



Pools of Perfection
523 Main Street
Armonk, NY 10504

(914) 273-SWIM (7946) tel
(914) 273-2261 fax

www.PoolsOfPerfection.com
CCarthy@PoolsOfPerfection.com

Mr. Adam Kaufman
Chairman
Residential Project Review Committee
Town Of North Castle
17 Bedford Road
Armonk, NY 10504

Dear Adam,

The attached application is for construction of a swimming pool at 10 Henkers Farm Road. The previous home owner presented an application to the RPRC some years ago. As the RPRC instructions request that the various files be combined into one file, I am presenting a table of contents of what is attached in this file.

Table of Contents

1. Table of Contents (this letter was duplicated in the body of email as well)
2. RPRC application
3. Conservation Easement Text
4. Conservation Easement Map
5. Current Wetland Report Prepared by S. Coleman
6. Formerly Approved Site Plan
7. Former Applicant Determination Letter
8. 2022 Design Image Created by Pools Of Perfection
9. Current Plans From Robert Schweitzer RLA Plans 0 to 9.

Sincerely,

Christopher Carthy

Christopher Carthy
Principal
APSP Certified Building Professional
APSP Certified Service Professional
September 2, 2022



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 10 Henkers Farm Lane Bedford, NY 10506

Section III- DESCRIPTION OF WORK:

*Construction of swimming pool and spa
and attached patios and retaining walls.*

Section III- CONTACT INFORMATION:

APPLICANT: Chris Carthy - Pools of Perfection

ADDRESS: 523 Main Street, Armonk, NY

PHONE: 914-273-7946 MOBILE: 516-458-4031 EMAIL: ccarthy@poolsofperfection.com

PROPERTY OWNER: Rebecca & Mathew Levy

ADDRESS: 10 Henker Farm Lane, Bedford, NY

PHONE: _____ MOBILE: 973-462-2520 EMAIL: rebecca.g.liven@gmail.com

PROFESSIONAL: Robert Schweitzer, RLA

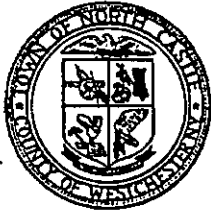
ADDRESS: 18 Bayberry Lane, Redding, CT 06896

PHONE: 914-241-9567 MOBILE: 914-582-7976

EMAIL: rdsrla@optonline.net

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 95.01 / 02 / 63



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Landscape Plans - Levy Residence

Initial Submittal Revised Preliminary

Street Location: 10 Heniker Farm Lane

Zoning District: R-2A Property Acreage: 2.6946 Tax Map Parcel ID: 95.01 / 02 / 63

Date: 6/7/2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Rebecca & Mathew Levy Date: 6/7/22

Tax Map Designation or Proposed Lot No.: 95.01 / 02 / 63

Gross Lot Coverage

- | | | |
|-----|---|-----------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>117,378.45 SF / 2.70 AC</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): $13,270 + 2,269.38 = 15,539.38$
<small>43,560 x 2 = 87,120 SF . 117,378.45 SF - 87,120 SF = 30,258.45 SF. .075 x 30,258.45 SF = 2,269.38 SF</small> | |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
_____ x 10 = _____ | Could not determine front P/L ??? |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>15,539.38</u> |
| 5. | Amount of lot area covered by principal building :
<u>3,276.45</u> existing + <u>000.00</u> proposed = 3,276.45 | <u>3,276.45</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>000.00</u> existing + <u>000.00</u> proposed = 000.00 | <u>000.00</u> |
| 7. | Amount of lot area covered by decks :
<u>369.19</u> existing + <u>000.00</u> proposed = 369.19 | <u>369.19</u> |
| 8. | Amount of lot area covered by porches :
<u>000.00</u> existing + <u>000.00</u> proposed = 000.00 | <u>000.00</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : + patio
<u>8,815.69</u> existing + <u>000.00</u> proposed = 8,815.69 | <u>8,815.69</u> |
| 10. | Amount of lot area covered by terraces :
<u>000.00</u> existing + <u>000.00</u> proposed = 000.00 | <u>000.00</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
_____ existing + _____ proposed = _____ see L3 Coverage Plan | <u>2,584.32</u> |
| 12. | Amount of lot area covered by all other structures : + utilities + walls
<u>259.93</u> existing + <u>000.00</u> proposed = 259.93 | <u>259.93</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>15,305.58</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Robert D. Schweitzer

Signature and Seal of Professional Preparing Worksheet

6/7/22

Date





V01594305



DLR2

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*** DO NOT REMOVE ***

WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DLR-DECLARATION FEE PAGE 14 TOTAL PAGES 14
(SEE CODES FOR DEFINITIONS)

STAT'Y CHARGE 5.25
REC'ING CHARGE 42.00
RECMGT FUND 4.75
EA 5217 _____
TP-584 6.00
CROSS-REF. 0.00
MISC. 0.00

MORTGE. DATE _____
MORTGE. AMT _____
EXEMPT YES _____ NO _____

LIBER: 11005
PAGE : 287

REC'D TAX ON ABOVE MTGE:
BASIC \$ _____
ADDITIONAL \$ _____

THE PROPERTY IS SITUATED
IN WESTCHESTER COUNTY,
NEW YORK IN THE:
TOWN OF NORTH CASTLE

TOTAL PAID
58.00

SUBTOTAL \$ _____
SPECIAL \$ _____
TOTAL PAID \$ _____

\$ 0.00
CONSIDERATION

SERIAL NO. _____
DWELLING 1-6 OVER

RECEIVED:
TAX AMOUNT \$ 0.00
TRANSFER TAX# 0005186

DUAL TOWN
 DUAL COUNTY/STATE
 HELD
 NOT HELD

TITLE COMPANY NUMBER: _____

EXAMINED BY SSG4

TERMINAL CTRL# 94305V015

DATE RETURNED _____

0000070000 11/01/04CPA/DE 50.00
10:56

I HEREBY CERTIFY THAT THE ABOVE
INFORMATION FEES AND TAXES ARE
CORRECT
WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

681

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DECLARATION OF MAINTENANCE AGREEMENT

THIS DECLARATION made the 14th day of October, 1994 by BURTON GARRET ASSOCIATES, INC., having an office at 280 North Bedford Road, Mount Kisco, New York 10549 (hereinafter the "Declarant").

W I T N E S S E T H:

WHEREAS, the Declarant is the owner in fee simple of certain real property situate, lying and being in the Town of North Castle, County of Westchester, State of New York, known and designated as Section 1, Block 1, Lot 6 of the Tax Assessment Map of the Town of North Castle; and

WHEREAS, the Declarant has obtained approval from the Town of North Castle Planning Board for the subdivision of said real property into ten single-family building lots which lots are designated Lots 1 through 10 on a certain subdivision map entitled "Subdivision Plat prepared for Henker's Farm Situate in the Town of North Castle, Westchester County, New York" dated June 22, 1994, prepared by Chas H. Sells, Inc. (hereinafter the "Subdivision"), said map having been filed in the Office of the Westchester County Clerk as Map No. _____; and

WHEREAS, the Declarant, as a condition of final subdivision approval is required to declare the following covenants, restrictions and reservations to govern the maintenance of a detention basin (the "Detention Basin") that has been or will be constructed on Lots 4 and 5 of the Subdivision, as shown on that certain map entitled "Landscaping Plan," dated June 20, 1994, and filed in the office of the Town Clerk, Town of North Castle; and

WHEREAS, Lots 4 and 5 or portions thereof are subject to the covenants, restrictions and reservations set forth herein pertaining to the detention basin; and

WHEREAS, the Declarant, as a condition of final subdivision approval is required to subject any deed of conveyance of any Lot 4 and 5 to this Declaration, by reference thereto, in any such deed of conveyance; and

WHEREAS, such covenants, restrictions and reservations are intended to run with the land so conveyed and inure to the benefit of the owners of said Lots and their respective successors, heirs, executors, administrators, personal representatives, and assigns.

NOW THEREFORE, the duties created by this Declaration shall run with the land in perpetuity and be binding upon the Declarant, its successors and assigns, and each successive owner of any of the Lots as designated herein.

1. Maintenance of Detention Basin. The Declarant hereby declares that Lots 4 and 5 (the "Premises") of the Subdivision shall be conveyed subject to the restrictions contained in this Paragraph 1:

The maintenance and replanting of the Detention Basin located on the Premises, and the removal of silt from the Detention Basin, shall be the responsibility of the owners of the Premises.

The costs incurred in connection with the maintenance and replanting of the Detention Basin, and

the removal of silt therefrom, shall be borne equally by the owners of the Premises. In the event the owner of a portion of the Premises shall have failed to pay, in full, any obligation imposed in this Declaration within fifteen (15) days after having received written notice that said sum is due and payable (the "Delinquent Owner"), provided said sum has been paid by the other owner of the Premises, such unpaid amount, together with interest at the highest rate permitted by law shall be a lien upon the Delinquent Owner's lot which shall run with the land, and shall be enforceable by the other owner of the Premises, together with any expenses, including reasonable attorneys' fees, incurred by such owners in collecting any delinquent amount pursuant to this Declaration. Such costs of collection shall be added to the unpaid amount and shall constitute an additional lien against the lot of the Delinquent Owner.

2. Duration. The duties created herein shall run with the land in perpetuity and shall bind all owners of said Lots, their respective successors, heirs, executors, administrators, personal representatives and assigns. This Declaration may not be amended without the written consent of the Town of North Castle.

3. Enforcement. The Declarant, or the owners of said Lots, or any duly constituted homeowners association of Lot owners hereafter established, or the Town of North Castle shall have the right to enforce the covenants, restrictions, and reservations contained within this Declaration by any proceeding at law or in

equity, against any person or persons violating or attempting to violate the covenants, restrictions and reservations contained in this Declaration, to restrain such violation, to require specific performance and/or to recover damages, and failure by the Declarant or the owners of said Lots, any duly constituted homeowners association of Lot owners hereafter established or the Town of North Castle to enforce any right herein contained shall not be deemed a waiver of the right to do so thereafter.

4. Severability. Invalidation of any one of the provisions of this Declaration by judgement or court order shall not affect the validity of any other provision which shall remain in full force and effect.

5. Singular and Plural Forms. Whenever the sense of this Declaration may make it necessary or appropriate any singular word or term used herein shall include the plural and any masculine word or term shall include the feminine and neuter genders and vice versa.


IN WITNESS WHEREOF, the Declarant has executed this instrument, intending that the same be recorded in the Office of the Clerk of the County of Westchester, Division of Land Records, on the day and date first above mentioned.

BURTON GARRET ASSOCIATES, INC.

By: 
Garret Avaras,
Vice President

STATE OF NEW YORK)
) s.s.:
COUNTY OF WESTCHESTER)

On this 14th day of October, 1994 before me personally came Garret Avaras, to me known and known to me to be and he acknowledged to me that he is Vice President of Burton Garret Associates, Inc., the entity described in and which executed the foregoing instrument; and that he executed the foregoing instrument; and that he executed the same by and on behalf of said entity partnership and that he was duly authorized and empowered to do so.



Notary Public

NANCY LEE HEFFERLAN
Notary Public, State of New York
No. 01HE499872E
Qualified in Westchester County
Commission Expires July 6, 1996

115

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J-24
TP. 6
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DECLARATION OF RESTRICTIONS AND
GRANT OF CONSERVATION EASEMENT

THIS INDENTURE made this 7th day of October, 1994, by and between BURTON GARRET ASSOCIATES, INC., having an office at 280 North Bedford Road, Mount Kisco, New York 10549 (the "Grantor") and THE TOWN OF NORTH CASTLE, a municipal corporation of the State of New York, having its office at 15 Bedford Road, Armonk, Westchester County, New York (the "Grantee").

WHEREAS, Grantor is the owner of a certain parcel of land situated in the Town of North Castle consisting of approximately 23.7 acres located at Bedford-Banksville Road (the "Property"); and

WHEREAS, the Property is designated as Section 1, Block 2, Lot 6 of the Tax Assessment Map of the Town of North Castle (the "Town"); and

WHEREAS, the Property is shown on a certain subdivision map entitled "Subdivision Plat Prepared for Henker's Farm Situate in Town of North Castle, Westchester County, New York" dated June 22, 1994, prepared by Chas. H. Sells, Inc. (the "Subdivision Map"), and filed in the Westchester County Clerk's Offices as Map No. 25270: and

WHEREAS, the Property includes two conservation easement areas that total approximately 4 acres (hereinafter collectively the "Conservation Easement Area"), which are designed to protect the on-site wetlands and provide a buffer of approximately 100 feet for the Mianus River (the "Conservation Purposes"); and

WHEREAS, the Conservation Easement Area is shown on Subdivision Map wherein it is referred to as "Conservation Easement"; and

WHEREAS, Grantor submitted an application to the Town Planning Board for preliminary subdivision approval, for the subdivision of the Property into 10 lots ranging in size from 2.0 acres to 3.2 acres, which will be served by a Town road and cul-de-sac; and

WHEREAS, by Resolution dated May 9, 1994 (the "Resolution"), the Town Planning Board granted the preliminary subdivision approval, subject to various conditions, among which is Grantor's grant to Grantee of a conservation easement, as defined in Environmental Conservation Law § 49-0303 (hereinafter "Conservation Easement") for the Conservation Purposes; and

NOW, THEREFORE, in consideration of these premises and the mutual covenants herein contained, and in further consideration of the sum of Ten Dollars in hand paid by Grantee to Grantor, the receipt and adequacy of which is hereby acknowledged, the parties hereto, intending to be legally bound, do hereby mutually agree, grant, convey, and declare as follows:

1. GRANT OF CONSERVATION EASEMENT

Grantor hereby unconditionally and absolutely conveys unto Grantee, its successors and assigns, in perpetuity, a conservation easement consisting of the restrictions set forth below upon use of the Conservation Easement Area exclusively for

the Conservation Purposes. Grantee hereby accepts and ratifies the aforesaid conveyance.

2. DECLARATION OF RESTRICTIONS

In order to accomplish, safeguard and promote the Conservation Purposes, Grantor hereby declares and covenants that the following restrictions be, and hereby are, imposed upon, and shall apply forever to, the use and enjoyment of the Conservation Area as shown on the Subdivision Map:

A. No removal of trees, remodeling of the terrain, or creation of a dam with the intent to create a pond shall be permitted.

B. No building, structure, housing improvement, or facility (hereinafter called an "Improvement") shall be constructed.

C. No signs, billboards, or outdoor advertising structures shall be placed, erected or maintained.

D. No quarrying, excavation, or removal of rocks, minerals gravel, sand, topsoil, or other similar materials within or from the Conservation Easement Area shall be permitted, except in connection with an activity or construction permitted therein as reflected on the Subdivision Map or the Resolution, including without limitation the construction and maintenance of single family houses and/or drainage systems, Improvements, and utility services.

E. No depositing, dumping, or abandoning of any solid waste, liquid wastes, or chemical substances shall be permitted.

F. This Declaration of Restrictions is subject to and limited by the following:

(i) covenants, agreements, restrictions and easements of record; and

(ii) rights of others, if any, now or hereafter existing, in and to the stream flowing through the Property; and

(iii) notes, plans, state of facts and Improvements shown on the Subdivision Map and/or referred to in the Resolution, including proposed Improvements to be located within the Property; and

(iv) any Improvement hereafter approved by Grantee or any agency, department, or board thereof.

3. PERMITTED USES

Notwithstanding the foregoing, Grantor shall have the following rights with respect to the Conservation Easement Area, subject to the limitations contained herein and to all applicable provisions and requirements of the Town's zoning or other law or regulation:

a. To use the Conservation Easement Area for any purposes formerly, now, or hereafter granted and/or approved by the Town Board of the Town.

b. To use the Conservation Easement Area for recreational use, including, without limitation, hunting, fishing, keeping of animals, hiking, bicycle riding, horseback riding, skiing and bird watching or any other similar lawful

pursuits which are not inconsistent with and would not impair the Conservation Purposes.

c. To perform any work necessary to construct, install and maintain the drainage improvements, systems and utilities servicing the Property or lots shown on the Subdivision Map, and to maintain stone walls; provided, however, Grantor shall have no obligation to perform any such work.

d. To remove trees, shrubs or other natural conditions which are fallen, dead, diseased, or dangerous or which require removal in accordance with good woodlands maintenance practice, and to plant new trees, shrubs or other vegetation.

e. To repair, reconstruct, remodel, or maintain any permitted Improvements.

f. To enclose the Property and/or Conservation Easement Area with trees, shrubs, hedge rows, stone walls, or fences and to maintain, repair or replace any such installations.

4. NO GRANT OF ACCESS

Subject to the rights of governmental authorities to enter upon the Property and/or Conservation Easement Area only in accordance with applicable law, nothing herein shall be construed as a grant to Grantee or the general public of any right to enter upon the Property and/or Conservation Easement Area. Grantor reserves unto itself and its successors in title to the Property, all rights, privileges, powers, and immunities, including the right of exclusive possession and enjoyment of the

Conservation Easement Area and Property, all subject, however, to the terms of this Agreement.

5. ENFORCEMENT RIGHTS OF GRANTEE

In the event that a breach of this Easement by Grantor comes to the attention of Grantee, Grantee must notify Grantor, in writing, of such breach. Grantor shall have thirty (30) days after receipt of such notice to undertake actions that are reasonably calculated to correct the conditions constituting such a breach. If Grantor fails to take such corrective action, Grantee shall, at its discretion, undertake such actions, including appropriate legal proceedings, as are reasonably necessary to cure the breach. Notwithstanding anything in this paragraph to the contrary, if Grantee believes that actions are being taken by Grantor which threaten immediate, substantial, and irreparable impairment of the Conservation Purposes, Grantee shall have the right to take all legal actions that are necessary and permitted by law to abate or remedy such actions or conditions. The cost of such legal actions, including Grantee's expense, court costs and legal fees, shall be paid by Grantor, if a court of competent jurisdiction finally determines both (a) that Grantor breached this Agreement and (b) that such breach by Grantor necessitated the remedial and legal actions actually taken by Grantee.

6. MAINTENANCE AND ASSESSMENT OBLIGATIONS OF GRANTEE AND GRANTOR

Grantor shall have no obligation to maintain any portion of the Conservation Easement Area or to perform any work therein. Grantee covenants that to the extent legally permissible, each and every present and future valuation of the Property for purposes of real estate taxation shall fully take into account, reflect, and be limited by, the limitations on future use and development of the Conservation Easement Area and Property in this agreement, all in accordance with Section 247 of the General Municipal Law of the State of New York, and any successor statute or amendment thereof.

7. STATEMENT OF COMPLIANCE

Within ten (10) days of written notice from Grantor, Grantee shall acknowledge, execute, and deliver, at Grantee's sole cost and expense, to Grantor or to any actual or proposed mortgagee, transferee, contract vendee, purchaser, or lessee a written instrument concerning compliance with the terms and conditions of this Agreement.

8. LIMITATION OF GRANTOR LIABILITY

Grantor or any subsequent owner of the Property shall have no liability for the observance or performance of the covenants and obligations hereunder after such party has transferred its interest in the Property.

9. CHANGE IN ECONOMIC CONDITIONS

Before executing this Agreement, Grantor has considered that any use of the Conservation Easement Area expressly prohibited herein and/or other use determined to be inconsistent herewith, may become more economically valuable than the uses presently permitted thereon; and that in the future neighboring properties may be used entirely for uses prohibited by this agreement. Grantor believes that any changes in use of neighboring properties will increase the benefit to the public of the continuation of this agreement. Both Grantor and Grantee intend that any such changes should not be deemed circumstances justifying the termination or extinguishment of the conservation easement herein.

10. EXTINGUISHMENT

Grantee, and any successors in interest, reserve the right to exhaust all legal remedies in order to preserve and protect the Conservation Purposes of this Easement. Grantor shall cooperate with Grantee in Grantee's performance of this Paragraph 10.

11. EMINENT DOMAIN

A. In the event that all or part of the Conservation Easement Area is taken in the exercise of the power of eminent domain by public, corporate, or other authority, so as to abrogate the Conservation Purposes imposed by this Easement, Grantor and Grantee shall join in appropriate action at the time

of such taking to recover the full value of the taking and all incidental or direct damages resulting from the taking. All expenses incurred by Grantor and Grantee in such actions shall be shared in proportion to the fair market value of their respective interest in the Conservation Easement Area as of the date of such taking or extinguishment of any recovered proceeds.

B. Any net proceeds recovered in any action in eminent domain, or from the first sale, exchange or involuntary conversion of the Conservation Easement Area occurring after the restrictions contained in this Agreement have been extinguished by judicial proceeding because of a change in conditions surrounding the Property, shall be distributed between Grantor and Grantee in shares proportionate to the fair market value of their respective interest, if any, in the Conservation Easement Area as of the date of such taking or extinguishment. Grantee shall use its share of the proceeds exclusively for the acquisition of other land for the Conservation Purposes set forth herein. No provision hereof shall be deemed to create any rights in the Grantee to the proceeds of any sale or transfer of the Property, except in the event of a taking by virtue of eminent domain.

12. INTENT OF CONTRIBUTION

It is intended that this Easement shall constitute a "Qualified Conservation Contribution" within the meaning of Section 170(h)(1) of the Internal Revenue Code, and the provisions hereof shall be construed and applied accordingly.

13. EASEMENT IN PERPETUITY

The provisions hereof shall inure to the benefit of, and be binding upon, the successors and assigns of the parties hereto and shall be covenants running with the land in perpetuity.

14. NON WAIVER

No failure or delay on the part of either party in enforcing strict compliance with the Agreement or in exercising any right or remedy provided in this Agreement shall operate as a waiver thereof; nor shall any single or partial exercise of or failure to exercise any such right or remedy preclude any other or further exercise thereof or the exercise of any other right or remedy under this Agreement.

15. NOTICES

All notices, consents, approvals, or other communication hereunder shall be in writing and shall be deemed properly given if sent by U.S. registered mail, return receipt requested, addressed to the appropriate party or successor in interest at the address most recently provided and/or known.

16. SEVERABILITY

In the event that any provision or restriction of this Easement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions and restrictions of this Easement, and the application

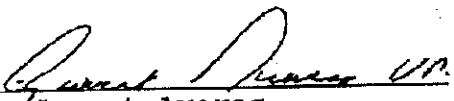
of such provision or restriction to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.

17. ENTIRE AGREEMENT

This Agreement contains the entire agreement between the parties regarding the subject matter hereof and may not be modified or amended except in writing signed by both parties.

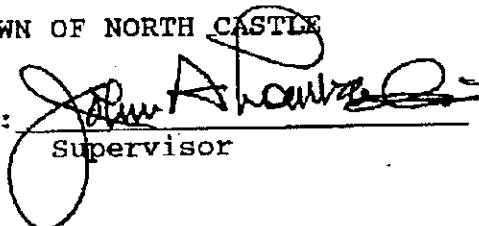
GRANTOR:

BURTON GARRET ASSOCIATES, INC.

By: 
Garret Avaras,
Vice President

GRANTEE:

TOWN OF NORTH CASTLE

By: 
Supervisor

Record and return to Stephens, Baroni, Reilly & Lewis
175 Main Street, Suite 800
White Plains, New York 10601

STATE OF NEW YORK)
) S.S.:
COUNTY OF WESTCHESTER)

On this 7th day of October, 1994 before me personally came Garret Avaras, to me known and known to me to be and he acknowledged to me that he is Vice President of Burton Garret Associates, Inc., the entity described in and which executed the foregoing instrument; and that he executed the foregoing instrument; and that he executed the same by and on behalf of said entity and that he was duly authorized and empowered to do so.

Rosemary Scaratti

Notary Public

ROSEMARY SCARATTI
Notary Public, State of New York
No. 24-4067700
Qualified in Westchester County
Commission Expires June 18, 1996

STATE OF NEW YORK)
) S.S.:
COUNTY OF WESTCHESTER)

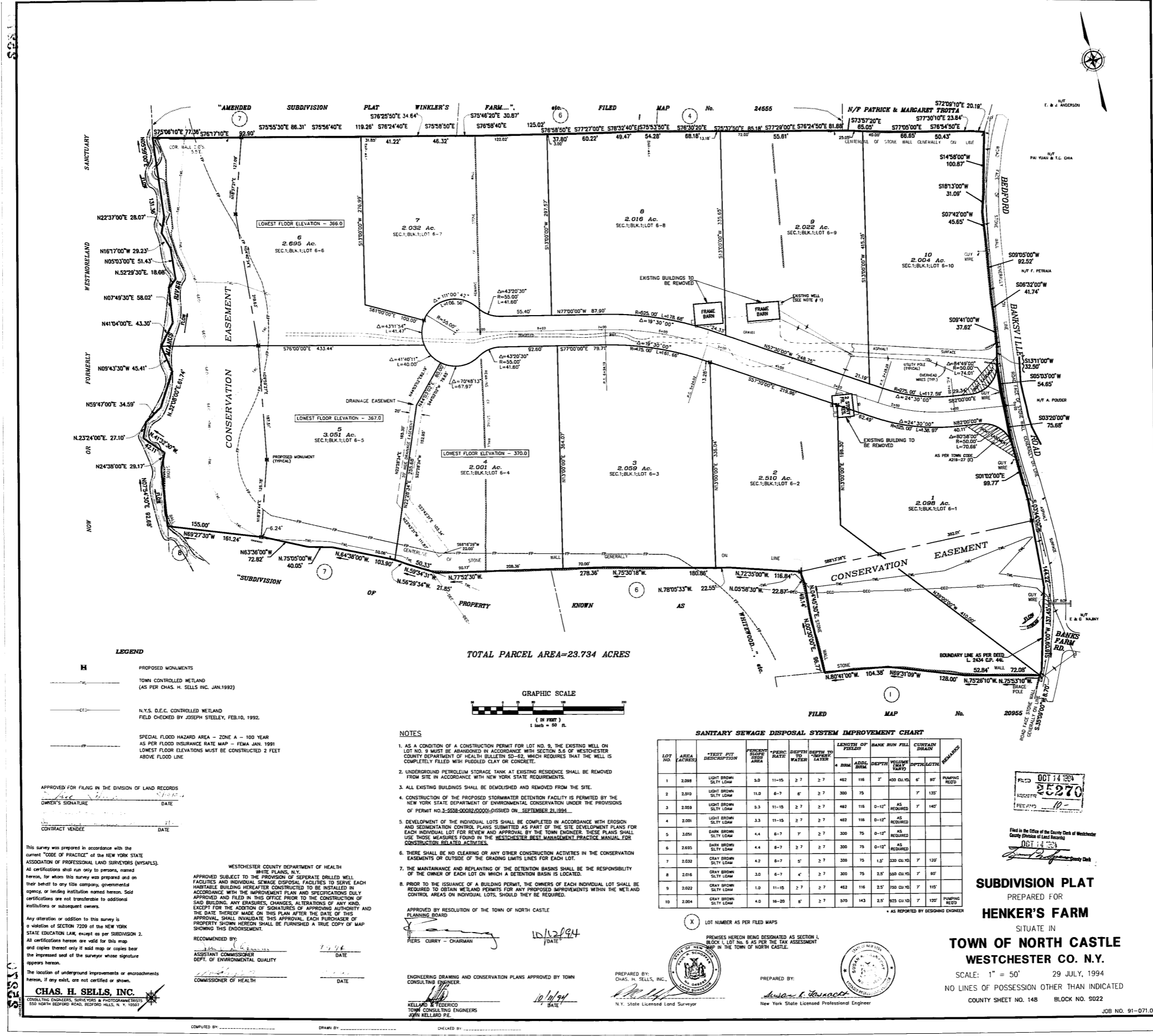
On this ^{20th} day of October 1994, before me personally appeared John A. Lombardi, to me known, who, being by me first duly sworn, did depose and say that he resides in North Castle, New York; that he is the Supervisor of the TOWN OF NORTH CASTLE, the municipal corporation described in and which executed the foregoing instrument; that he knows the Corporate Seal of said municipal corporation; that the Seal affixed to said instrument is such Corporate Seal; that he signed his name and affixed the Corporate Seal by order and authority of the Town Board of said municipal corporation.

[Signature]

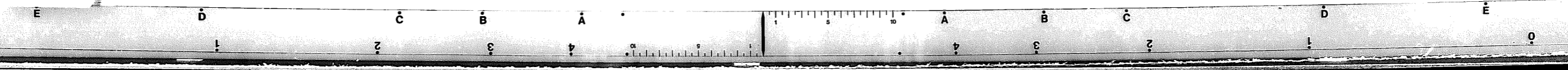
Notary Public

ROLAND A. BARONI, JR.
Notary Public, State of New York
No. 4872484
Qualified in Westchester County
Commission Expires September 8, 1996

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REDUCTION 32





STEPHEN W. COLEMAN
ENVIRONMENTAL CONSULTING, LLC

Environmental Planning & Site Analysis
Wetland Mitigation & Restoration Plans
Wetland Delineation & Assessment
Natural Resource Management
Pond & Lake Management
Wildlife & Plant Surveys
Breeding Bird Surveys
Landscape Design

November 15, 2021

Mr. Chris Carthy
Pools of Perfection
523 Main Street
Armonk, NY 10504

Sent via email: ccarthy@poolsofperfection.com

Re: Deutsch Residence, 10 Henker Farm Lane, Armonk, NY – Wetland Delineation Report

Dear Chris:

As per your request, an assessment of the existing wetlands and watercourses present at 10 Henker Farm Lane was completed on October 18, 2021. The respective wetland/watercourse features were flagged in accordance with Chapter 340 “Wetlands and Watercourse Protection” of the Code of the Town of North Castle, New York. Vegetation, soils, and hydrological parameters were used to determine the outer wetland boundary limits. The wetland/upland boundary was field determined and pink surveyors flagging were placed along the respective boundary. Wetland flagging numbered A-01-A-14 were hung along the respective wetland boundary.

The wetland and watercourse resources that are present within the subject parcel are locally regulated wetlands and part of a NYSDEC Wetland # K-9, a Class 1 wetlands. Some of the wetland resources identified may also qualify as federally regulated by USACOE.

Wetland Methodology

Vegetation was sampled along the respective wetland/watercourse area. Dominant vegetation was noted at each point, and hydrophytic (wetland) vegetation was considered to be present when 50 % or more of the vegetation throughout the strata of each plant community was classified as either facultative, facultative wet, or obligate. Hydrophytic vegetation was also positively identified based on the presence of secondary characteristics including morphological adaptations for occurrence in wetlands.

Soils were then sampled where facultative or facultative wet vegetation was dominant. Soils samples were taken with a dutch auger to a depth of 16 inches of the soil profile where possible. Hydric soil indicators noted include presence of a seasonal high water table, inundation, presence of hydrogen sulfide odor, soil chroma of 1 (without mottles) or 2 (with mottles) as per the Munsell Soil Color Chart, gleying, iron and manganese concretions, and oxidized rhizospheres. Hydric soils were determined to be present when any one of these indicators was observed.

Each area along the wetland/upland interface was also examined to determine if wetland hydrology was present at some time during the growing season. Indicators of wetland hydrology noted within the wetland areas included soil saturation within the test hole or at the soil surface, inundation, positive drainage patterns, and watermarks on the tree trunks or water-stained leaves on the ground.

When an observation point along the wetland/upland interface contained all three wetland parameters: dominant hydrophytic vegetation, hydric soils, and evidence of hydrology, the point was determined to be wetland. The area surrounding the observation point was then investigated to determine the upland boundary via the same methodology. The delineation was then confirmed by placing sequentially numbered flags at the edge of the wetland and upland boundary.

Watercourses often do not exhibit all three wetland parameters. Often wetland vegetation, and hydric soils may not be readily apparent. For very small watercourse channels, the centerline of the channel is usually flagged, instead of both sides of the channel width.

Results of Wetland Investigation

The wetland and watercourse resources that are present on the subject property are part of riparian wetlands located along the Mianus River and likely part of NYSDEC wetland # K-9. The wetlands continue both upstream and downstream along the rear yards of existing properties.

Existing Conditions:

There is an existing residence located at the subject parcel. A large section of the wetland buffer has been previously converted to lawn grasses.

Vegetation:

Dominant wetland vegetation is present along the wetland edge and would meet the criteria to be classified as hydrophytic vegetation. The vegetative community is dominated by wetland and some upland plants within each strata layer. Typical species include red maple, American elm and cottonwood and ornamental trees that were previously planted. The sapling/shrub layer is dominated by winterberry and silky dogwood and spice bush and saplings of dominant trees. The ground layer is dominated by wetland plants including skunk cabbage, tussock sedge, jewelweed, sensitive, cinnamon and marsh ferns, along with extensive stands of goldenrod. A moderate amount of invasive plant species (approximately 25%) were observed within the property, including multiflora rose, wild grape, porcelain berry, garlic mustard, oriental bittersweet, wineberry and Japanese stilt grass.

Hydric Soils:

A large section of the buffer has been previously converted to lawn and the soils are considered udorthent due to the conversion to lawn and the addition of a layer of mixed topsoil added at some point in the past. Soil samples taken within the wetland proper revealed fluvaquent soils with a gravelly texture with silt loam characteristics. The lower horizon exhibited more olive brown to dark clay loam soils.

Hydrology:

Primary hydrological characteristics are readily apparent due to the adjacent watercourse channel, pockets of ponded water, saturated soils at or near the surface, buttressed tree roots and water stains.

Proposed Development:

The location of the proposed pool appears to be located outside of the 100 ft. adjacent area/wetland buffer. Mitigation measures could include elimination of some of the existing lawn area to the special

flood zone area "A" as shown on the proposed site plan. The lawn area could be re-planted with a combination of native shrubs and ground covers to improve filtration of excess nutrients and improve the habitat quality of the remaining buffer areas.

Summary

Due to the proximity of the NYSDEC wetland # K-9, it may be advisable to have NYSDEC personnel verify the wetland boundary. This completes the wetlands delineation of the property. Please let me know if you have any questions or require any additional information.

Sincerely,

Stephen W. Coleman

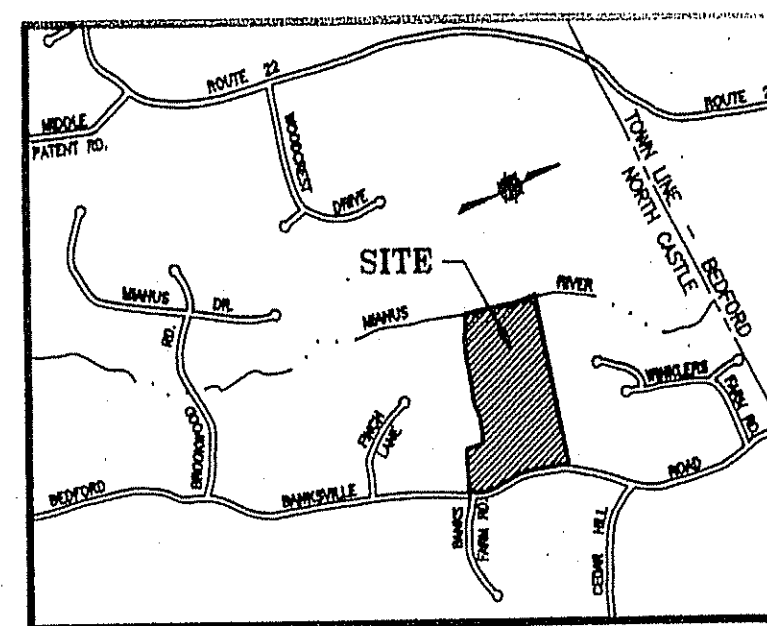
Stephen W. Coleman
Principal

FENCE AND POOL COVER NOTE:

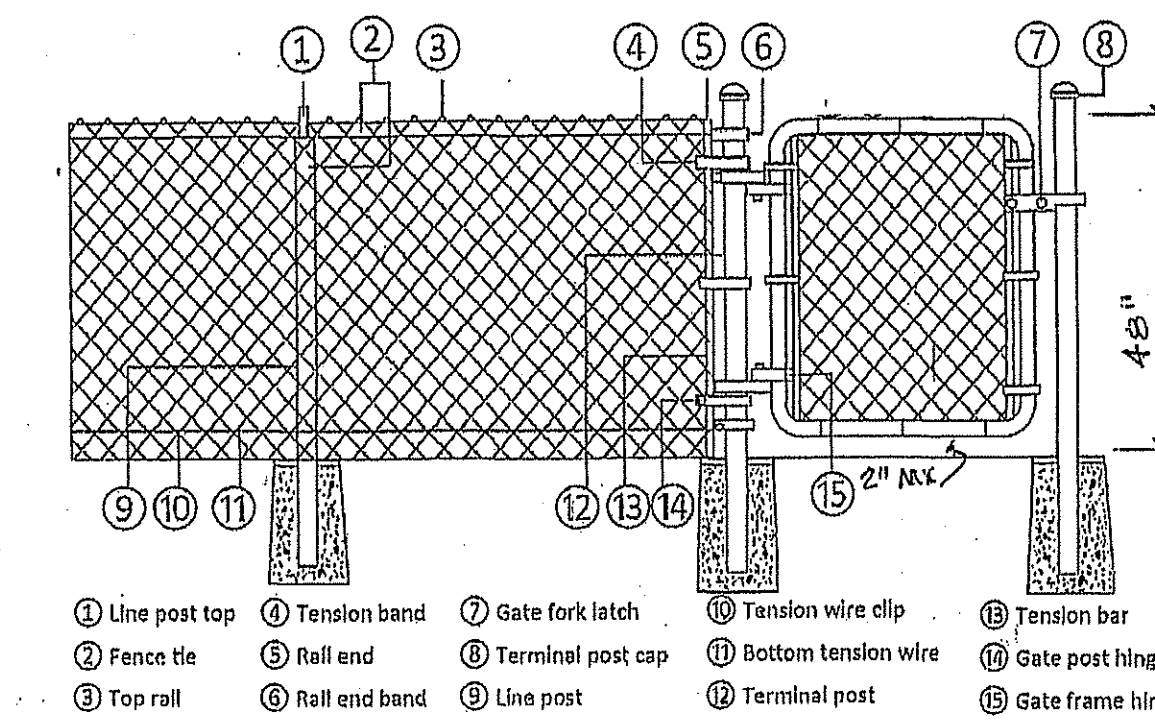
Proposed pool will be fitted with an ASTM and NYS energy code approved automatic cover. Said cover will meet the NYS code for pool enclosures. Hence, the house can be used as part of the pool enclosure.

There shall be installed and maintained on said lot, and completely enclosing the pool, fencing and gates, that shall be 4'-0" high, black, vinyl coated chain link fence as noted on the plan. Hardware and supports shall also be black vinyl coated. Gates shall be self-closing and self-latching AND LOCKABLE, designed to keep and capable of keeping such gates securely closed and locked at all times, when not in actual use. Gates shall open away from pool area as per NYS code.

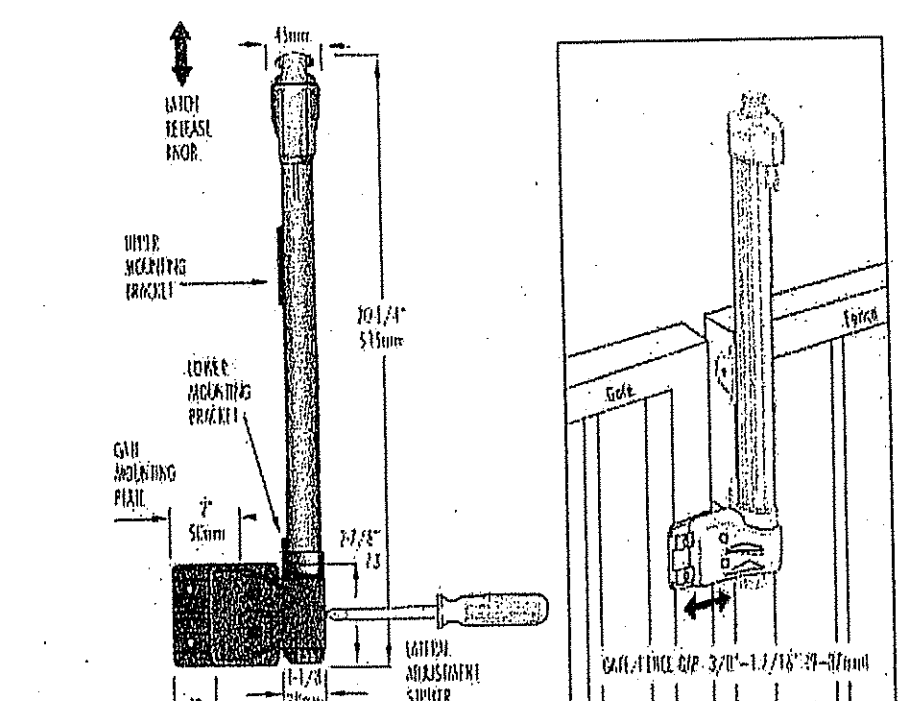
Bottom of the fence shall not exceed 2" from finished grade. All fencing shall meet requirements of APPENDIX - G, SECTION - AG 105 of the residential code of New York State and the Town of North Castle, NY.



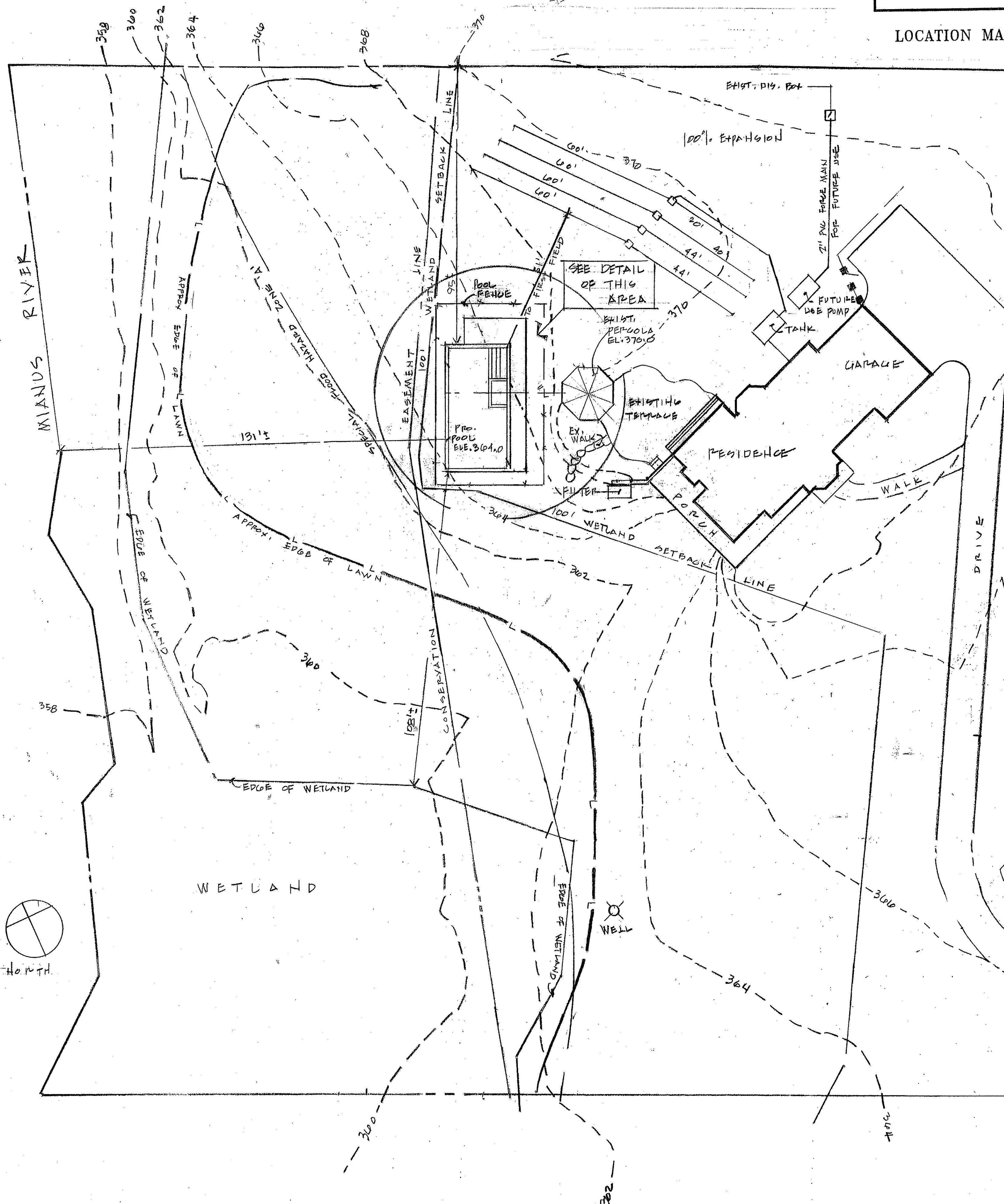
LOCATION MAP N.T.S.



48" HT. CHAIN LINK FENCE AND GATE DETAIL WITH "MAGNA LATCH"



MAGNA LATCH DETAIL



SITE PLAN SCALE 1"=20'

ZONING CHART for POOL:

ITEM	REQUIRED	PROPOSED
LOT SIZE:	87,120 SF	117,394 SF (existing)
REAR SETBACK (pool)	50'	131'
SIDE SETBACKS (pool)	30'	95'/108'
GROSS LAND. COV.		
Maximum:	17,940 SF	12,951 SF

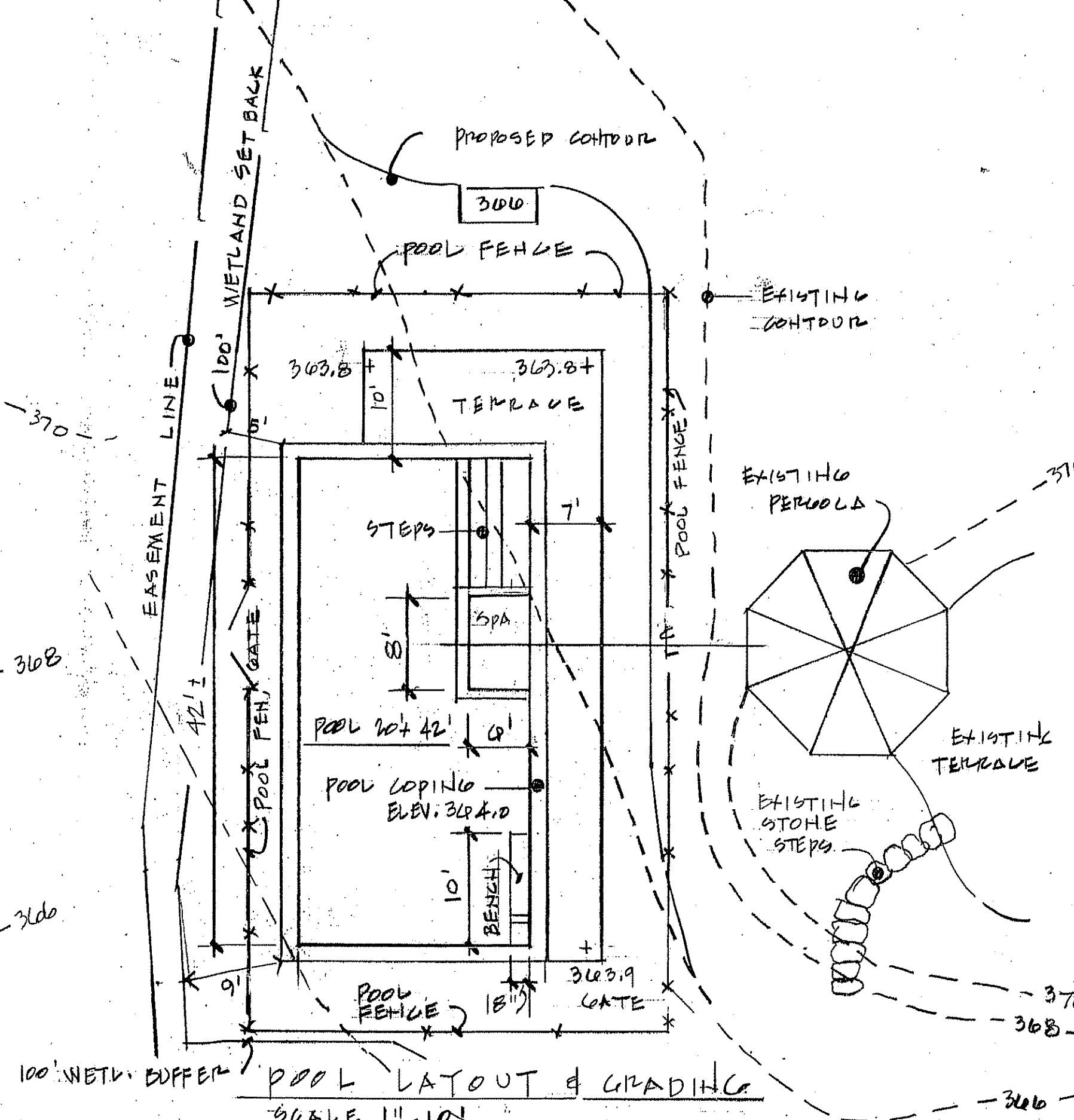
GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL PROBE THE AREA WHERE POTENTIAL CONFLICTS MAY EXIST PRIOR TO THE POOL AND DRAINAGE INSTALLATION. ANY KNOWN CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- PRIOR TO CONSTRUCTION OF THE POOL AND DRAINAGE SYSTEM, THE CONTRACTOR MUST LOCATE ALL ELECTRICAL, GAS AND WATER LINES. IF A CONFLICT SHOULD EXIST, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 1.800.962.7962, BEFORE CONSTRUCTION ACTIVITIES BEGIN.
- THE CONTRACTOR MUST FOLLOW ALL EROSION CONTROL REQUIREMENTS SET FORTH BY THE TOWN OF NORTH CASTLE AND THE COUNTY OF WESTCHESTER, NEW YORK. IT IS IMPERATIVE THAT THE CONTRACTOR MAINTAIN THE EROSION CONTROL - SILT FENCE, AFTER DAILY INSPECTIONS.
- SAID DRAWINGS SHALL COMPLY FULLY WITH ALL REGULATIONS AND LOCAL LAWS OF THE TOWN OF NORTH CASTLE, NY.
- ALL PLUMBING SHALL BE BY A NYS LICENSED PLUMBER. A PLUMBING PERMIT IS REQUIRED FOR ALL PLUMBING.
- ALL ELECTRICAL SHALL BE BY A NYS LICENSED ELECTRICIAN. AN ELECTRICAL PERMIT IS REQUIRED FOR ALL ELECTRICAL.
- ALL PROPERTY LINE SETBACKS SHALL BE STAKED PRIOR TO START OF ANY CONSTRUCTION.
- AN "AS BUILT" SURVEY WILL BE REQUIRED AS A CONDITION OF RECEIVING A CO FOR THE POOL.

GENERAL SWIMMING POOL AND SPA SPECIFICATIONS:

PERMITS: Pool contractor shall submit their own, signed and sealed, engineered construction drawings and engineering drawings and engineered drainage plan. Pool co. shall obtain all necessary permits from the Town of North Castle, NY. Permit fees by owner. Silencing fencing by the pool company. Access road by pool co. STRUCTURE: Reinforcing bars for pool and spa shall be #4 bars, 6" on center both vertically and horizontally, in walls and floor. Shot-crete shall be 4000 PSI, pool walls shall be 8" minimum thickness. Pool interlocking bond beam shall be 12" wide minimum. Coping shall be 2 1/2" thermal Bluestone. DEPTH: Pool water depths shall be 4'-0" in shallow end and 8'-0" in deep end or as per owner. Spa shall be 48" deep. EQUIPMENT: Two in wall skimmers permanently set into bond beam, and a minimum of four returns, by Hayward products, Inc. or approved equal. Two (2) Pentair IntelliBrite 5G, underwater LED pool lights or approved equal, locations as directed by the Architect. All electrical switches including Jandy panel shall be located in the house as directed by owner. Filter shall be a cartridge filter as approved by the architect. All pool and spa pumps shall be Hayward or approved equal, High Performance pumps. A 399,000 BTU Ray Pao or Hayward propane heater. Eight (8) spa jets shall be installed in spa, installed to client requirements, two in-floor intakes, spa jets shall be connected to two (2) 2 HP full rated, Hayward spa jet pumps. One (1) spa air bubbler. A Jandy "Aqua Link" 8, automatic computer system, installed in the house, with one eight function spa side digital remote at spa side (if requested by owner). Jandy "App", installed for remote operation and wireless by pool contractor. Spa wall coping shall match pool coping, except spa coping shall be finished on inside and outside edges, and be 10" wide. Entire spa coping is spillway. Pool water by owner. An automatic pool filter unit by Pool Miser in pool. An overflow pool drain located in a skimmer unit. One (1) Pentair IntelliBrite 5G, LED underwater spa light. Ultraviolet pool sanitizing system in lieu of a salt generating system. One Polaris 350 (pool cleaner), with 3/4 HP pump, installed. Two GFI outlets at pool side, by pool contractor. Installation of an automatic pool cover, by Cover Star, or approved equal, under coping tracks included, concrete cover box to be surfaced in stone to match pool coping. Two anti-vortex 8" main drain with hydrostatic pressure valve in pool.

- NO WETLANDS WITHIN 105 FEET - NO TREES BEING REMOVED
- UPHILL SEPTIC SYSTEM 51" FROM WATERS EDGE AS STAKED IN THE FIELD AS PER SEPTIC AS BUILT



POOL LAYOUT & GRADING SCALE 1"=10'

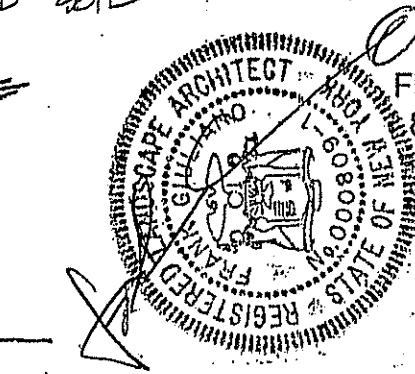
POOL AREA SITE PLAN

DEUTSCH RESIDENCE
10 HENKER FARM LANE
BEDFORD NY 10506
TOWN OF NORTH CASTLE
SEC.95.01 - BLOCK 2 - LOT 64

Byram Central School District
ZONING R-2A LOT AREA: 117,394 SF
July 21, 2019 AS NOTED

FRANK GIULIANO - LANDSCAPE ARCHITECT
8 PINE TREE DRIVE, KATONAH, N.Y. 10536
PH: 914.962.3690 CELL: 914.954.4110
FG1ARCH@AOL.COM

SURVEY BY: THO. C. MERRITTS
LAND SURVEYORS, P.C.
PLEASANTVILLE, NY 10570





TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625
Fax: (914) 273-3554
www.northcastleny.com

RPCR DETERMINATION LETTER

Project Name: DEUTSCH - Pool
Street Location: 10 HENKER FARM LN
Zoning District: R-2A Property Acreage: 2.69 Tax ID: 95.01-2-64
RPCR DECISION: Requires Planning Board Review Requires Architectural Review Board
 Requires Conservation Board Requires Zoning Board of Appeals
 Submit to Building Department Requires Admin Wetlands Permit
Date: July 30, 2019

The above referenced application was reviewed by the Residential Project Review Committee (RPCR) on July 30, 2019.

The Committee determined that Planning Board and Architectural Review Board approval of the proposed project is NOT REQUIRED.

However, the following issues will need to be addressed prior to the issuance of a building permit:

- The Applicant should verify the local and state wetland boundaries on the site. Based upon the Town's GIS, the proposed pool is located within the regulated buffer and possibly in the wetland proper. This is critical information that may impact the viability of the proposed pool location.
- If the pool is located in the wetland, it is recommended that the pool be relocated.
- If the pool is in the buffer, it is recommended that the pool be located to be as far as possible from the wetland and that any existing maintained lawn be converted to appropriate wetland buffer as part of the required mitigation plan.
- The Applicant should submit gross land coverage backup information for review.
- The plan shall include a Bulk Zoning Compliance Table and illustrate and dimension all required minimum yard setbacks.
- The plan shall note that the construction of all walls greater than four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion.
- Provide construction details for all proposed improvements, including, but not limited to, drainage, walkways, patio, erosion controls, etc.
- The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

- Provide stormwater mitigation design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour design storm event or a six (6) inch pool drawdown volume; whichever is greater. Provide details of the stormwater mitigation system.
- Provide rims, inverts, size and material for all drainage facilities. Provide details.
- The plan shall illustrate and quantify the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction.
- The plan shall illustrate all trees 8 inches dbh or greater located within and 10 feet beyond the proposed limit of disturbance. Indicate trees to be removed and/or protected.
- If no trees are proposed to be removed by this project, the plan shall clearly state so.
- Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, inlet protection, tree protection, erosion control blankets, construction sequence, etc. Provide details.
- The plan shall show the septic area to be cordoned off during construction.
- The plan proposes disturbances in close proximity the locally-regulated 100-foot wetland buffer and the NYSDEC 100-foot wetland adjacent area. A local Wetland Permit and NYSDEC Freshwater Wetland Permit may be required. The applicant shall illustrate the NYSDEC wetland boundary and regulated 100-foot adjacent area on the plan for verification by the Town Wetland Consultant and validation by the NYSDEC. Notify the Town Engineer once the wetland boundary has been established in the field. If there are disturbances within the wetland buffer, the applicant will be required to prepare a wetland mitigation plan in accordance with Chapter 340, Wetlands and Watercourse Protection of the Town Code. In addition, a NYSDEC validation map will be required as well as a NYSDEC Freshwater Wetland Permit.

At this time you may coordinate directly with the North Castle Building Department. **DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.**

If you would like to further discuss this matter, please do not hesitate to contact the Building Department.

Adam R. Kaufman, AICP
Director of Planning

artistic conception



LANDSCAPE PLANS for owners ...

Rebecca & Mathew Levy

site location

10 Henkers Farm Lane

Bedford, NY 10506

tax id # 95.01-2-63

Owners Address

10 Henkers Farm Lane

Bedford, NY 10506

PLANS PREPARED BY APPLICANT

Robert Schweitzer - Landscape Architect

Robert D. Schweitzer Jr. (RLA)

18 Bayberry Lane

Redding, CT 06896

(914) 241-9597

June 6, 2022

PAGE	DRAWING
L-1	SITE PLAN
L-2	MATERIALS PLAN
L-3	COVERAGE PLAN
L-4	SEDIMENT & EROSION CONTROL PLAN
L-5	PLANTING & LIGHTING PLAN
L-6	DETAILS PLANS
L-7	DETAILS PLANS
L-8	DETAILS PLANS
L-9	SITE SURVEY

NOTES TO TOWN OFFICIALS

SITE SURVEY

- The survey was revised on January 31, 2022 by T.C. Merritts Land Surveyors, 394 Bedford Road, Pleasantville, NY. The updates were requested by the landscape architect and included mostly contour data and vegetation. It should be noted that the Woods / Brush Line is not shown on the T.C. Merritts survey. Using a tape measure, the landscape architect added the Woods / Brush Line, showing it in his plans.
- The existing Septic System (SSDS) & 100% Expansion Area is shown on a previous Site Plan prepared by Frank Giuliano, RLA, on 07/23/2019. The Landscape Architect scanned the SSDS image and transferred it to his plans. This plan has been included in this plan set, see L7 Details.

WETLAND

- The wetland boundary as part of the Mianus River Water Course was located to the west, was delineated by Stephen Coleman, Environmental Consulting, LLC on October 18, 2021. The flagged wetlands were located by TC Merritts, Land Surveyors when they updated the old survey January 31, 2022.
- A copy of the Coleman Wetland report has been included in the application package with these plans.

GENERAL

- The Grading and Disturbance Area is 11,669 SF.
- Impervious Surfaces expansion is 2,984.32 S.F.
- All debris shall be removed from premises, there shall be no On Site Burial of any construction materials, garbage logs what so ever.
- All work shall comply with NYS, Westchester County, and the Town of North Castle's Building Codes and Laws.
- Prior to starting work, the existing SSDS shall be located and staked by a Certified Septic Installer. The protective steel plates to cover any part of the SSDS exposed to heavy equipment traffic. Construction fencing used to prevent casual equipment into the SSDS not protected with Steel Road Plates.
- Prior to starting work, the layout of the Sited Plates, Construction and Silt Fencing shall be inspected and approved by the appropriate Managing Town Authorities (Building & Engineering Departments) from the town of North Castle.

DRAINAGE

Pool Decking & Pool Winter Draw Down

- Silt drains have been proposed at the edge of the pool decking to capture runoff from the pool deck surface. This water will be conveyed to a Detention Basin located in the proposed No Mow area sized to manage the required 25 year design storm.
- The proposed Detention Basin will double for Winter Pool Draw Down. The volume of water for a 12 inch draw down equals 800 CF, which is less than the proposed sized capacity of the Detention Basin (over 1,000 CF).

Detention Basin

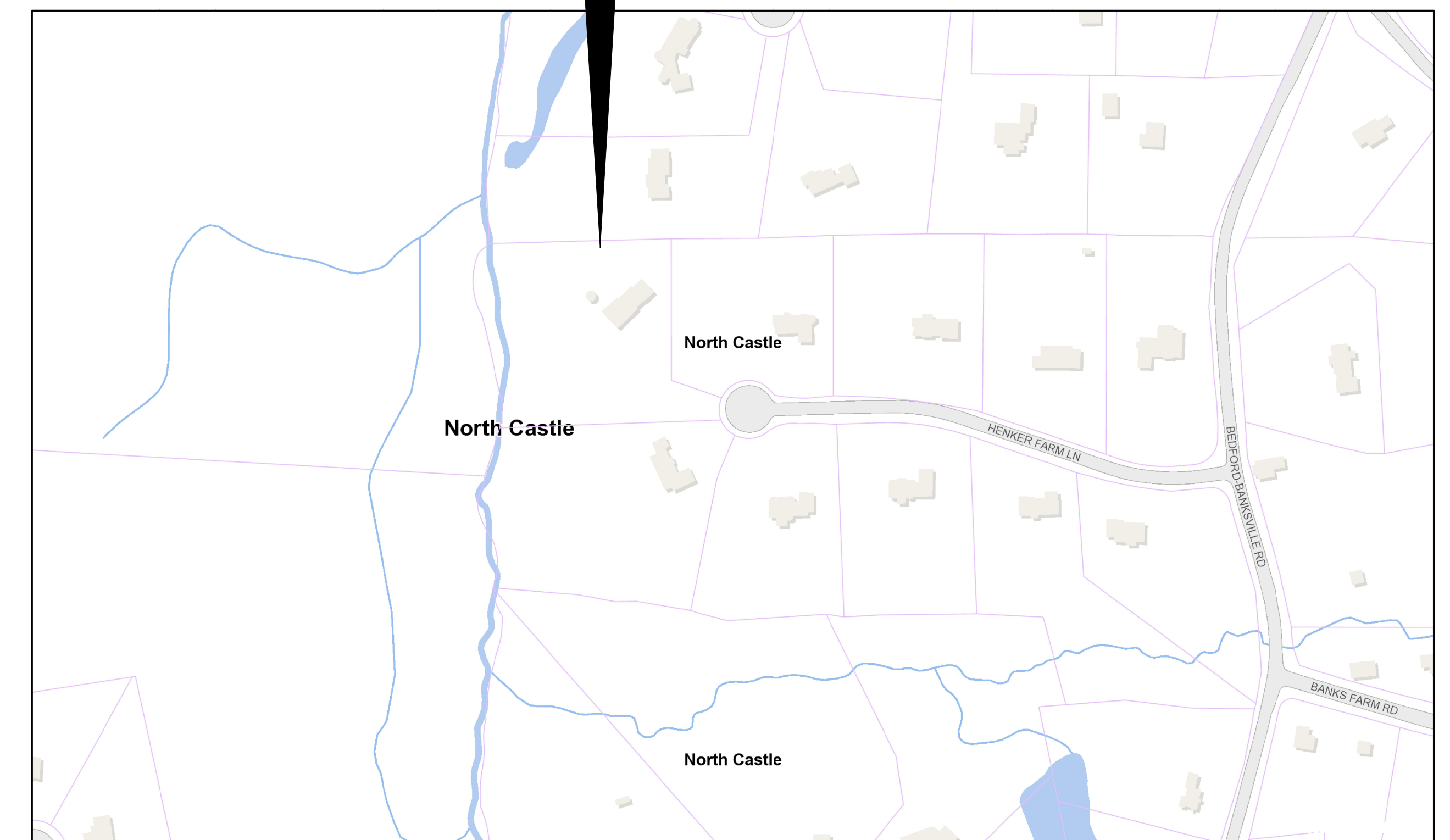
- The initial percolation test was performed at the edge of the woods / brush line using a post hole digger in an area close to where the Detention Basin has been proposed. Three holes were dug 7 inches in diameter, 20 inches deep. They were presoaked over an hour before the percolation test was witnessed by Guy Mezzanella from Kellard Sessions Engineering. The holes were topped off and the drop measured after one hour of time elapsed which averaged out to be 4.25 inches. Soil Structure Horizons were only moderately defined. Prior to residential development, the site had been a working farm for many years. In spite of this, no "Flow Layer" was observed, just a 2-3" topsoil covering. Below this was a loam horizon changing with depth to a loam-sand mix.
- Upon completion of the percolation test, the landscape architect was advised by Kellard Sessions Engineering that a deep excavation had to be performed to a depth 36 inches below the proposed depth of the Rain Garden, to be certain no ledge rock or ground water was encountered. Therefore, the deep hole needed to be 4' - 6" in depth with no percolation test were required. Soil Structure in this deep hole was similar to the shallower post holes, however, with depth the soil structure changed to sand.
- A second site meeting was scheduled with Kellard Sessions Engineering on 5/4/22 to witness the deep hole. The test hole was moved about 20 feet into the lawn (slightly higher in elevation) from where the first percolation tests were performed. The hole was excavated by James Hulpin and by Guy Mezzanella from Kellard Sessions Engineering. The hole was dug to a depth of 4' - 6' encountering no ledge or groundwater.
- The proposed Detention Basin will be located in a No Mow area that is presently lawn. Outflow from the basin will drain over a stone weir and disperse into a stone dissipation apron where drainage over-flow will travel overland in a wooded buffer about 60 feet to Mianus River.
- The Detention Basin has been sized to manage the Impervious Surfaces expansion by P.E. Anthony Pisarri. See L-6 Details Plan for sizing calculations and a Section-Profile of the Detention Basin.

Pool Barrier Fencing

- The pool Barrier Fence has been designed as an ornamental fixture that will enclose the pool at the edge of the pool decking. At the back of the pool where the spa is located, the fence will engage support walls around the spa that have a reveal at the exterior over 4 feet high, thus providing sufficient height to meet NYS Pool Barrier Code.

ZONING REQUIREMENTS R-2A Tax Lot 95.01 / 02 / 63			
	MAXIMUM PERMITTED REQUIREMENTS	EXISTING	PROPOSED
LOT AREA	2 AC 87,120 SF	2,6946 AC 117,378.45 SF	2,6946 AC 117,378.45 SF
FRONT YARD SETBACK	50 FEET	241-9.25"+/- House-Henkers Farm In.	241-9.25"+/- House-Henkers Farm In.
REAR YARD SETBACK	50 FEET	79'-9.50" to garage	79'-9.50" to garage
SIDE YARD SETBACK	30 FEET	29.64 FEET to house	29.64 FEET to house
MAX PERMITTED IMPERVIOUS SURFACE COVERAGE	15,539.38 SF	12,721.26 SF	15,305.58 SF
MAX PERMITTED STRUCTURES	8.00% Lot Area 5,323.90 SF	2.79 % 3,276.45 SF	2.79 % 3,276.45 SF

Site

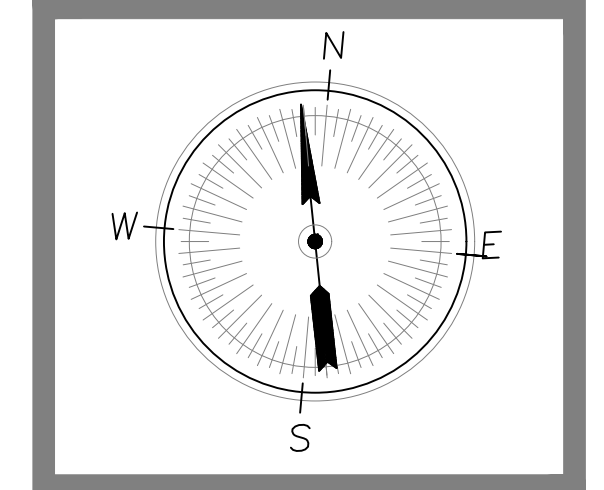
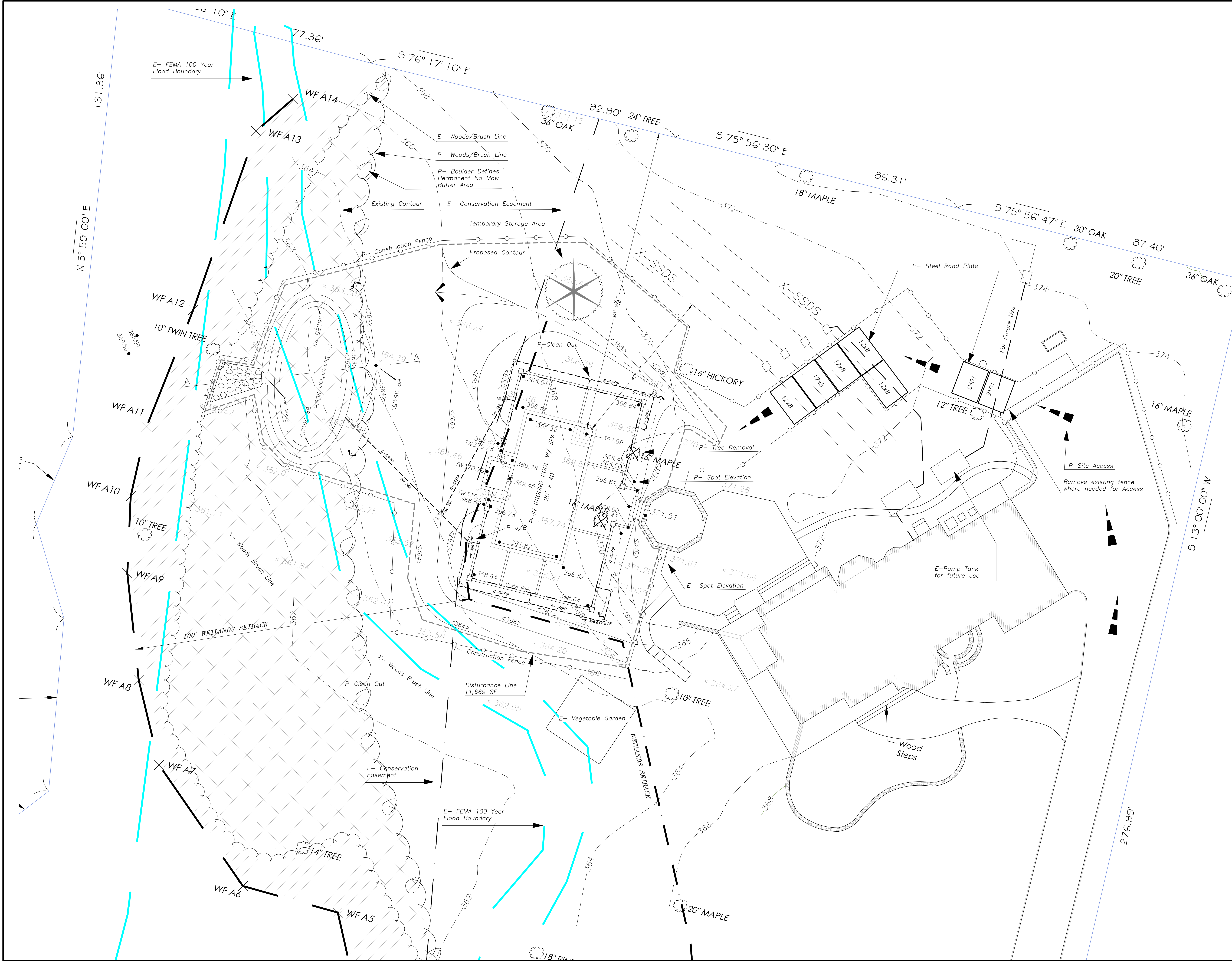


I Robert D. Schweitzer Jr. (RLA) have prepared these plans to the best of my professional ability and acknowledge that the information on them is correct and truthful

Robert D. Schweitzer Jr. 6/6/22

NYS # 001758-01

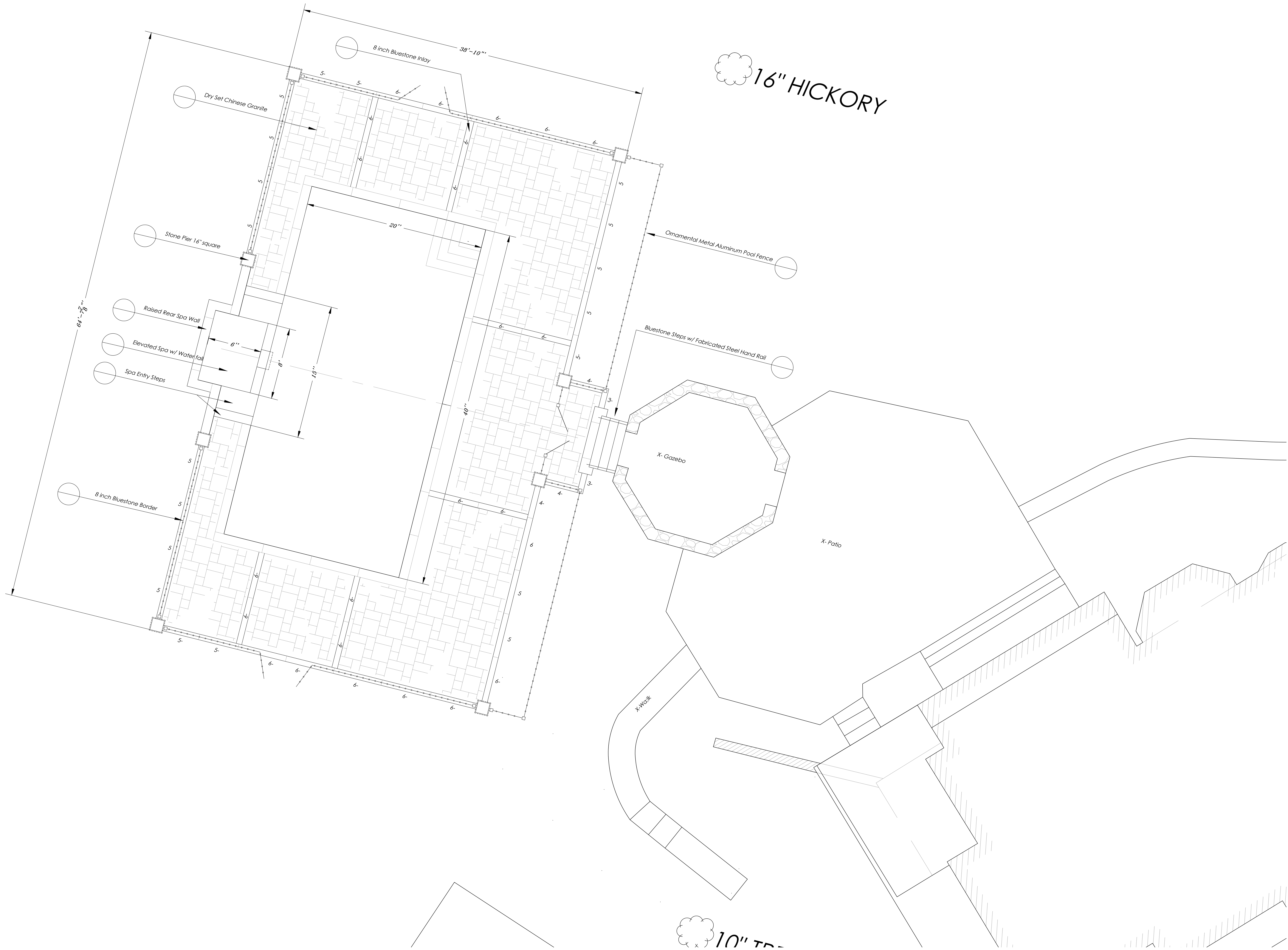
Robert D. Schweitzer Jr Date



REVISIONS

DRAWING:
Site Plan
DRAWN BY:
Robert D. Schweitzer
SCALE:
1"=10'
SUBMITTAL:
XXX
DATE:
6/6/22

PREMISES
10 Henkers Farm Lane
Bedford, NY
PROPERTY OWNER
Levy Residence
10 Henkers Farm Lane
Bedford, NY
95.01-2-63
XXX



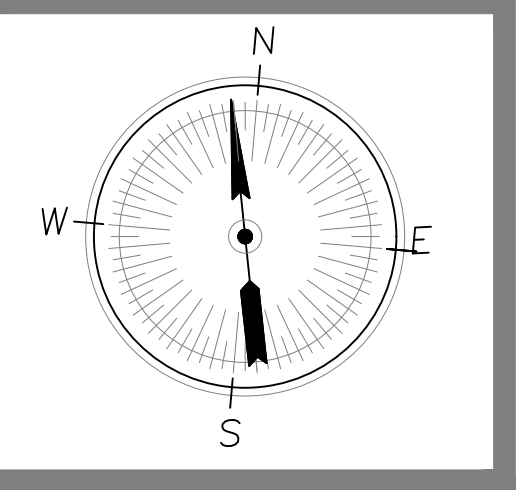
16" HICKORY

10" TR

ROBERT SCHWEITZER
LANDSCAPE ARCHITECTURE
18 Bayberry Lane
Redding, CT 06896
914-241-9597
RDSRlab@OPTONLINE.NET



NY - # 001758
CT - # lar.0001151
Robert D. Schweitzer



REVISIONS

DRAWING:
Materials Plan
DRAWN BY:
Robert D. Schweitzer
SCALE:
1" = 4'
SUBMITTAL:
1" = 4'
DATE:
3/17/22

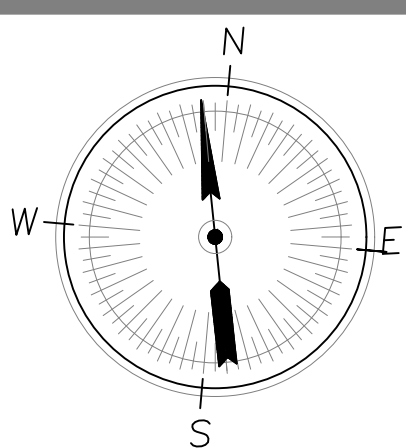
PREMISES
10 Henkers Farm Lane
Bedford, NY
PROPERTY OWNER
Levy Residence
10 Henkers Farm Lane
Bedford, NY
95.01-2-63
XXX

L-2
9



NY - # 001758
 CT - # lar.0001151

Robert D. Schweitzer A



REVISIONS

NO.	DESCRIPTION

DRAWING:

Coverage Plan

DRAWN BY:

Robert D. Schweitzer

SCALE:

1"=10'

SUBMITTAL:

DATE:

6/6/22

PREMISES

10 Henkers Farm Lane
 Bedford, NY

PROPERTY OWNER

Levy Residence
 10 Henkers Farm Lane
 Bedford, NY

95.01-2-63

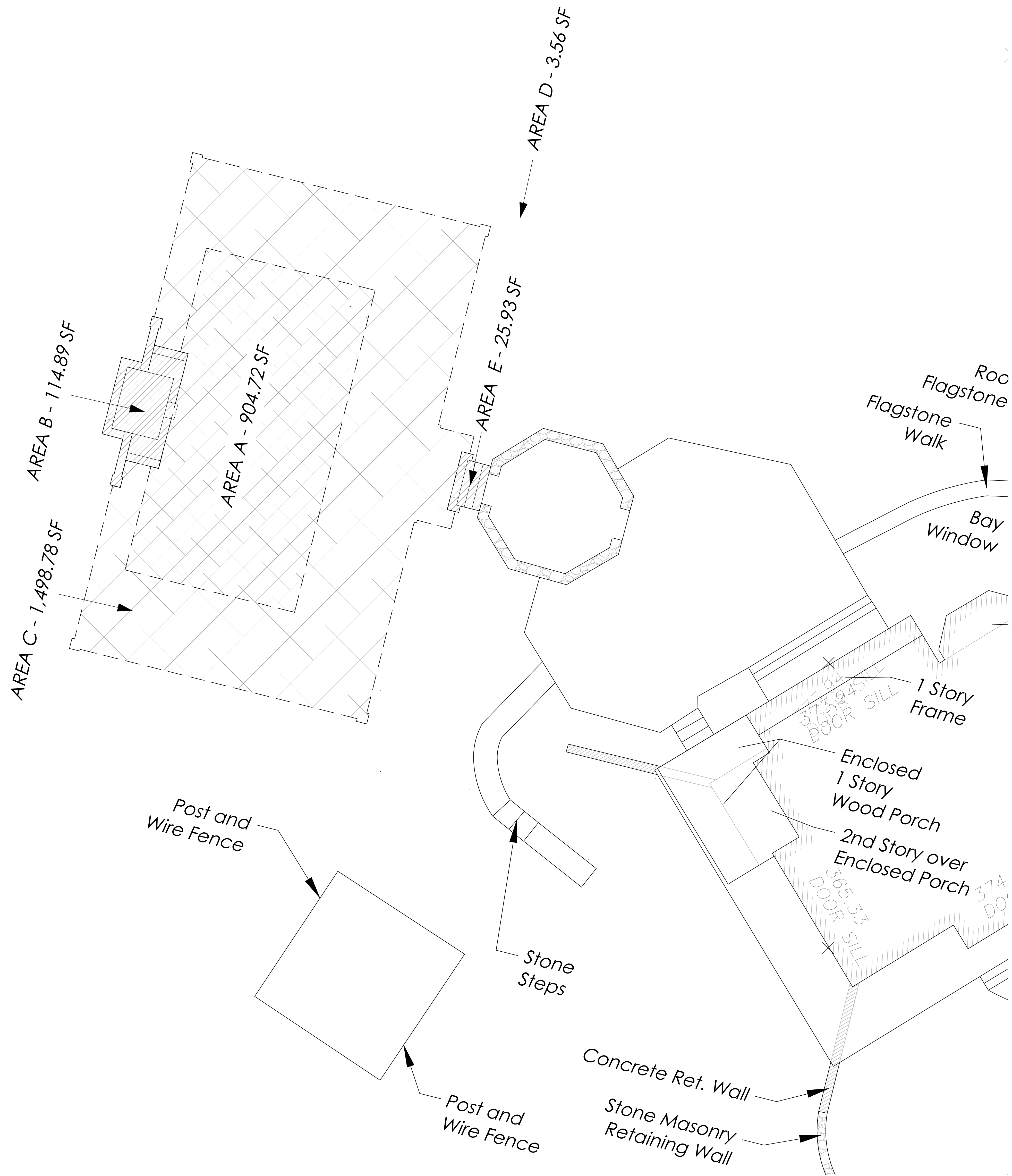
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PROPOSED IMPERVIOUS SURFACES

AREA	DESCRIPTION	MEASURE - S.F.
A	POOL	904.72
B	SPA	114.89
C	DECKING & PIERS	1,498.78
D	POOL EQUIPMENT	40.00
E	STEPS	25.93
TOTAL PROPOSED AREAS		2,584.32

EXISTING IMPERVIOUS SURFACES

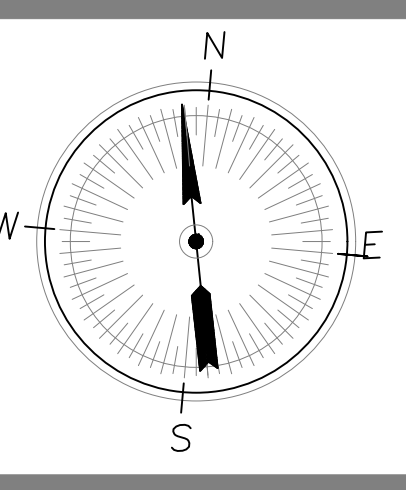
DESCRIPTION	MEASURE - S.F.
BUILDINGS	3,276.45
DRIVEWAY	6,634.69
WALKS/PATIOS	2,181.00
DECKS	369.19
WALLS	214.44
UTILITIES	45.49
TOTAL EXISTING COVERAGE	12,721.26
TOTAL LOT AREA	117,378.45
% COVERAGE	10.84 %
MAXIMUM PERMISSIBLE COVERAGE	15,539.38
% BUILDING COVERAGE	2.79 %
MAXIMUM PERMISSIBLE BUILDING COVERAGE	8.00 %





NY- # 001758
 CT-# lar.0001151

Robert D. Schweitzer



REVISIONS

NO.	DATE	DESCRIPTION

DRAWING:
Sediment & Erosion

DRAWN BY:
Robert D. Schweitzer

SCALE:
1"=10'

SUBMITTAL:
Town Approval

DATE:
6/6/22

PREMISES

10 Henkers Farm Lane
Bedford, NY

PROPERTY OWNER

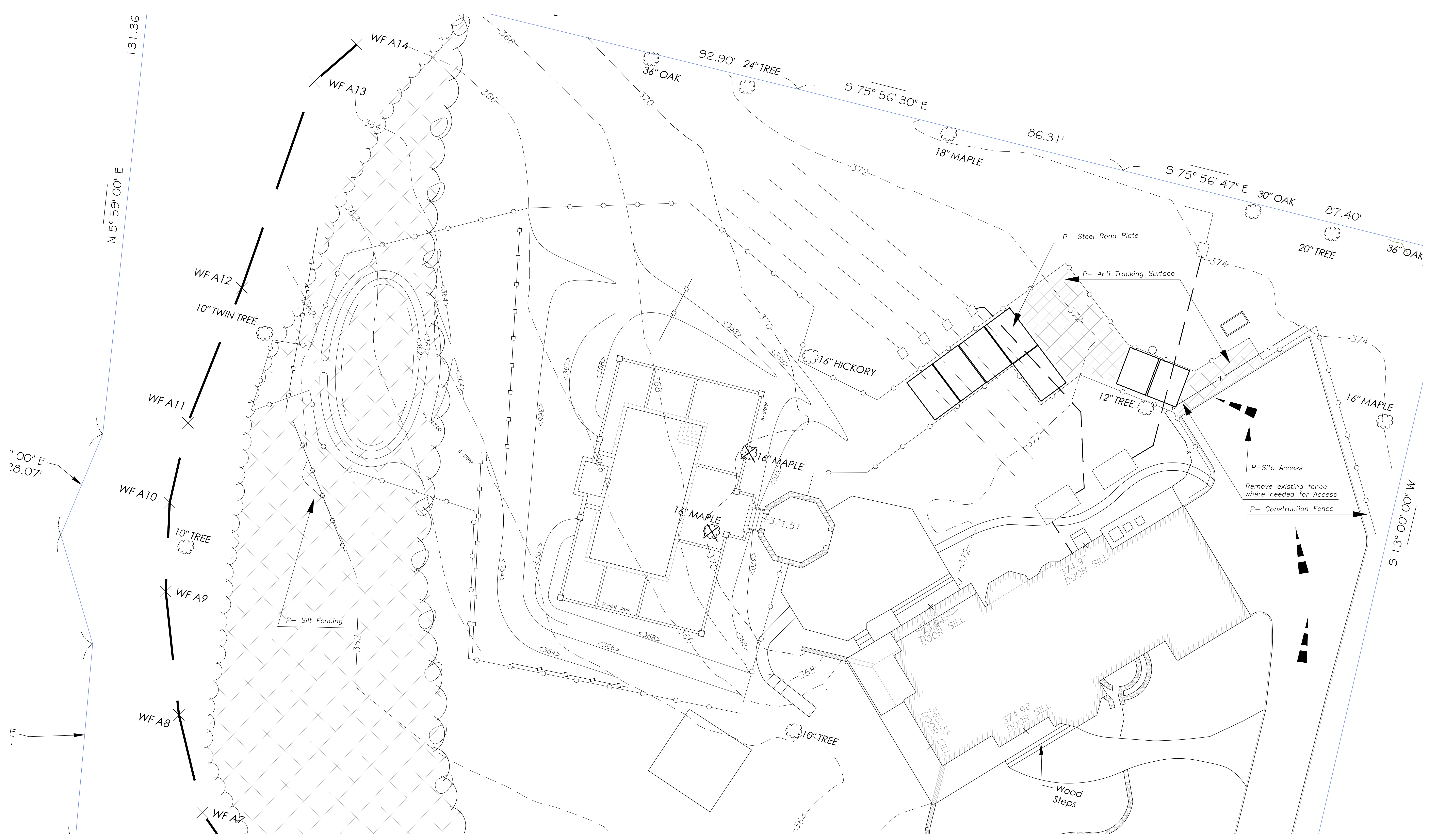
Levy Residence
10 Henkers Farm Lane
Bedford, NY

95.01-2-63

XXX

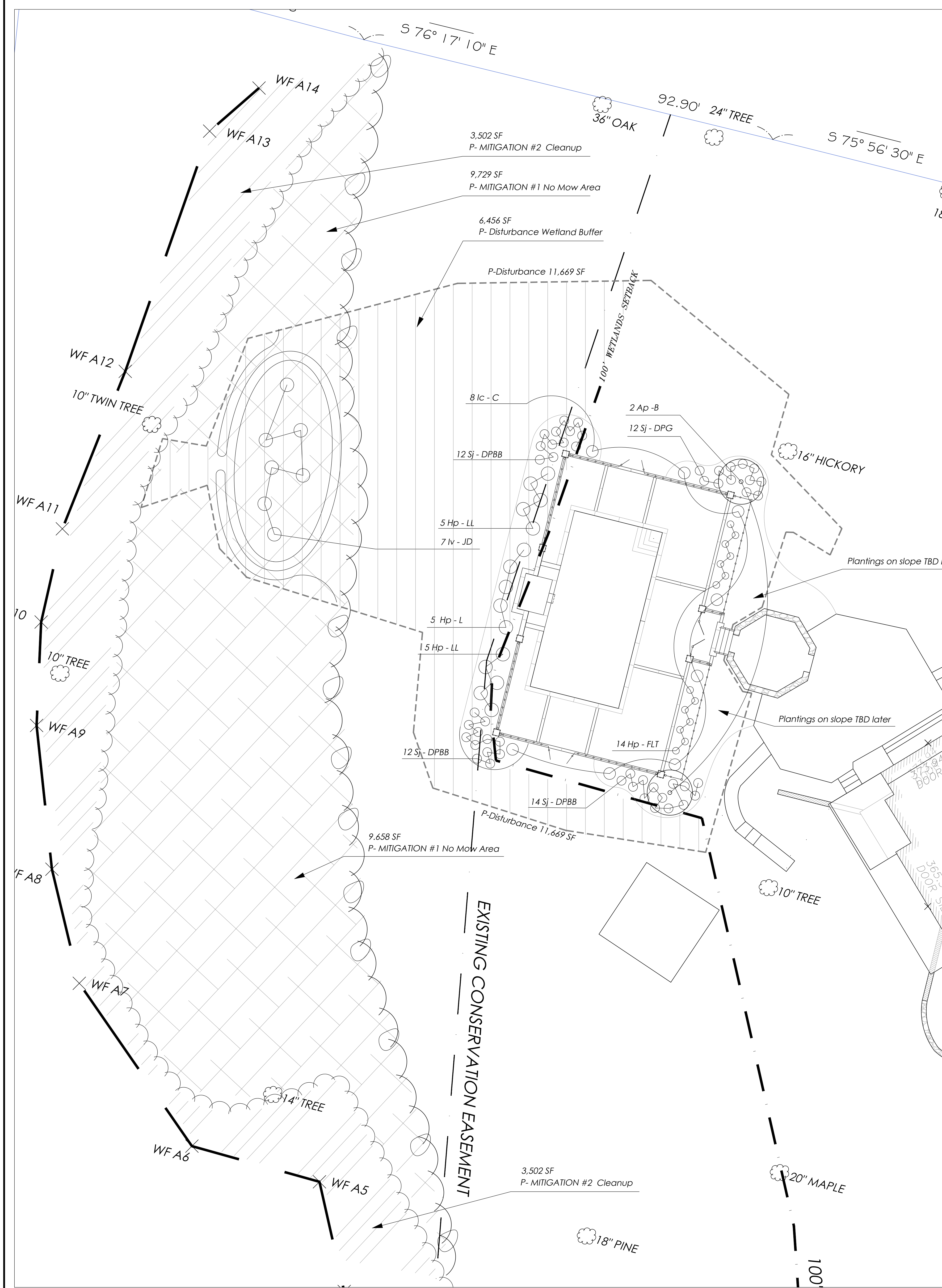
L-4

9



GENERAL NOTES

- The sediment and erosion control measures shall comply with the measures set forth by the Westchester County, NY Best Management Practices for Construction and Related Activities.
- Prior to any subsurface disturbance - excavation or fill, the contractor shall install the following protective things in accordance with the plans and, have them inspected and approved by the appropriate Town Managing Authorities;
 - Sediment Fencing
 - Construction Fencing
 - Steel Road Plates
 - Anti-tracking Pad
- All 'protective measures' listed above shall be maintained to be in good operating condition throughout the duration of the work period. Any Protective Measure that does not function as intended, shall be deemed unsatisfactory and shall be replaced-repaired immediately without delay so that it is in proper working condition.
- After the heavy equipment has been removed, whereby there is no future risk of heavy equipment tracking over the septic system, the Steel Road Plates, Construction Fencing and Anti Tracking Pad shall be removed.
- Once the landscaping has been installed and all seeded areas have germinated, the contractor shall contact the Town Managing Authorities to inspect the site (only if required by the town) insuring that it is stable and not prone to significant erosion. Upon approval of the landscape address by such authorities, the contractor shall remove the Silt Fencing.



Plant Schedule

Symbol	Scientific Name	Common Name	Height	Spread	Container	Stem	#	Note
Ap-B	Acer palmatum 'Bloodgood'	Bloodgood Maple	8-10'	8-10'	B&B		2	x-stem / specimen
Hp-LL	Hydrangea paniculata 'Linelight'	Linelight Hydrangea	30-36'	30-36'	B&B		5	
Hp-LL	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	30-36'	30-36'	B&B		10	
Hp-FLT	Hydrangea paniculata 'Fire Light Tidbit'	Tidbit Hydrangea	12-18'	12-18'	#3		14	
IC-C	Ilex crenate 'Compacta'	Compact Japanese Holly	14-24'	18-24'	#5		8	
Iv-JD	Ilex verticillata 'Jim Dandy'	Winterberry	18-24'	18-24'	#3		7	
Sj- DPG	Spirea japonica 'Double Play Gold'	Double Play Gold Spirea			#2		50	

MITIGATION FOR DISTURBANCE TO WETLAND BUFFER - 2:1

- The Area of DISTURBANCE inside the 100 foot Town Regulated Wetland Buffer is 6,456 SF
 - Seeding any disturbance resulting from the Site Work in this area.
 - Installing boulders at the interface of the proposed No Mow Area and Existing Lawn.
 - Allowing the Existing Lawn in the proposed No Mow Area to grow into a high grass meadow.
 - Future maintenance in the Permanent No Mow Area to include; removal of any invasive plantings and mowing once yearly of the meadow if desired.
- Proposed MITIGATION #2 equals 3,503 SF - Provides removal of any Invasive Planting species and / or Exotic Species threatening to the Wetland.
 - Upon completion of the Rough Grading and installation of the Plantings, the remaining lawn areas shall be fine graded to the proposed grades and contours.
 - Installation of 2" of screened top soil shall be spread uniformly graded over fine graded proposed turf areas.
 - A fescue type (mineral grown) sod shall be installed over the spread screened top soil base and hand rolled.
- Quantifying Total Disturbance and a 2:1 Mitigation
 - Disturbance inside the Wetland Buffer = 6,456 SF.
 - Mitigation required to meet a 2:1 standard equals 2 x 6,456 SF = 12,912 SF.
 - Proposed Mitigation Area #1 = 9,729 SF.
 - Proposed Mitigation Area #2 = 3,502 SF.
 - Total Areas #1 + #2 = 13,232 SF.

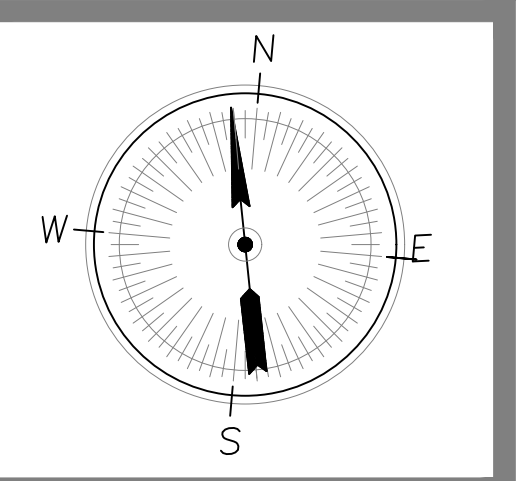
GENERAL NOTES

- All planting will be done according to Standard Nurseryman Practices.
- Preparation of all Disturbed Areas to be restored to Movable Lawn shall be as follows.
 - Upon completion of the Rough Grading and installation of the Plantings, the remaining lawn areas shall be fine graded to the proposed grades and contours.
 - Installation of 2" of screened top soil shall be spread uniformly graded over fine graded proposed turf areas.
 - A fescue type (mineral grown) sod shall be installed over the spread screened top soil base and hand rolled.
- Preparation of Disturbed Areas from Grading & Site Work in the Permanent No Mow Buffer Area shall be prepared as follows.
 - Fine Grade all disturbed areas and top dress with 2" of screened top soil.
 - Seed top dressed areas with a perennial Fescue-fine blade Rye mix. Cover with sterilized chopped straw mulch.
- Preparation of Undisturbed Areas in the Permanent No Mow Buffer Area shall be done as follows.
 - Locate the margins of the No Mow Buffer Area with wooden stakes. Allow the existing lawn inside the Buffer Area to grow without further mowing.
- Planting Beds and Tree Pits will be mulched with 1-1/2" of shredded Cedar bark.
- Plantings will be guaranteed to be in satisfactory health for one year after completion date. Any plantings that are dead or in poor health shall be replaced by the Contractor, free of charge to the Owner.
- Planting beds shall be amended with 25% composted leaf litter and "Dry Roots". This shall be tilled into the beds to a depth equal to the root ball / container and three times the diameter. "Dry Roots" shall be mixed into the planting soil at the manufactured suggested rate.
- Material quantities shall be V.I.F. (verified in field) with the landscape architect and adjusted for final count prior to purchasing / installation.
- Evergreen trees shall be three wire, Cedar post staked.
- All planting material shall be approved by the landscape architect prior to installation.
- All Movable Turf Areas shall be prepared similar Meadow Areas with exception to the application of the Straw Netting Erosion Blanket.



NY- # 001758
CT- # 1ar.0001151

Robert D. Schweitzer



REVISIONS

NO.	DATE	DESCRIPTION

DRAWING:
Planting & Mitigation

DRAWN BY:
Robert D. Schweitzer

SCALE:
1"=10'

SUBMITTAL:
Town Approval

DATE:
6/6/22

PREMISES

10 Henkers Farm Lane
Bedford, NY

PROPERTY OWNER

Levy Residence
10 Henkers Farm Lane
Bedford, NY

95.01-2-63
XXX

DETENTION BASIN - MAINTENANCE NOTES

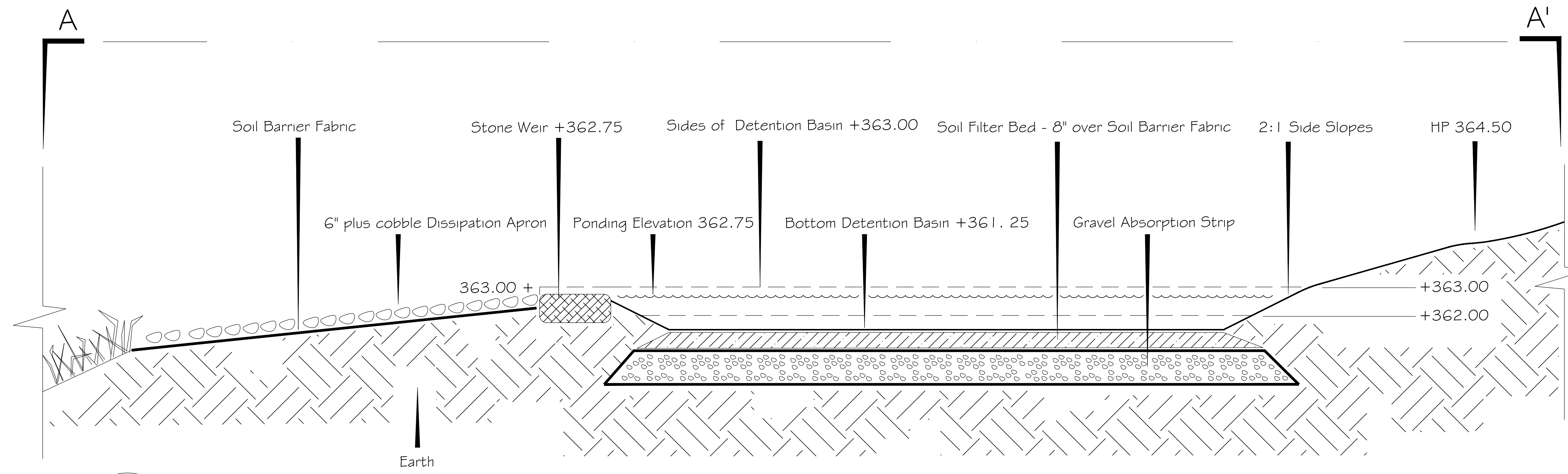
I. Regular / routine maintenance of the Detention Basin is required to insure it continues to function as intended. The following practices should be employed by the current and future property owners.

a) Bi- Annual Cleaning - Early Spring & Late Autumn, to include removal of branches and accumulated debris within the basin, such as ... leaf litter, twigs, branches, pebbles, stones and silt wash out. Unwanted volunteer vegetation such as woody shrubs and trees, invasive species both woody and herbaceous plantings and garbage (paper, cans & bottles). Accumulation of debris will contaminate and fill the basin reducing the storage capacity.

b) Annual Check / Service Overflow Weir - Early Spring. Critical to the function of the Rain Garden is that the Overflow Weir be maintained 3 inches lower than basin's sidewalls. The weir should be checked to determine it has not moved or tilted and become out of level. If so, set it so it is both stable and level. Check the Dissipation Apron and remove any debris that covers the gravel bed-surface so it drains properly.



NY- # 001758
CT- # lar.0001151
Robert D. Schweitzer



Proposed Rain Garden Volume:

Levy Residence 10 Henkers Farm Lane Bedford, New York				
From Plans, area of new impervious =				
Proposed =	2,584	s.f.		
Existing =	-	s.f.		
Net Change =	2,584	s.f.		
Rainfall required = 25 Year Storm =	6.43	in.		
CN of impervious = 98, Excess runoff (Er) =	6.19	in.		
Existing is lawn, soil group "A", CN 39, Er =	0.12	in.		
Net increase in runoff =	6.07	in.		
Excess volume of runoff =	1,307	c.f.		
Assume 12" of stone under bottom of basin, Volume of voids in stone = bottom area x 1' x 0.40 =	240.24	c.f.		
Required volume of rain garden =	1,067	c.f.		
Rain Garden Volume from plans		TOTAL	TOTAL	
EL.	AREA	VOL(c.f.)	VOL (c.f.)	VOL (ac-ft)
361.25	600.6	0	0	0
362.00	754.5	507	507	0.0116
362.75	922.5	628	1135	0.0261

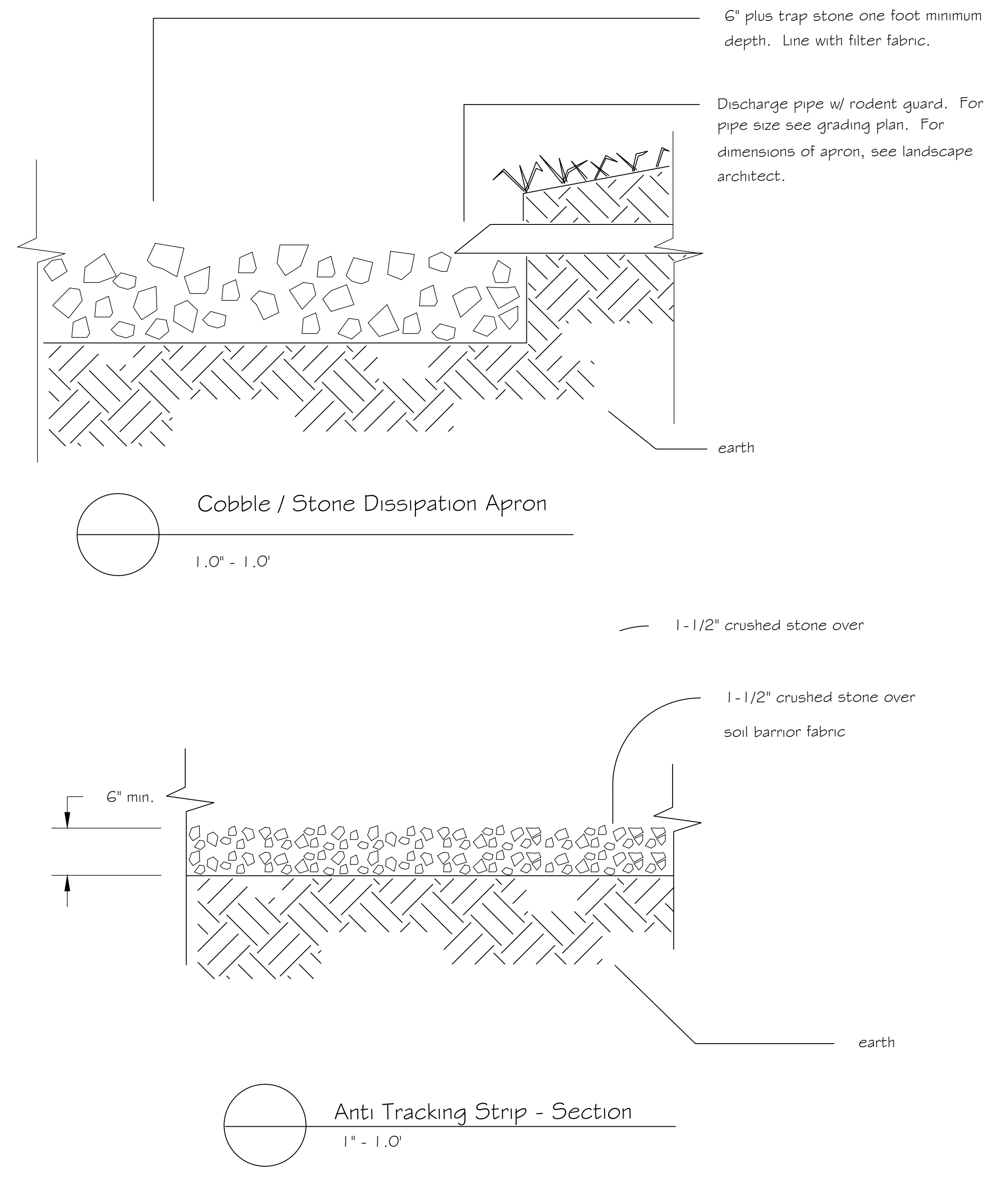
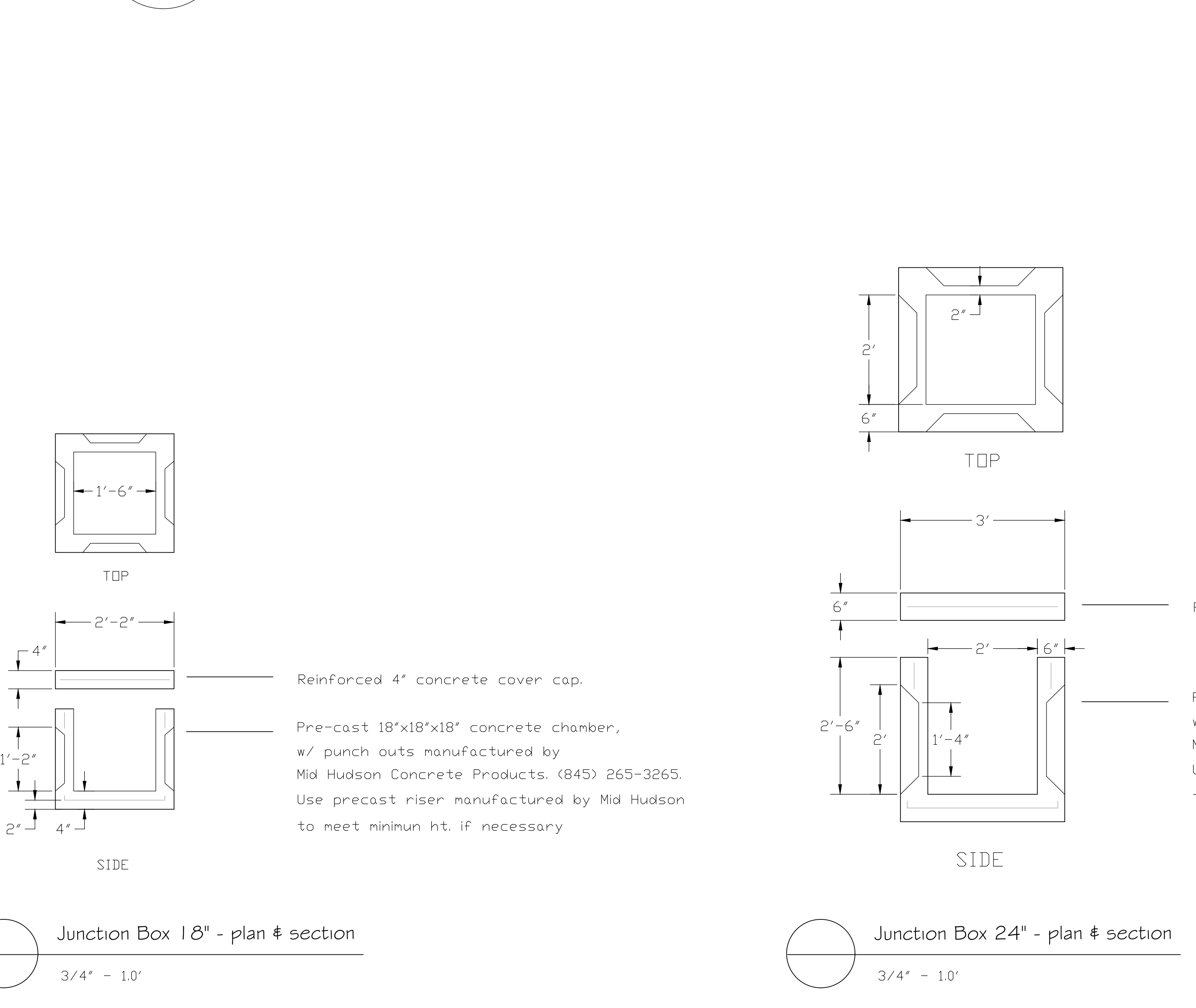
REVISIONS

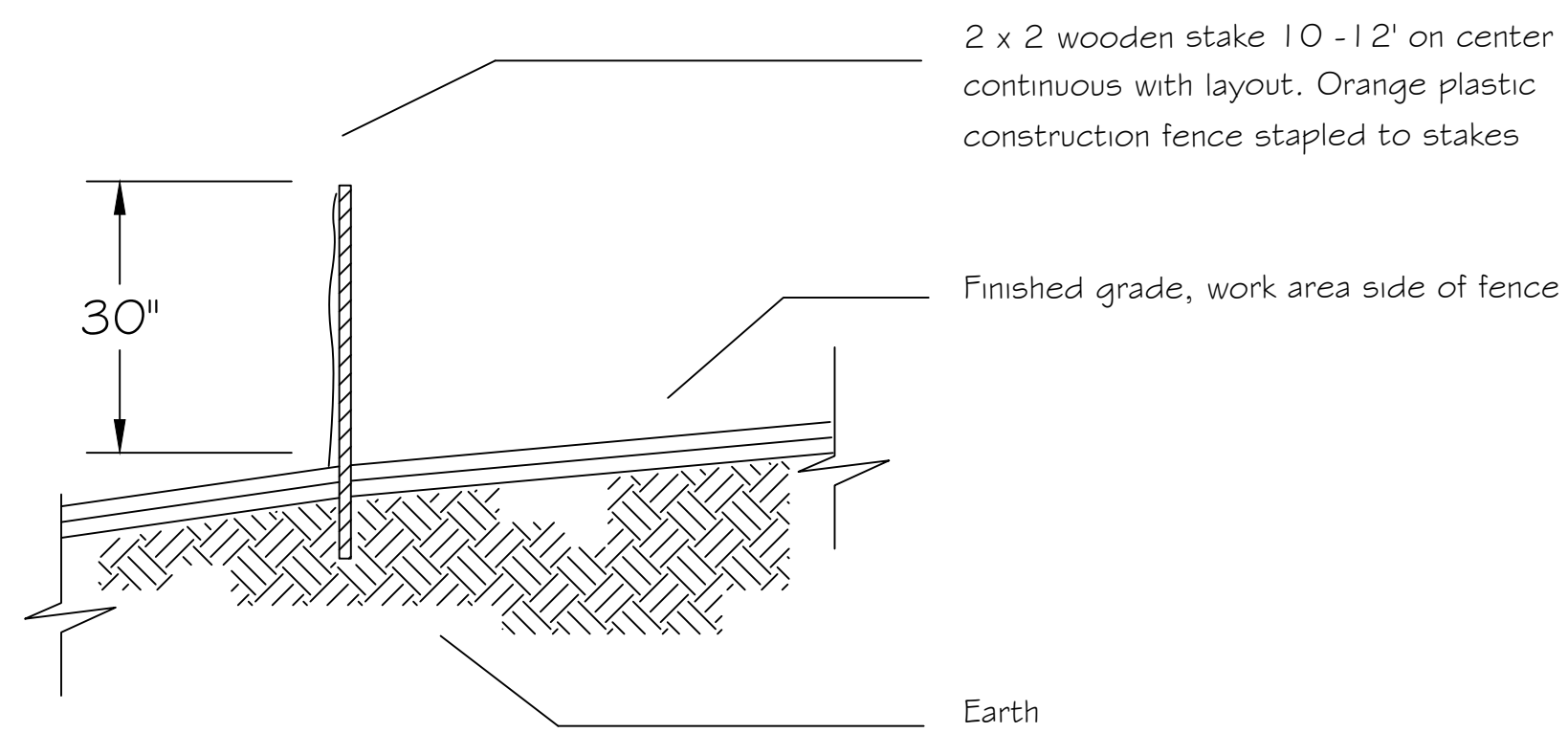
DRAWING: Details
DRAWN BY: Robert D. Schweitzer
SCALE: 1"=10'
SUBMITTAL: 1"=8'
DATE: 6/6/22

PREMISES
10 Henkers Farm Lane
Bedford, NY
PROPERTY OWNER
Levy Residence
10 Henkers Farm Lane
Bedford, NY
95.01-2-63
XXX

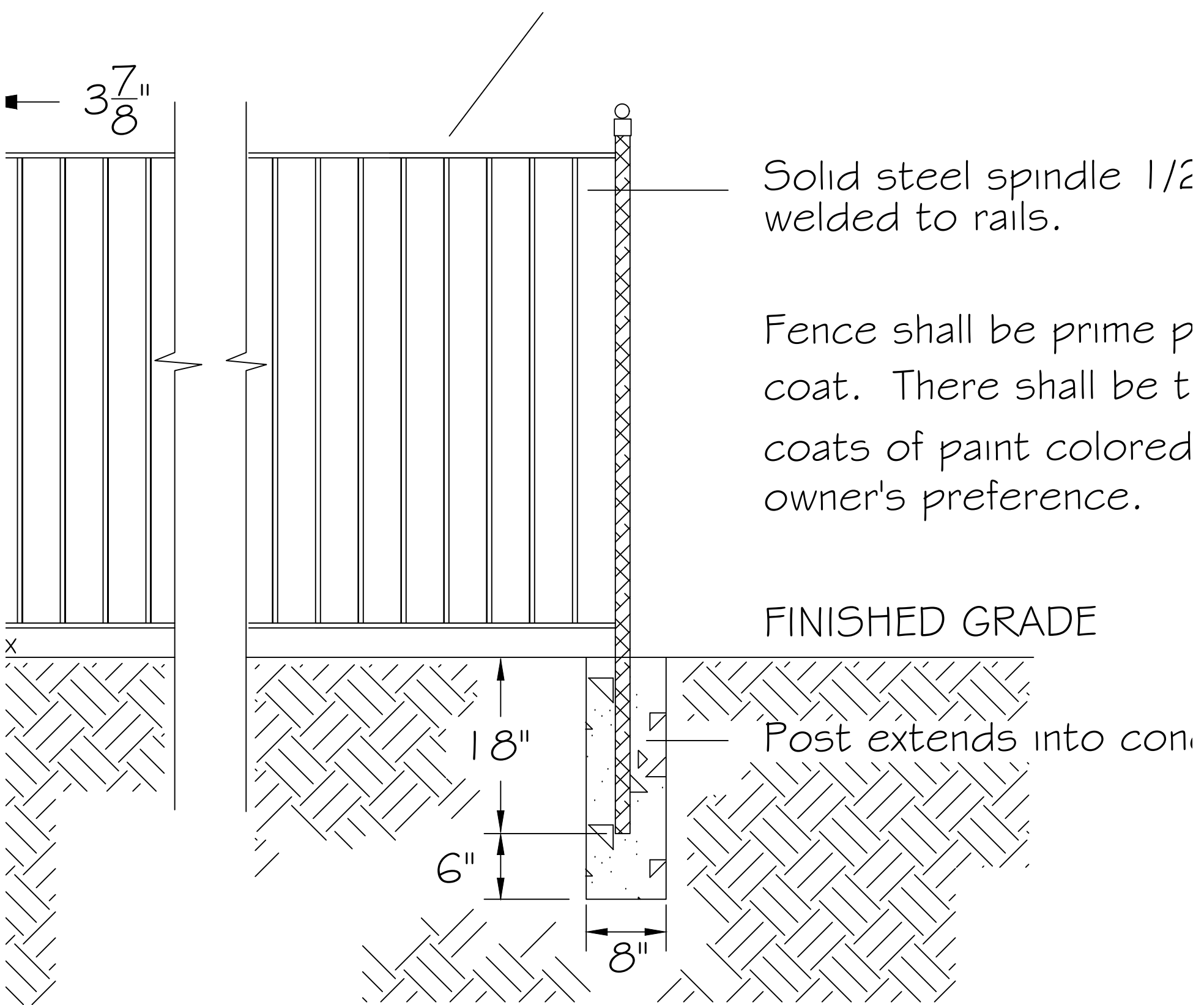
L-6
9

Detention Basin - Section
1/2" - 1.0'





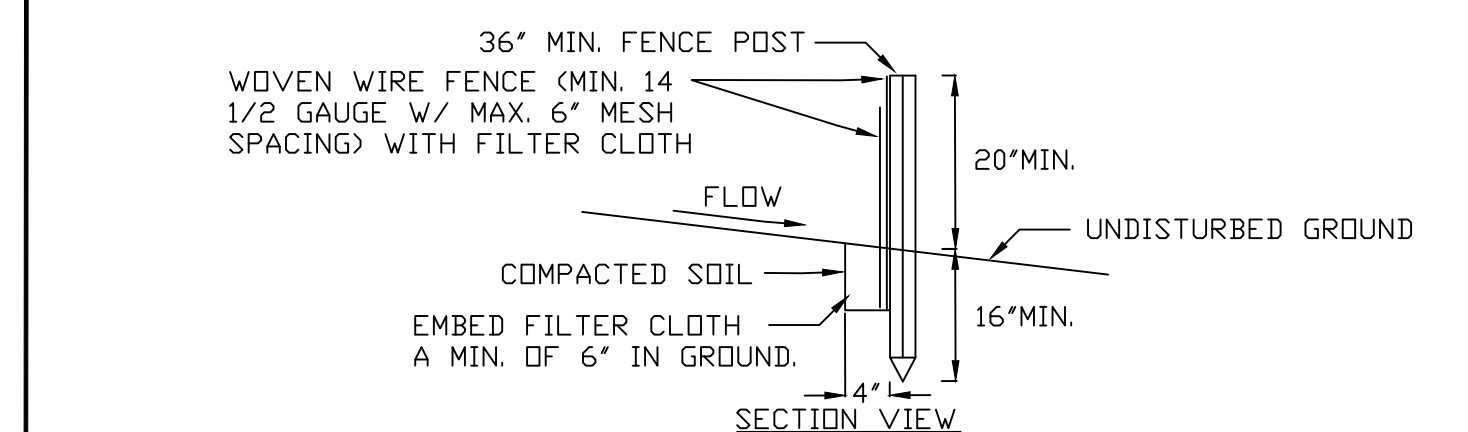
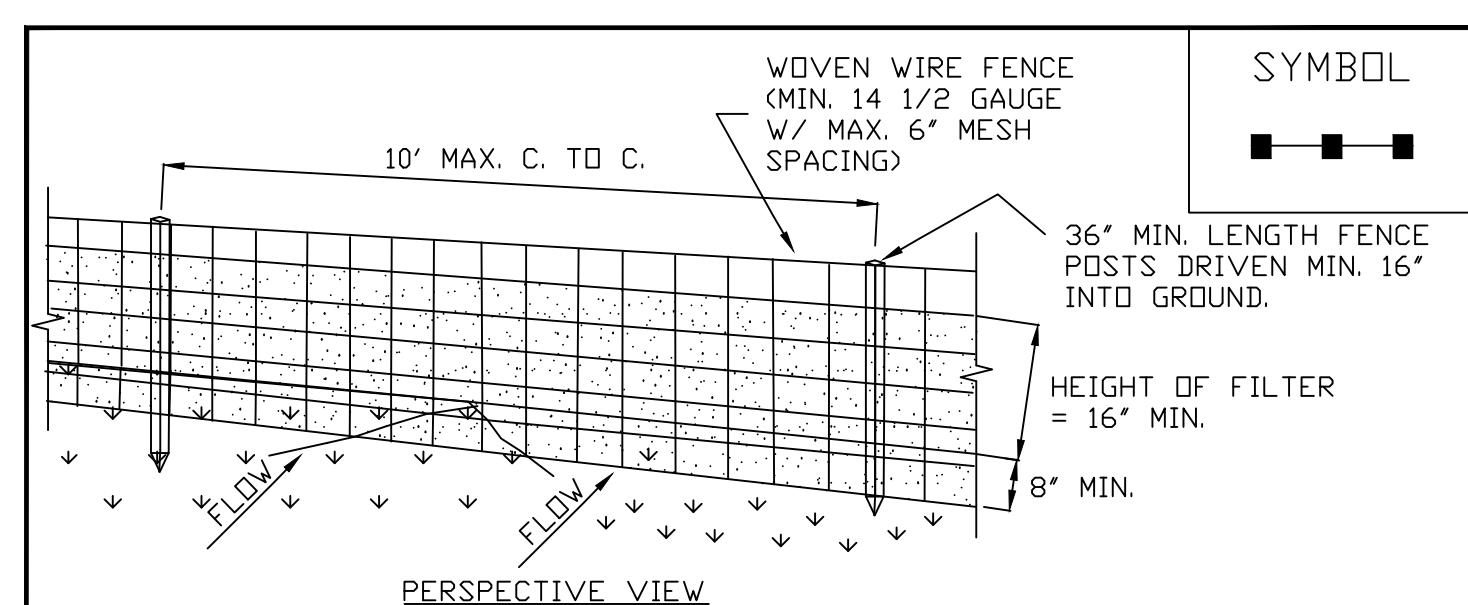
Construction Fence - section
1/2" = 1.0'



Solid steel spindle 1/2" welded to rails.
Fence shall be prime p coat. There shall be two coats of paint colored owner's preference.

FINISHED GRADE

Post extends into con.



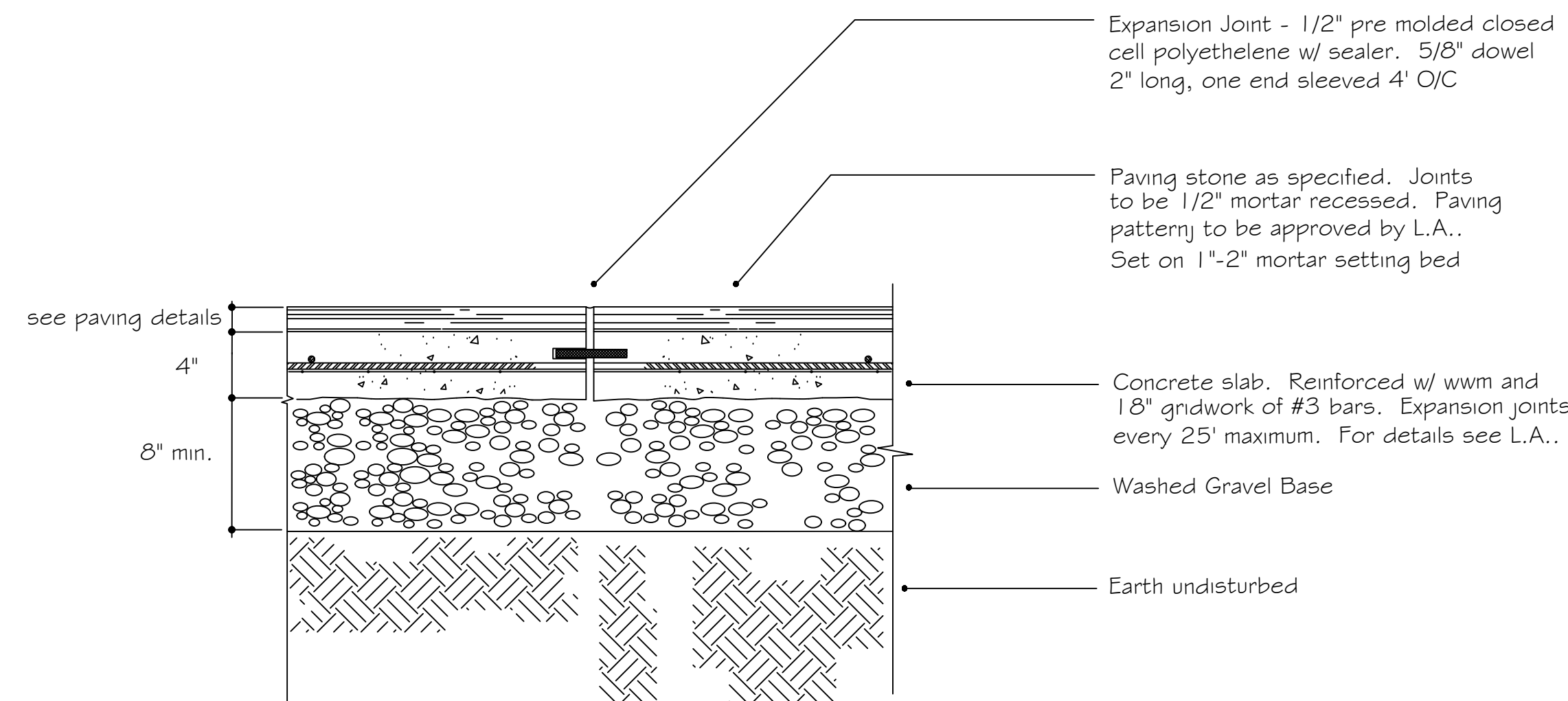
CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFT 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEDFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

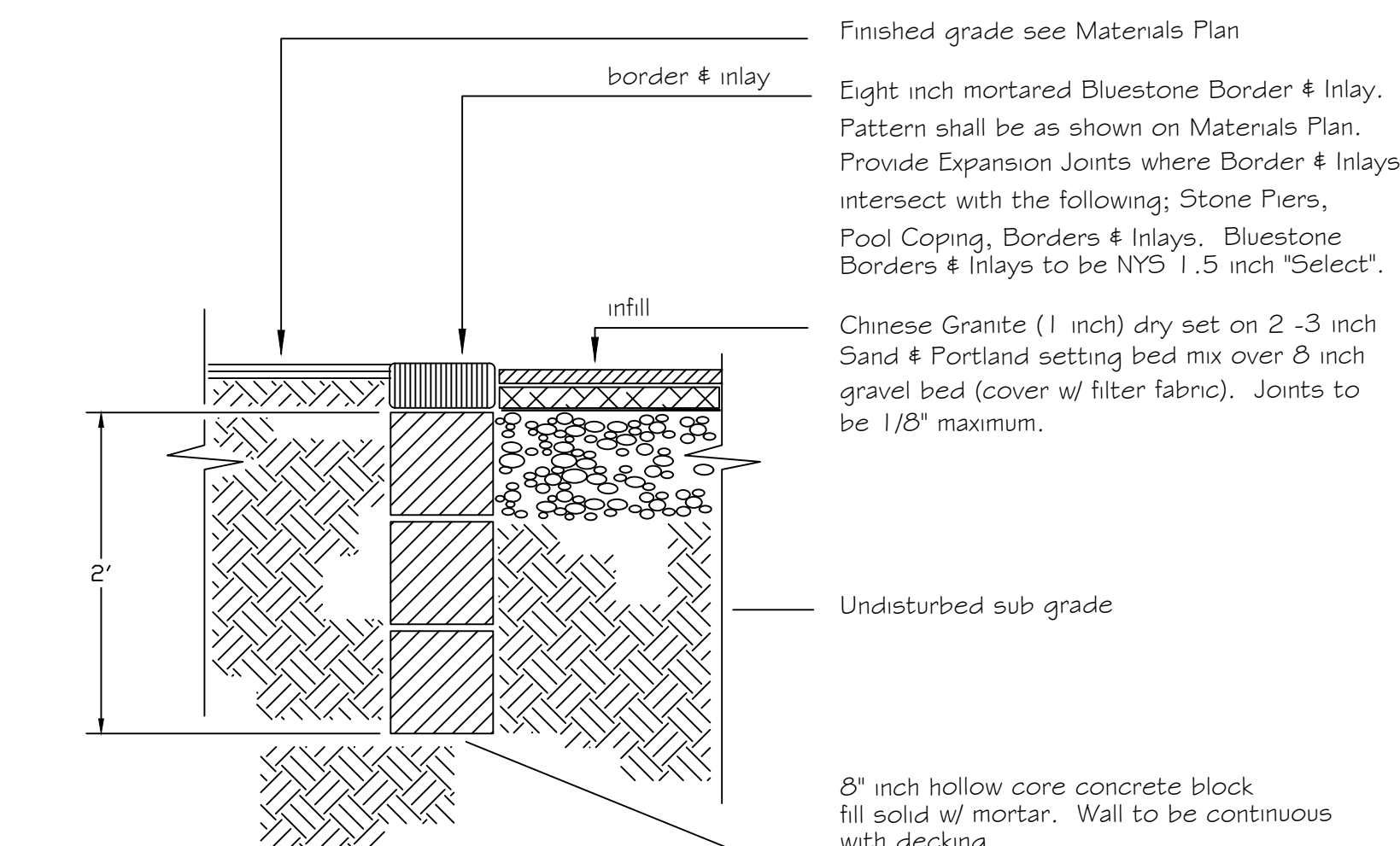
U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

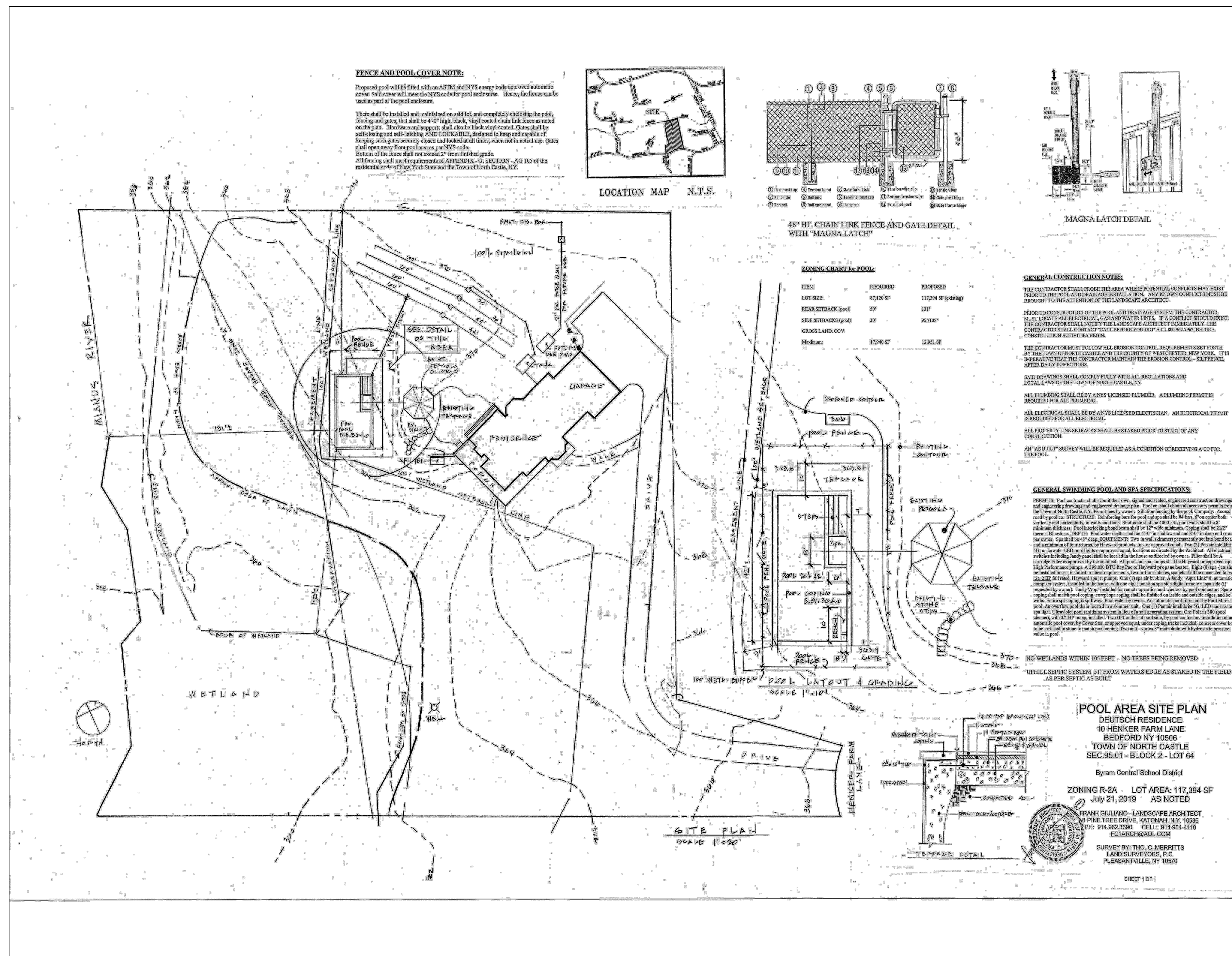
Silt Fence - section
No Scale



Paving / Expansion Joint - section
Scale - 1.5" = 1.0'



Border # Inlay - section
Scale - 1" = 1.0'



ROBERT SCHWEITZER
LANDSCAPE ARCHITECTURE
18 Bayberry Lane
Redding, CT 06896
914-241-9597
RDSLAB@OPTONLINE.NET

ROBERT SCHWEITZER
LANDSCAPE ARCHITECT
STATE OF NEW YORK
NY- # 001758
CT- # 10.0001151
Robert D Schweitzer

REVISIONS

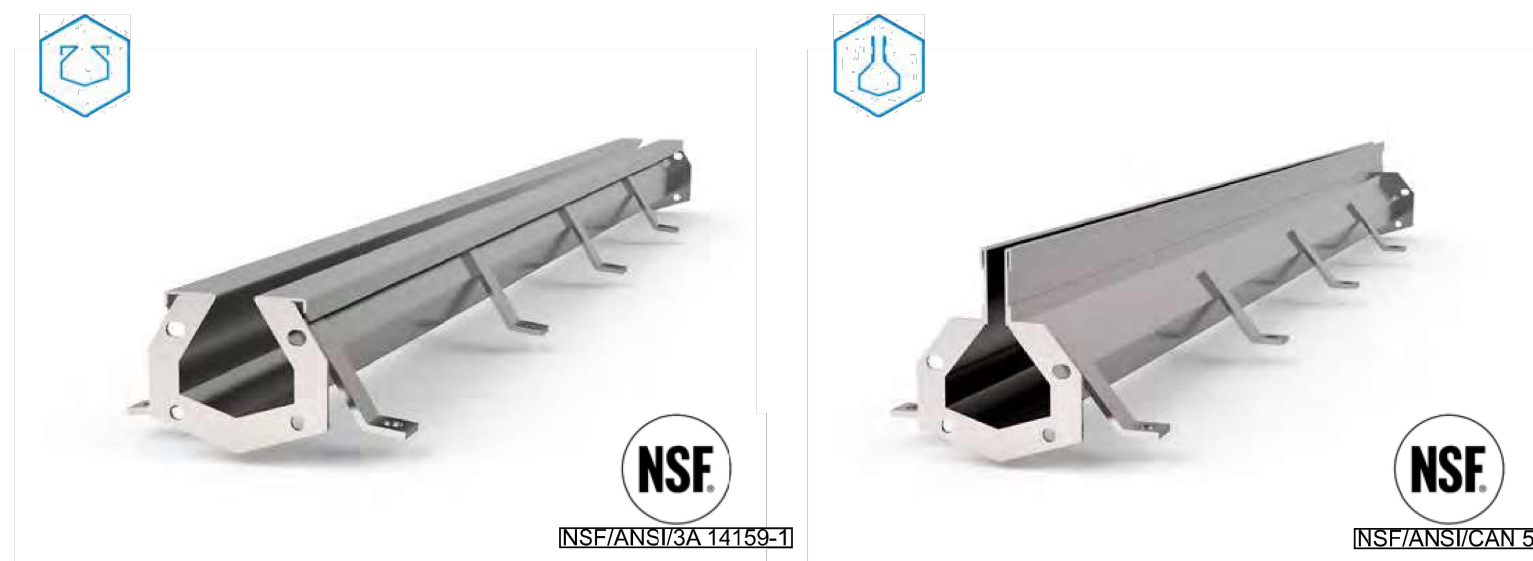
REVISIONS

DRAWING: Details
DRAWN BY: Robert D. Schweitzer
SCALE: As Noted
SUBMITTAL: Town Approval
DATE: 6/6/22

PREMISES
10 Henkers Farm Lane
Bedford, NY
PROPERTY OWNER
Levy Residence
10 Henkers Farm Lane
Bedford, NY
95.01-2-63
XXX

L-7
9

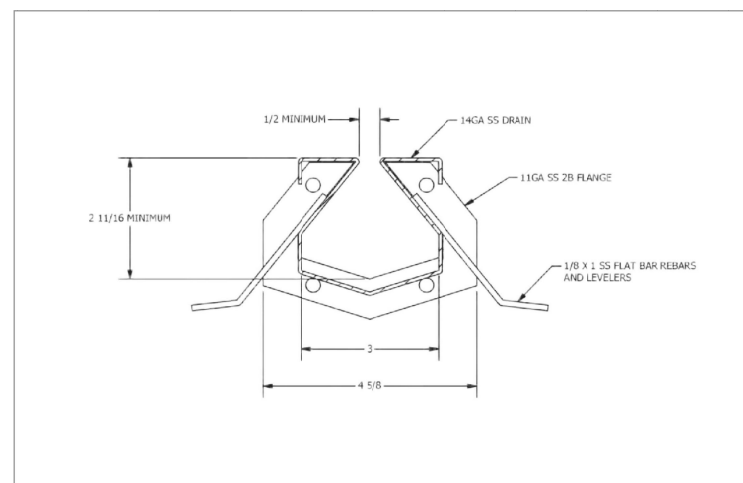
SLOT DRAIN® SERIES



6000 / 6000 PLUS-R SERIES SLOT DRAIN®

6000 Series Slot Drain® is a cost effective surface drainage system that is available in stainless or galvanized steel. Inverts start at 2 1/2" It is applied often in pedestrian or light traffic areas, such as swimming pools, garages, distribution centers, or facilities that do not have a high volume of liquid to distribute. The 6000 Plus-R model is also available for heavy load rated and hygienic environments.

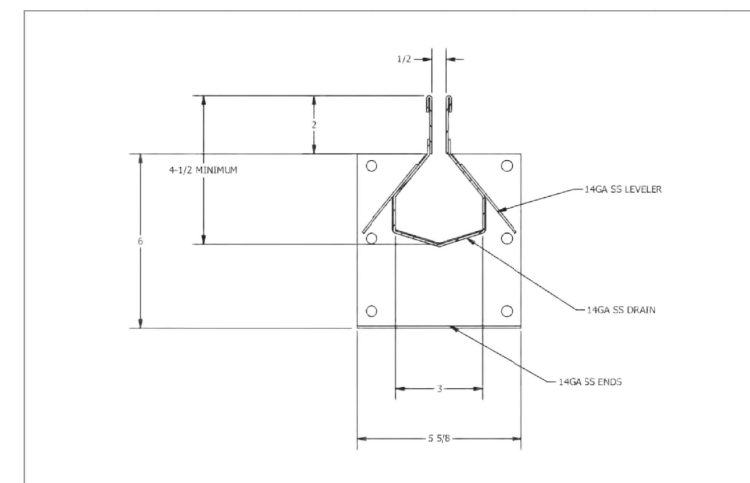
Applications:
Shallow Depth, Low-volume Water Distribution Areas, Swimming Pools, Garage, Distribution Centers



7000 SERIES SLOT DRAIN®

7000 Series Slot Drain® is available in T304 or T316 stainless steel, fiberglass and galvanized steel. Its sleek, linear and aesthetic design perfectly matches landscaping pavement. It can be applied in areas like patios, gardens, sidewalks and plazas. With paving bricks on top, Landscape Slot Drain® can distribute storm water quickly and it is ideal for public areas as it can be ADA Compliant.

Applications:
Plaza, Sidewalk, Playgrounds, Indoor/Outdoor Use



RETROFIT



Slot Drain Systems arrives at the site in fully assembled sections and is ready to be installed.

- Layout and mark drain location on existing slab.
- Cut 24" wide trench in existing slab.
- Excavate the trench allowing for room underneath and on both sides of Slot Drain®. There should be a minimum of 6" of concrete surrounding the drain.
- Drill and dowel into the sides of the existing cut slab. Approximately 16"–24" on both sides.
- It is recommended to pre-pour a concrete pad underneath the Slot Drain pit so it can be properly secured. If no pad is poured, peg the sump pit down (using the flat bar mounting brackets bolted to the sides of the sump and wooden stakes) before Slot Drain® is connected.
- Install all Slot Drain® pits and piping, making sure that the Slot Drain pit walls are reinforced to prevent sidewall bowing.
- Bolt the last (deepest) section of Slot Drain® to the Slot Drain® pit. If a Slot Drain® pit is not being used, start at the deepest section. Bolt all remaining sections of Slot Drain® together using the numbered flanges as a guide. For example, if you have a section 102, a section 203, a section 304 and a Slot Drain pit.

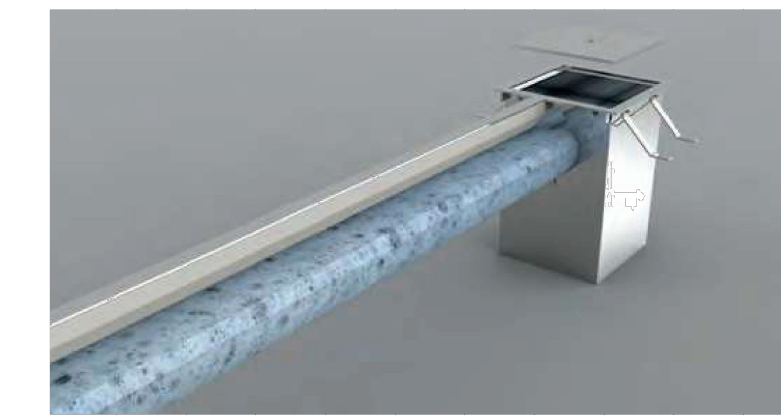
- First, bolt flange 4 of section 304 to the Slot Drain® pit side marked 4. Next, bolt flange 3 of section 304 to flange 3 of section 203. Finally, bolt flange 2 of section 203 to flange 2 of section 102. Use a continuous bead of silicone sealant between all bolted sections.
- Use wooden stakes to set the desired elevation of drain sections. Secure drain sections to the stakes with the mounting holes provided on the leveling brackets.
- Once Slot Drain® is secured and the appropriate elevation is achieved, for structural support, tie the rebar from the dowels and floor grid into the rebar/leveling bars on the drain assembly. Cover the opening with the duct tape, or insert Styrofoam if needed.
- To ensure that Slot Drain® will not float, it is recommended that the concrete be poured in two stages. Once adequate time for the first concrete pour to set has elapsed, the floor slab can be completed. The use of a pencil vibrator is strongly recommended to make sure that the concrete has completely surrounded Slot Drain® leaving no bubbles or voids.
- Once the concrete slab is firm, first remove the tape or Styrofoam from the slot and then break out all metal tabs to ensure a continuous open slot. Using the paddle, clean out the Slot Drain®.

CLEANING TOOLS

EASY TO CLEAN

Each Slot Drain® system includes a specially designed cleaning kit specific to its application.

To clean the drain channel, cleaning kit options include an easy cleaning paddle, Flush Flo™ System for frequent cleaning facilities.



CLEAN IN PLACE (CIP)

CIP is a method of cleaning that is commonly used in hygiene critical industries, such as food and beverage processing, dairy, brewing, pharmaceutical and cosmetics. Slot Drain® does not have gratings of any kind, which makes CIP much easier. It is ideal for facilities that require frequent cleaning and sanitation.

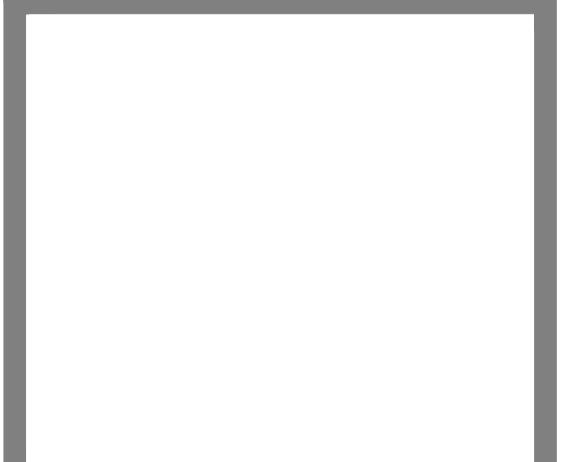


FREQUENT CLEANING — FLUSH FLO™

This system is connected to a water line and can be operated with a timer or flushed manually. You can open a valve to let water flush and clean the drain or set a timer to clean the drain automatically. Flush Flo™ is especially suitable for facilities that require frequent cleaning, such as food processing plants, car washes, seafood markets, etc.



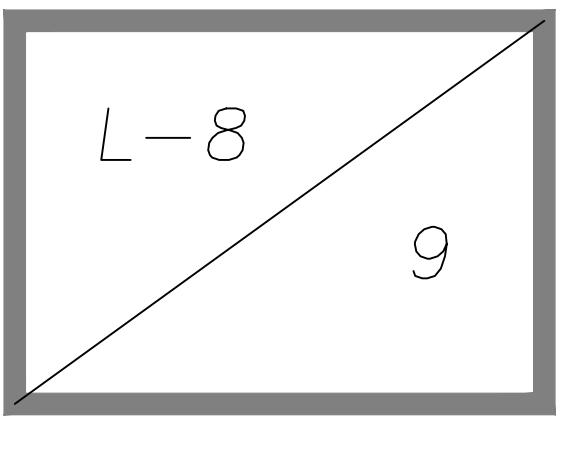
NY- # 001758
CT- # 1ar.0001151
Robert D. Schweitzer



REVISIONS

DRAWING: Details
DRAWN BY: Robert D. Schweitzer
SCALE: 1"–10'
SUBMITTAL: 1"–8'
DATE: 6/6/22

PREMISES 10 Henkers Farm Lane Bedford, NY
PROPERTY OWNER Levy Residence 10 Henkers Farm Lane Bedford, NY
95.01–2–63 XXX



REGULAR CLEANING — CLEANING PADDLE & BRUSH

The cleaning paddle is the simplest way for regular drainage cleaning. You just insert the paddle, twist 90 degrees and move it along the drain to clear the debris. The cleaning brush brush can scrub the inside of the channel easily and thoroughly. Trappings are then removed from the catch basin.



STRAINER BASKET

The strainer basket's 1/4-inch perforated holes trap stones, keys, rings and other items that are smaller than the slot opening, so that you want to intercept. Made of stainless steel, it is designed to last for the life of your system.



CATCH BASIN

Catch basins are designed for retrieving debris and any items that may inadvertently fall into the slot. A 1/4 T304 stainless lid sits atop the base. Basins come in 6"x6", 6"x12", 8"x8", 12"x12" or 24"x24" wide, with standard depths of 12" and 20". The basins come with a reinforced cover made of T304 stainless steel with rebar tie-ins and can withstand heavy traffic loads.

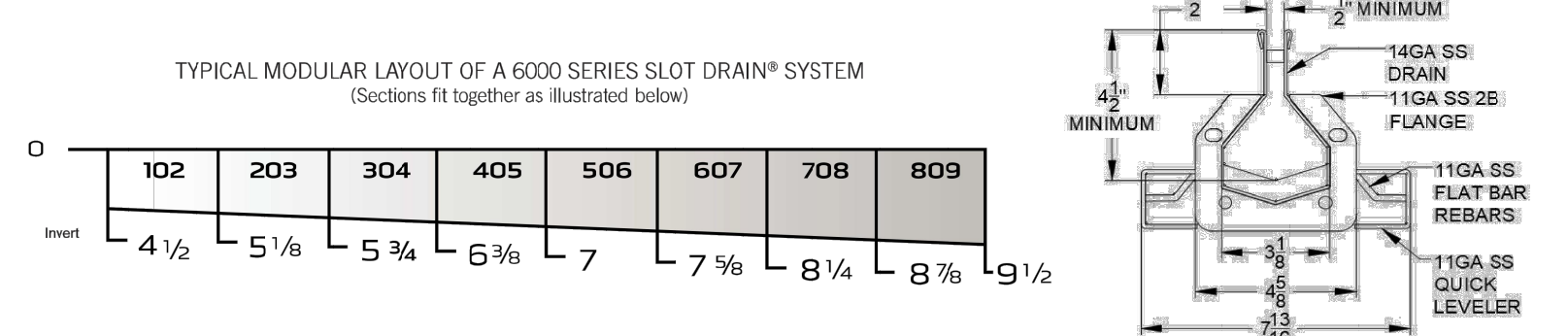
The only part of Slot Drain® that is exposed to the room is the stainless steel surface which can be cleaned and sanitized as your floor is.

Slot Drain® does not absorb water or contaminants and allows contaminants to be disposed of in an environmentally friendly manner.

SLOTDRAIN® SYSTEMS
a division of Slot Drain Technologies

7000 SERIES SLOT DRAIN® SPECIFICATION SHEET

<p>GENERAL: The surface drainage system shall be 7000 Series Slot Drain complete with slotted linear trench opening as manufactured by Slot Drain Systems.</p> <p>MATERIALS: T304 Stainless Steel, T316 Stainless Steel</p> <p>SLOPE: 0.5% Standard</p>	<p>DESIGN OPTIONS: Material (S): S3304(S), S3316(G) Slot Opening (E): 1/2" (0), 1" (1), 1 1/4" (5) End (V): Open (0), End Cap (1), Flush Nipple (5) Section Lengths: Full 9'0", Half 4'10" (Customize Lengths available).</p> <p>FLOW RATE: 1/2" 11 gpm (per foot of drain) 1" 18 gpm (per foot of drain) 1 1/4" 27 gpm (per foot of drain)</p>	<p>LOAD CLASS: Load Class C</p> <p>ACCESSORIES: Cleaning paddle, Flush Flo</p> <p>INSTALLATION: The 7000 Series Slot Drain System shall be installed in accordance with the manufacturer's installation instructions and recommendations.</p>
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DESCRIPTION	PART NO.	INVERT SHALLOW INCHES	INVERT DEEP INCHES
7000 SERIES SS SLOT 102 HALF	SD75*# - 102B	4 15/16	5 7/8
7000 SERIES SS SLOT 102	SD75*# - 102	4 1/2	5 1/8
7000 SERIES SS SLOT 203	SD75*# - 203	5 1/8	5 3/4
7000 SERIES SS SLOT 304	SD75*# - 304	5 3/4	6 3/8
7000 SERIES SS SLOT 405	SD75*# - 405	6 3/8	7
7000 SERIES SS SLOT 506	SD75*# - 506	7	7 3/8
7000 SERIES SS SLOT 607	SD75*# - 607	7 3/8	8 1/4
7000 SERIES SS SLOT 708	SD75*# - 708	8 1/4	8 7/8
7000 SERIES SS SLOT 809	SD75*# - 809	8 7/8	9 1/2

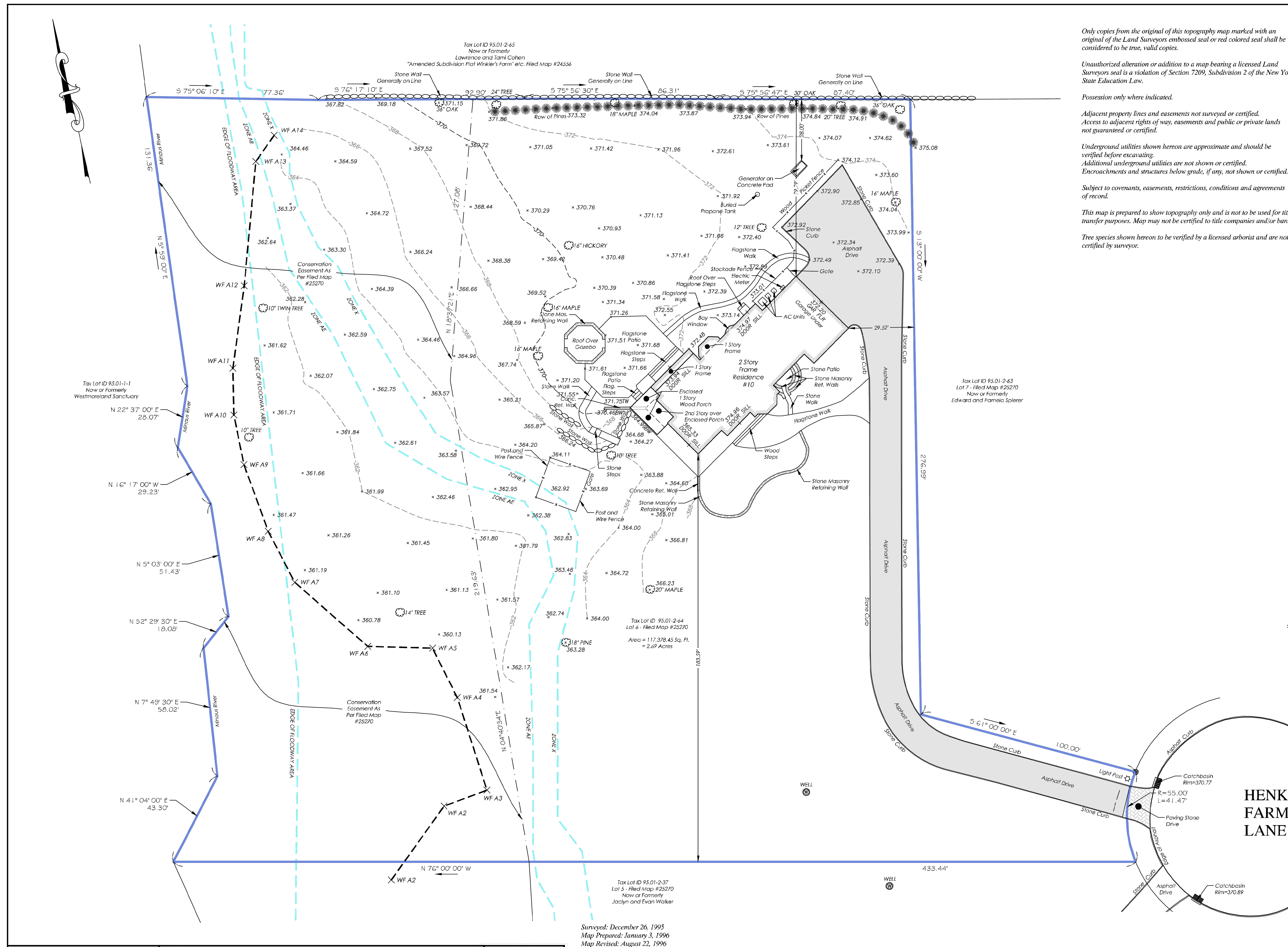
NOTE:
Also available with 90° sections, 'T' sections, and Transition Pits for all of the depths specified above.

DESCRIPTION	LID TOP WIDTH INCHES	LID TOP LENGTH INCHES	PAN-LID BOTTOM WIDTH INCHES	PAN-LID BOTTOM LENGTH INCHES	HEIGHT INCHES	OUTLET SIZE INCHES
7000 SS CB SMALL	6	6	6	6	12	4
7000 SS CB MEDIUM	6	12	6	12	12	4
7000 SS CB LARGE	12	12	12	12	20 1/8	4 or 6

SLOTDRAIN®

Send us your plans or let us assist you with your designs.

CONTACT US
To order Slot Drain® please contact
TF: 855-497-7508
F: 204-202-6275
E: info@slotdrainsystems.com
W: slotdrainsystems.com



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lot 6 as shown on a certain map entitled, "Subdivision Plat prepared for Henkers Farm situate in the Town of North Castle, Westchester Co. N.Y." Said map filed in the Westchester County Clerk's Office, Division of Land Records October 14, 1994, as map number 25270.

Surveyed in accordance with Deed Control Number 600153448.

Premises shown hereon designated on the Town of North Castle Tax Maps as: Section 95.01, Block 2, Lot 64.

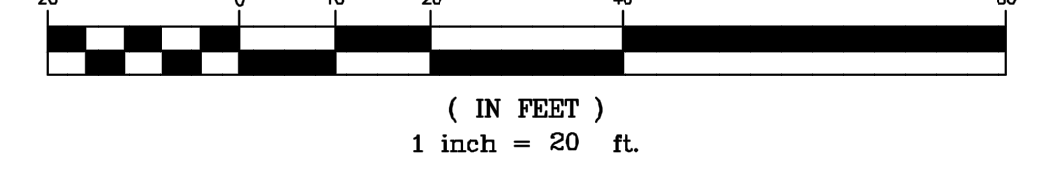
Property Address: 10 Henker Farm Lane, Bedford, NY, 10506

EXISTING IMPERVIOUS SURFACES	
BUILDINGS	3,276.45 S.F.
DRIVEWAY	6,634.69 S.F.
WALKS/PATIOS	2,181.00 S.F.
DECKS	369.19 S.F.
WALLS	214.44 S.F.
UTILITIES	45.49 S.F.
TOTAL COVERAGE	12,721.26 S.F.
TOTAL LOT AREA	117,378.45 S.F.
% COVERAGE	10.84 %
MAXIMUM COVERAGE ALLOWED	15,539.38 S.F.
% BUILDING COVERAGE	2.79 %
MAXIMUM BUILDING COVERAGE	8.00 %

TOPOGRAPHY OF PROPERTY
 PREPARED FOR
 REBECCA LEVY AND
 MATTHEW LEVY
 SITUATE IN THE
 TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

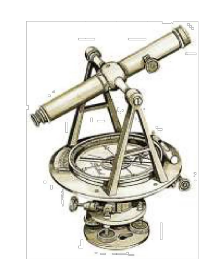
GRAPHIC SCALE



Surveyed: December 26, 1995
 Map Prepared: January 3, 1996
 Map Revised: August 22, 1996
 Map Revised: September 13, 1996
 Map Revised: January 31, 2022 to show topography and impervious
 Map Revised: April 4, 2022

By: *Robert D. Schweitzer*
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