

Tax Parcel Maps

Address: 10 WINDMILL PL

Print Key: 102.01-1-24

SBL: 10200100010240000000



Disclaimer:
This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.



POWERED BY
TOWN OF NORTH CASTLE
 ASSESSOR'S OFFICE
 PREPARED BY
L. ROBERT KIMBALL & ASSOCIATES
 AND BASED ON NEW YORK STATE PLANE COORDINATE SYSTEM
 AND 1983 NORTH AMERICAN DATUM IN METERS

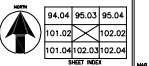
REVISOR & REPRINTED BY
CAI Technologies
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, COLORADO 80202
 (303) 733-0100
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MAP REVISIONS				MAP REVISIONS				
FORMERLY	NEW ASSESSED	FORMERLY	NEW ASSESSED	SCHOOL DISTRICT AND SPECIAL DISTRICTS	WATER, WATER DISTRICT #1	SEWER	LIGHTING	
SH	BLK	LOT	SH	BLK	LOT	SH	BLK	LOT

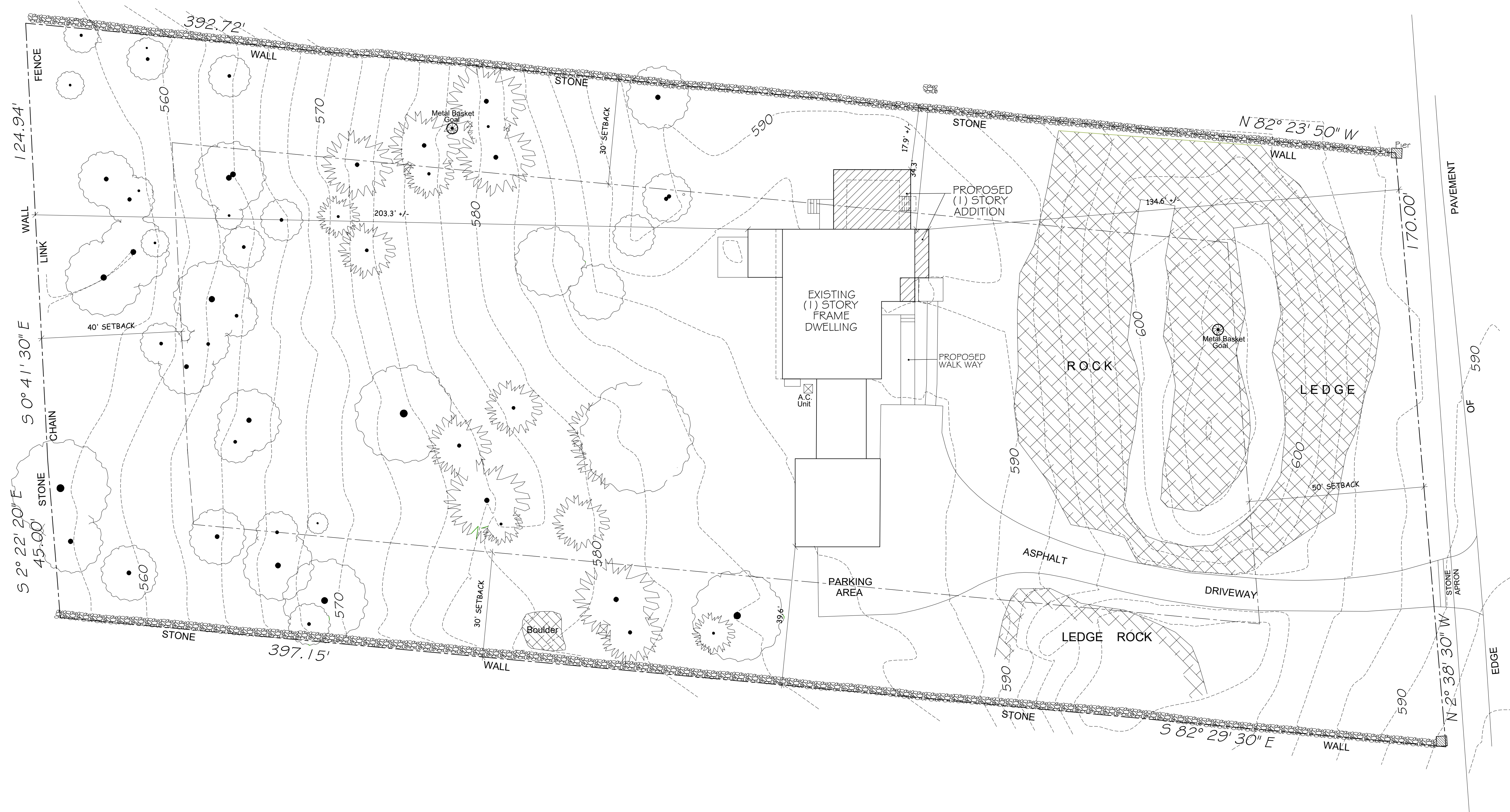
SCHOOL DISTRICT AND SPECIAL DISTRICTS			
SCHOOL DISTRICT	SCHOOL DISTRICT #	SCHOOL DISTRICT #	SCHOOL DISTRICT #
MANHATTAN RIVER GEORGE PRESERVE, INC CONSERVATION EASEMENT			

LEGEND			
AMBIANCE DIST.	---	PROPERTY LINE	---
FINC DIST.	---	ROAD BOUNDARY	---
SEWER DIST.	---	WATER LOT LINE	---
WATER DIST.	---	SEWER BOUNDARY	---
SCHOOL DIST.	---	SEWER SERVICE	---
LIGHTING DIST.	---	SEWER SERVICE	---
CONCRETE LOCATOR	---	SEWER SERVICE	---

FOR TAX PURPOSES ONLY			
94.04	95.03	95.04	
101.02	102.02	102.02	
101.04	102.03	102.04	



TAX MAP
TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NEW YORK
 REVISED TO JUNE 1, 2017
 SHEET NO. **102.01**



**TABLE OF LAND USE
(R-1.5A: RESIDENCE DISTRICT)**

DESCRIPTION	REQUIRED/ PERMITTED	EXISTING	PROPOSED/ PROVIDED
MINIMUM LOT AREA (S.F./ NET ACRES)	65,340/ 1.5	66,289/ 1.52	66,289/ 1.52
MINIMUM LOT STREET FRONTAGE (FEET)	150	170	170
MINIMUM LOT WIDTH (FEET)	150	170	170
MINIMUM LOT DEPTH (FEET)	150	397	397
PRINCIPAL BUILDING MINIMUM YARD (FEET)			
FRONT	50'	138.6' +/-	134.6' +/-
SIDE	30'/ 30'	34.3'/ 39.6' +/-	17.9'/ 39.6' +/-
REAR	40'	203.3' +/-	203.3' +/-
MAXIMUM BUILDING COVERAGE (SQ. FT.)	10% or 6,534	2,424 or 3.6	2,887 or 4.3
MAXIMUM BUILDING HEIGHT (FEET)	30'	16'-10" +/-	16'-10" +/-

LOT COVERAGE CALCULATIONS

AREA	EXISTING	PROPOSED	INCREASE
LOT AREA	66,289 sq.ft.	66,289 sq.ft.	0 sq.ft.
MAIN HOUSE	2,424 sq.ft.	2,887 sq.ft.	463 sq.ft.
DRIVEWAYS	*3,107 sq.ft.	*3,107 sq.ft.	0 sq.ft.
FRONT PORCH	35 sq.ft.	45 sq.ft.	10 sq.ft.
REAR DECKS	0 sq.ft.	47 sq.ft.	47 sq.ft.
WALKWAY	89 sq.ft.	95 sq.ft.	6 sq.ft.
SCREEN PORCH	274 sq.ft.	0 sq.ft.	-274 sq.ft.
TOTAL	*2,822 sq.ft.	*3,074 sq.ft.	*252 sq.ft.

* DRIVEWAY AREA NOT INCLUDED IN TOTAL FOR LOT COVERAGE PURPOSES

SITE PLAN

NOTE: 1" = 16'-0"
 SITE PLAN BASED ON SURVEY, AS
 PREPARED BY JRL SURVEYING P.C.
 DATED 06/01/2022

MAP- BLOCK- LOT = 79.05 - 1 - 48
 LOT AREA = 66,289 sq.ft. / 1.5218 AC.
 ZONE = R-1.5A

SETBACK : FRONT = 50'
 REAR = 40'
 SIDE = 30'

LENNON & WITT ARCHITECTS
 2A HARDCRABBLE RD.
 North Salem, New York 10560
 914-276-0225 Fax 914-669-0180

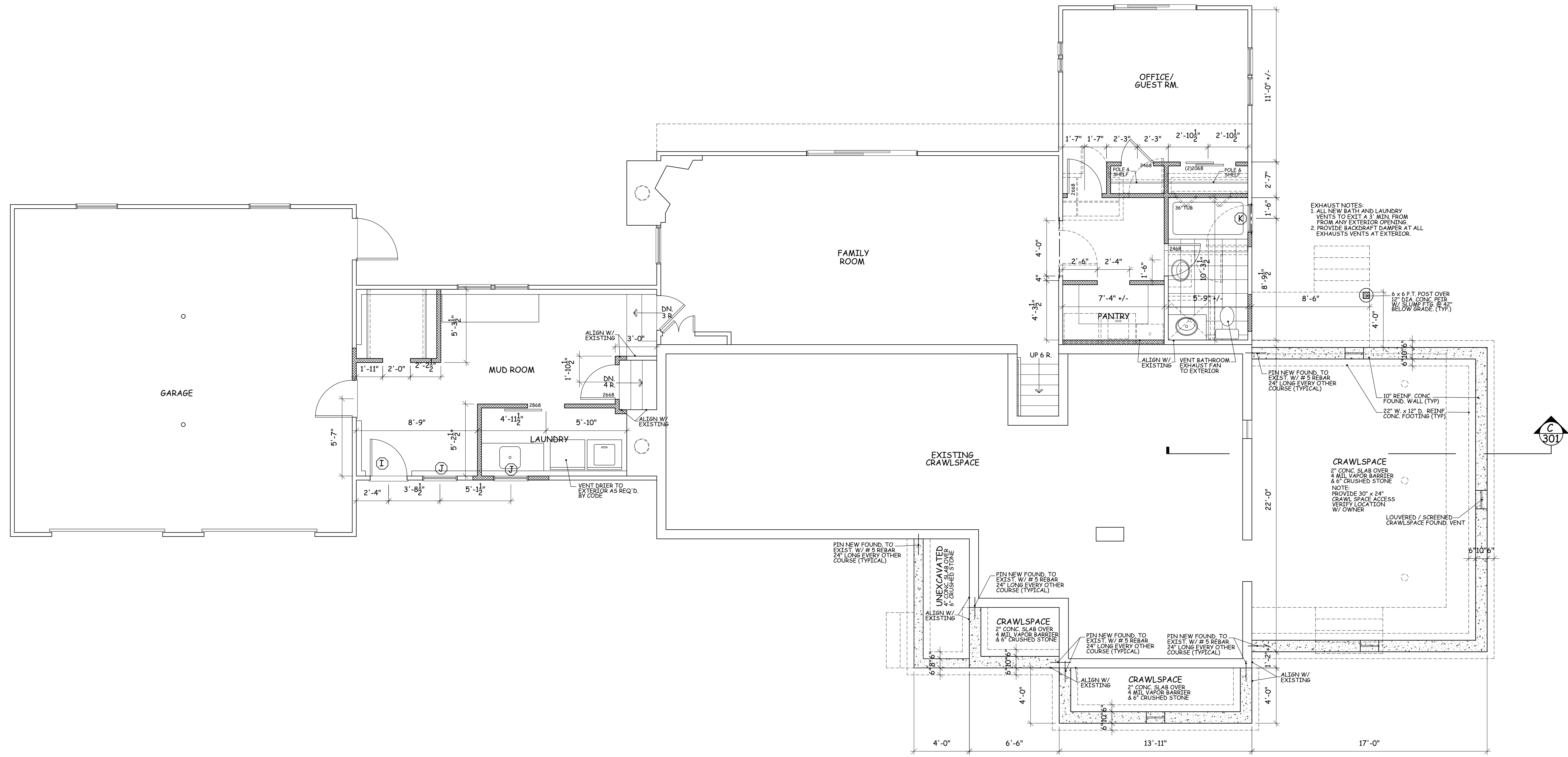
Project Title
**ADDITION TO
 LEVY RESIDENCE**
 10 WINDMILL PLACE
 ARMONK, NY 10504

**PROPOSED
 SITE PLAN**

Scale **AS NOTED**

Date **07/20/22**
 Drawing By **A.O.**

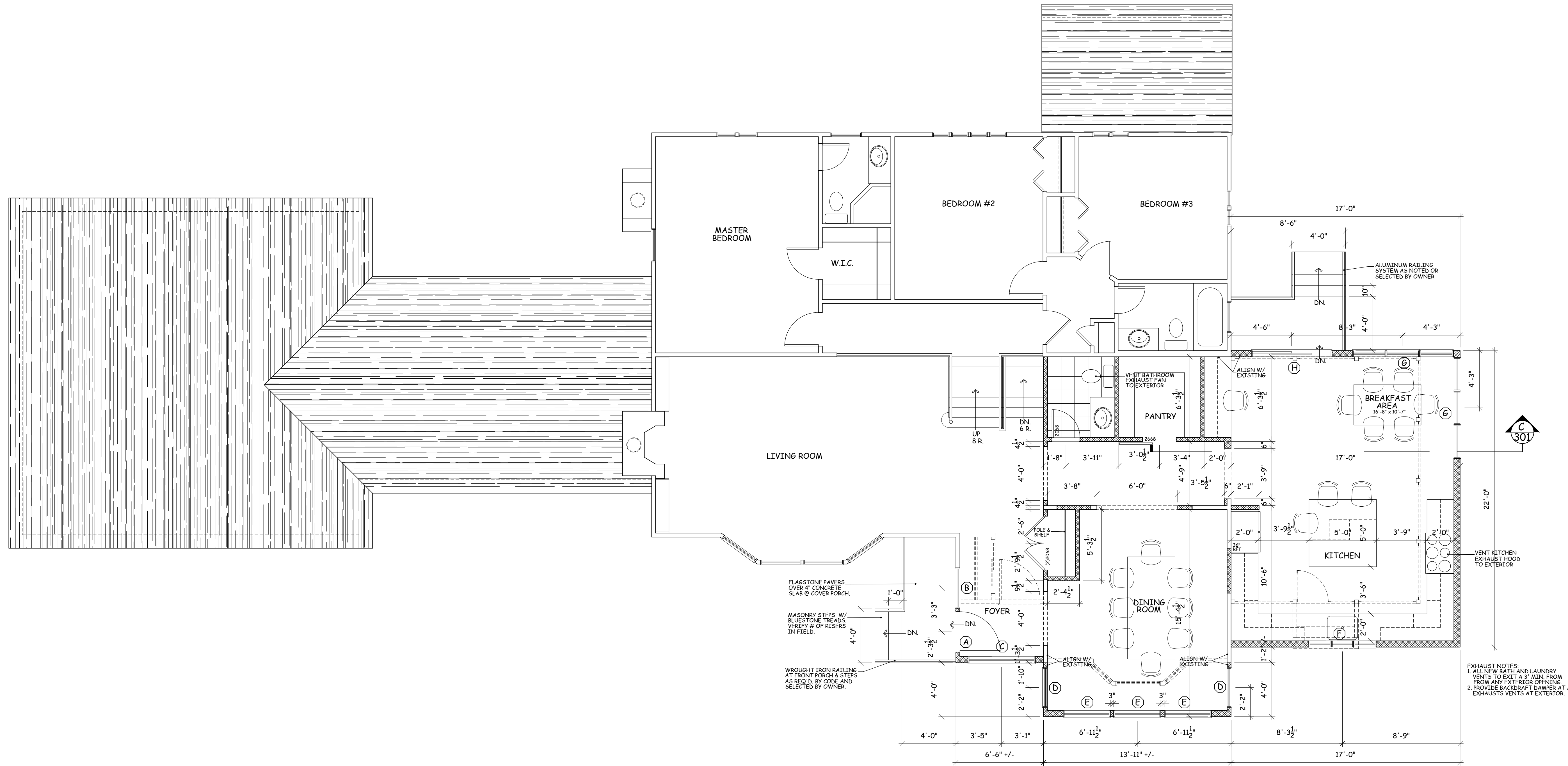
Drawing No.
A-100



BASEMENT PLAN
 1/4"=1'-0"

LEGEND

	EXIST. CONC. FOUNDATION WALL TO REMAIN
	NEW CONC. FOUNDATION WALL
	EXIST. FRAME WALL TO REMAIN
	NEW FRAME WALL
	EXIST. FRAME WALL TO BE REMOVED



FIRST FLOOR PLAN
1/4"=1'-0"

LIGHT & VENTILATION CALCULATIONS						
ROOM	FLOOR AREA	LIGHT REQUIRED-8%	LIGHT PROVIDED	VENTILATION REQUIRED-4%	VENTILATION PROVIDED	COMPLIANCE
FIRST FLOOR						
KITCHEN/ BREAKFAST AREA	360 sq.ft.	29 sq.ft.	92 sq.ft.	14 sq.ft.	34 sq.ft.	YES
DINING ROOM	186 sq.ft.	15 sq.ft.	65 sq.ft.	7 sq.ft.	55 sq.ft.	YES

NOTES:
PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICACY LAMPS PER RAGA OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.

LEGEND

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	NEW CONC. FOUNDATION WALL
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	NEW FRAME WALL
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TERENCE P. LENNON
ARCHITECT
OFFICES AT
2A Hardscrabble Rd.
North Salem, New York 10560
(914) 276-2500

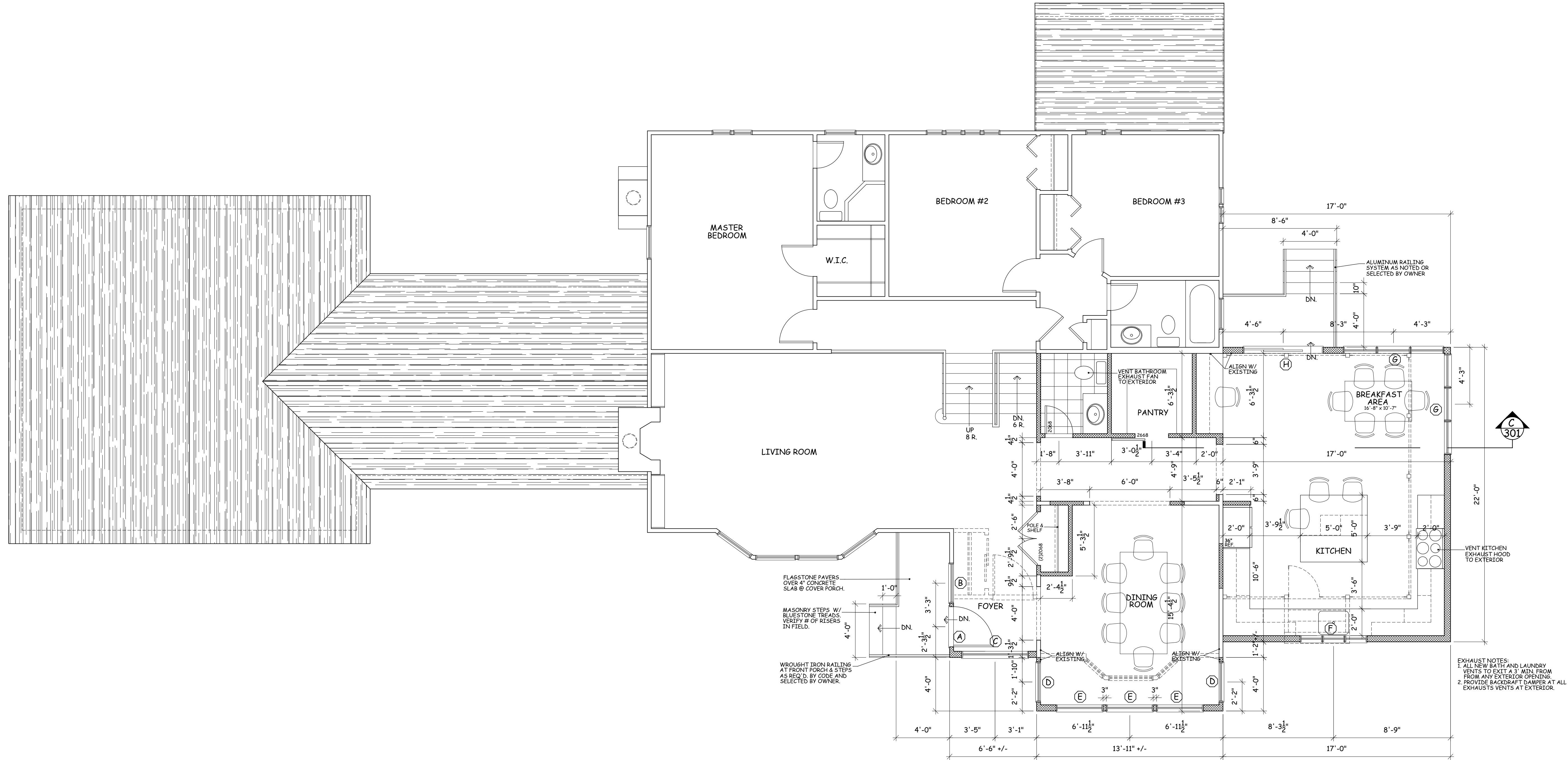
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10 WINDMILL PLACE
ARMONK, NY 10504

PROPOSED
FIRST FLOOR

Scale 1/4" = 1'-0"

Date 04/29/22
Drawing By A.O.

Drawing No.
A-102



FIRST FLOOR PLAN
1/4"=1'-0"

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 - EXIST. FRAME WALL TO REMAIN
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FIRST FLOOR**

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A-102

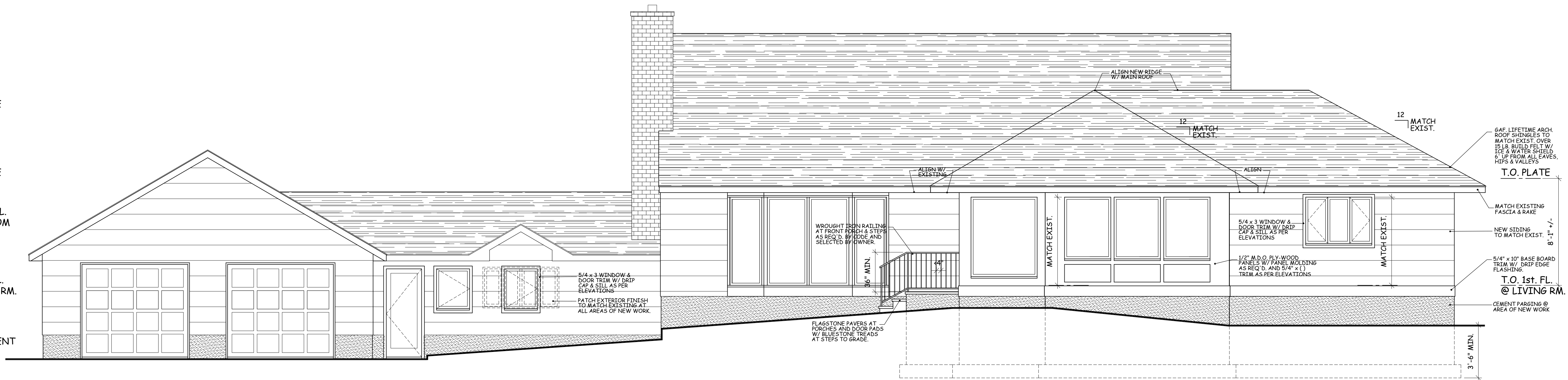
T.O. PLATE

T.O. PLATE

T.O. 2nd. FL.
@ BEDROOM

T.O. 1st. FL.
@ LIVING RM.

T.O. SLAB
@ BASEMENT



FRONT ELEVATION

1/4"=1'-0"

T.O. PLATE

T.O. PLATE

T.O. 2nd. FL.
@ BEDROOM

T.O. 1st. FL.
@ LIVING RM.

T.O. SLAB
@ BASEMENT



LEFT ELEVATION

1/4"=1'-0"

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PROPOSED
ELEVATIONS

Scale 1/4" = 1'-0"



Date 04/29/22
Drawing By A.O.

Drawing No.

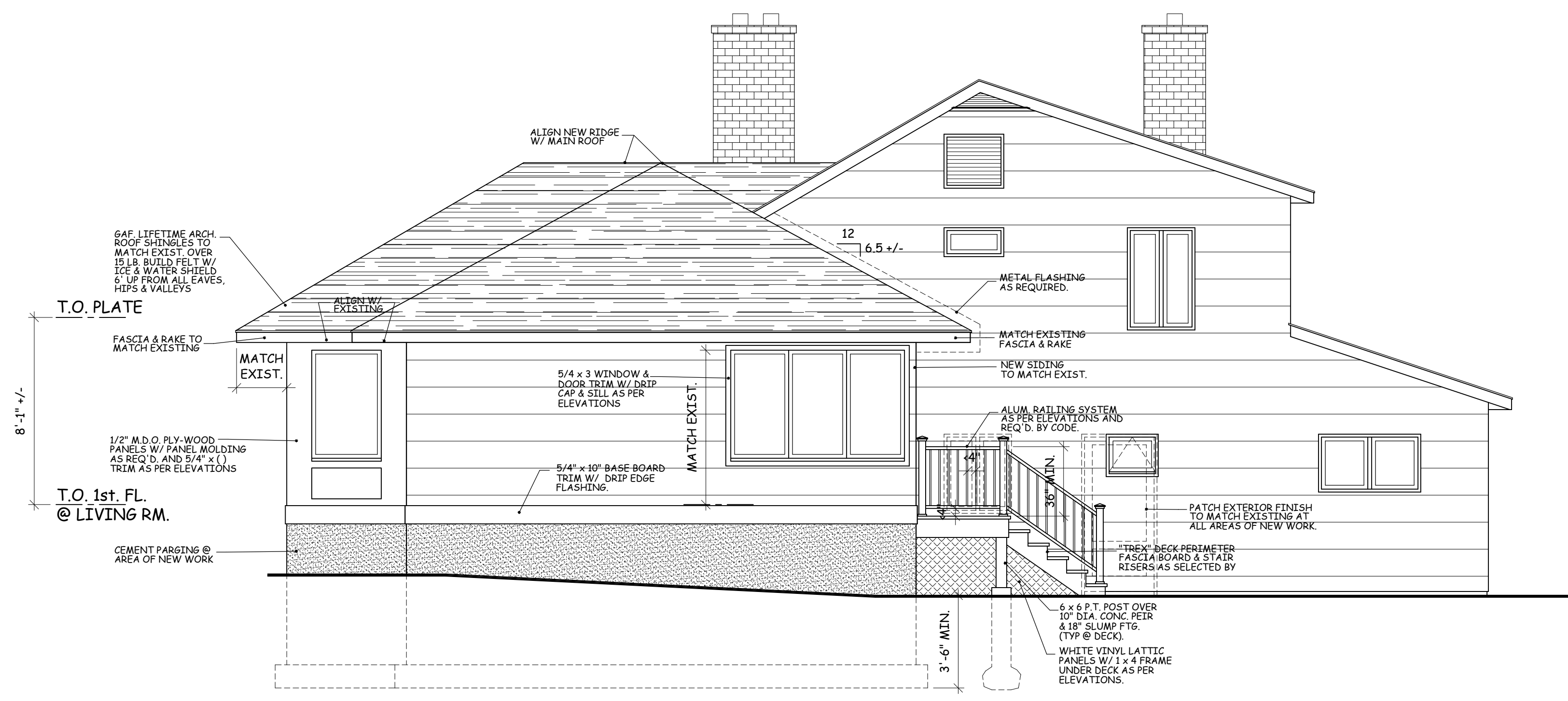
A-201



REAR ELEVATION

1/4"=1'-0"

T.O. PLATE
T.O. PLATE
T.O. 2nd. FL. @ BEDROOM
T.O. 1st. FL. @ LIVING RM.
T.O. SLAB @ BASEMENT



RIGHT ELEVATION

1/4"=1'-0"

T.O. PLATE
T.O. PLATE
T.O. 2nd. FL. @ BEDROOM
T.O. 1st. FL. @ LIVING RM.
T.O. SLAB @ BASEMENT

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Project Title

PROPOSED ELEVATIONS

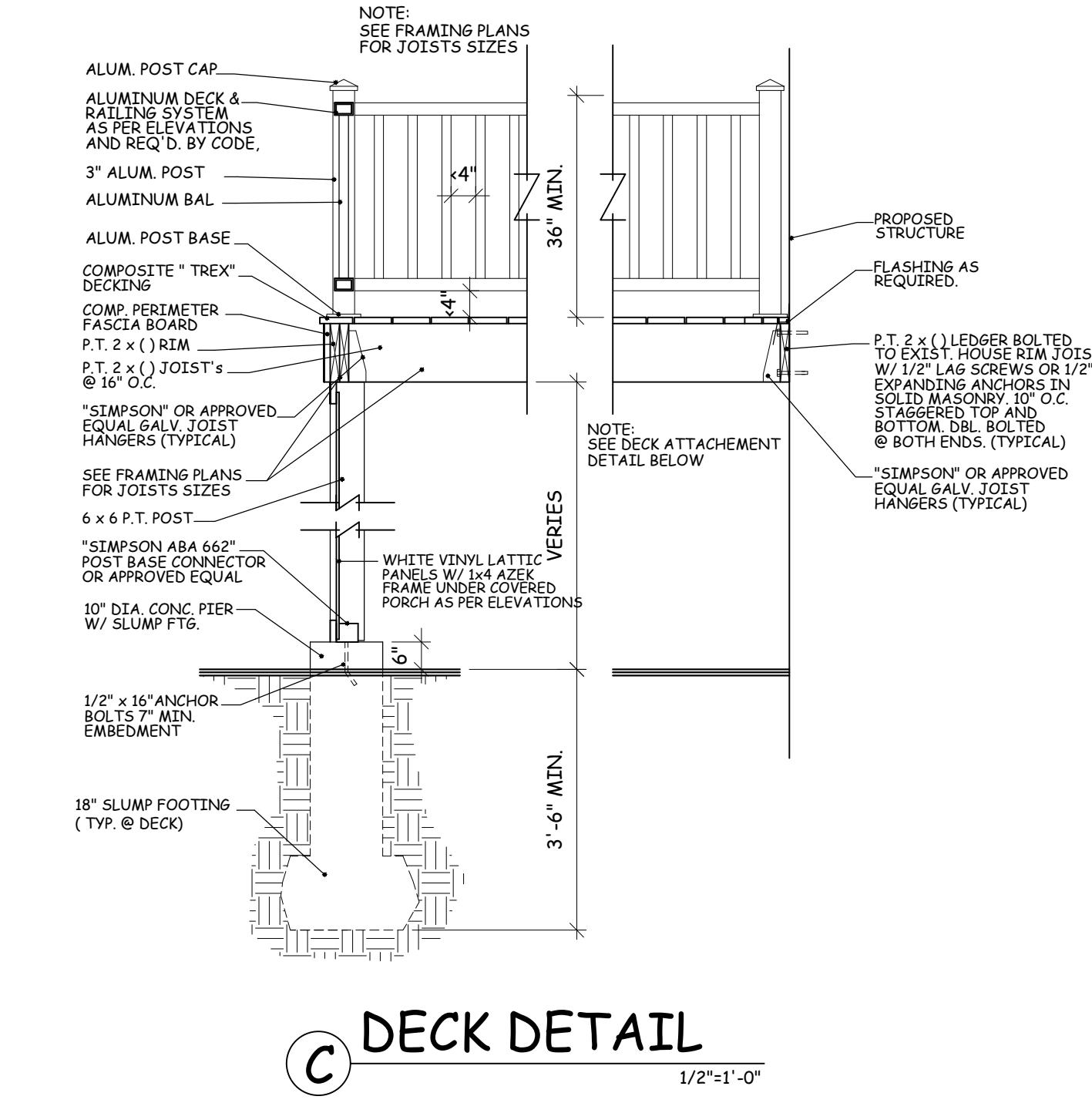
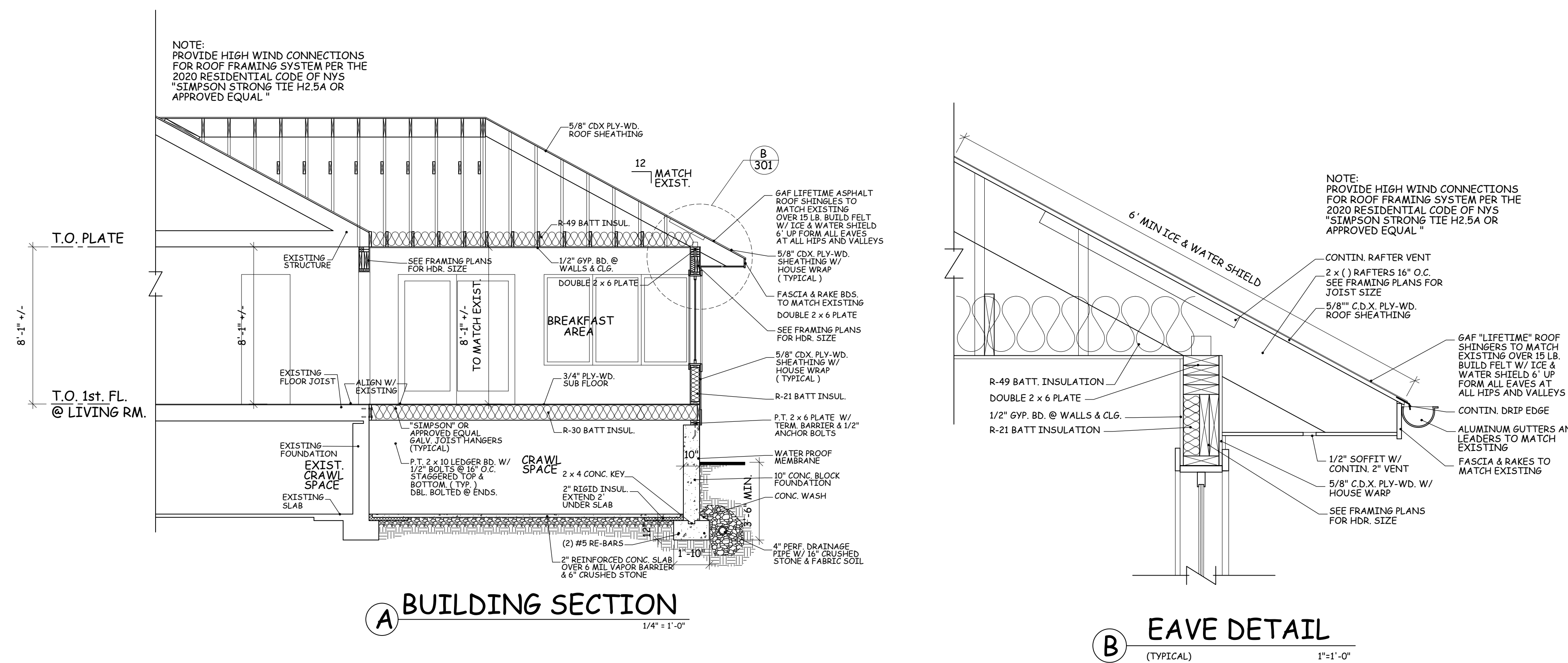
Scale 1/4" = 1'-0"



Date 04/29/22
Drawing By A.O.

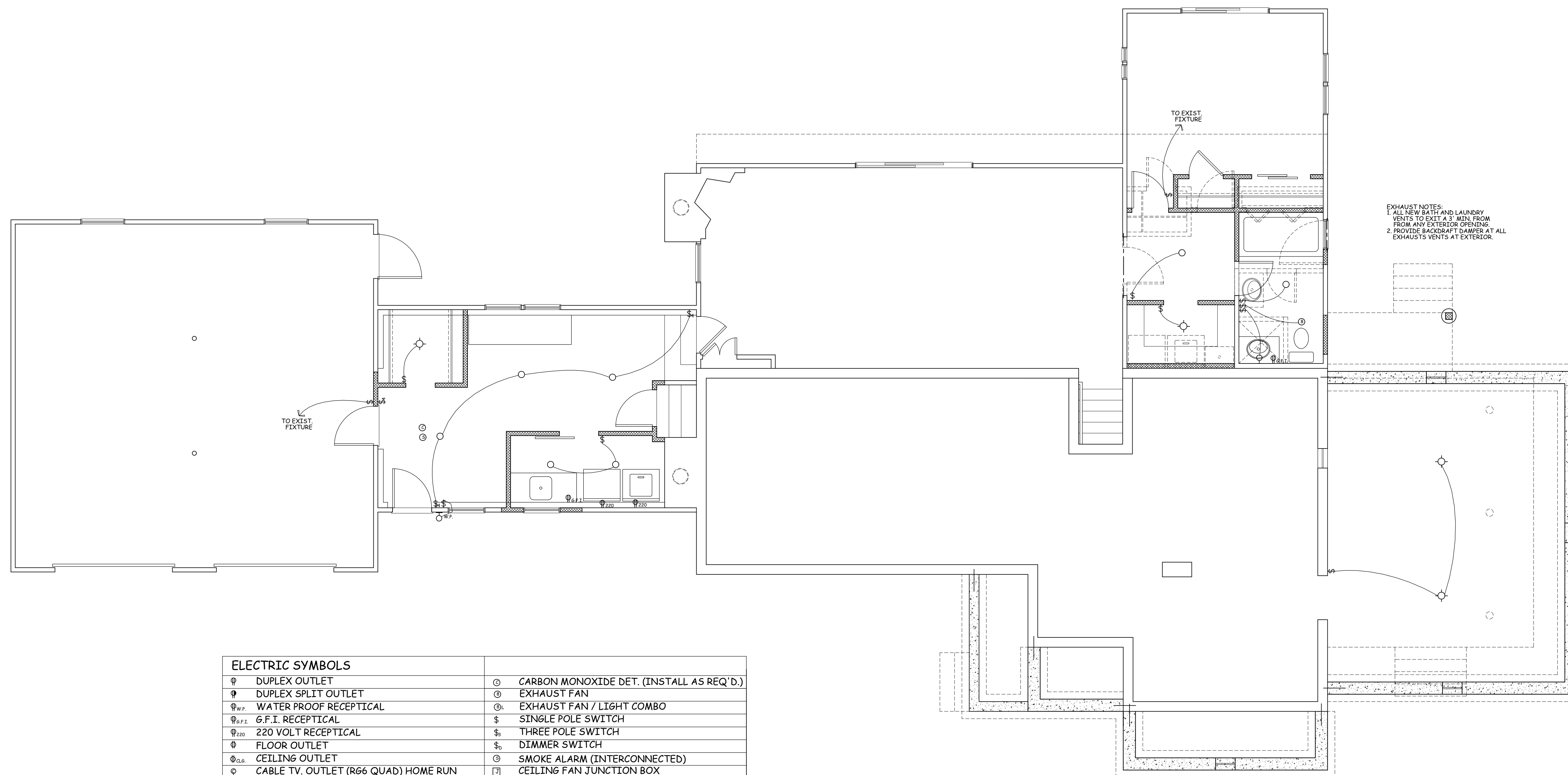
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A-202



WIN.	QNTY.	MFR.	TYPE	MODEL	ROUGH OPENING	DIVIDED LIGHTS	LOCATION	REMARKS
A	1	T.B.D.	ENTRY DOOR	T.B.D.	3'-0" x 6'-10" UNIT SIZE	SEE ELEVATIONS	SEE PLANS	
B	1	ANDERSEN	STATIONARY	FWH31611S	3'-1" x 6'-11"			
C	1		CASE	T.B.D.	5'-0" x 6'-0" UNIT SIZE			
D	2		CASE	CXW15	3'-0 1/2" x 5'-0 7/8"			
E	3		CASE	T.B.D.	3'-6" x 5'-0" UNIT SIZE			
F	1		CASE	CN335	5'-1 1/2" x 3'-5 3/8"			
G	2		CASE	CW35	7'-1 1/8" x 5'-0 3/8"			
H	1		PATIO DOOR	FW660611L	6'-0" x 6'-11"			
I	1	T.B.D.	DOOR	T.B.D.	2'-8" x 6'-10" UNIT SIZE			
J	2	ANDERSEN	CASE	CX13	2'-8" x 3'-0 1/2"			
K	1	ANDERSEN	AWNG.	AN21	2'-0 5/8" x 1'-9"			

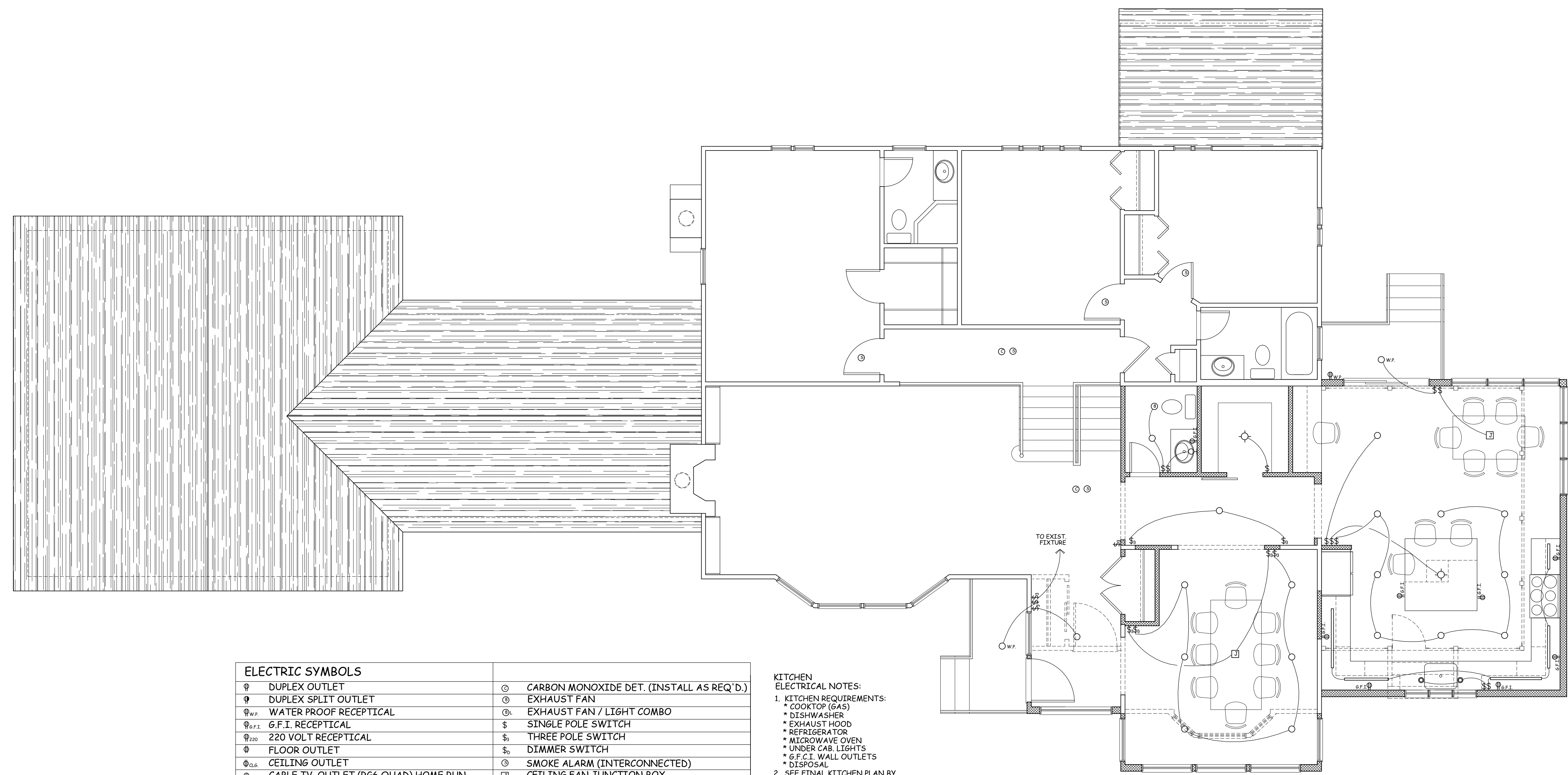
- WINDOW & EXTERIOR DOOR NOTES:**
- ALL NEW WINDOWS & EXTERIOR FRENCH DOORS TO BE AS MFR'D BY "ANDERSEN" (WOOD UNITS) SUPPLY AND INSTALL SCREENS (WHITE) ON ALL NEW OPERABLE UNITS. 7/8" SIM. DIVIDED LITES AS PER ELEVATIONS
 - ANY NEW WINDOW OR DOOR EXTENDING LESS THAN 18" ABOVE FINISHED FLOOR MUST BE TEMPERED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
 - ALL NEW WINDOWS TO BE SUPPLIED W/ HARDWARE AS REQUIRED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
 - ALL NEW EXTERIOR FRENCH DOORS TO BE SUPPLIED W/ OIL RUBBED BRONZE HARDWARE OR AS SELECTED BY OWNER.
 - SOME UNITS ON WINDOW SCHEDULE MAY NOT APPEAR ON FLOOR PLANS, SEE ELEVATIONS FOR LOCATIONS.
 - ALL EXTERIOR GLASS DOORS SHALL BE TEMPERED GLASS. VERIFY WEATHER ADDITIONAL UNITS SHOULD BE TEMPERED.
 - SEE ELEVATIONS FOR SWING ACTION OF ALL OPERABLE UNITS.
 - VERIFY ALL WINDOW AND EXTERIOR DOOR OPTIONS W/ OWNER PRIOR TO ORDERING. (COLOR, GRILLS, SCREENS, AND HARDWARE TYPE & COLOR)
 - CONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS OF ALL EXISTING WINDOWS TO BE REPLACED PRIOR TO ORDERING. NOTIFY ARCHITECT IF ASSUMED HEADERS ARE NOT PRESENT, UNDERSIZED OR DAMAGED.



ELECTRIC SYMBOLS			
⊕	DUPLEX OUTLET	⊙	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)
⊕	DUPLEX SPLIT OUTLET	⊙	EXHAUST FAN
⊕ _{WP}	WATER PROOF RECEPTICAL	⊕	EXHAUST FAN / LIGHT COMBO
⊕ _{GFI}	G.F.I. RECEPTICAL	\$	SINGLE POLE SWITCH
⊕ ₂₂₀	220 VOLT RECEPTICAL	\$	THREE POLE SWITCH
⊕	FLOOR OUTLET	\$	DIMMER SWITCH
⊕ _{CE}	CEILING OUTLET	⊙	SMOKE ALARM (INTERCONNECTED)
⊕	CABLE TV. OUTLET (R66 QUAD) HOME RUN	⊕	CEILING FAN JUNCTION BOX
⊕	TELEPHONE OUTLET (CAT 5E) HOME RUN	⊕	EXTER. SPOT LIGHT
⊕	SURFACE MOUNTED LIGHT FIXTURE	⊕	UNDERCOUNTER LIGHTING
○	5" RECESSED LIGHT W/ LED BULB & TRIM	⊕	WALL MOUNTED LIGHT FIXTURE
○	3" RECESSED LIGHT W/ LED BULB & TRIM	⊕	HEAT DETECTOR (INSTALL AS REQ'D. BY CODE)

- ELECTRICAL NOTES:**
1. WALL OUTLETS AT AREA'S OF NEW WORK BY ELECTRICIAN AS REQ'D. BY CODE. UNLESS OTHERWISE NOTED ON DRAWING.
 2. INSTALL HARDWIRED, INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP TO ALL AREA'S OF RESIDENCE AS REQ'D. BY CURRENT VERSION OF APPLICABLE CODE.
 3. PROVIDE HARDWIRED, CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATE AS REQ'D. BY CURRENT CODE.
 4. VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS W/ OWNER PRIOR TO ROUGH IN
 5. PROVIDE OWNER W/ \$500 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.
 6. PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
 7. ALL BATH, LAUNDRY & KITCHEN EXHAUST VENTS TO EXIT A MIN. OF 3' FROM ANY EXTERIOR OPENING. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS.
 8. ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.

BASMENT PLAN
 1/4"=1'-0"



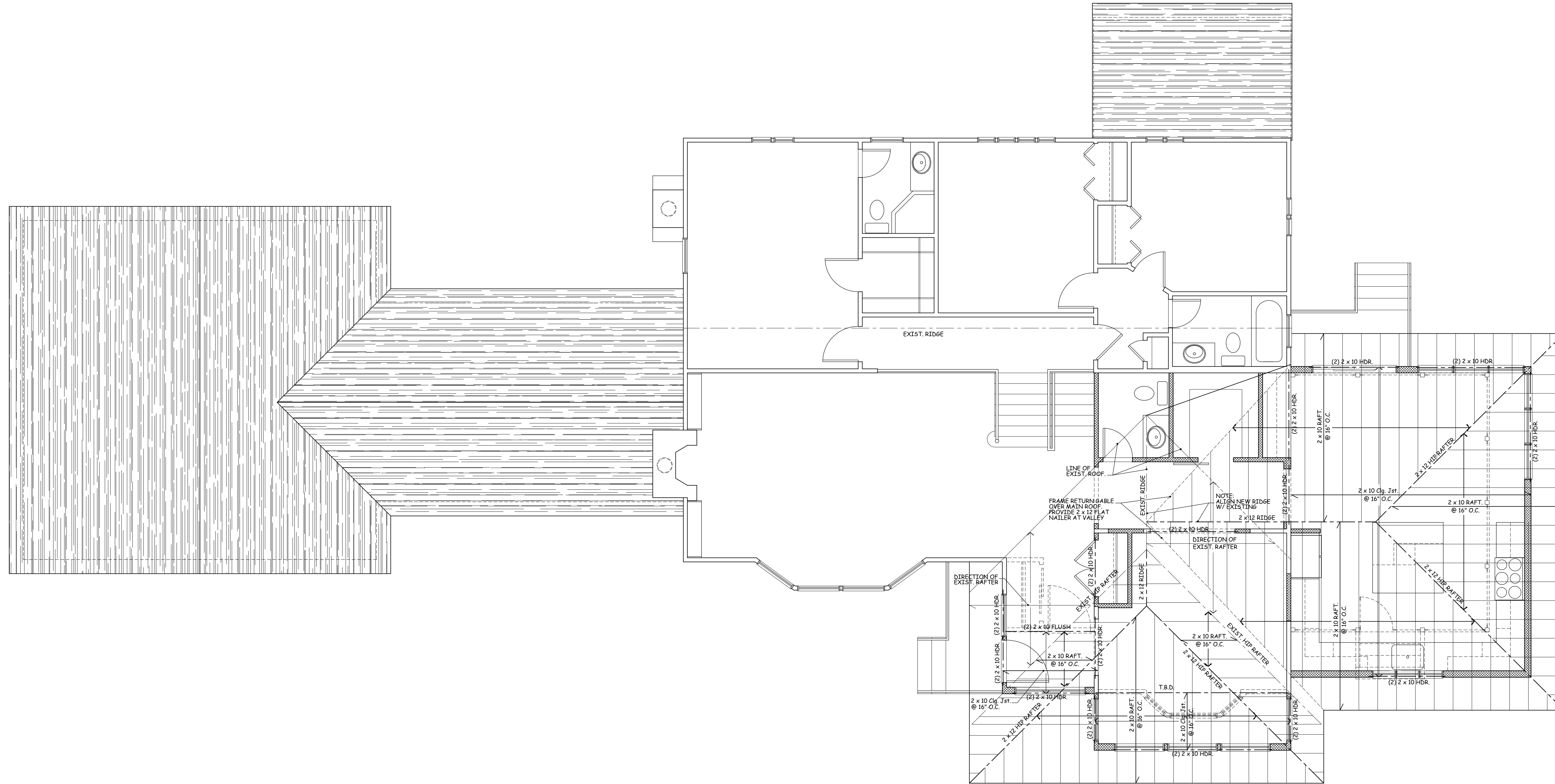
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 8. ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.

- KITCHEN ELECTRICAL NOTES:**
1. KITCHEN REQUIREMENTS:
 * COOKTOP (GAS)
 * DISHWASHER
 * EXHAUST HOOD
 * REFRIGERATOR
 * MICROWAVE OVEN
 * UNDER CAB. LIGHTS
 * G.F.I. WALL OUTLETS
 * DISPOSAL
 2. SEE FINAL KITCHEN PLAN BY OTHERS AND VERIFY APPLIANCE REQUIREMENTS PRIOR TO ROUGH.
 3. VERIFY KITCHEN COUNTER ELECTRICAL OUTLET LOCATIONS W/ KITCHEN SUPPLIER

EXHAUST NOTES:
 1. ALL NEW BATH AND LAUNDRY VENTS TO EXIT A 3' MIN. FROM FROM ANY EXTERIOR OPENING.
 2. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUSTS VENTS AT EXTERIOR.

FIRST FLOOR PLAN
 1/4"=1'-0"



FIRST FLOOR PLAN
1/4"=1'-0"

FRAMING NOTES:

- ALL FRAMING SHOWN TO PLATE LINE BELOW
- ALL HEADERS TO BE (2) 2 x 10' s UNLESS NOTED OTHERWISE
- VERIFY FASCIA AND RAKE OVERHANGS. (SEE A-200)
- PROVIDE SOLID STUDDING @ ALL BEAMS, HEADERS, AND POINT LOADS TO FOUND.
- ALL ENGINEERED WOOD FRAMING PRODUCTS TO BE AS MFR' D. BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL AS PER Mfr.'s SPECS.
- SEE BUILDING SECTIONS AND DETAILS (A-300 SERIES DRAWINGS) FOR SUPPLEMENTAL FRAMING REQ.
- CONTRACTOR RESPONSIBLE FOR VERIFYING FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY ARCHITECT
- PROVIDE 2 x 8 COLLAR TIES 32" O.C. AT ALL ROOFS. SET AT UPPER THIRD OF ATTIC SPACE. (TYP.)
- PROVIDE AND INSTALL REQUIRED PLACARDS INDICATING LOCATION AND USE OF ALL ENGINEERED FRAMING COMPONENTS. V
FR
- PROVIDE 2 x 12 FLAT NAILER AT ALL VALLEYS OVER ROOFS. FLAT NAILER WIDTH SHALL MATCH THE JACK RAFTER LEVEL CUT MIN.
- LVL' s SHALL BE AS MFR' D. BY "WEYERHAEUSER" 2.0E MICROLLAM OR APPROVED EQUAL. 1 3/4" WIDE IN DEPTH AS INDICATED ON PLANS.
E= 125,000psi, E= 2.0 x 10⁶ psi, Fc=750 psi, Ft= 1,555psi
Fb=2,600 psi at 12" depth for other than 12" depth multiply Fb by (12/d)³ 136
- PROVIDE ROOF UPLIFT & TIE DOWN CONNECTIONS AS PER SECTION 802.11 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

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ROOF
FRAMING PLAN

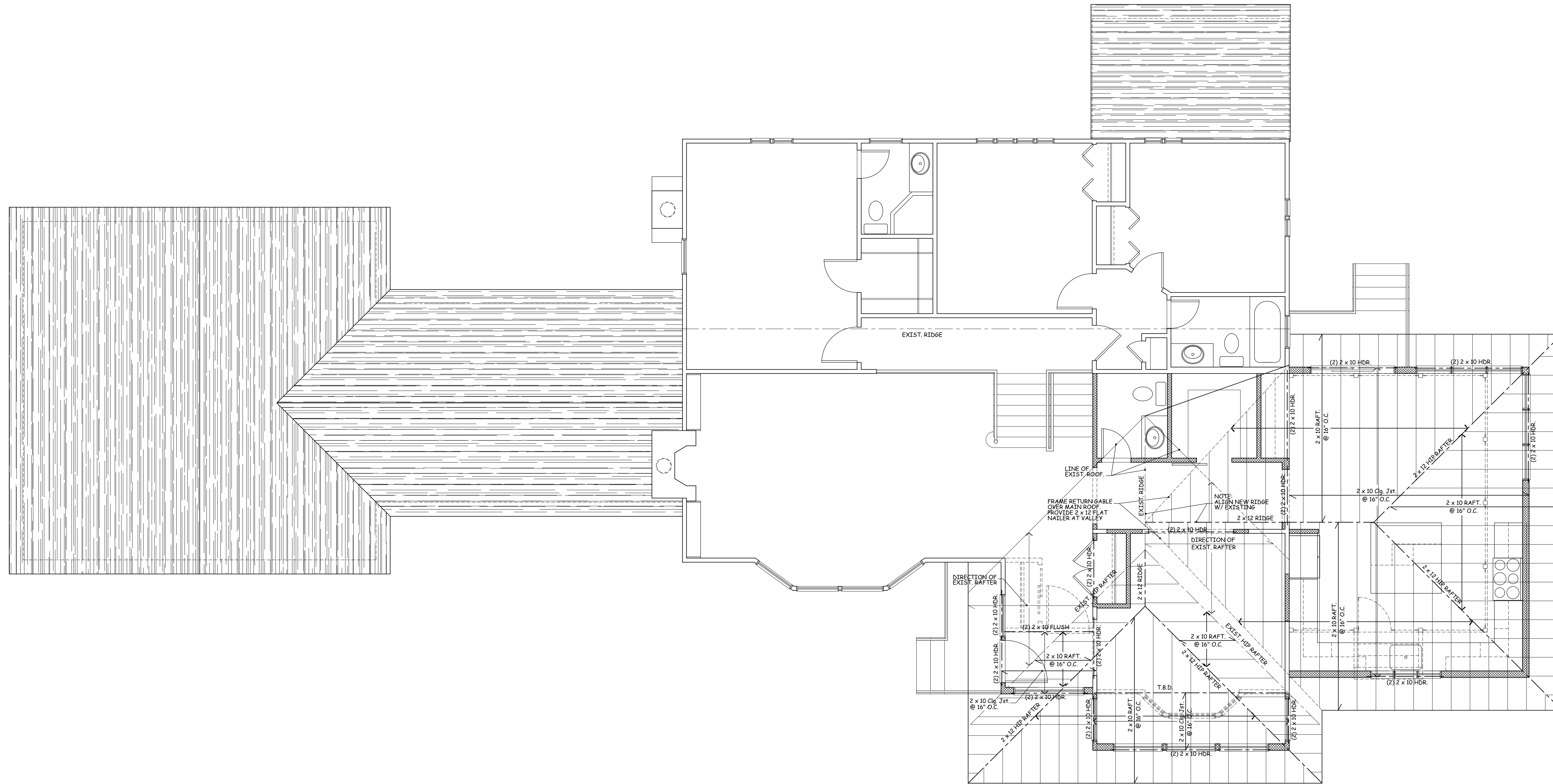
Scale **1/4" = 1'-0"**



Date **04/29/22**
Drawing By **A.O.**

Drawing No.

F-102



FIRST FLOOR PLAN

1/4"=1'-0"

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FR
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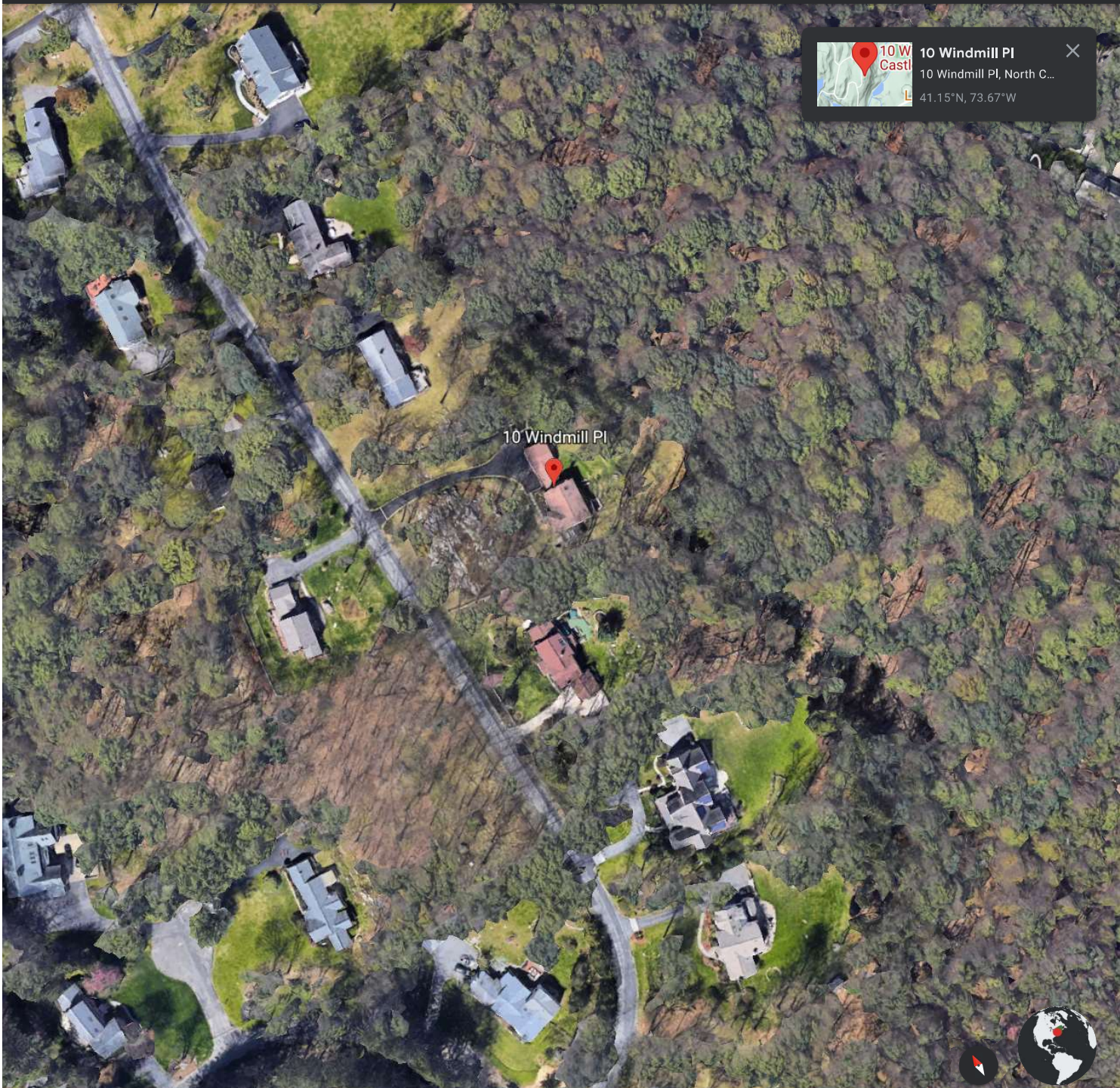
**ROOF
FRAMING PLAN**

Scale 1/4" = 1'-0"

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Drawing No.

F-102



10 Windmill Pl ✕
10 Windmill Pl, North C...
41.15°N, 73.67°W

10 Windmill Pl



 **10 Windmill Pl** ✕
10 Windmill Pl, North C...
41.15°N, 73.67°W

10 Windmill Pl





**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: _____

Levy.

Initial Submittal Revised Preliminary

Street Location: _____

10 Windmill Place Armonk, NY 10504

Zoning District: R.15 Property Acreage: 1.573 Tax Map Parcel ID: 102.01-1-24

Date: _____

7/19/2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Levy Date: 7/28/2022
 Tax Map Designation or Proposed Lot No.: 102.01-1-27

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.573
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 6534
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = _____
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 6534
5. Amount of lot area covered by **principal building**:
2424 existing + 463 proposed = 2887
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 47 proposed = 47
8. Amount of lot area covered by **porches**:
309 existing + -264 proposed = 45
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 0 proposed = 3202
10. Amount of lot area covered by **terraces**:
0 existing + 0 proposed = _____
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = _____
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = _____
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 6181

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



Date

7/28/2022



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

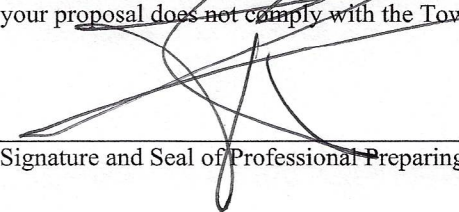
FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Levy Date: 7/19/2022
 Tax Map Designation or Proposed Lot No.: 102-01-1-24

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 66,289
2. Maximum permitted floor area (per Section 355-26.B(4)): _____
3. Amount of floor area contained within first floor:
1666 existing + 483 proposed = 2,149
4. Amount of floor area contained within second floor:
546 existing + _____ proposed = 546
5. Amount of floor area contained within garage:
484 existing + 0 proposed = 484
6. Amount of floor area contained within porches capable of being enclosed:
274 existing + -274 proposed = 0
7. Amount of floor area contained within basement (if applicable – see definition):
0 existing + 0 proposed = 0
8. Amount of floor area contained within attic (if applicable – see definition):
0 existing + 0 proposed = 0
9. Amount of floor area contained within all accessory buildings:
0 existing + 0 proposed = 0
10. Proposed floor area: Total of Lines 3 – 9 = 3,179

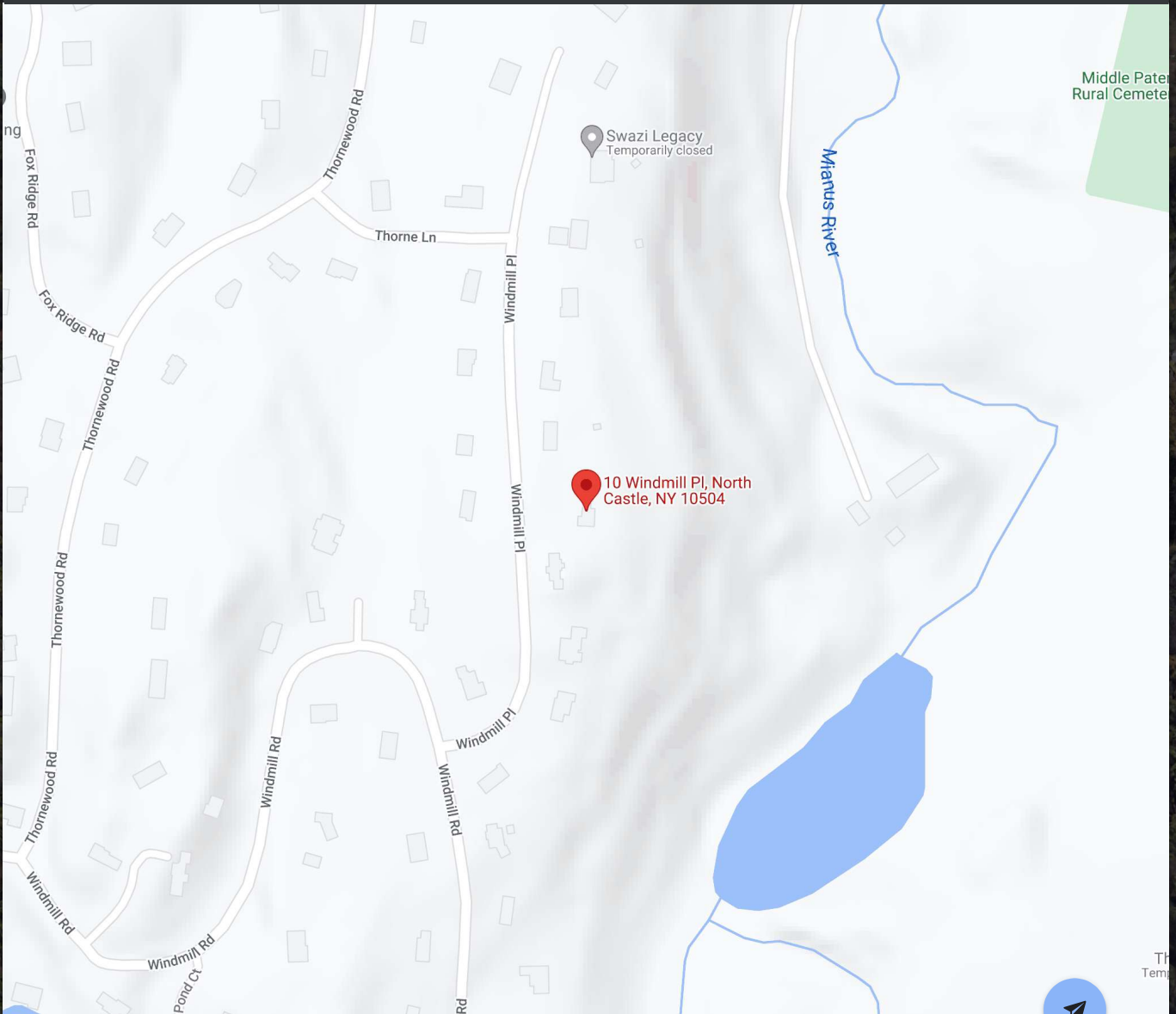
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



7/28/22
 Date

← 10 Windmill Pl



10 Windmill Pl

Building

75 m



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 Windmill Place Armonk, NY 10504

Section III- DESCRIPTION OF WORK:

- Kitchen Entry Expansion
- Small Rear Landing : Steps

Section III- CONTACT INFORMATION:

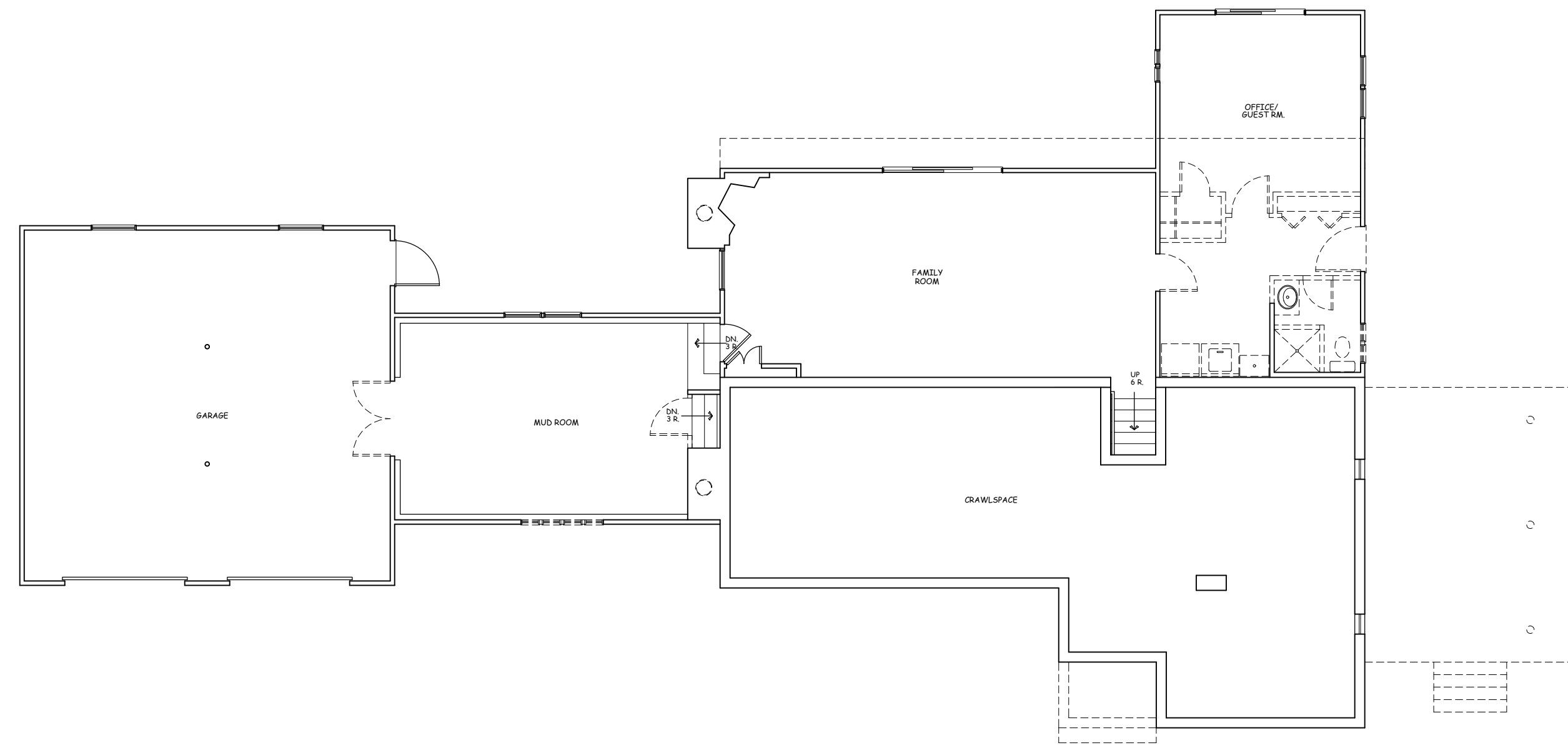
APPLICANT: Builders Atelier
ADDRESS: 2A Handscrabble Road North Salem, NY 10560
PHONE: 9142762500 MOBILE: _____ EMAIL: abbokie@outlook.com.

PROPERTY OWNER: Levy
ADDRESS: 10 Windmill Place Armonk, NY 10504
PHONE: 914 273 9688 MOBILE: 914 393 1577 EMAIL: michael.levy@grandluxrealty.com.

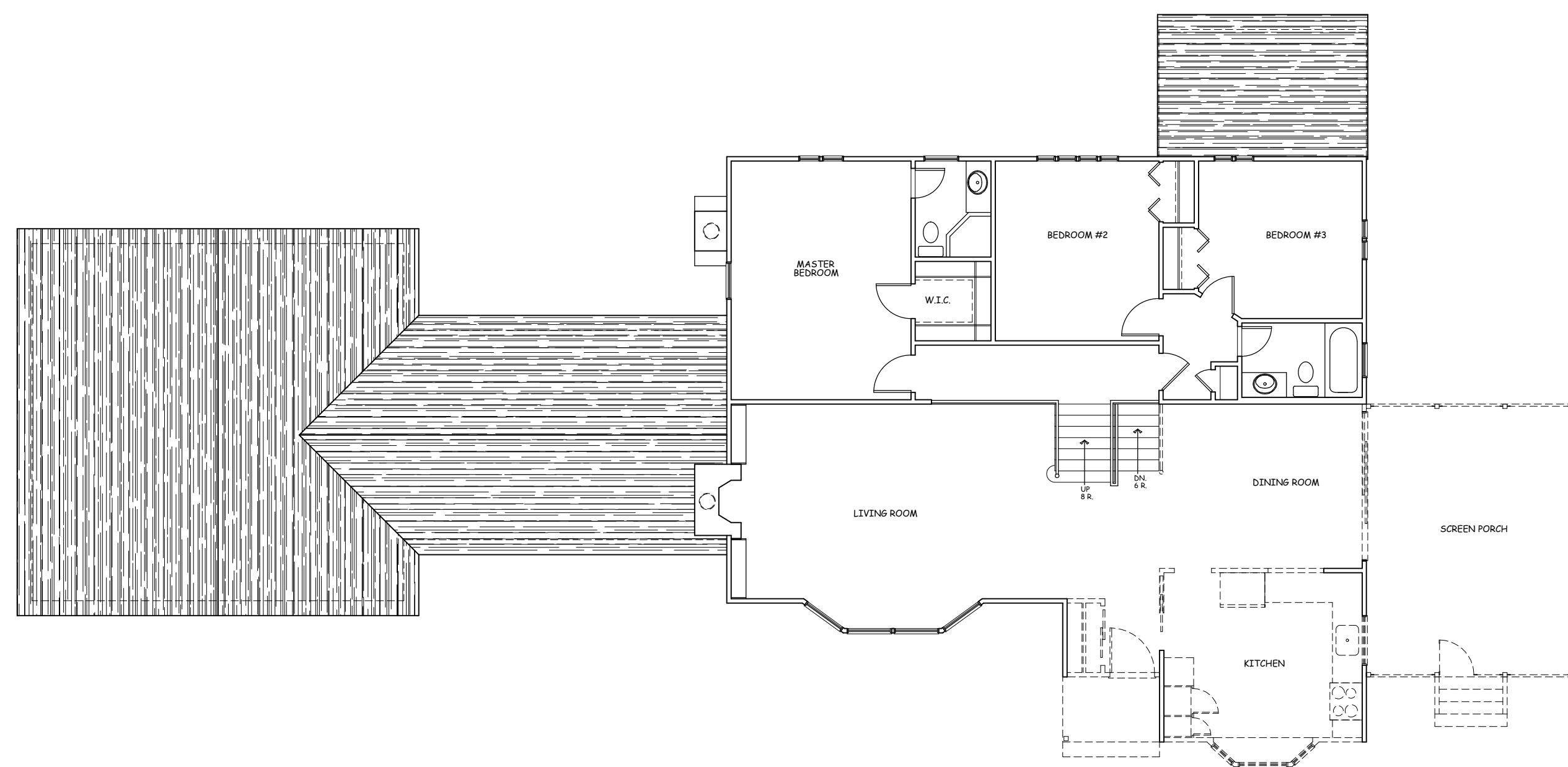
PROFESSIONAL: Terence Lennon
ADDRESS: 11 Aunt Park Lane Newtown, CT 06470
PHONE: 914 954 1869 MOBILE: _____
EMAIL: terrylennon@aia@gmail.com

Section IV- PROPERTY INFORMATION:

Zone: R-15 Tax ID (lot designation) 102.01-124

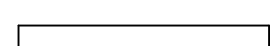
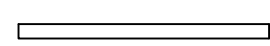
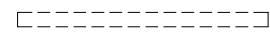


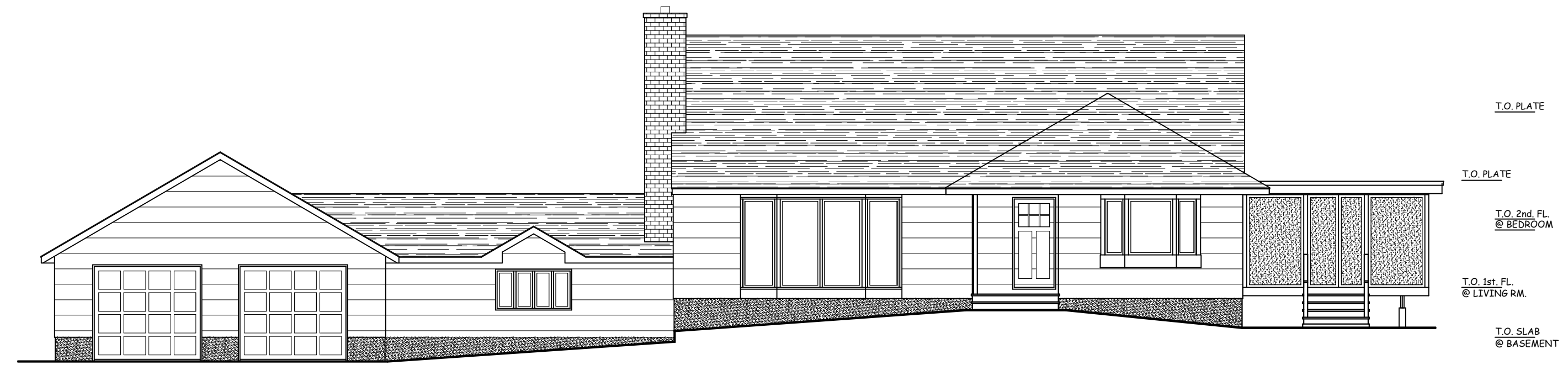
BASEMENT PLAN



FIRST FLOOR PLAN

LEGEND

-  EXIST. CONC. FOUNDATION WALL TO REMAIN
-  EXIST. FRAME WALL TO REMAIN
-  EXIST. FRAME WALL TO BE REMOVED



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

TERENCE P. LENNON ARCHITECT

OFFICES AT
2A Hardscrabble Rd.
North Salem, New York 10560
(914) 276-2500

Project Title
**ADDITION TO
LEVY RESIDENCE**
10 WINDMILL PLACE
ARMONK, NY 10504

**EXISTING
CONDITIONS**

Scale **1/8" = 1'-0"**



Date **04/18/22**
Drawing By **A.O.**

Drawing No.

X-101