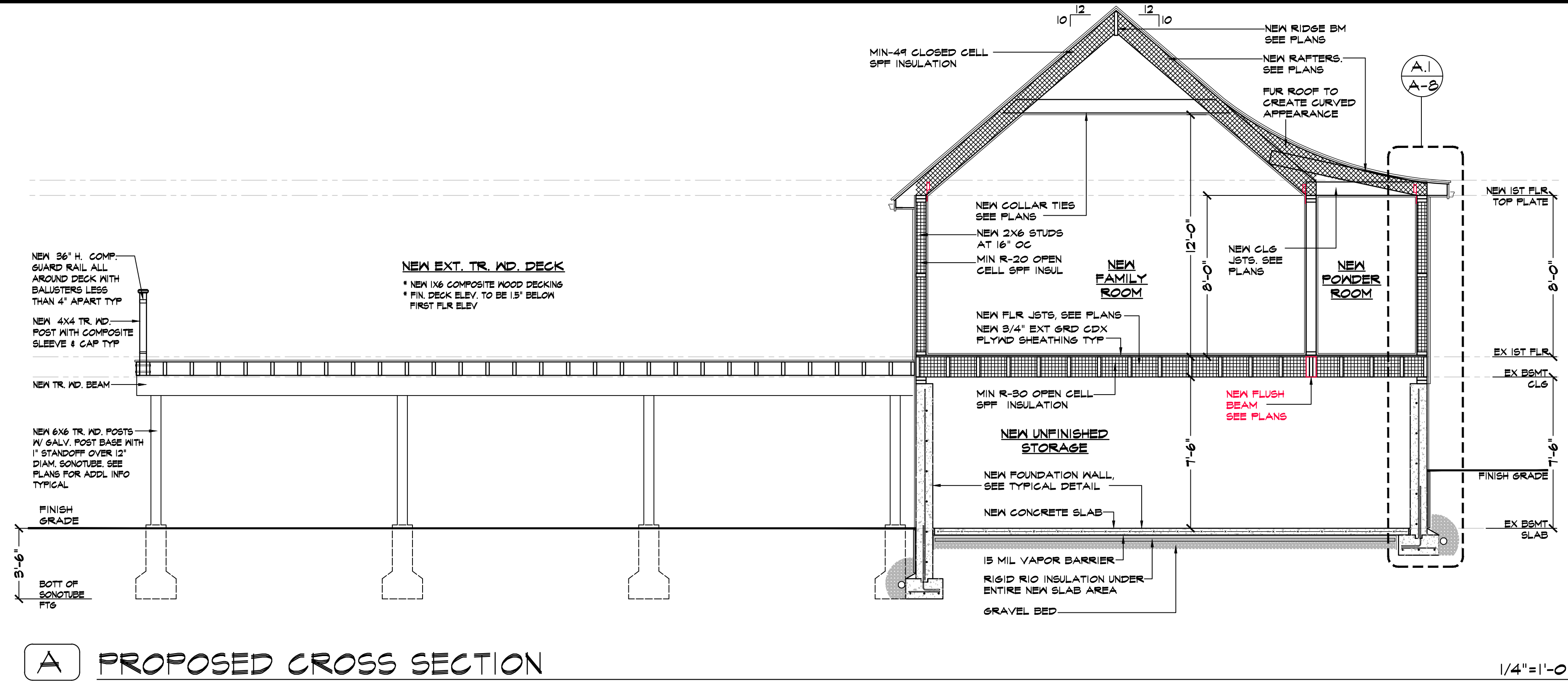
PROJECT
 PROPOSED INTERIOR ALTERATIONS
 AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 PROPOSED SECTION DETAILS

DRAWN / CHECKED
 SI NF
PROJECT NO.
 20.114
DATE
 07.08.22
DRAWING NO.

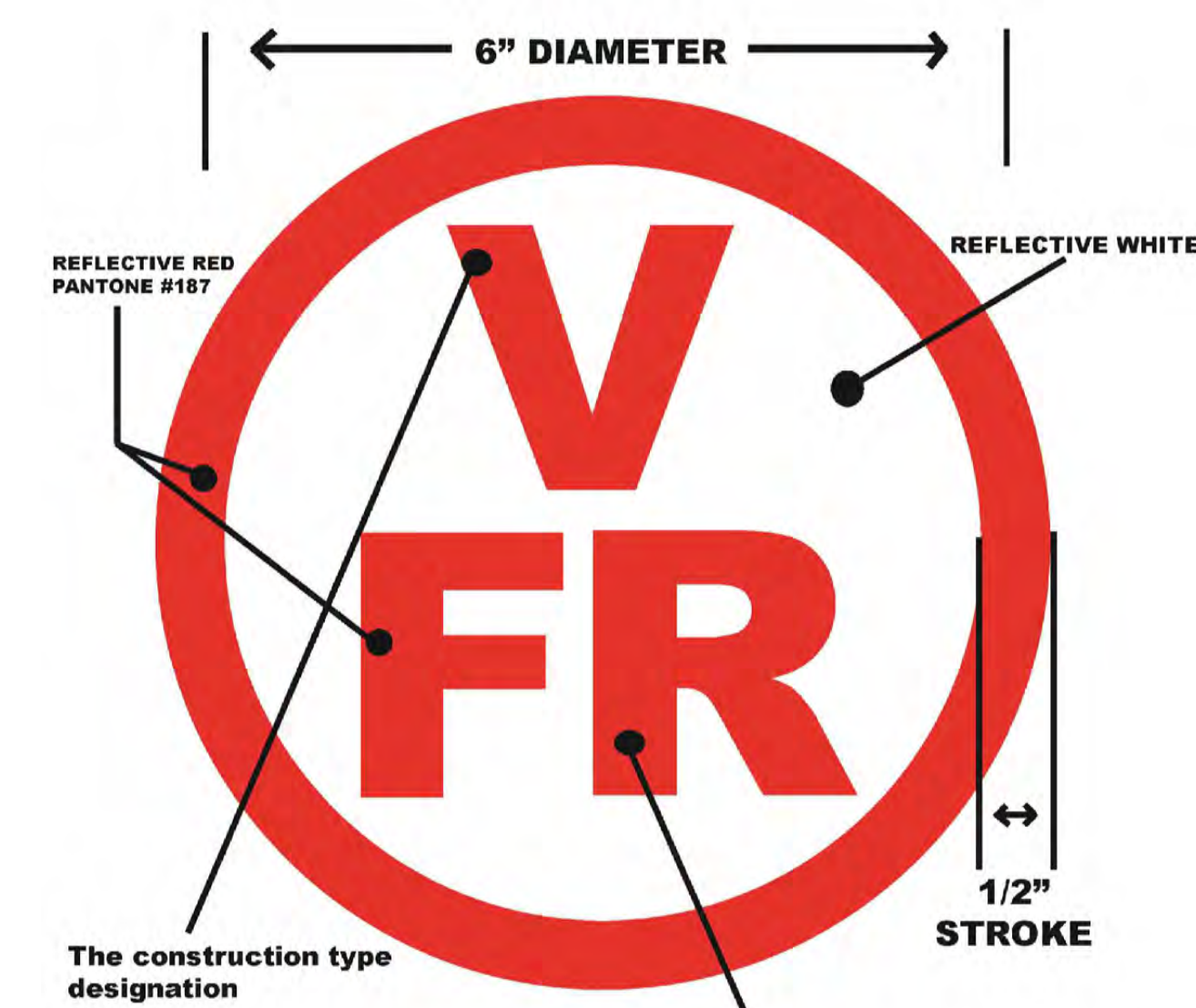


A=8



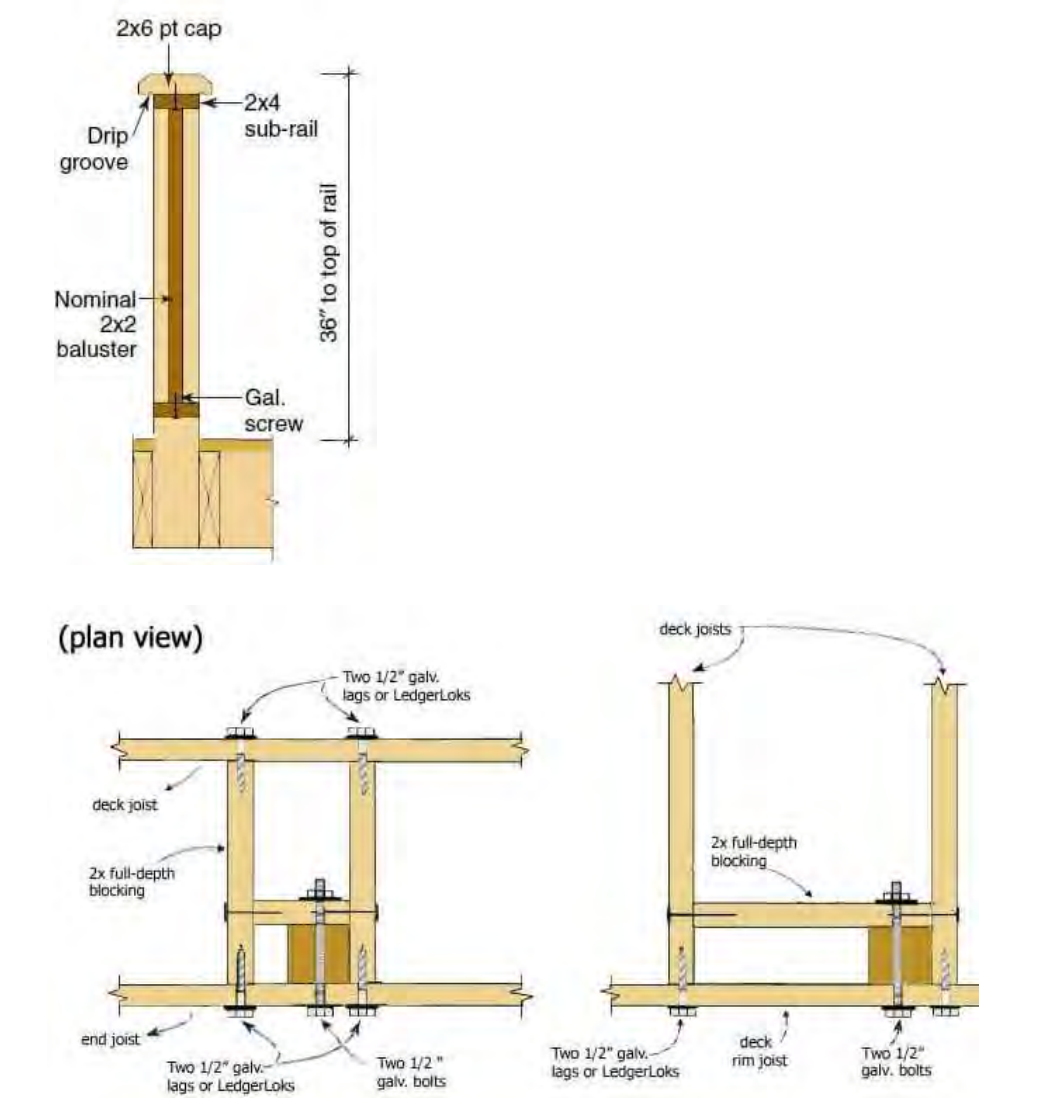
A PROPOSED CROSS SECTION

1/4"=1'-0"

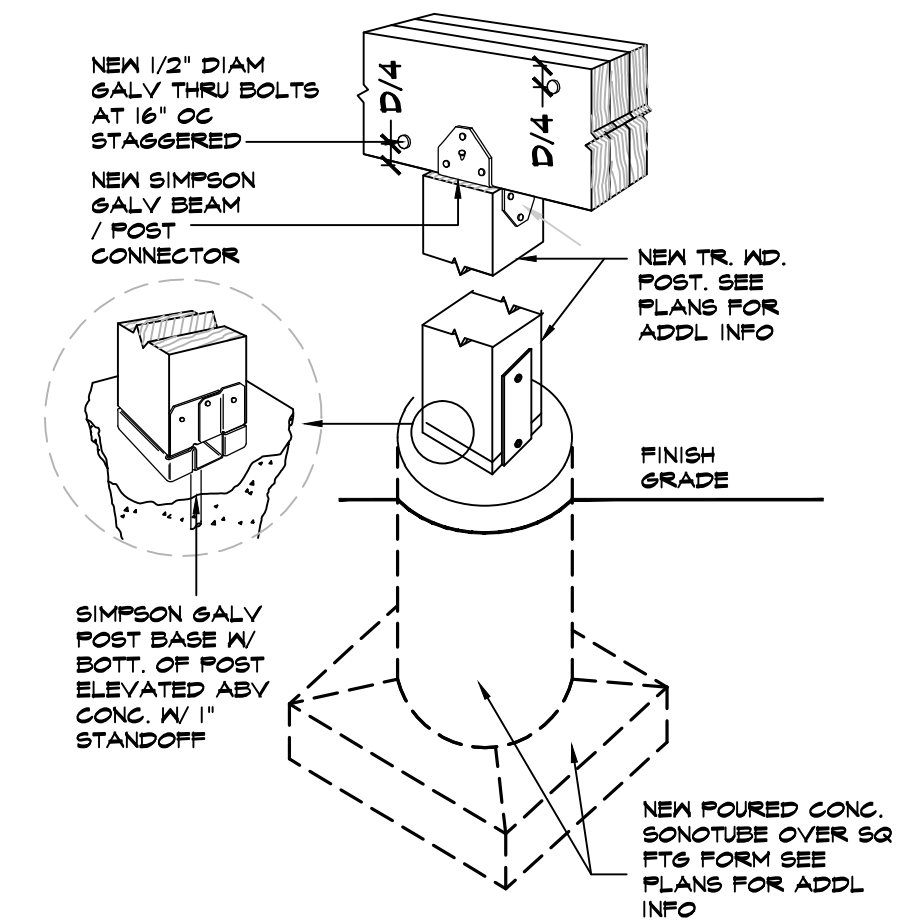


DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION

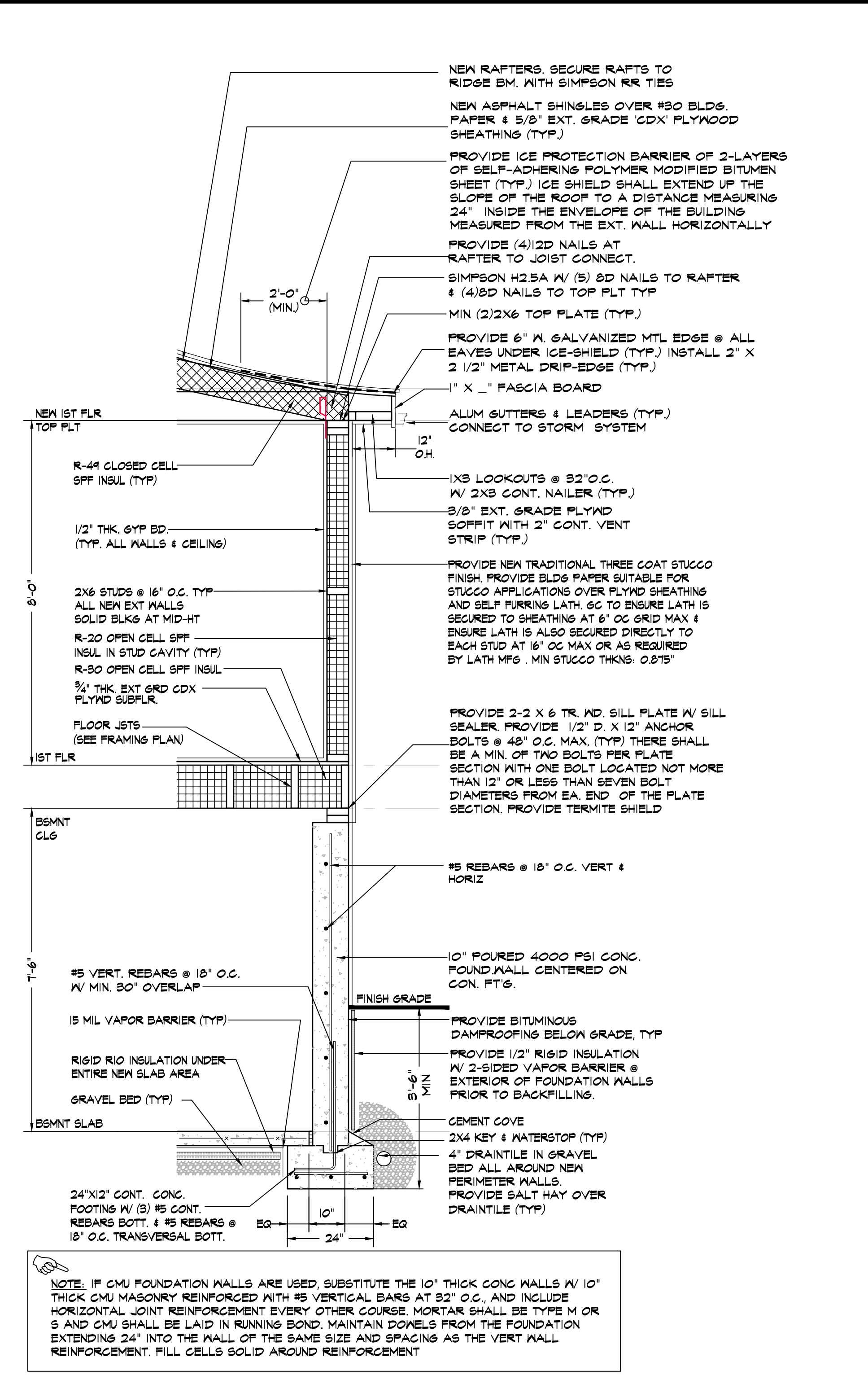
"FR" FLOOR AND ROOF FRAMING



B DECK RAIL POST DTLS N.T.S.



C DECK FTG DTL N.T.S.



A.1 TYPICAL WALL SECTION DETAIL

1/4"=1'-0"

PRE-ENGINEERED WOOD STRUCTURE STICKER, SECTION 1265.3, SIGN OR SYMBOL

(A) WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE OR IN AN ADDITION TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SUCH RESIDENTIAL STRUCTURE SHALL BE IDENTIFIED BY A SIGN OR SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF THIS PART.
 (B) THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE ELECTRICAL BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, PROVIDED, HOWEVER, THAT:
 (1) IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRICAL BOX WOULD OBSCURE ANY METER ON THE ELECTRICAL BOX, OR IF THE UTILITY PROVIDING ELECTRICAL SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRICAL BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRICAL BOX; AND
 (2) IF NO ELECTRICAL BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRICAL BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

LIST OF DRAWINGS

T-1	PLOT PLAN & ZONING INFO SCHEDULE
T-2	SITE DETAILS
T-3	MAPS & AERIAL VIEWS
T-4	FLOOR AREA DIAGRAMS
T-5	GROSS LAND COVERAGE DIAGRAMS
A-1	EXIST FLR PLANS
A-2	EXIST FLR PLANS & EXTERIOR ELEV
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED FLOOR PLANS
A-5	PROPOSED FLOOR PLANS
A-6	PROPOSED EXTERIOR ELEVATIONS
A-7	PROPOSED EXTERIOR ELEVATIONS
A-8	PROPOSED SECTION DETAILS
A-9	PROPOSED ELECTRICAL LAYOUTS
A-10	PROP ELEC LAYOUTS & PLUMB RISER DIAG

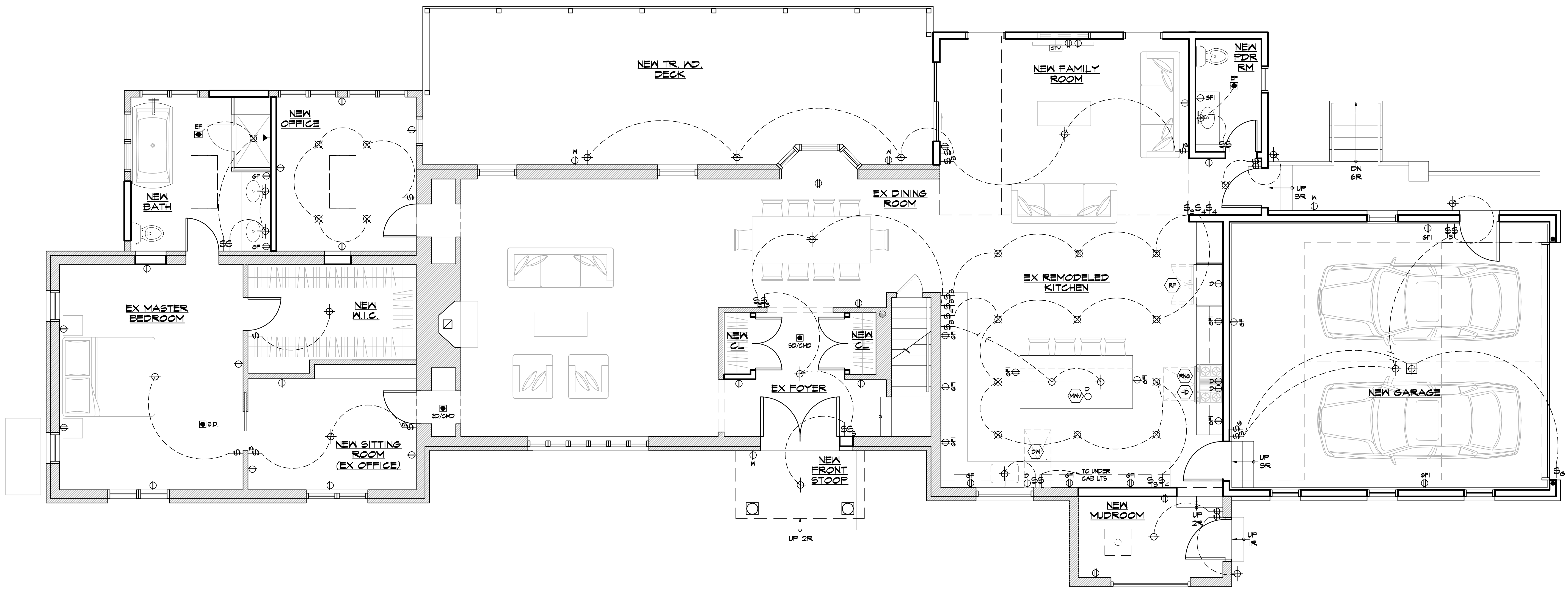
-- 07.08.22 RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

DRAWINGS TITLE
 PROPOSED ELECTRICAL LAYOUTS

DRAWN / CHECKED	PROJECT NO.
SI NF	20.1114
	DATE
	07.08.22
	DRAWING NO.
	A-9

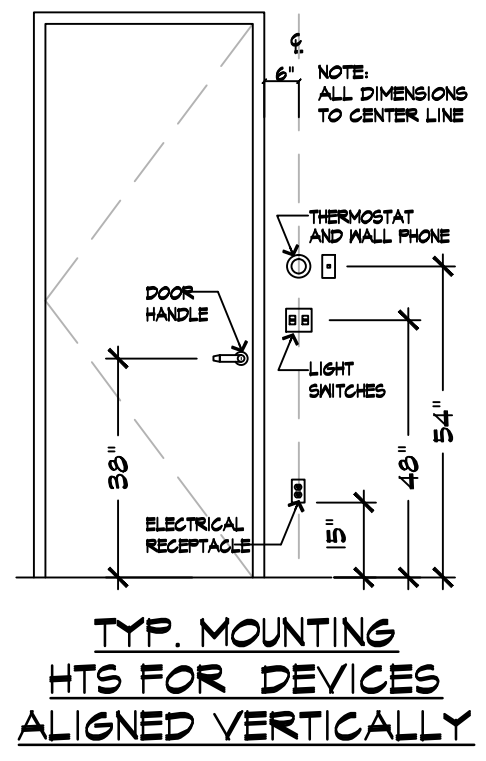


PROPOSED FIRST FLOOR ELECTRICAL LAYOUT

1/4" = 1'-0"

ELECTRICAL LEGEND

ITEM	DESCRIPTION	ITEM	DESCRIPTION
⊕	DUPLEX RECEPTACLE OUTLET	⊕	SINGLE POLE SWITCH
⊕GFI	OUTLET WITH GROUND FAULT INTERRUPTER	⊕3	THREE WAY SWITCH
⊕K	WEATHERPROOF OUTLET	⊕4	FOUR WAY SWITCH
⊕D	DEDICATED OUTLET	⊕D	DIMMER SWITCH
⊕R	RECESSED FLOOR DUPLEX OUTLET	⊕L	CEILING MOUNTED LIGHT FIXTURE
⊕TV	CABLE TELEVISION OUTLET	⊕X	RECESS LIGHT CLS FIXTURE. PROVIDE MOIST RESIST TYPE AT WET LOCATIONS
⊕M	WALL MTD LIGHT FIXTURE	⊕EF	NEW 100 CFM EXHAUST FAN DUCTED TO EXTERIOR
⊕M	WALL MTD LIGHT W/ MOTION DETECTOR	⊕J	JAMB SWITCH
SC TO CONFIRM ALL CABLE TELEPHONE & DATA OUTLET LOCATION WITH OWNER PRIOR TO ORDERING OF MATERIAL OR INSTALLATION.		⊕	LED CLOSET LIGHT
		⊕	LED UNDERCABINET LIGHT
		⊕	GARAGE DR OPENER WITH LIGHT
		⊕	GARAGE DR SWITCH



DETECTOR LEGEND

ITEM	DESCRIPTION
⊕S.D.	SMOKE DETECTOR/ALARM - HARDWIRED & INTERCONNECTED 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL. SMOKE ALARMS SHALL BE INSTALLED ON THE UPPER LEVEL, PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. 4. SMOKE ALARM SHALL NOT BE LESS THAN 3 FT FROM DR OR OPENING OF BATH WITH SHOWER OR TUB UNLESS THIS WOULD PROVIDE PLACEMENT OF SMOKE ALARM PER SECTION 5103. CARBON MONOXIDE ALARMS - HARDWIRED & INTERCONNECTED 1. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 5 FEET OF THE SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE RATE OF RISE HEAT DETECTOR - HARDWIRED & INTERCONNECTED

GENERAL ELEC NOTES:

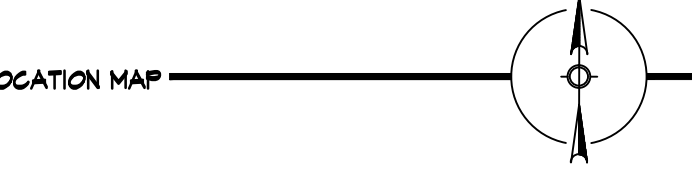
- THE GENERAL CONTRACTOR SHALL PROVIDE A COMPLETE SET OF ARCHITECTURAL AND ENGINEERING DOCUMENTS TO THE ELECTRICAL SUBCONTRACTORS. THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ELECTRICAL ITEMS INDICATED ON ALL DRAWINGS, NOT JUST ENGINEERING PLANS. ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICT OR INACCURACY PRIOR TO THE COMMENCEMENT OF WORK.
- ALL THERMOSTAT LOCATIONS MUST BE VERIFIED WITH OWNER IN THE FIELD PRIOR TO INSTALLATION.
- ELECTRICAL CONTRACTOR SHALL INSPECT ELECTRICAL CLOSETS TO CONFIRM THAT THEY MEET ALL ELECTRICAL CODE REQUIREMENTS AND BUILDING REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL VENDORS INCLUDING TELECOMMUNICATIONS INSTALLATION, AUDIO VISUAL INSTALLATION, CABLE TV INSTALLATION, ETC.
- ALL ELECTRICAL RECEPTACLES UNLESS OTHERWISE NOTED TO BE INSTALLED AT 1' AFF TO CENTER LINE OF BOX.
- ALL WALL MOUNTED RECEPTACLES TO HAVE DECORA STYLE WHITE COVER PLATES AND WHITE DEVICES. ALL DESIGNATED CIRCUITS OR SEPARATE CIRCUITS TO HAVE GRAY DEVICES.
- EXACT LOCATIONS OF RECEPTACLES & DEVICES TO BE VERIFIED IN FIELD WITH OWNER PRIOR TO INSTALLATION. DEVICES ARE REQUIRED TO BE INSTALLED PER CODE.

EQUIPMENT LEGEND

ITEM	DESCRIPTION
RF	INDICATES NEW REFRIGERATOR/FREEZER. PROVIDE NEW COPPER WATER LINE FOR WATER DISPENSER & ICE MAKER AS REQ. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
DW	INDICATES DISHWASHER. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
RO	INDICATES NEW RANGE/OVEN. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
HD	INDICATES NEW RANGE HOOD DUCTED TO EXTERIOR. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.
MW	INDICATES NEW MICROWAVE. COORD WITH KITCHEN CAB/EQUIP SUPPLIER.

General Notes
 Drawings and specifications as instruments of professional service are and shall remain the property of Nicholas L. Faustini Architect P.C. Any reproduction or use in whole or in part without the written authorization of Nicholas L. Faustini Architect P.C. is prohibited.

This document is intended solely for the construction of the project named herein and shall not be used for any other construction without the written permission of Nicholas L. Faustini Architect P.C.



NOTE:
 Drawings may be printed at reduced scale

TM ID#: 107.01-1-45 ZONE: R-2A

- LIST OF DRAWINGS**
- T-1 PLOT PLAN & ZONING INFO SCHEDULE
 - T-2 SITE DETAILS
 - T-3 MAPS & AERIAL VIEWS
 - T-4 FLOOR AREA DIAGRAMS
 - T-5 GROSS LAND COVERAGE DIAGRAMS
 - A-1 EXIST FLR PLANS
 - A-2 EXIST FLR PLANS & EXTERIOR ELEV
 - A-3 PROPOSED FLOOR PLANS
 - A-4 PROPOSED FLOOR PLANS
 - A-5 PROPOSED FLOOR PLANS
 - A-6 PROPOSED EXTERIOR ELEVATIONS
 - A-7 PROPOSED EXTERIOR ELEVATIONS
 - A-8 PROPOSED SECTION DETAILS
 - A-9 PROPOSED ELECTRICAL LAYOUTS
 - A-10 PROP ELEC LAYOUTS & PLUMB RISER DIAG

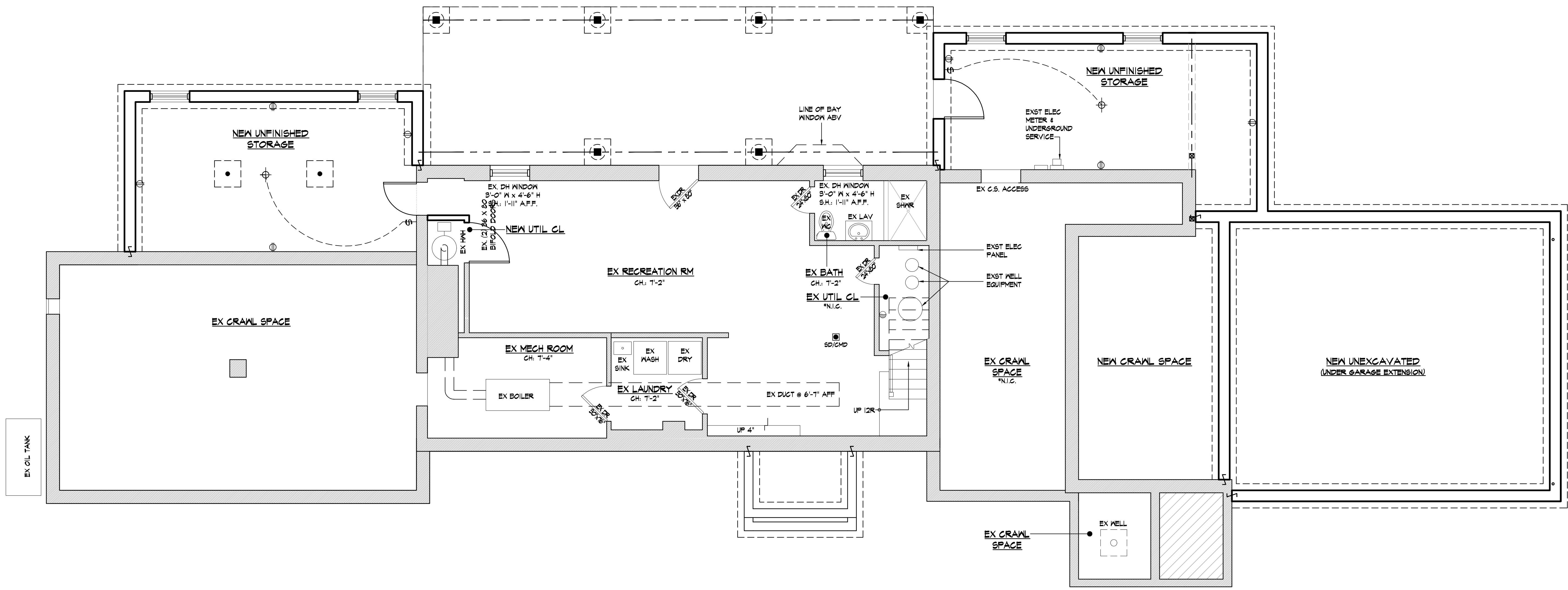
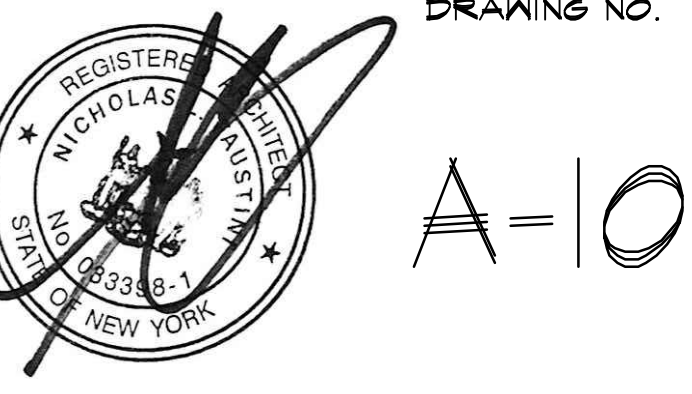
-- 07.08.22 RPRC FILING
 NO. DATE ISSUE/REV.

CLIENT
 MONICA MALONEY
 5 HIDDEN OAK ROAD
 ARMONK, NY 10504

PROJECT
 PROPOSED INTERIOR ALTERATIONS
 AND ADDITION FOR:
 5 HIDDEN OAK ROAD, ARMONK, NY 10504

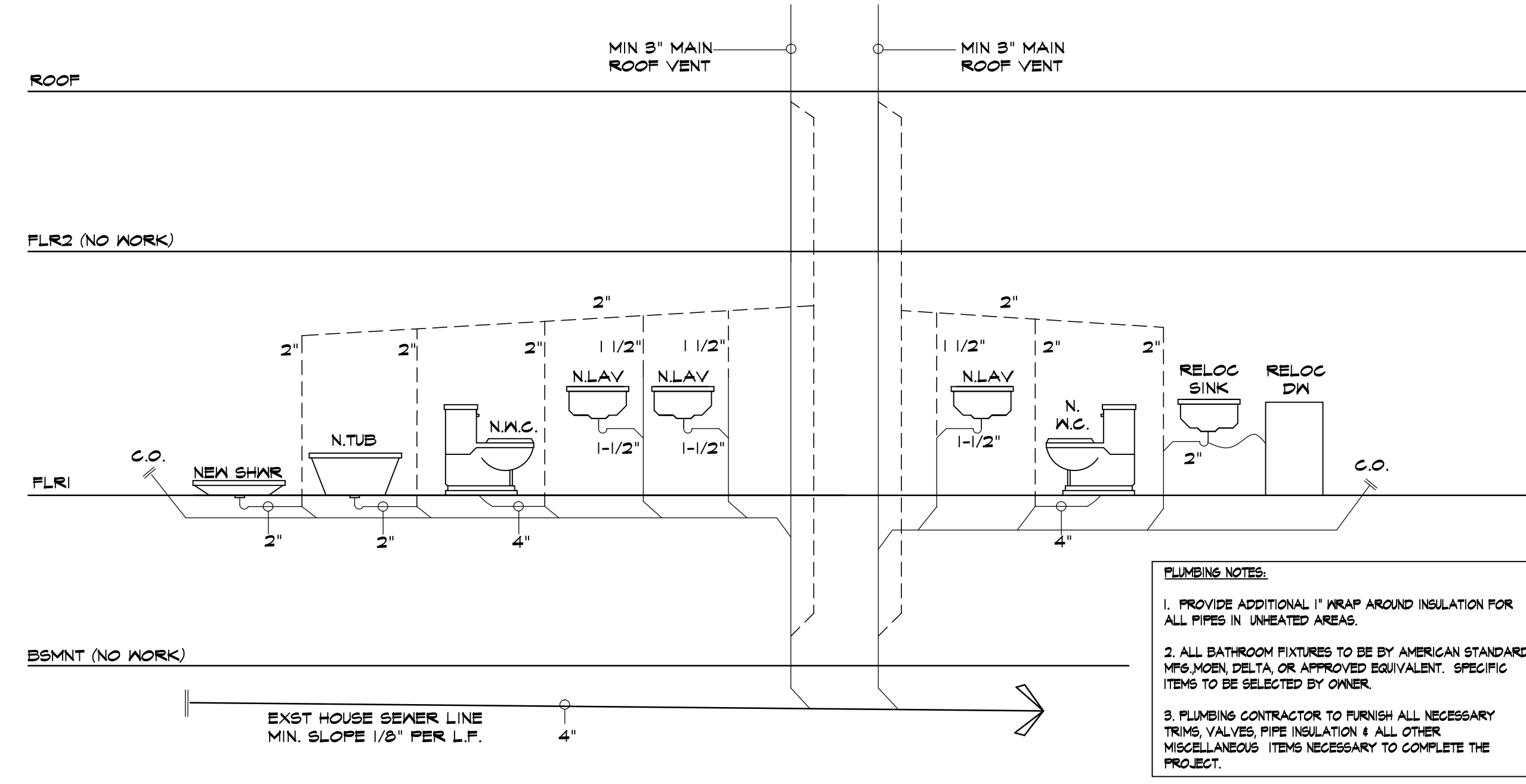
DRAWINGS TITLE
 PROP ELEC LAYOUT & PRD

DRAWN / CHECKED	PROJECT NO.
SI NF	20.1114
DATE	DRAWING NO.
07.08.22	A-10



PROPOSED BASEMENT ELECTRICAL LAYOUT

1/4" = 1'-0"



PRD PROPOSED PARTIAL PLUMBING RISER DIAGRAM

NTS

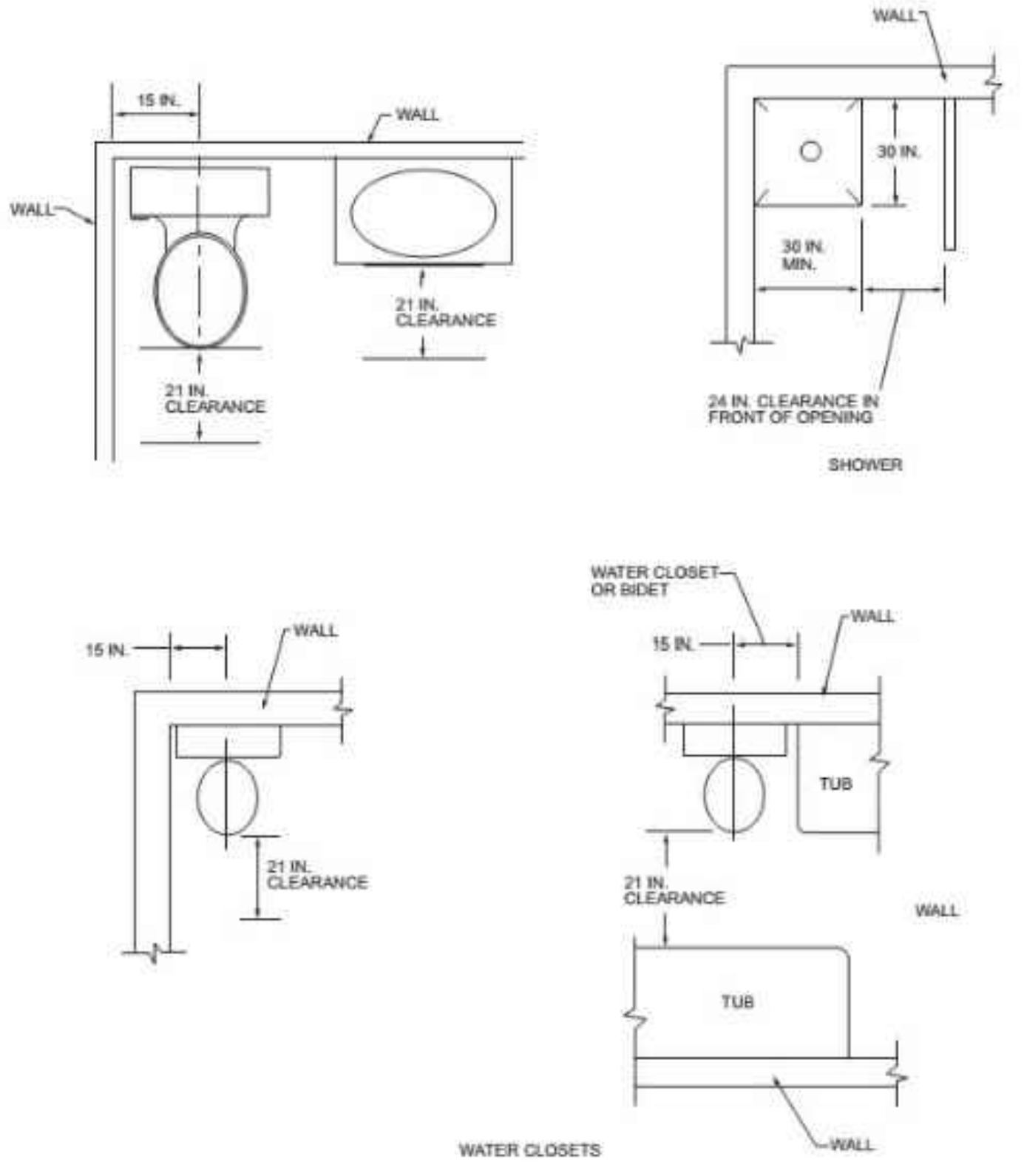


FIGURE R307.1
 MINIMUM FIXTURE CLEARANCES

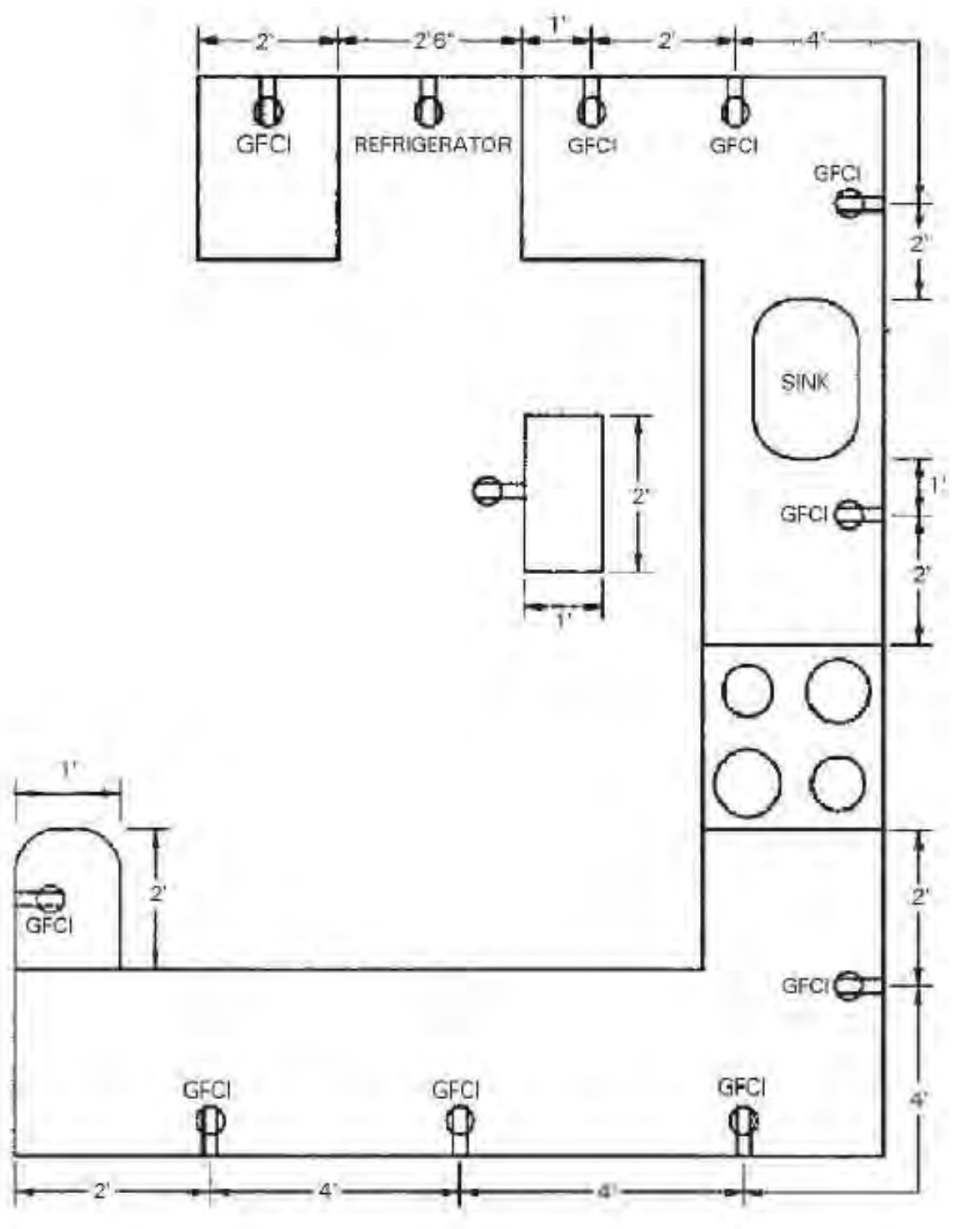


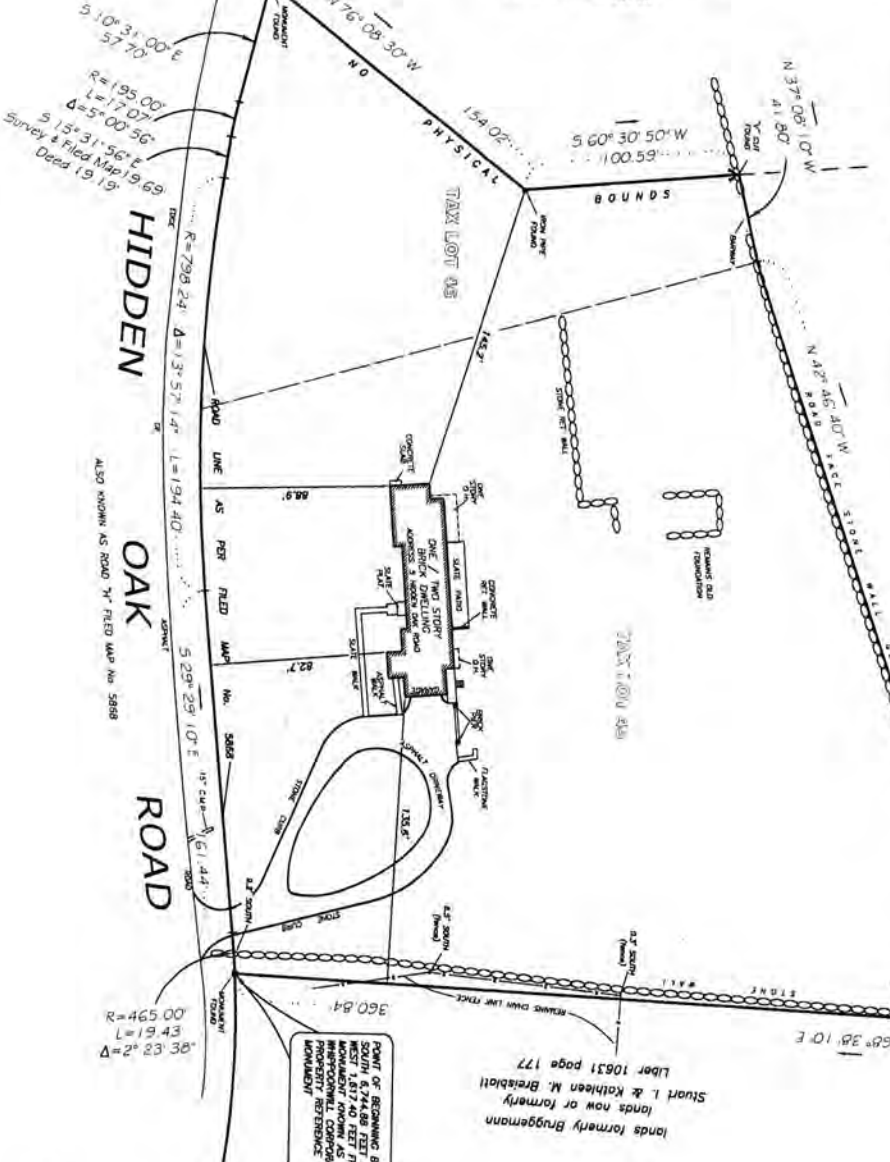
FIGURE E3801.4
 COUNTERTOP RECEPTACLES



KING STREET
ALSO KNOWN AS ROUTE 120

EAST OF ASPHALT ROAD
DOWNSIDE DRIVE

lands formerly Colin C. & Patricia Horan Dowkins II
"RESUBDIVISION OF PROPERTY PREPARED FOR
MCKENNA CUSTOM HOMES INC & HARRIS &
JACQUELINE REINHARDT"
FILED MAP No. 28748



$510^{\circ}31'00''$
 $57.70'$
 $R=195.00'$
 $L=17.07'$
 $\Delta=5^{\circ}00'56''$
Survey & Filed Map 9.69
Dated 19.19

HIDDEN ROAD

OAK ROAD

ROAD

ALSO KNOWN AS ROAD "A" FILED MAP No. 5888

$R=465.00'$
 $L=19.43'$
 $\Delta=2^{\circ}23'38''$

POINT OF BEGINNING BEING
NORTH 67.44.88 FEET FROM A
PERMANENTLY MARKED
MONUMENTAL CORNER
HEREIN

lands formerly Brugemann
Stuart L. & Kathleen M. Brubaker
Liber 10831 page 177

SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
NEW YORK

SCALE: 1"=40'
SURVEYED: NOVEMBER 28, 2017

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF NORTH CASTLE SECTION 107.01; BLOCK 1; LOT 45 & 46;
- PROPERTY AREA: 123,873 SQ. FT. / 2.8391 AC.

- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED A CERTAIN LOT DESCRIBED IN DEED RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF AND RECORDS UNDER CONTROL NO. 4919048.
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR ENCROACHMENTS, BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE" FOR LAND SURVEYING AND MAPPING. THIS SURVEY WAS PREPARED AND CONDUCTED BY THE INSTITUTION LISTED HEREON FOR THE PARTY FOR WHOM THIS INSTITUTION LISTED HEREON. THIS CERTIFICATION SHALL NOT BE TRANSFERABLE.

CERTIFIED TO:
THOROUGHbred TITLE SERVICES, LLC (TITLE No. TTS-20811)
ENTITLE INSURANCE COMPANY
JPMORGAN CHASE BANK, N.A., ITS SUCCESSORS AND/OR assigns as their interest may appear
MICHELLE MOLONEY
TIMOTHY MOLONEY
JESUS MONICA MOLONEY

Link
Land Surveyors P.C.
21 Chalk Hill Road, Suite 48
Watsonville, NY 12481
Phone: 845-285-8887
Fax: 845-285-5003

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 29842