



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT ADDRESS:

41 N. Lake Road, Armonk, NY, 10570

Section III- DESCRIPTION OF WORK:

Interior refurbishment of existing primary bathroom and construction of a new 250 SF wood deck in the rear yard.

Section III- CONTACT INFORMATION:

APPLICANT: Shelby Ross

ADDRESS: 41 N. Lake Road Armonk, NY

PHONE: 917-715-2555 MOBILE: _____ EMAIL: shelby@shelbygallery.com

PROPERTY OWNER: same as above

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: Mark Rolfs, Rolfs Elert Office

ADDRESS: 168 Irving Ave, Suite 301 Port Chester, NY 10573

PHONE: 914-481-1698 MOBILE: _____

EMAIL: mark@rolfseleoffice.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.02 - 4 - 44



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 41 N. Lake Road Armonk, NY 10504 Date: 05/30/22

Tax Map Designation or Proposed Lot No.: 101.02-4-44

Gross Lot Coverage

- | | | |
|-----|---|-------------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>1.06</u> acre <u>46,027</u> sf |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9,586.5</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
_____ x 10 = _____ |

<u>N/A</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9,586.5</u> |
| 5. | Amount of lot area covered by principal building :
<u>3,576</u> existing + <u>0</u> proposed = | <u>3,576</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>592</u> existing + <u>0</u> proposed = | <u>592</u> |
| 7. | Amount of lot area covered by decks :
<u>0</u> existing + <u>252</u> proposed = | <u>252</u> |
| 8. | Amount of lot area covered by porches :
<u>224</u> existing + <u>0</u> proposed = | <u>224</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>2872</u> existing + <u>0</u> proposed = | <u>2872</u> |
| 10. | Amount of lot area covered by terraces :
<u>1150</u> existing + <u>0</u> proposed = | <u>1150</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>8666</u> |



If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

 Date



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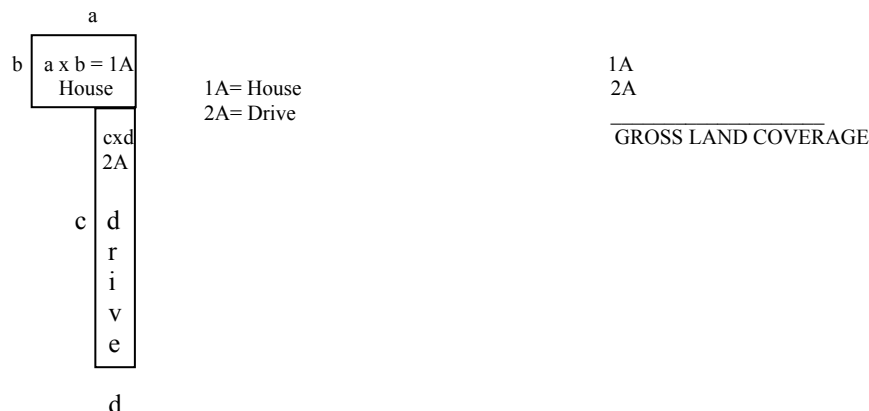
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 41 N. Lake Road Armonk, NY 10504 Date: 05/30/22

Tax Map Designation or Proposed Lot No.: 101.02-4-44

Floor Area

- | | | |
|-----|--|---------------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>1.06 acre 46,027 sf</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B): | <u>7,727</u> |
| 3. | Amount of floor area contained within first floor: <u>3576</u> existing + <u>0</u> proposed = | <u>3576</u> |
| 4. | Amount of floor area contained within second floor: <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 5. | Amount of floor area contained within garage: <u>592</u> existing + <u>0</u> proposed = | <u>592</u> |
| 6. | Amount of floor area contained within porches capital enclosed: <u>224</u> existing + <u>0</u> prop | <u>224</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition): <u>N/A</u> existing + <u>N/A</u> proposed = | <u>N/A</u> |
| 9. | Amount of floor area contained within all accessory buildings: <u>N/A</u> existing + <u>N/A</u> proposed = | <u>included in garage total</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>4,392</u> |



If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

 Signature and Seal of Professional Preparing Worksheet

 Date



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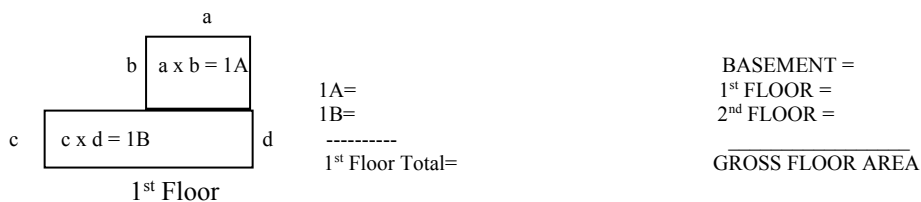
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

001 GENERAL DATA

- All work shall comply with 2020 NY Residential Building Code, the 2020 International Energy Conservation Code, all local codes and ordinances, and shall be done to the highest industry standards.
- Contractor to verify all dimensions in field. Notify Architect immediately of any discrepancies.
- Contractor by submitting bid, represents that the contractor has visited the project location and agrees with plans and details as representing the full extent of construction if contractor has found that plans and details are at variance with what is physically in the field. The contractor shall notify the Architect or owner before submitting the contractor's bid.
- All materials shall be new and of the best quality.
- Before the commencement of any work the Contractor shall furnish to the Owner and Building Department all required certificates of insurance.
- The Contractor shall obtain all required permits, approvals, etc. to begin work as well as obtain a Certificate of Occupancy at the completion of the work.
- Plumbing, and Electrical permits to be filed separately.

002 SITE WORK

- Do not back fill against foundation walls until mortar and or concrete have attained designed strength.
- Do not back fill against foundation walls until first floor joists are in place.
- At no time shall bulldozers, trucks, or other heavy equipment be permitted to approach foundation walls closer than 8 feet.
- Areas under concrete floor slabs to be back filled with clean, free-draining material and fully compacted to 95% of proctor density with power tamper. Place fill in 12 inch maximum lifts.
- The contractor shall verify all drawings for coordination between trades and provide and/or install anchors, inserts, hangers, etc., as required for various trades.
- All footings shall be placed directly on undisturbed soil with a minimum bearing capacity of 2 tons/sq ft or solid.
- All exterior footings shall be placed at a minimum of 3'-6" below final grade [unless on sound rock]. Elevations of bottom of footings shown on plans are for estimating purposes and shall be adjusted to required bearing strata as found upon excavation. Footings shall not be placed on rock whose surface slopes more than 10%.
- Where footings are stepped, bottoms are to be stepped not more than two feet vertical to four feet horizontal.

003 CONCRETE

- No concrete shall be poured subject to freezing conditions or on frozen ground.
- All footings shall be formed to meet sizes indicated on drawings and details.
- Twenty-eight day compressive strength for concrete shall be as follows: footings: 3500 PSI slab on grade: 3000 PSI walls: 4000 PSI
- All reinforcement bars shall be ASTM AGIS grade 60 deformed bars conforming to minimum concrete cover:
slabs on grade: 1-1/2"
walls: 2"
footings: 3"

004 MASONRY

- Stone and concrete masonry walls shall conform to the "recommended practice for engineered masonry", latest edition by Structural Clay Product Institute and "specifications for the design and construction of load bearing concrete masonry" by the National Concrete Masonry Association.
- All units shall be placed in a running bond, except where indicated.
- Mortar shall be type M or S min. 1 part portland cement, 1/4 to 1/2 part hydrated lime, and 2-1/4 to 3 parts sand.
- Store all units off the ground to prevent contamination. Cover materials to protect them from the elements.
- No air-entraining admixtures or antifreeze compounds such as calcium chloride shall be added to the mortar.
- The first block course on footing shall be filled solid with concrete.
- Vertical control joints shall be placed at the maximum distance of 50' on center for straight walls. Wall reinforcement shall be continuous at joints.
- All walls shall be adequately braced until securely tied to the structure. No work shall be done subject to freezing conditions.
- Steel lintels shall have a minimum of 5" bearing. Precast lintels shall have a minimum bearing of 8". Bearing points shall be grouted solid for three courses below the lintel.

005 METALS

- Steel construction shall conform to AISC "Manual of Steel Construction" latest edition.
- Materials for structural steel shall conform to the following ASTM specifications: beams/girders/misc steel: A56 plates: A56
- All bolted connections shall be made using A325-F bolts, 3/4" diameter, installed in accordance with "specifications for structural joints" using A325 or A490 bolts, unless otherwise detailed.
- Steel concrete reinforcement:
bars: billet steel deformed bars, ASTM A615 sized as noted on drawings welded wire fabric [WWF]: ASTM A185 sized as noted on drawings
- Provide 1/2" diameter x 1'-6" long minimum threaded anchor bolts at 4'-0" O.C. maximum, minimum 2 per plate to anchor exterior sills. Anchor bolts shall be on A36 or A307 steel. Embedment to be 8" for poured concrete, 15" for CMU.
- All steel shall be shop painted with gray zinc chromatic primer 2.0mils. in thickness, except where field welding is to be done. All welds and bare spots shall receive touch-up painting.

006 WOOD, PLASTICS & COMPOSITES

- All framing shall be done in accordance with the latest edition of the "National Design Specification for Stress Graded Lumber and its Fastening" as published by the National Lumber Manufacturers Association.
- All lumber materials used in the building shall be good, sound, dry material free from large and loose knots, shakes, and other imperfections whereby the strength may be impaired, and of sizes indicated on drawings.
- All workmanship including nailing, blocking, bridging, etc. shall conform to the 2020 NY Residential Code.
- Provide ledger blocking, nailers, and rough framing hardware as required.
- All new lumber shall be douglas fir, no.2 or better, with min FB=1250 PSA and E 1,500,00 PSI.
- All new lumber shall bear visible grade stamping and be kiln dried.
- All beams, joists, and rafters to be set with natural crown up.
- Provide [2] 2x8 minimum headers where rough opening does not exceed 3'-0".
- Plywood for subfloor sheathing shall be 3/4" and 1/2" on walls and roof surfaces APA C-C plugged. Exterior or APA underlayment exterior index stamp shall be visible on all sheets.
- Plywood shall be nailed to joists with 8d common nails at 6" on center, at exterior edges, and 12" on center at intermediate supports.
- Use plycup or other edge support for all plywood sheathing.
- Place face grain in direction of span [traverse to joist span].
- Leave 1/16" space at all plywood panel joints, and 1/8" space at all panel edge joints.
- Joist hangers, framing anchors, and rafter anchors shall be galvanized steel as manufactured by "TECO" or approved equal. Special nails as supplied by manufacturer shall be used for required nailing.
- Metal cross-bridging shall be galvanized steel as manufactured by "TECO" or approved equal, and installed according to manufacturers directions.
- Provide cross-bridging or solid blocking every 8'-0". Bottom ends of bridging shall not be nailed until after entire structure is complete.
- Provide double joists under all partitions parallel to joists.
- Where sheathing is not plywood, diagonal bracing shall be let in at exterior corners or brace corners with 1/2" CDX plywood 4'-0" in each direction.
- Corner boards, fascia boards, door and window casings, and decorative wood items shall be 5/4" wood of size, species, style, and design as indicated on drawings.
- Exterior wood posts shall be clear western red cedar set on approved galvanized metal base, anchored in concrete.
- Wood plates and sills in contact with concrete foundation walls and concrete slabs shall be pressure treated wood.
- Pressure preservatives treatment for wood shall be approved by local authorities having jurisdiction.
- Provide [3] 2x6 spiked at bearing points of all triple framing members unless otherwise noted.

007 THERMAL + MOISTURE PROTECTION

- Foundation to be waterproofed with an approved type bituthene coating applied in strict accordance with manufacturer's specifications and installation recommendations.
- Provide 6" perforated footing drains with gravel along footing - connect to existing footing drains.
- All doors to be weather-stripped and caulked.
- All sealants to be silicone, colored to match surrounding material.
- All flashing shall be non-ferrous metal [unless otherwise noted]. Fabric flashing may only be used with written approval of the Architect.
- All insulation to be glass fibre batts with a kraft paper type vapor barrier installed on the heated side [unless otherwise noted].

008 OPENINGS

- See architectural drawings for specifications of all exterior doors.
- All glazing in doors, shower / tub enclosures, fixed side lights, and interior partitions where such glazing extends to within 18" of floor level to be shatterproof type glass, tempered or laminated as per code requirements.

009 FINISHES

- See architectural drawings for specific finishes for exterior spaces.
- All exterior wood trim such as window and door trim fascias, friezes, molding, wood panels, etc., shall be secured listing galvanized finish nails - countersink, puttied, sanded and spot primed prior to painting.
- All exterior wood trim such as window and door trim fascias, friezes, molding, wood panels, etc., shall be either factory or field back primed front primed and receive 1 [one] exterior paint finish.
- All roofing or exterior wall siding designated as cedar on drawings shall be [# 1 grade] red cedar defection siding [blue label] - either factory or field primed - with 2 [two] coats of finish stain / paint [please see drawings]. Coordinate with architect color of paint / color of stain.

010 SPECIALTIES

011 EQUIPMENT

012 FURNISHINGS

013 SPECIAL CONSTRUCTION

014 CONVEYING SYSTEMS

023 HVAC

- All plumbing shall be done in accordance with NFPA, 2020 International Plumbing Code, local authorities having jurisdiction, and best practice.
- Provide shut-off valves for all fixtures and appliances.
- Insulate piping as per local code for hot and cold water supplies.
- Provide freeze proof outdoor hose bibs where indicated on plans.
- No water pipes, soil, or water lines shall be exposed in uninsulated and unheated spaces in a crawl space or basement. Water service shall be protected from freezing where exposed in unheated spaces.
- Pitch all water lines to low point to drain and provide drain valve.

026 ELECTRICAL

- Electrical installation wiring and equipment shall conform to the 2017 NFPA 70 National Electric Code.

ENERGY CONSTRUCTION CODE

code: 2020 International Energy Conservation Code

building type: single family residential

zone: 4A

code design method: prescriptive

envelope component	r-value required	r-value provided
exterior wall	R-20	R-20
glazing	U-.32	U-.32

DOOR SCHEDULE							
ID	Zone Name	Leaf Dimensions		Leaf Thickness	Operation	Hardware	NOTES
		Width	Height				
D100	Primary Bathroom	3'	6'-8"	1-3/4"	RH	Mortise lock w/deadbolt	wood door, stile & rail with tempered glass panel, painted
D101	Primary Bathroom	3'-2"	6'-8"	1-3/4"	RH		solid barn door on wall-mounted track



AERIAL IMAGE



LOCATOR MAP

ZONING PARAMETERS:

District Zoned:	R-1A min. lot area 1 acre		
Property Size:	1.06 acres / 46,027 SF		
HEIGHT & SETBACKS:			
	Required/Allowed	Existing	Proposed
Building Height:	30'-0" max	1 story	no change
Front Yard:	50' min.	50.13'	no change
Side Yards:	25' min.	33.91'	no change
Rear Yard:	40' min.	94.2'	no change
see PROPERTY & TOPOGRAPHIC SURVEY for more detailed information			
BUILDING COVERAGE:			
Allowable:	12% (5,523.2 SF)		
Existing:	9% (4,168 SF)		
Proposed:	no change		
GROSS LAND COVERAGE:			
Allowable:	9,586.5 SF		
Existing:	8,414 SF		
Proposed:	8,666 SF		
FAR:			
Allowable:	7.727 SF		
Existing:	4,392 SF		
Proposed:	no change		

PROJECT DATA:

OWNERS:	Shelby & Debra Ross
YEAR BUILT:	1957
GOVERNING CODE:	2020 NYS Residential Building Code
BEDROOM COUNT:	4
SEPTIC/SEWER:	Septic
WATER:	Municipal

PROJECT NARRATIVE:

The scope of work for this project will include an interior refurbishment of the existing primary bathroom and the construction of a new 250 SF wood deck.

41 N. Lake Road | Armonk, NY 10570

Section 101.02 | Block 4 | Lot 44

DRAWING LIST

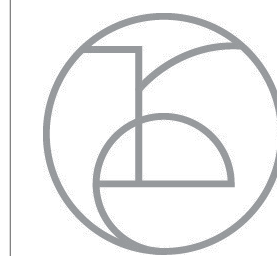
TITLE:
T1 TITLE SHEET

PLANS - 1/4"=1'-0":
A1.1 PLANS & SECTIONS

SECTIONS & DETAILS - 3/4"=1'-0":
A3.1 DECK DETAILS



4 SITE PLAN W/ GROSS LAND COVERAGE 1" = 20'



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914 481 1699 F

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CT LICENSE NO. 11804
NY LICENSE NO. 037127

Mark Rolfs, AIA, NCARB

CT LICENSE NO. 12185
NY LICENSE NO. 03423

project:

41 N. LAKE ROAD ARMONK, NY 10504

FOR PERMIT

drawing:

TITLE & NOTES

phase:

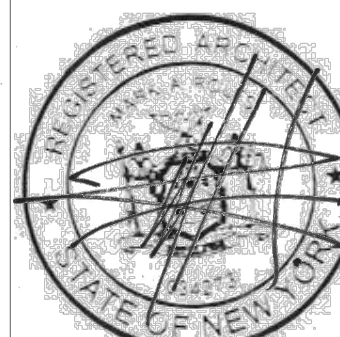
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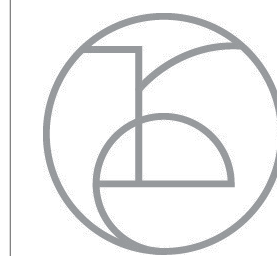
date:

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Mark Rolfs, AIA, NCARB
 CT LICENSE NO. 12181
 NY LICENSE NO. 034273

project:

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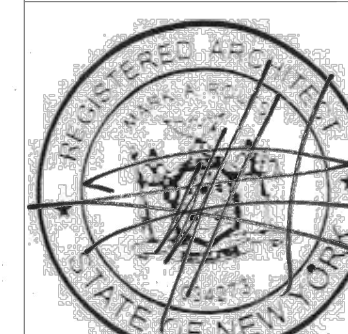
FOR PERMIT

drawing:
 PLANS & ELEVATIONS

phase:
 PERMIT

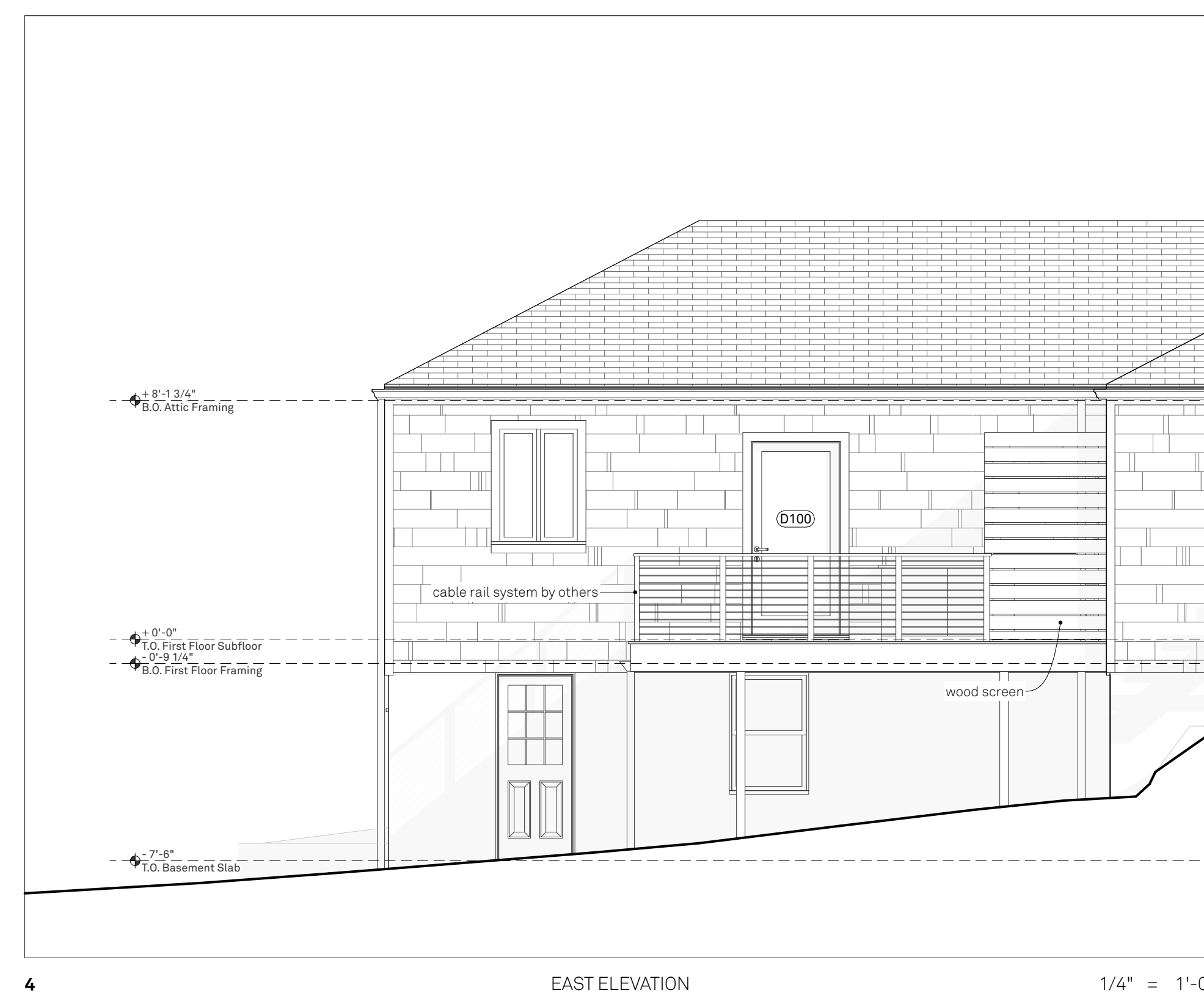
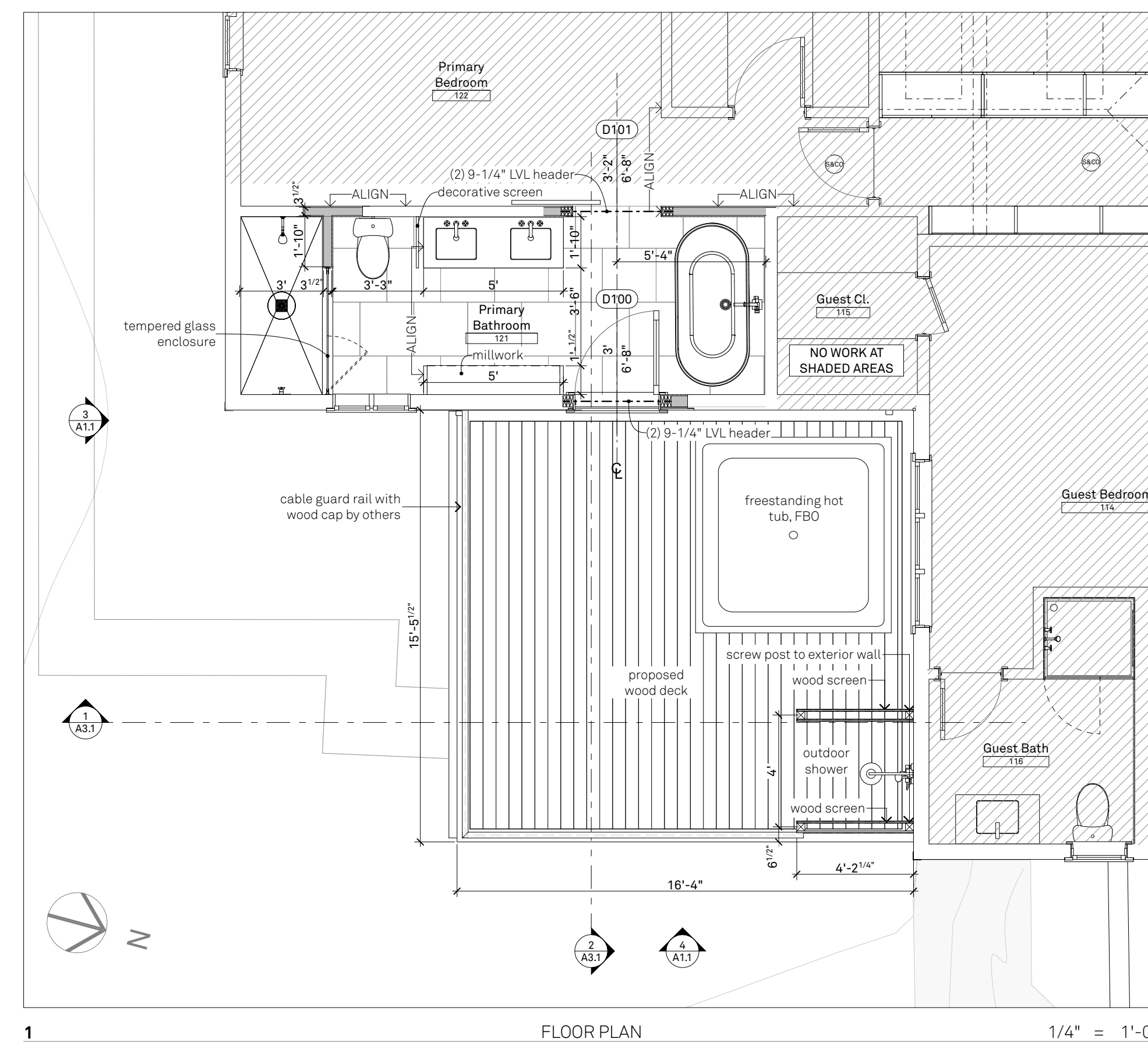
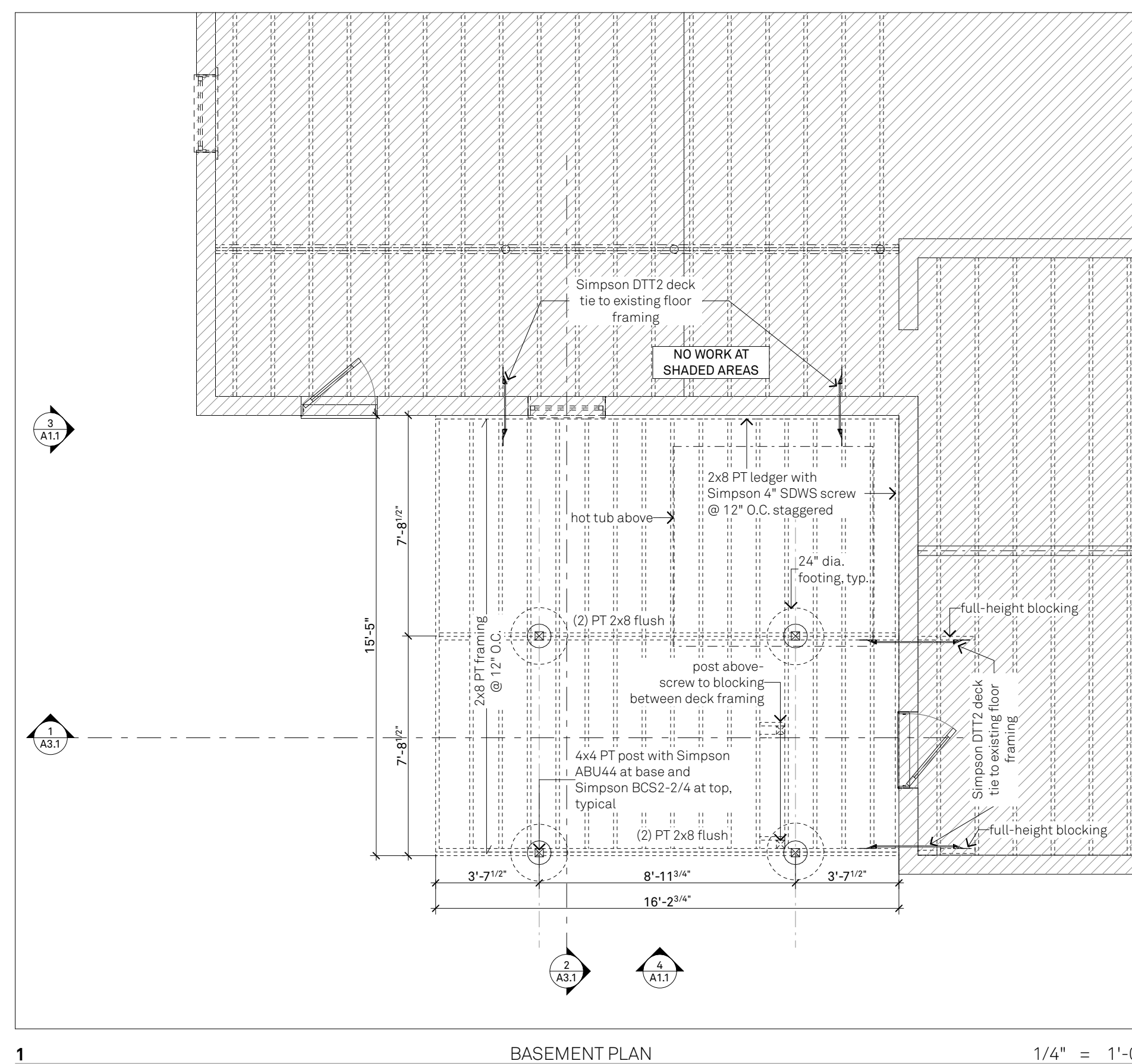
scale:
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date:
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A1.1



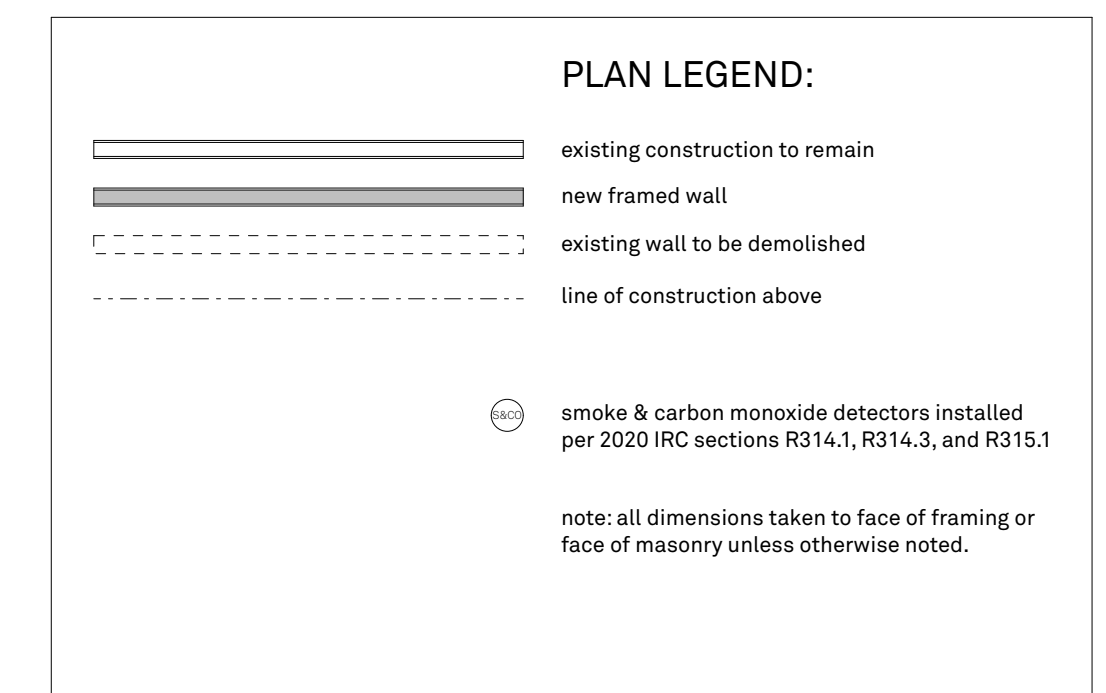
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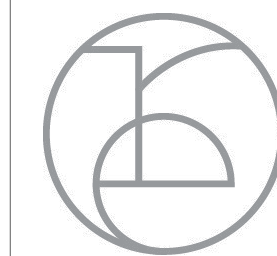
- All work is to conform to the latest addition & all codes specific to the Town of North Castle, NY.
- Before the commencement of any work, the Contractor shall visit the site to determine any difficulties that may be encountered during construction.
- Before the commencement of any work, the Contractor shall furnish to the Owner and Building Department all required certificates of insurance.
- The Contractor shall verify all dimensions in the field and report any discrepancies to the Architect.
- The contractor shall obtain all required permits, approvals, etc. to begin work as well as obtain a Certificate of Occupancy at the completion of the work.

SHORING NOTE:
 Contractor shall provide adequate shoring as required by code prior to removal or demolition of any lintels, beams, bearing walls, etc..

EXISTING CONDITIONS NOTE:
 The proposed plans show structural, electrical, mechanical or plumbing elements as 'existing' based on old plans which were supplied by the client and/or building department. Please note that there may be existing unforeseen conditions that are not evident on such plans, or on existing conditions drawings created by our office based on field measuring and compiled data from old plans. It is advisable that the client permits the contractor to do preliminary investigation prior to the bidding stage which may include drywall removal, probe holes, etc.. Patching will be performed either prior to or during construction. The cost to remedy unforeseen conditions can not be guaranteed, or necessarily foreseen, even with the above precautionary measures being undertaken.

EXISTING REPAIR NOTE:
 All existing areas disturbed as a result of new construction, that are not otherwise being modified, are to be returned to their original state, patched and repaired, unless otherwise specified. This includes, but not limited to, all areas disturbed as a result of modifications, etc.. All surfaces are to be patched and repaired as required to achieve a matching finish to adjacent existing surfaces, and appropriate paint or stain is to be applied to blend in seamlessly existing surroundings.





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project:

41 N. LAKE ROAD ARMONK, NY 10504

FOR PERMIT

drawing:

DECK DETAILS

phase:

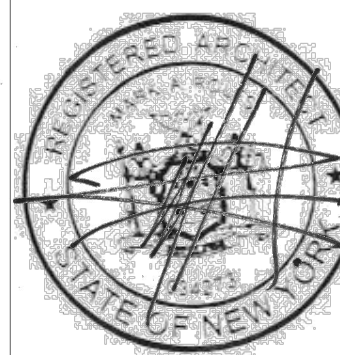
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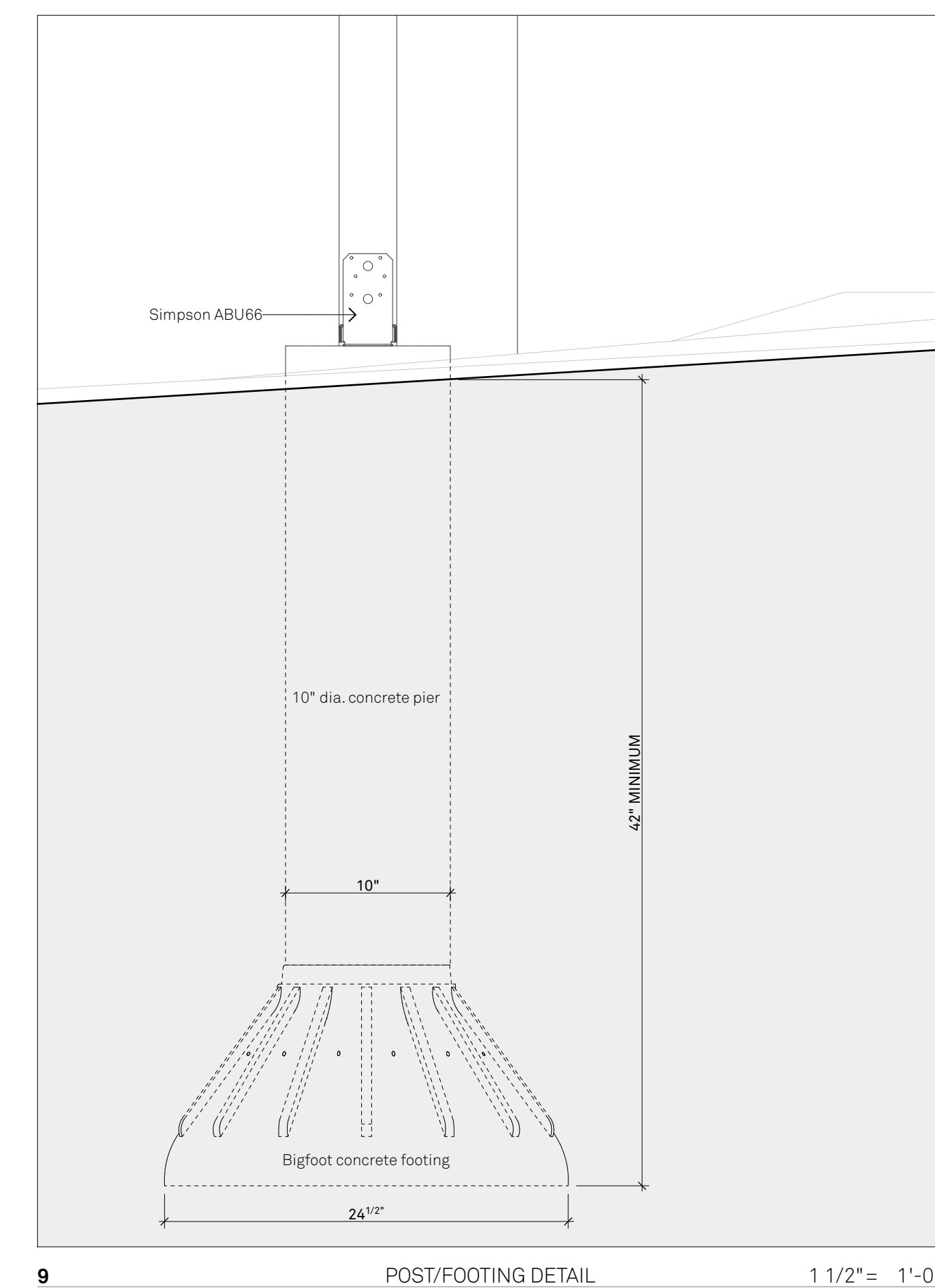
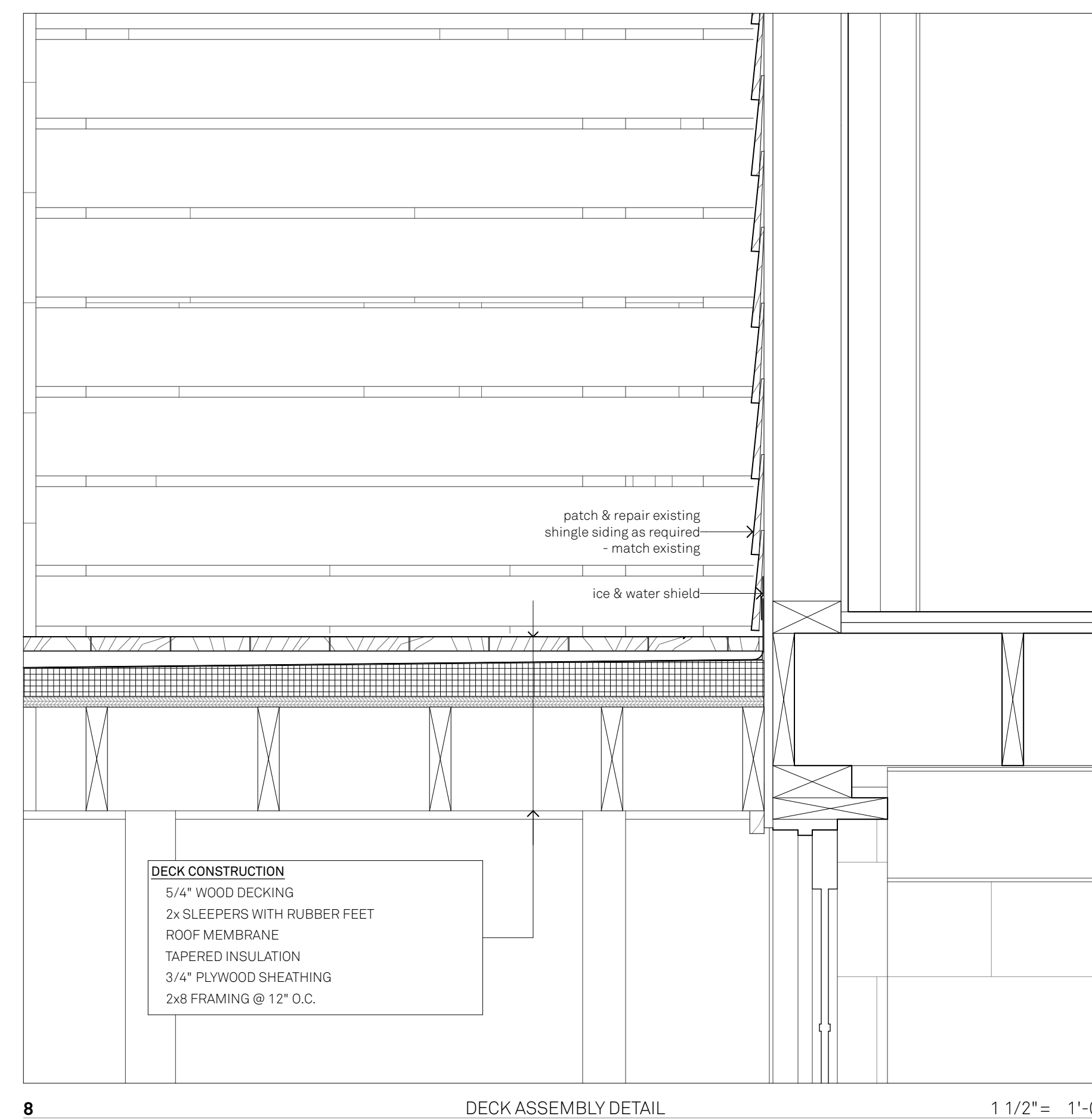
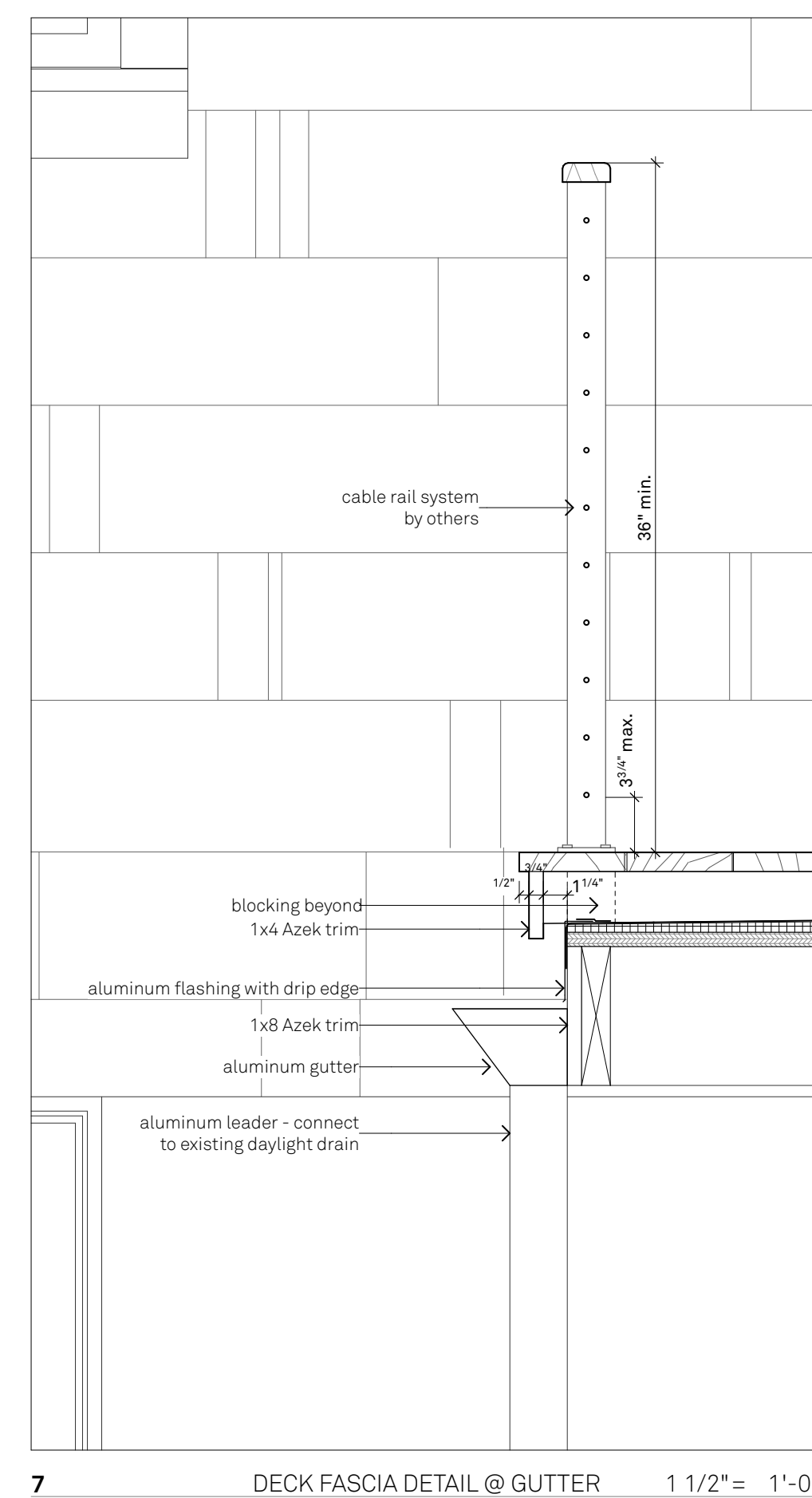
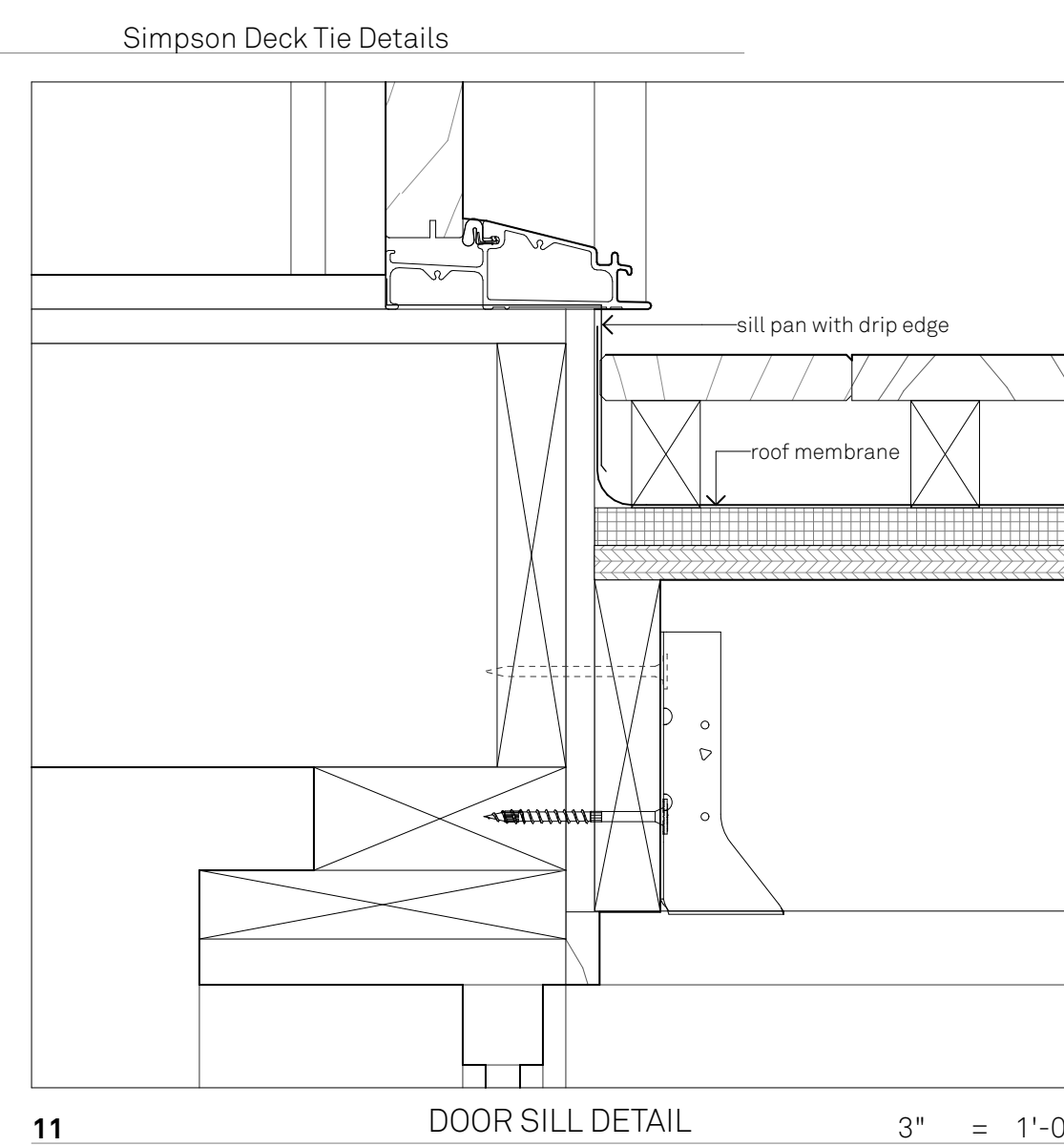
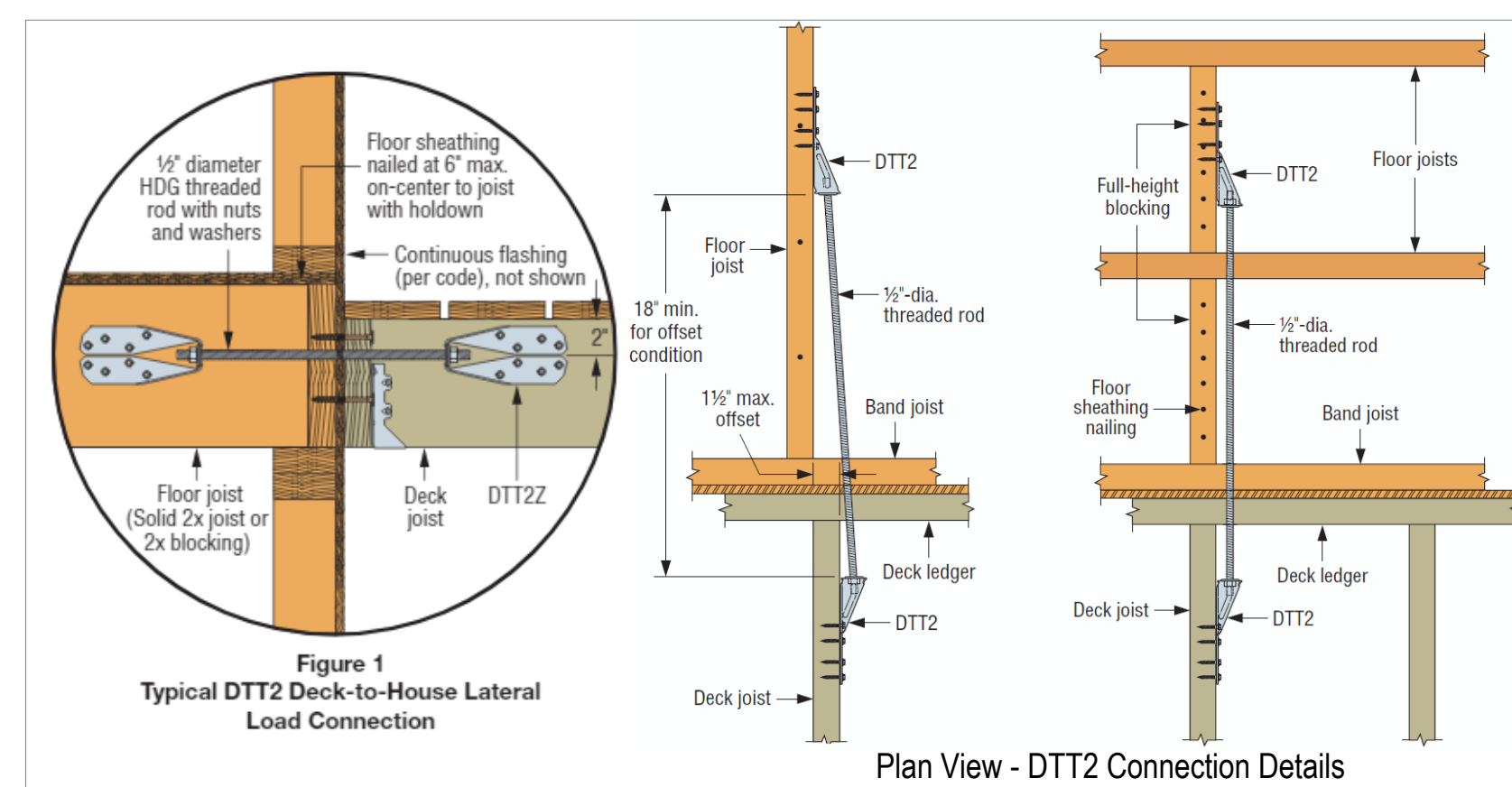
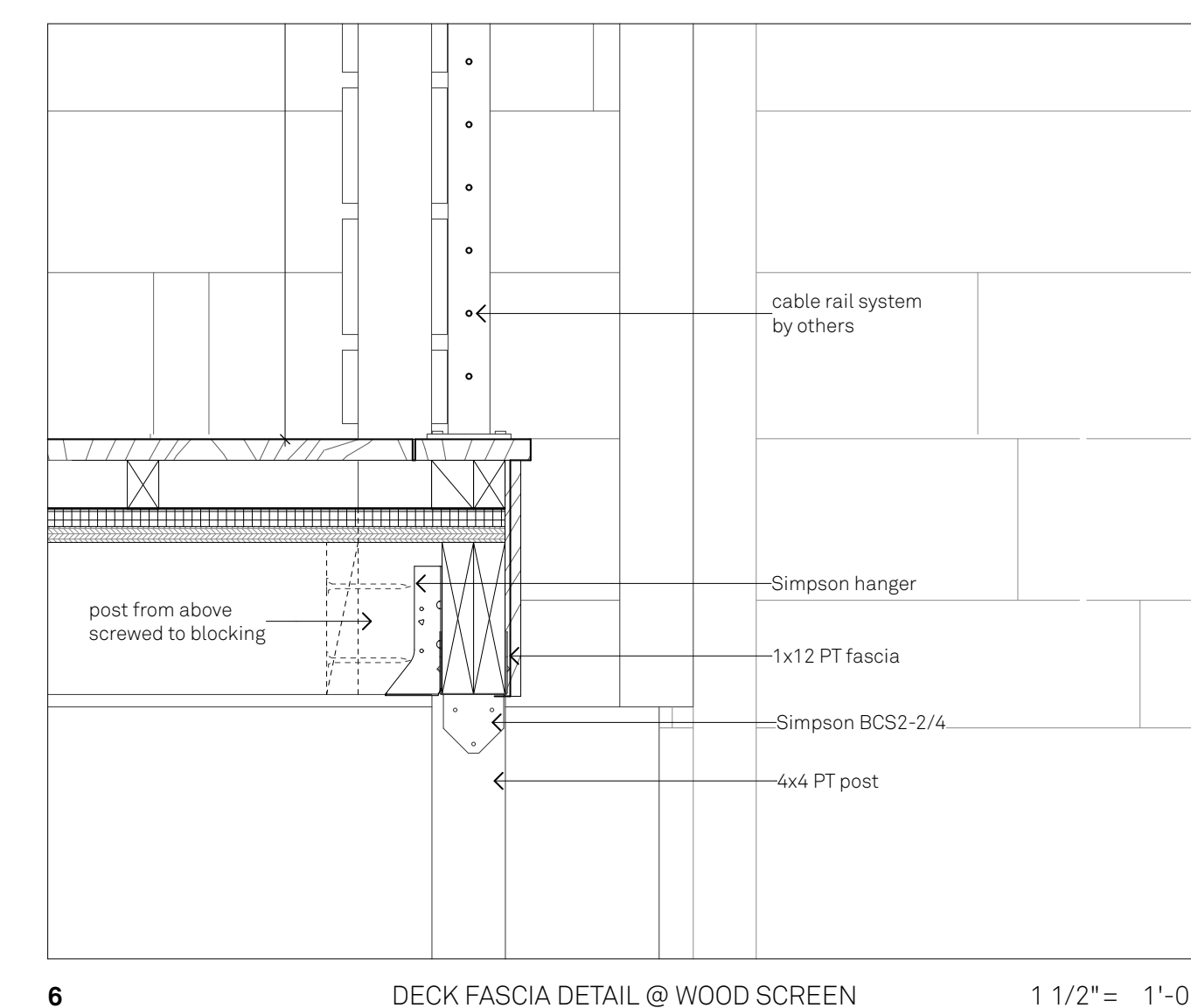
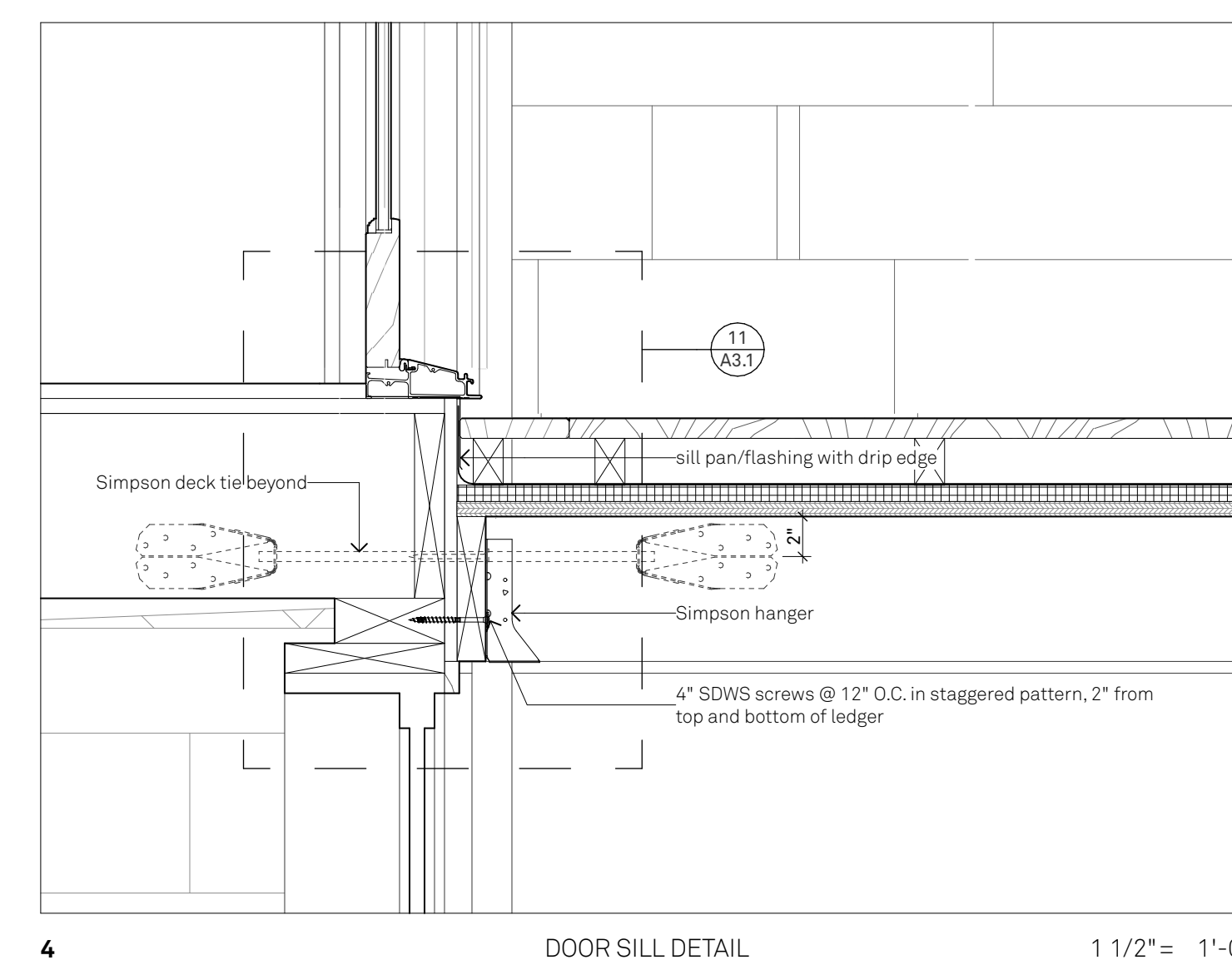
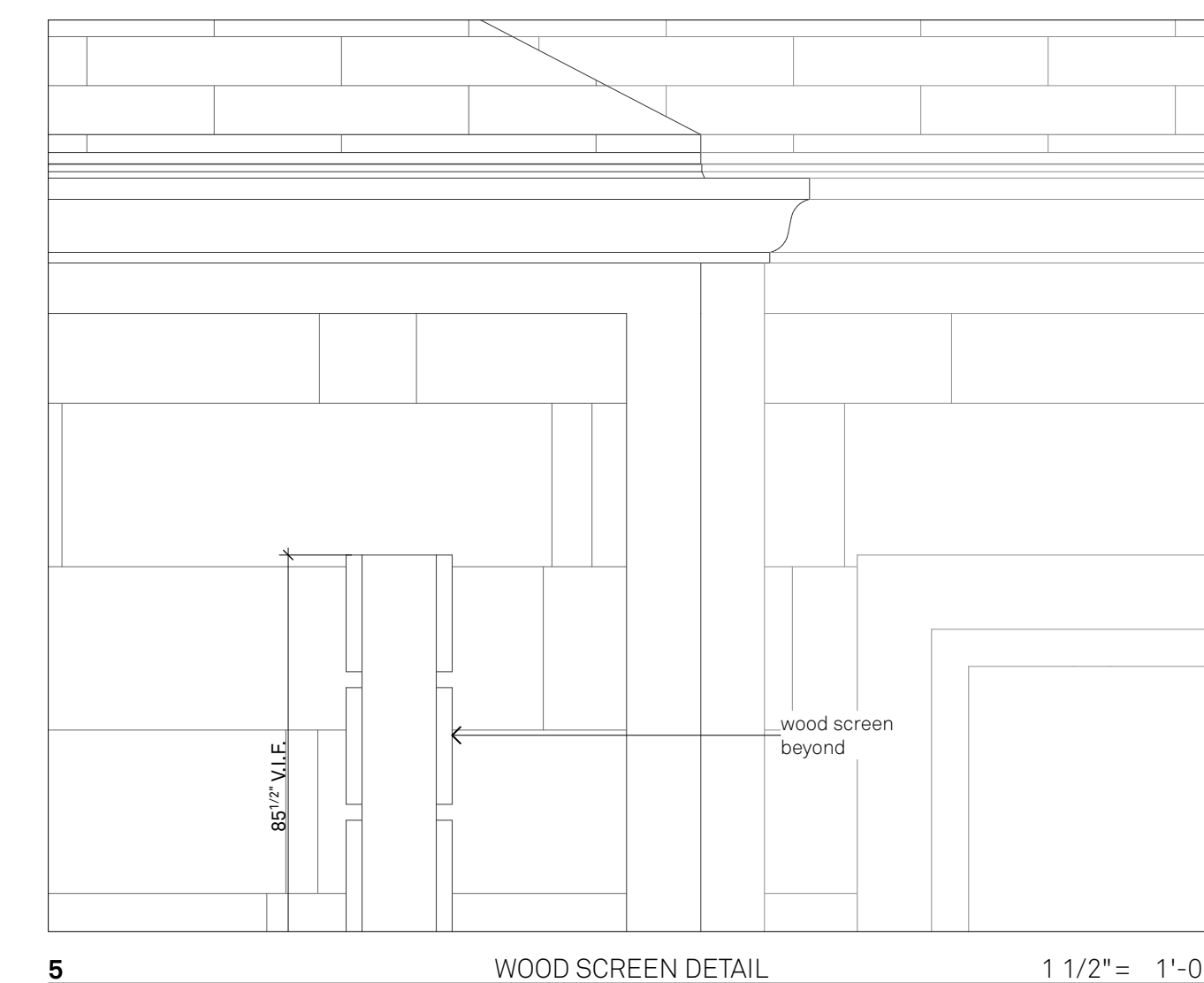
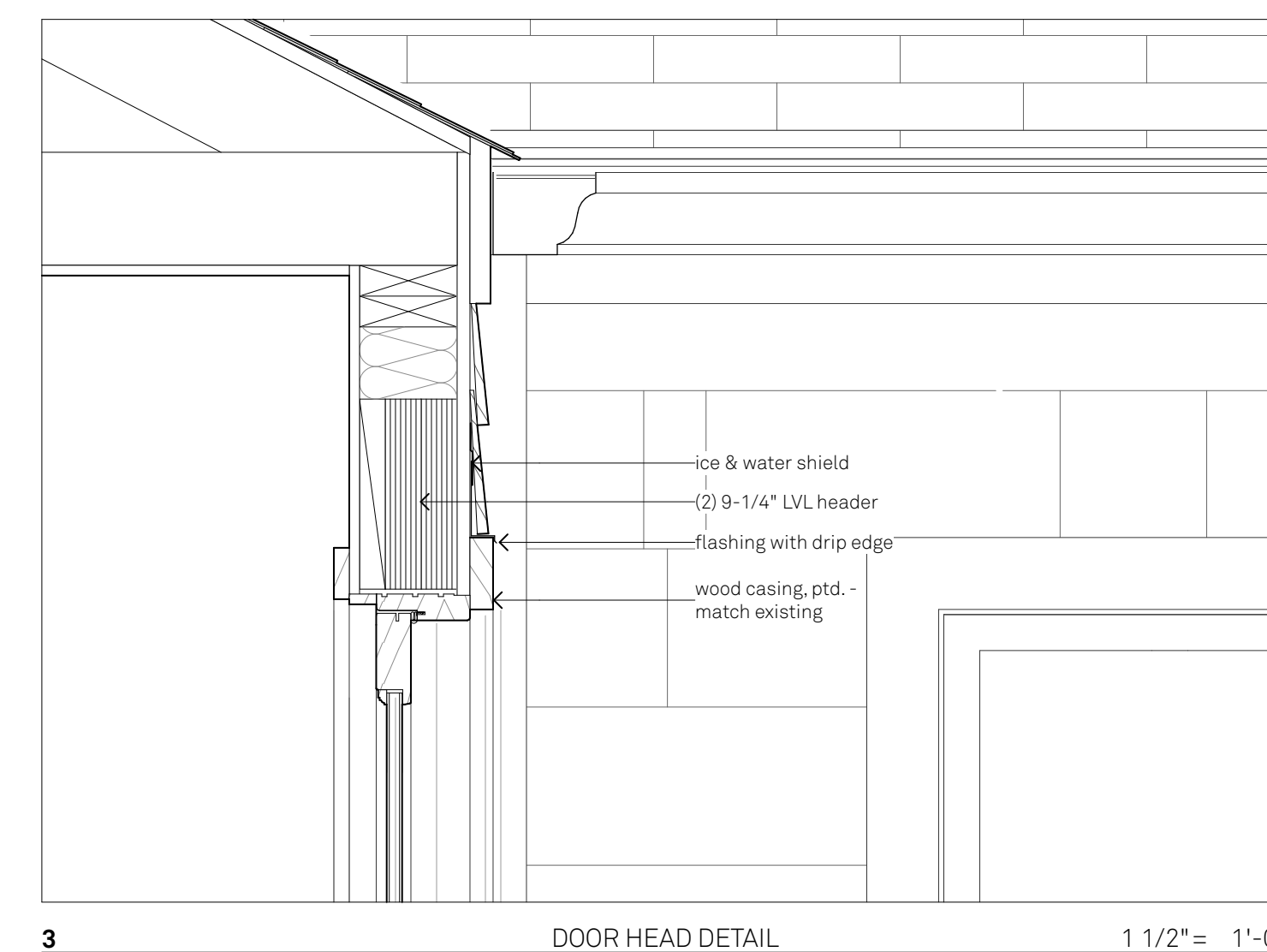
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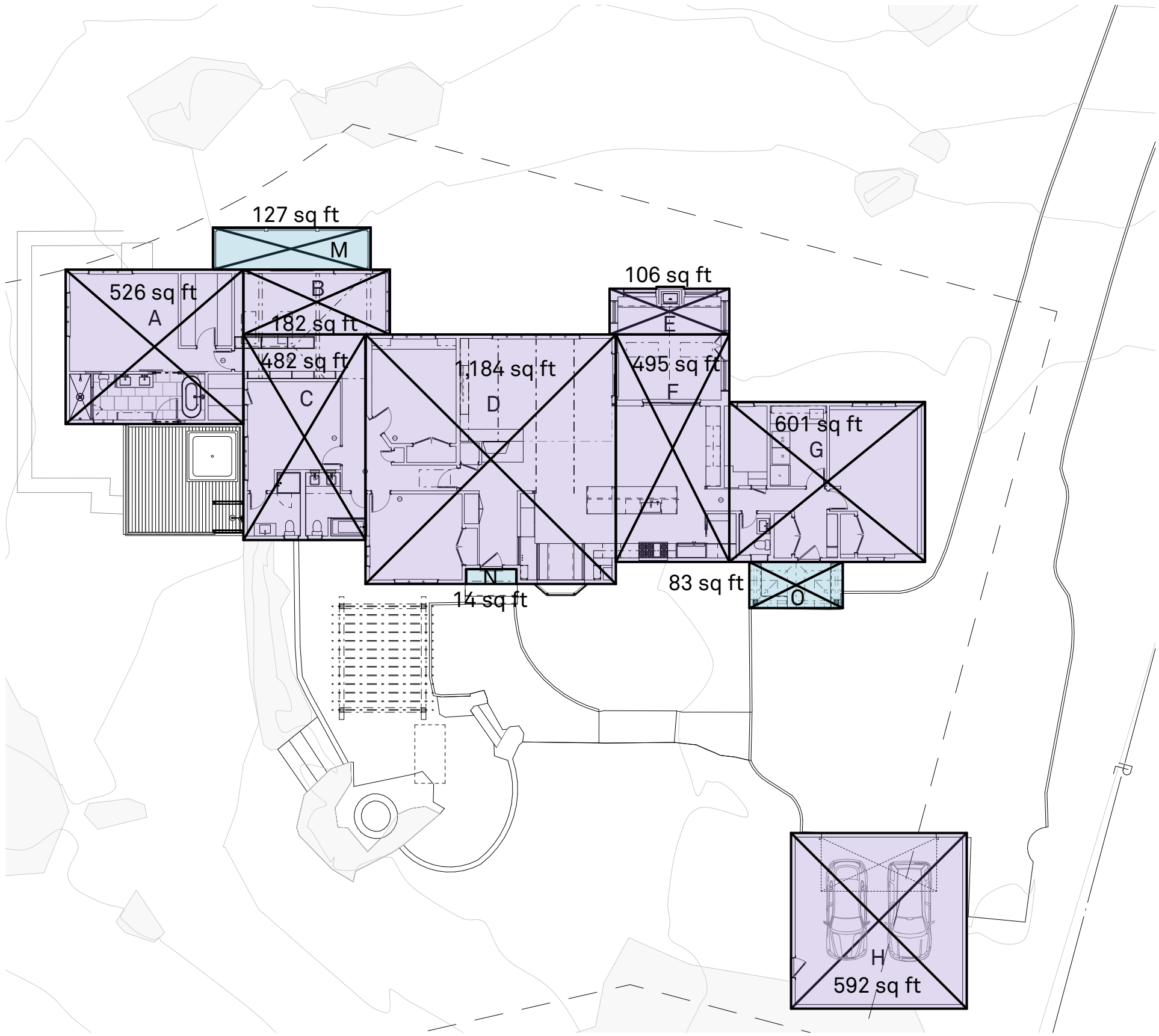
phase: PERMIT

scale: AS NOTED

drawing: Floor Area Calculations

project: 41 N. LAKE ROAD

date: 7/9/18



FLOOR AREA CALCULATIONS WORKSHEET

PRINCIPAL BUILDING	
A	526
B	182
C	482
D	1184
E	106
F	495
G	601
ACCESSORY BUILDING	
H	592
PORCHES	
M	127
N	14
O	83
TOTAL	4392 SF

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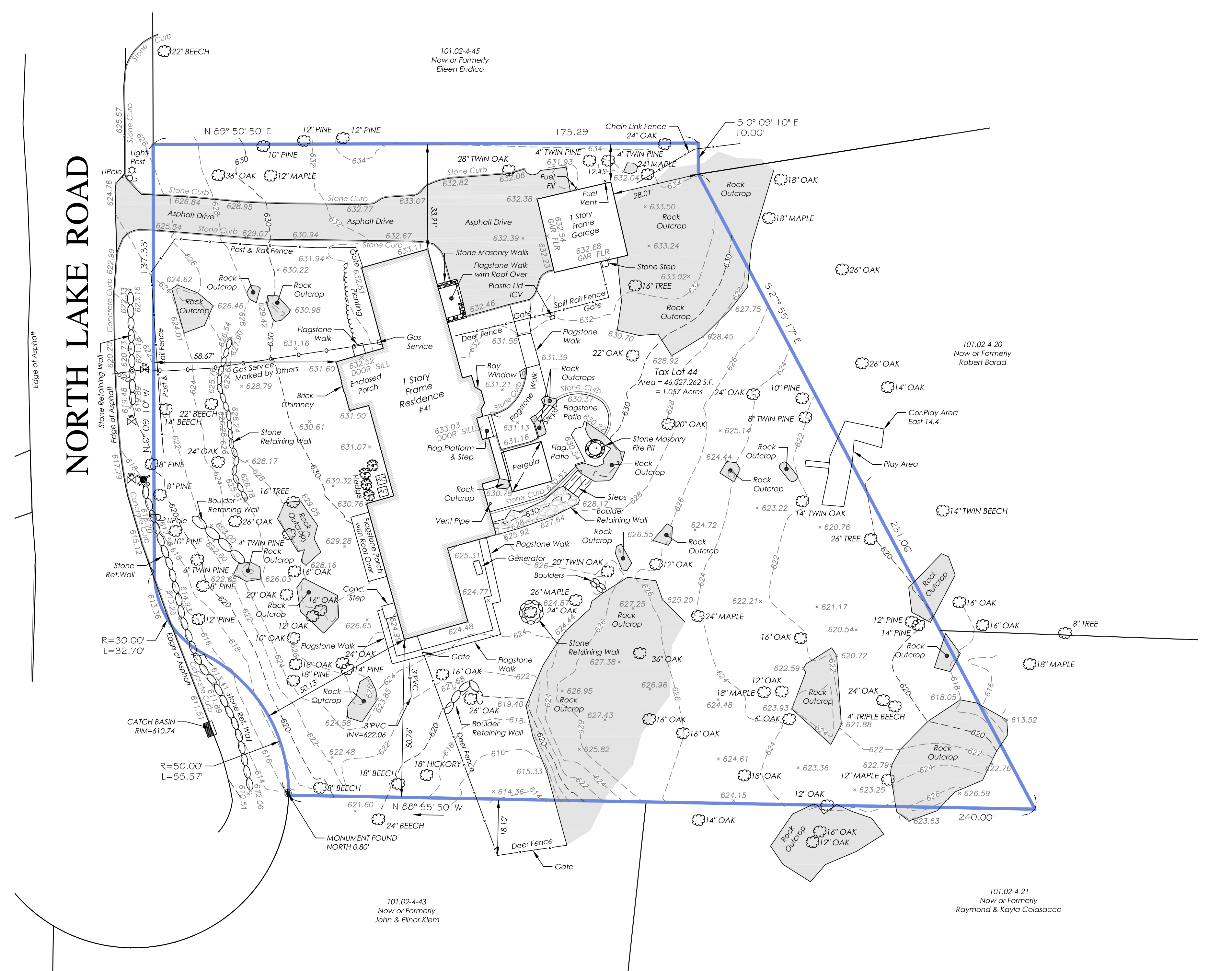
Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

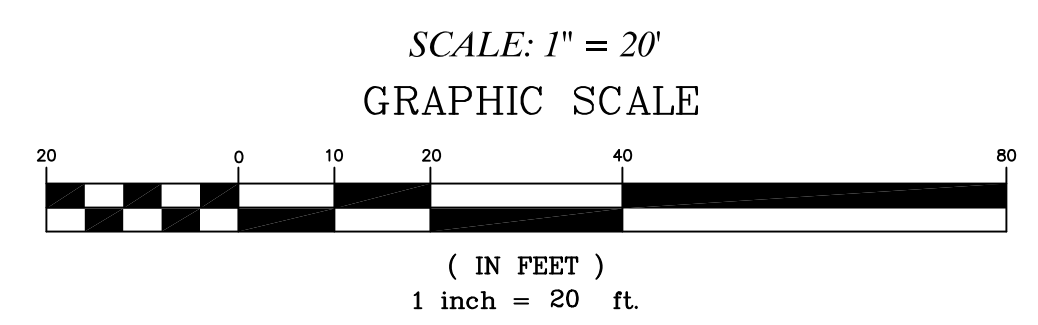
Surveyed in accordance with Deed Control Number 561763450.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 101.02, Block 4, Lot 44.

Property Address: 41 North Lake Road
Armonk, NY 10504



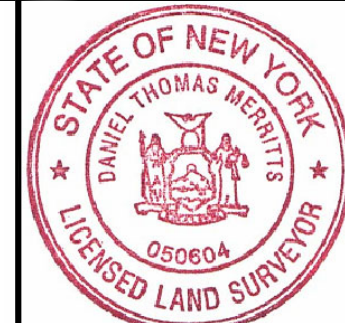
TOPOGRAPHY OF PROPERTY
PREPARED FOR
SHELBY ROSS
AND
DEBRA ROSS
SITUATE IN THE
TOWN OF NORTH CASTLE
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394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



Surveyed: November 12, 2020
Map Prepared: November 12, 2020
By: *Daniel T. Merritt*
New York State Licensed Land Surveyor No. 050604

Project: Ref.08-167 17-190	Field Survey By: CR/AP
Drawn By: DA	Checked By: DM