

Michael A. Testa, Jr.
1114 State Route 22
Pawling, N. Y. 12564
914-760-4319 Cell
e-mail matestajr@gmail.com

Memorandum

TO: Adam Kaufman Chairman RPRC
Town of North Castle
Building Department
17 Bedford Road
Armonk N.Y. 10504

FROM: Michael A. Testa, Jr.

SUBJECT: Mr. James and Fran Seiferheld
83 Byram Ridge Road
Armonk New York 10504

Re-Proposed legalization submission for the RPRC Board for
existing on-site wooden decks

DATE: September 19, 2022

Regarding the property of Mr. James and Fran Seiferheld located at 83 Byram Ridge Road Armonk, New York involving the legalization of existing on-site wooden decks; please find enclosed the following documents per your submission criteria for the RPRC Board and your office:

- RPRC application and associated review fee of \$300.00
- RPRC Completeness Review Form
- Tax parcel map by GIS (zoning) showing subject property and abutting parcels
- Gross Land Coverage calculations and work sheet with certification/breakdown
- As-built updated property survey by "Summit Land Surveying P.C." dated 9/15/22
- As-built survey by Edward Mihalczo L.S. dated 4/5/2007 for your reference
- As-built survey by Ralph McDonald L.S. dated 8/30/1978 and brought to date 7/18/1979 for your reference
- As-built plan of decks with professional certification

If you should have any further questions in this matter, please do not hesitate to contact me



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 83 Byram Ridge Road Armonk New York 10504

Section III- DESCRIPTION OF WORK:

Legalization of Existing on-site wooden
Decks built circa 1978 (see attached Survey) &
As Built Drawings Attached

Section III- CONTACT INFORMATION:

APPLICANT: Michael A. Testa JR.

ADDRESS: 114 State Route 22 Pawling N.Y. 12564

PHONE: 914-760-4319 MOBILE: 914-760-4319 EMAIL: mtestajr@gmail.com

PROPERTY OWNER:

James AND Fran Seiferheld

ADDRESS: 83 Byram Ridge Road Armonk NY 10504

PHONE: 917-362-8543 MOBILE: 917-362-8543 EMAIL: fseiferheld@aol.com

PROFESSIONAL: Anthony Pisani P.E.

ADDRESS: 3 Rosalind Drive Cortlandt Manor NY 10567

PHONE: 914-739-6530 MOBILE: 914-329-1605

EMAIL: Apisani@aol.com

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.01-1-21



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: James and Fran Seifheld

Initial Submittal Revised Preliminary

Street Location:

83 Bypass Ridge Road Armonk NY 10504

Zoning District: R-1A Property Acreage: 1.11 Tax Map Parcel ID: 101.01-1-21

Date: 9/15/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

<input type="checkbox"/>	9. Description of method of water supply and sewage disposal and location of such facilities
<input type="checkbox"/>	10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<input type="checkbox"/>	11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<input type="checkbox"/>	12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<input type="checkbox"/>	13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____	On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.
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North Castle Tax Parcel Viewer (Data: 2021)

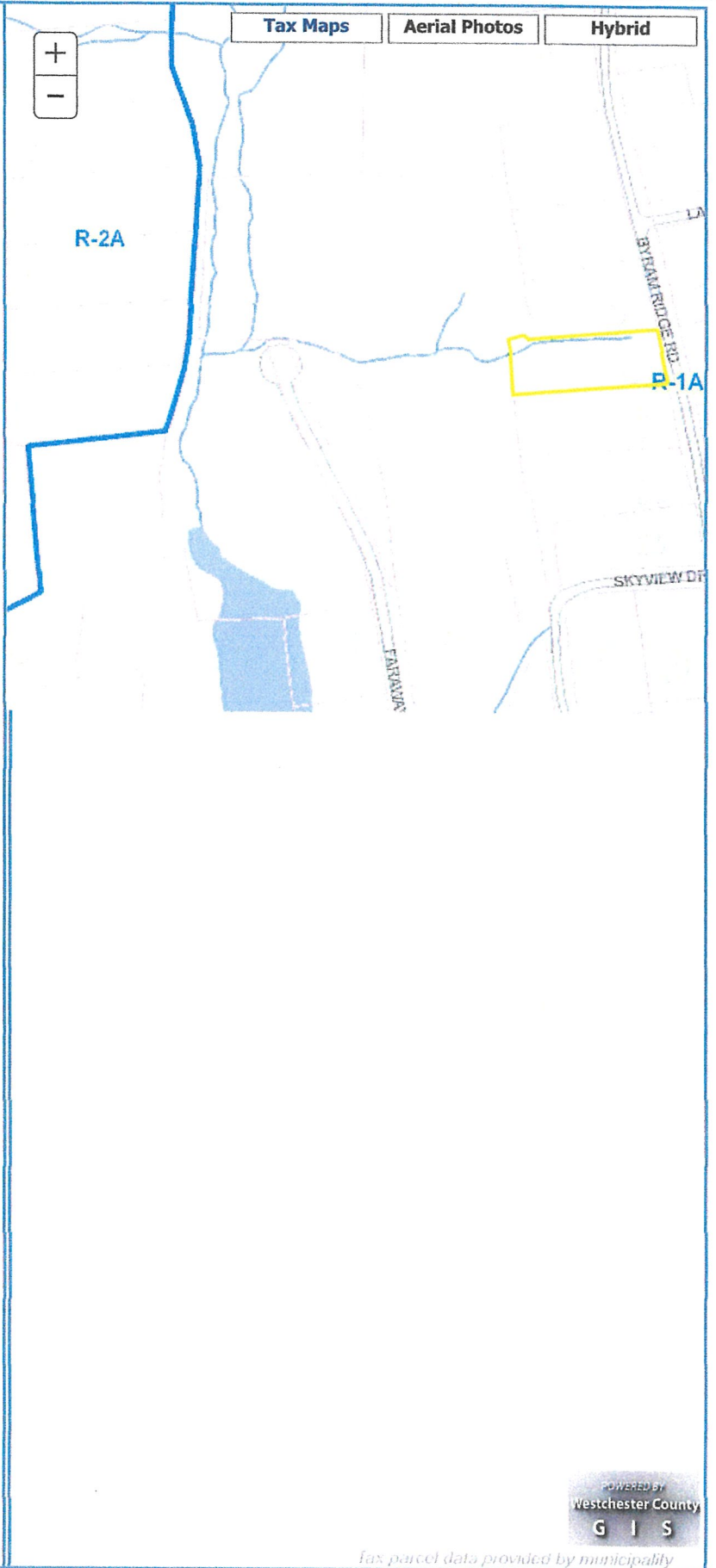
Search by owner's name

83 BYRAM RIDGE RD

Search

1 parcel was found. [Clear](#)

Owner	Prop Address	Printkey
n/a	83 BYRAM RIDGE RD	101.01-1-21





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

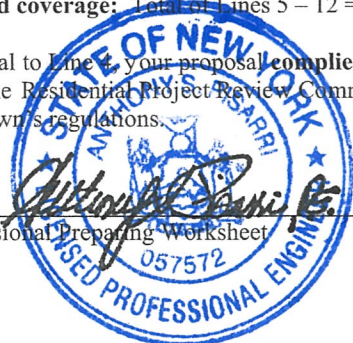
Application Name or Identifying Title: James & Fran Seiferheld Date: 9/15/22
 Tax Map Designation or Proposed Lot No.: 101.01-1-21

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 48,351.60 S.F.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 9,781,244 S.F.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
83' x 10 = 830 83 S.F.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 9,864,224 S.F.
5. Amount of lot area covered by **principal building**:
1794.75 existing + 0 proposed = 1794.75
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
696.17 existing + 0 proposed = (Existing since 1978) 696.17
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
2623.93 existing + 0 proposed = 2623.93
10. Amount of lot area covered by **terraces**: (concrete)
1860 existing + 0 proposed = 1860
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
830 existing + 0 proposed = 830
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 5,309.05

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



9/15/2022
 Date

Coverage Breakdown Analysis

Main House

55'x29'	=	1595 sf
16'x7'	=	112 sf
13.5'x2.5'	=	33.75 sf
13.5'x 4'	=	<u>54 sf</u>
Total		1,794.75 sf

Wooden Deck Small

6'-7 1/2" x 25'1 1/2"	=	166.45 sf
14.25'x2'-7 1/2"	=	37.40 sf
10'-10 1/2" x 2'-7 1/2" / 2	=	<u>14.27 sf</u>
Total		218.12 sf

Wooden Deck Large

6'-7 1/2" 25'	=	165.62 sf
25'x5.075' / 2	=	63.43 sf
24'x6'	=	144 sf
6'x24' / 2	=	72 sf
6'x5.5' steps	=	<u>33 sf</u>
Total		478.05 sf

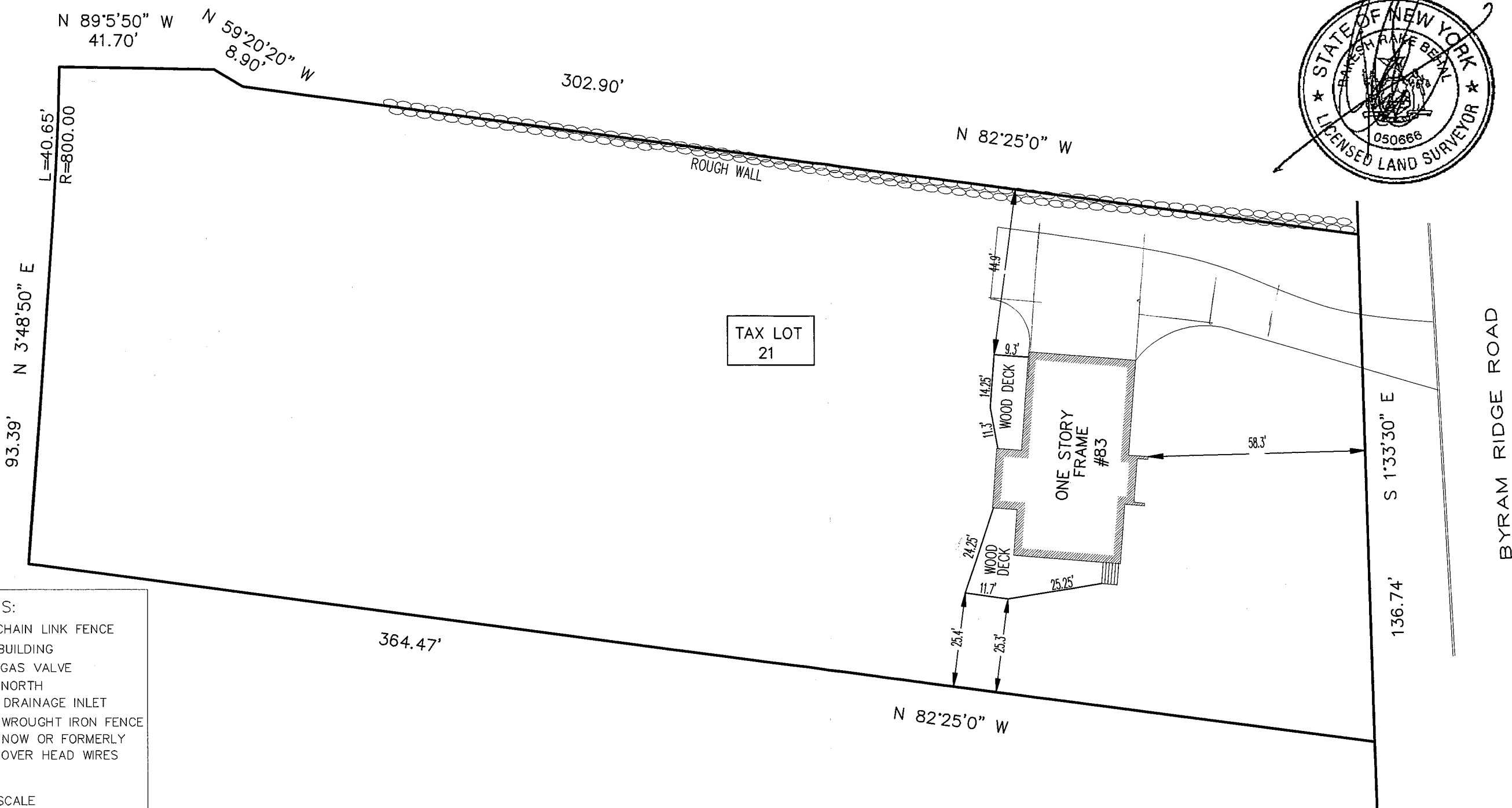
Walks

24" x 12'	=	24 sf
27'-8" x 24"	=	55.33 sf
3'-6" x 35'	=	122.50 sf
60'x3'-6"	=	<u>210 sf</u>
Total		411.83 sf

Driveways

13'x27'	=	351 sf
15'x17'	=	255 sf
15'x20'	=	300 sf
13'x20' / 2	=	130 sf
30'x29'	=	870 sf
18'x12'	=	216 sf
12'x15' / 2	=	<u>90 sf</u>
Total		2,212 sf

Overall = 5,309.05 sf provided vs. 9,781.244 sf allowed which complies



Summit Land Surveying P.C.
 21 Drake Lane
 White Plains NY 10607
 (914) 629-7758
 Info@slspsc.us

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

- LEGENDS:**
- C.L.F. CHAIN LINK FENCE
 - BLDG. BUILDING
 - GV GAS VALVE
 - 0.4'N NORTH
 - DI DRAINAGE INLET
 - W.I.F. WROUGHT IRON FENCE
 - N/F NOW OR FORMERLY
 - O.H.W. OVER HEAD WIRES

DO NOT SCALE

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAYS AND/OR BASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS VIOLATION OF 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.

NOT FOR TITLE TRANSFER.

SCALE: 1"= 30'
 Measurement in U.S. Standard.

DATE: 09-15-2022.

JOB NUMBER
WCRO5794-PO.

SURVEY SHOWING DECK LOCATION AT
TAX LOT 21 IN BLOCK 1, SECTION 101.01
 AS SHOWN ON THE OFFICIAL TAX MAPS OF
 TOWN OF NORTH
 LOCATED AT
TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY STATE OF NEW YORK.

ADDRESS: 83 BYRAM RIDGE ROAD, NORTH CASTLE, N.Y.

COPYRIGHT ©2022 SUMMIT LAND SURVEYING P.C.

SECTION: 2 BLOCK: 50
LOTS: 10A SHEET:

TITLE #: N55005137NY

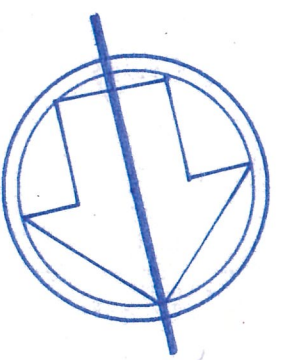
TITLE SURVEY OF Number 83 Byram Ridge Road AS SHOWN ON Tax Lot 10A Block 50 Section 2 SITUATED IN Town of North Castle West Co, New York FILED IN THE COUNTY CLERK'S OFFICE

PREPARED BY: EDWARD G. MIHALCZO LAND SURVEYOR LLC 24 BERKSHIRE ROAD YONKERS, NEW YORK 10710 (914)476-1453 (914)969-2341 FAX

Edward G. Mihalczko
EDWARD G. MIHALCZO LAND SURVEYOR LLC
NEW YORK STATE LICENSE # 36181
DATE: April 5, 2007

GUARANTEED TO: America's Wholesale Lender, Its Successors and/or assigns, Nationwide Settlement Solutions, Inc. James Seiferheld Frances Seiferheld and limited to the number N55005137 NY only

THIS SURVEY WAS PREPARED FOR TITLE TRANSFER UNDER THE SPECIFIC TITLE NUMBER LISTED ABOVE GUARANTEES OR CERTIFICATIONS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS ALL CERTIFICATIONS HEREON ARE VALID FOR THE MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON UNAUTHORIZED ALTERATION OF THIS DOCUMENT IN ANY WAY CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW 289(2) THIS SURVEY IS NOT TO BE UPDATED BY "VISUAL INSPECTION"
COPYRIGHT 2007 EDWARD G. MIHALCZO LAND SURVEYOR LLC ALL RIGHTS RESERVED INCLUDING RIGHTS OF REPRODUCTION
THIS SURVEY IS BASED UPON INFORMATION PROVIDED BY CLIENT OR CLIENT'S REPRESENTATIVE AND SUBJECT TO THE FINDINGS OF A COMPLETE TITLE REPORT THIS SURVEY IS NOT TO BE USED BY DESIGN PROFESSIONALS, CONTRACTORS, PROPERTY OWNERS OR ANY OTHER ENTITIES TO DESIGN OR ERECT STRUCTURES, LANDSCAPING, PREPARE SITE PLANS, APPLY FOR BUILDING PERMITS OR ZONING VARIANCES ENCROACHMENTS BELOW GRADE AND OR SUB GRADE FEATURES IF ANY NOT VISIBLE AT TIME OF SURVEY ARE NOT SHOWN ON THIS MAP THERE WERE NO STAKES SET AS PART OF THIS SURVEY SURVEYED "AS IN POSSESSION"

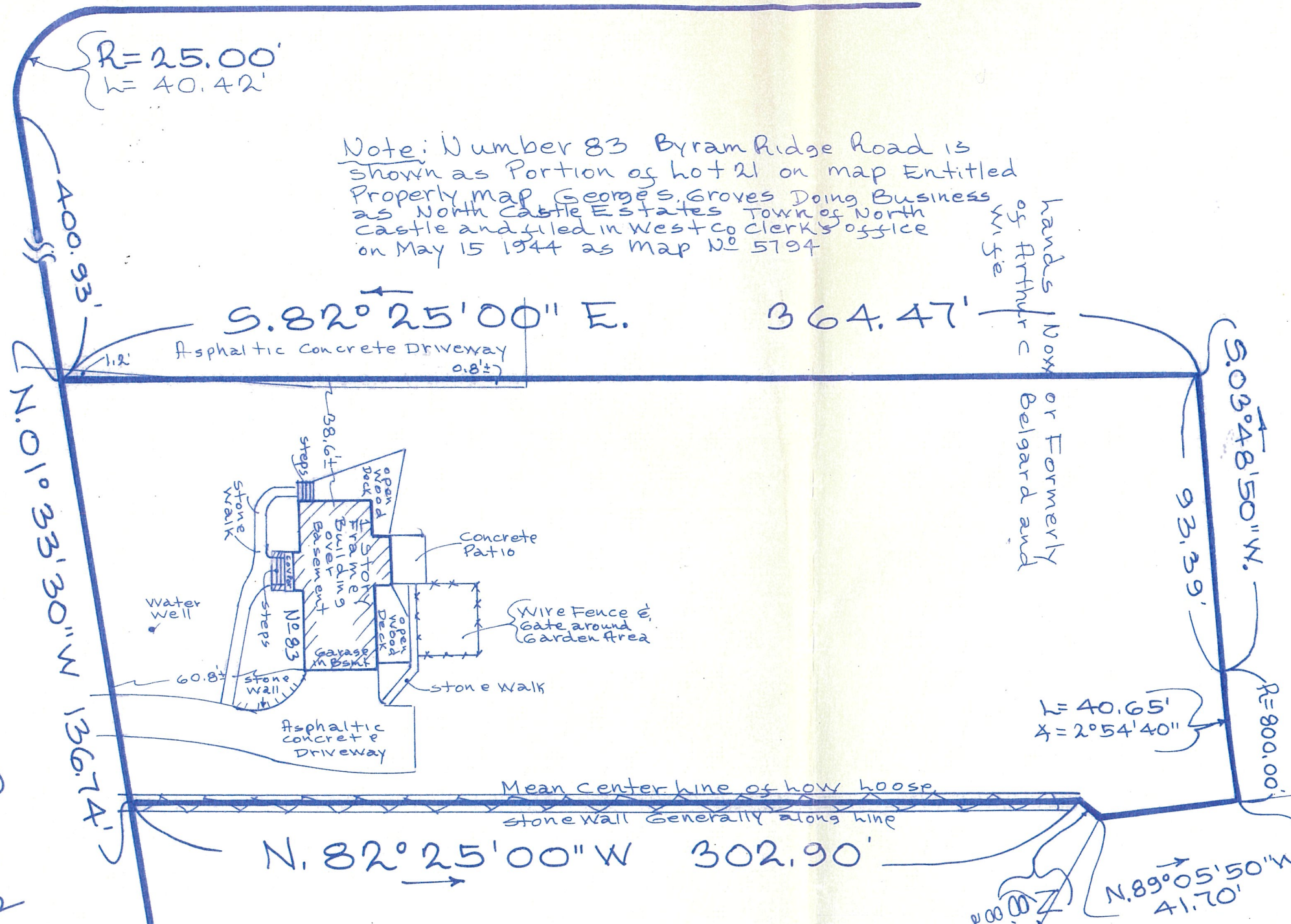


Armonk Heights Road

R=25.00'
L=40.42'

Note: Number 83 Byram Ridge Road is shown as Portion of lot 21 on map Entitled Properly map Georges Groves Doing Business as North Castle Estates Town of North Castle and filed in Westco clerk's office on May 15 1944 as map No 5794

hands Nov or Formerly of Arthur C Belgard and wife



Byram Ridge Road

Southerly line of lot No 23 As shown on File Map No 5794

N.59°20'20" W. 8.90' Described as 8.90'± on map 5794 and survey

783524

TITLE No. 78-6005881

78-60-06447

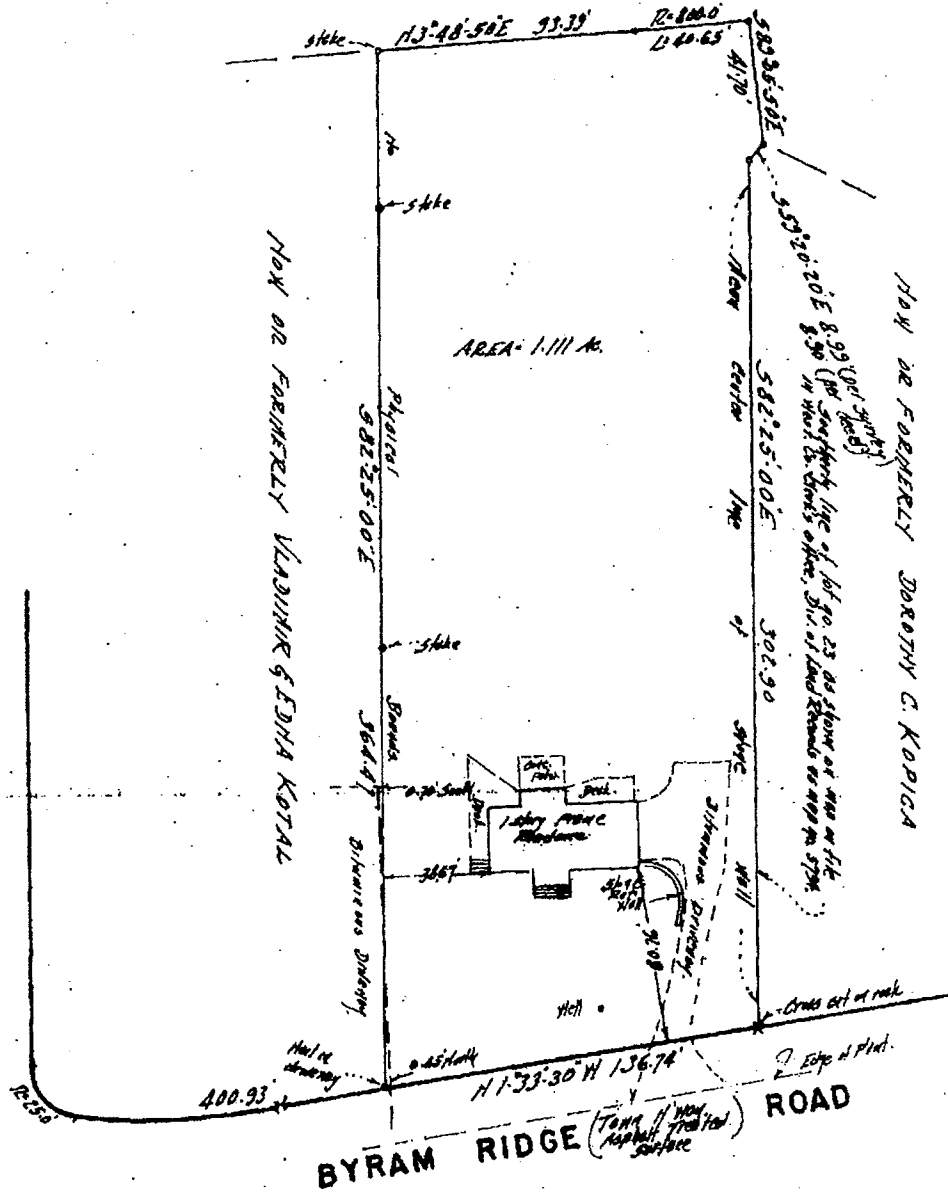
HOW OR FORMERLY CHARLES & DOROTHY ELSON

ARMONK HEIGHTS RD.

HOW OR FORMERLY VLADIMIR & EDNA KOTAL

HOW OR FORMERLY DOROTHY C. KOPICA

AREA 1.111 AC.



This is to certify that the field work for this survey was completed Aug. 24, 1978 and that this map was completed Aug. 30, 1978.

Certified as correct to the U.S. Life Title Insurance Co. and Peoples Westchester Savings Bank.

Ralph L. McDonald

RECEIVED
JUL 20 1978

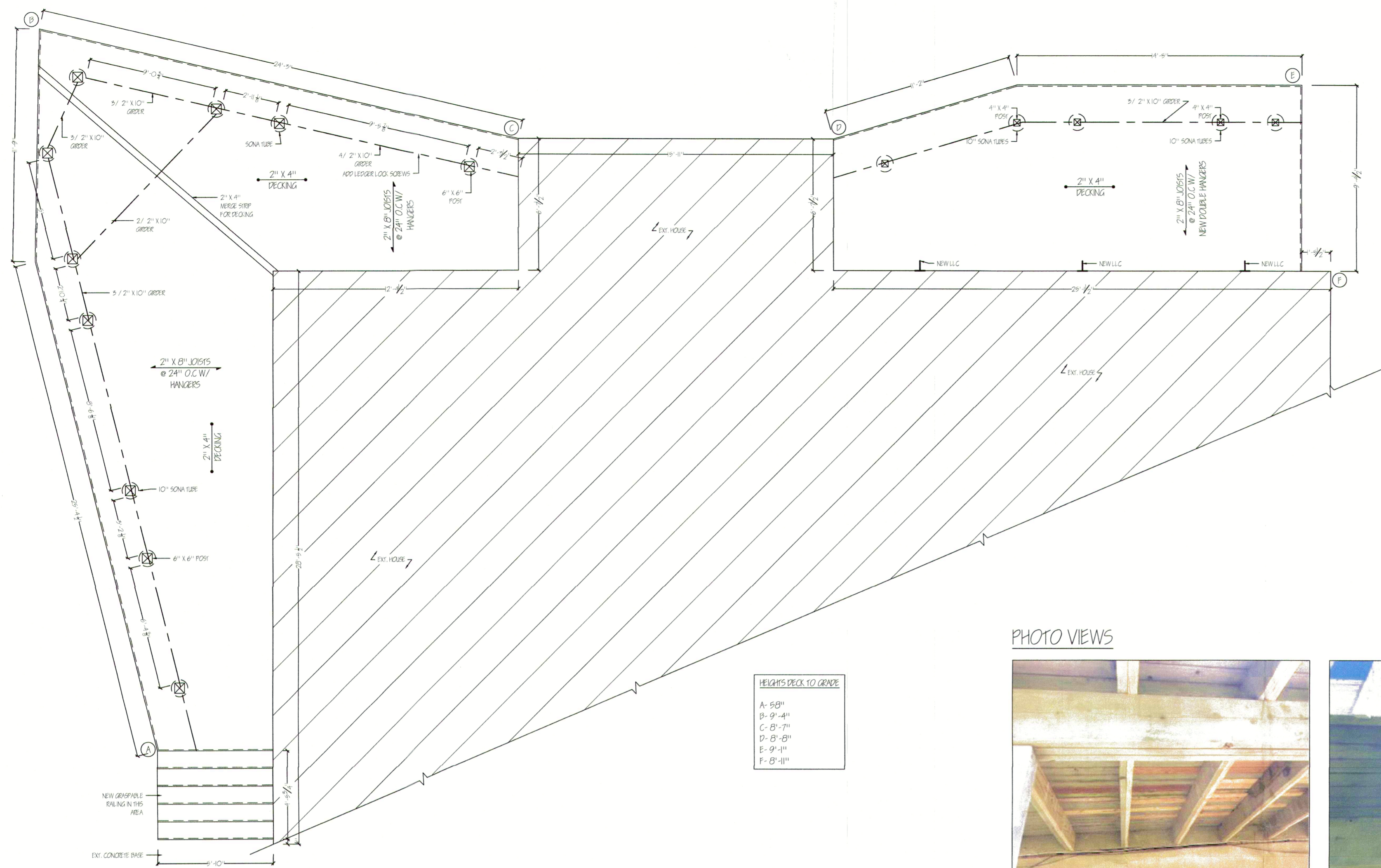
TOWN OF NORTH CASTLE, N. Y.
BUILDING DEPARTMENT

SURVEY OF PROPERTY
PREPARED FOR
JOHN DALY

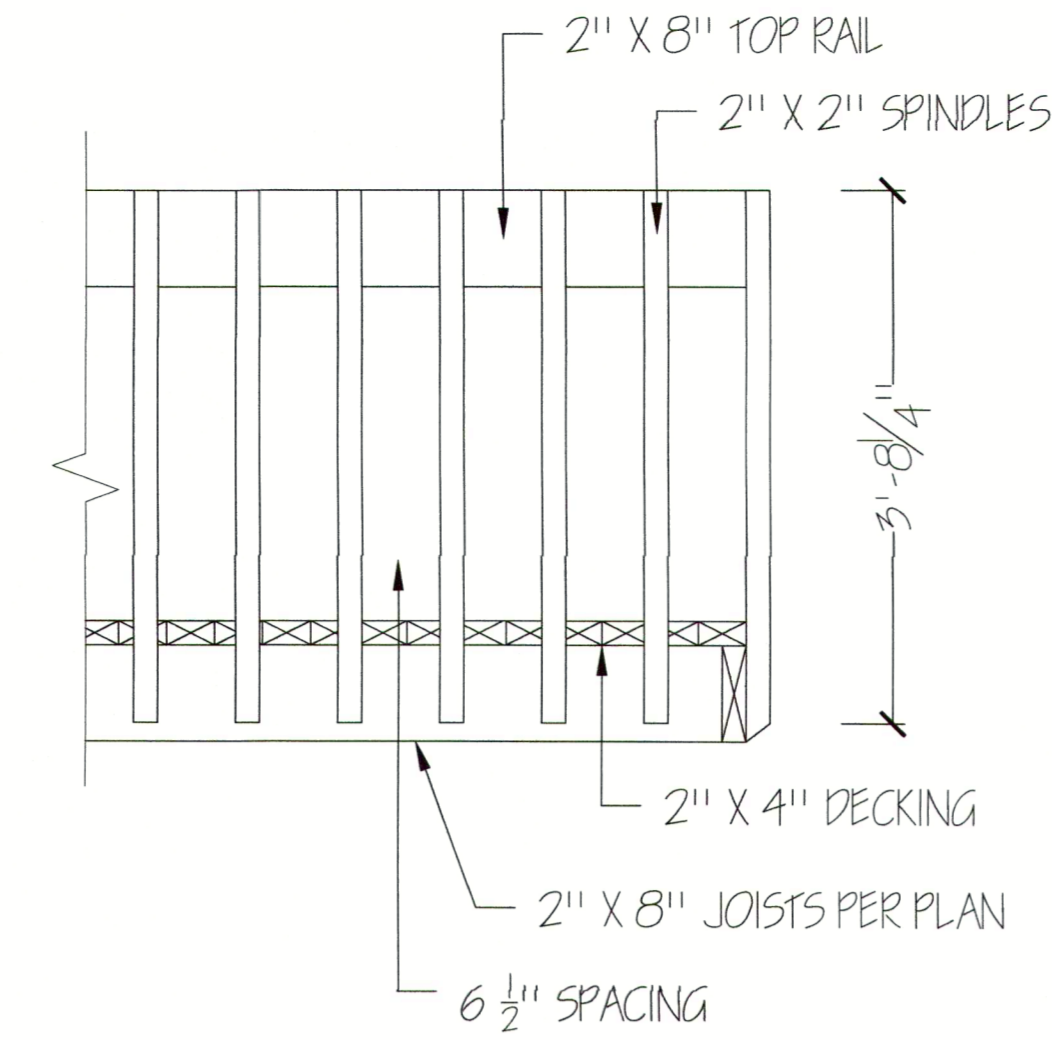
TOWN OF NORTH CASTLE WEST CO., N.Y.

SCALE 1" = 40'

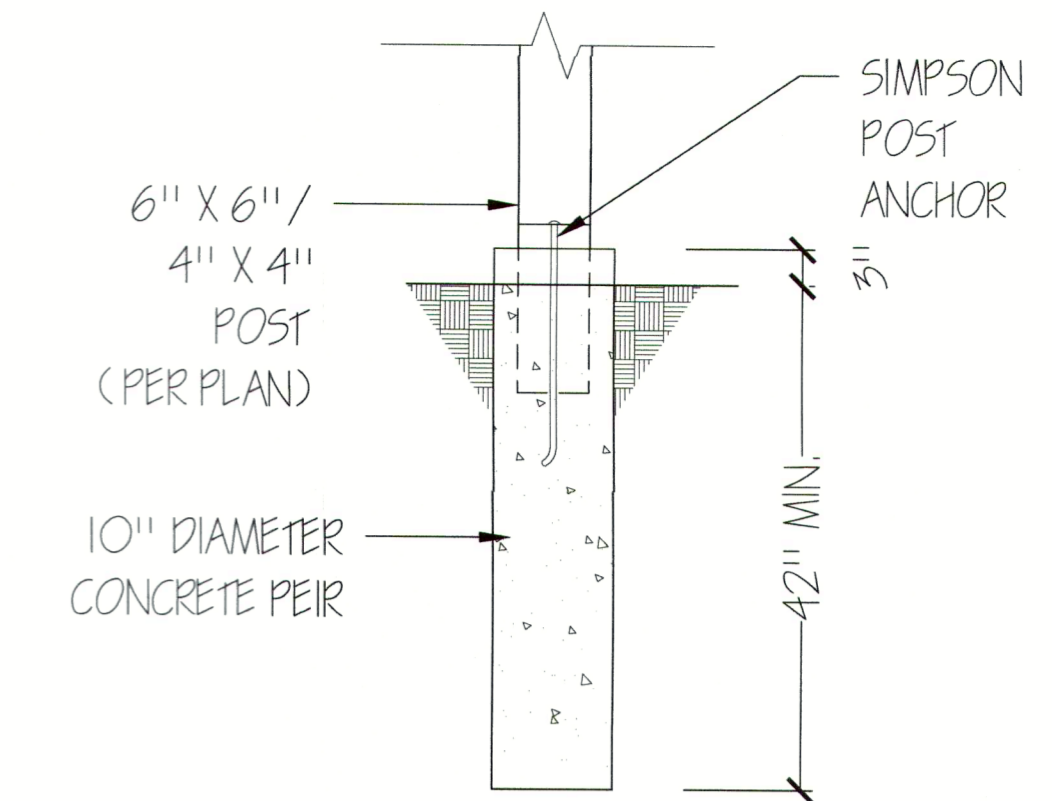
AUG. 30, 1978.



WOODEN DECK PLAN VIEW
SCALE: 3/4" = 1'-0"



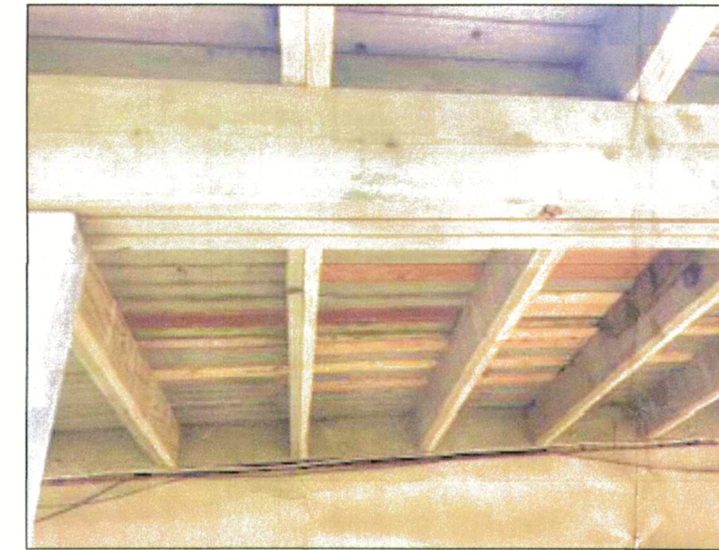
DECK RAILING DETAIL
SCALE: 3/4" = 1'-0"



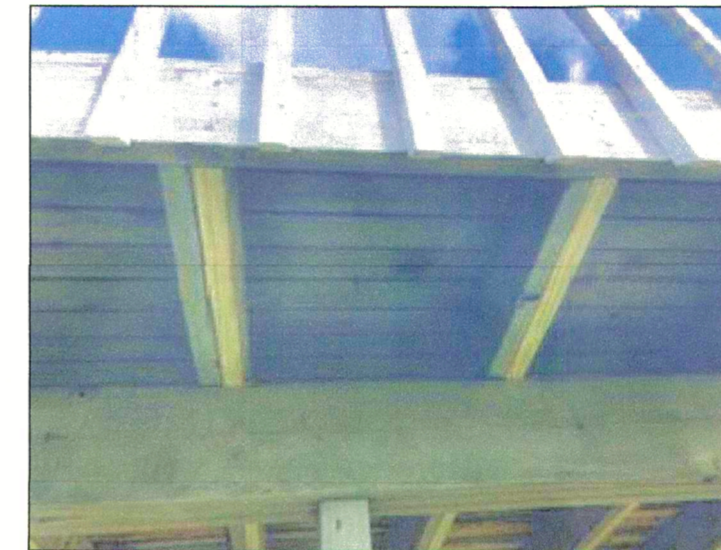
PIER DETAIL TYP.
SCALE: 3/4" = 1'-0"

HEIGHTS DECK TO GRADE	
A:	5'-0"
B:	6'-0"
C:	6'-7"
D:	6'-8"
E:	6'-11"
F:	6'-11"

PHOTO VIEWS



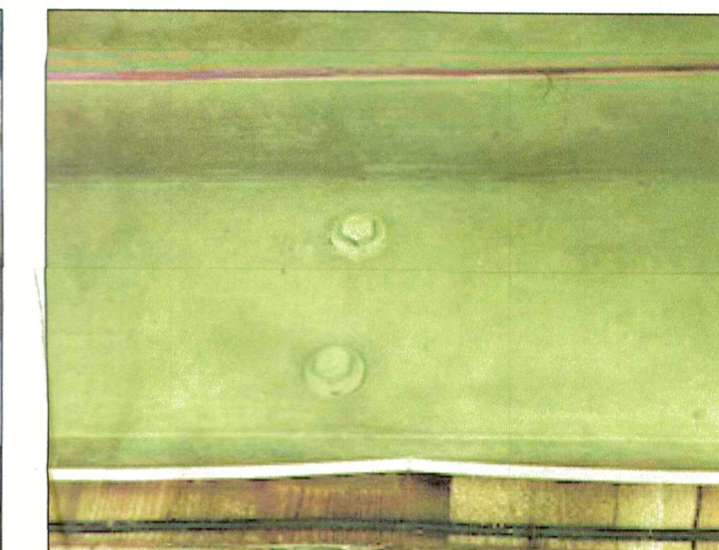
GIRDER/ JOISTS



GIRDER/ JOISTS



DECKING SPINDLES



THRU BLOTS



POST/ PIER



GIRDER/ JOISTS



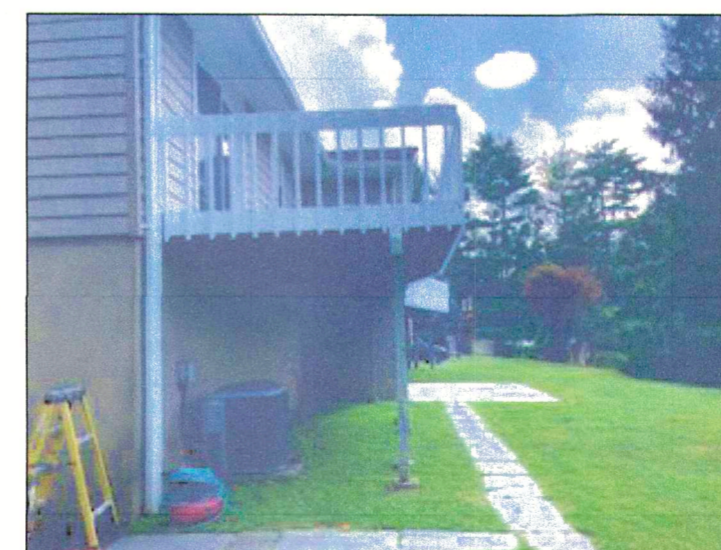
GIRDER/ JOISTS



DECK



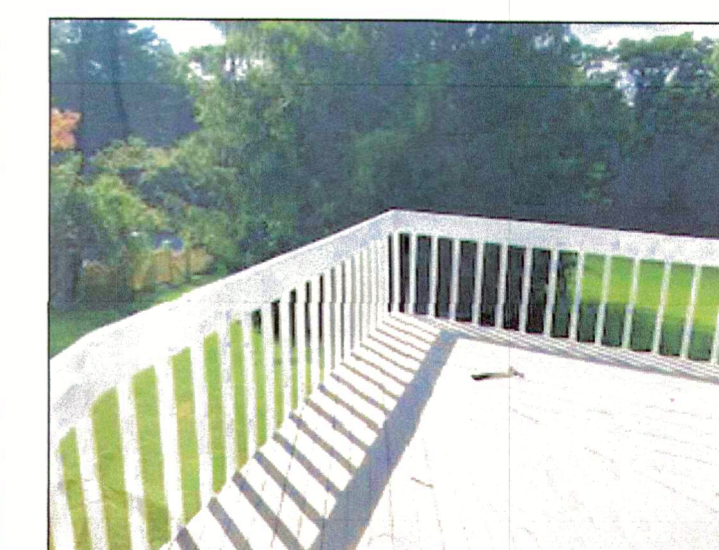
DECK



DECK



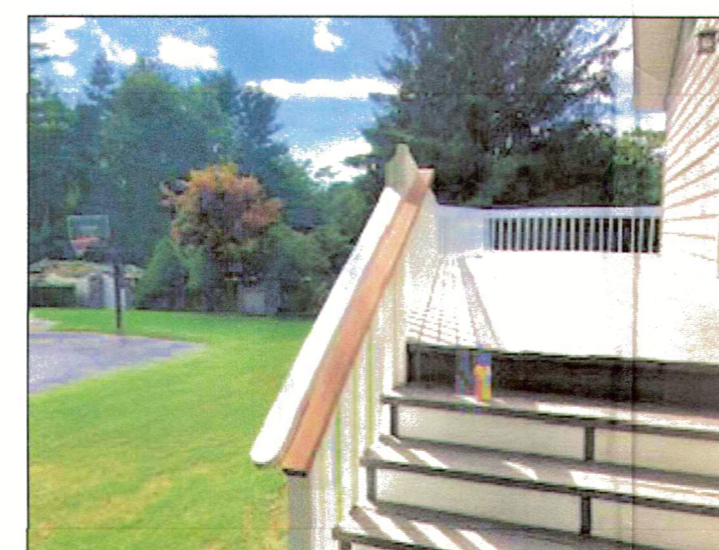
DECK



DECK



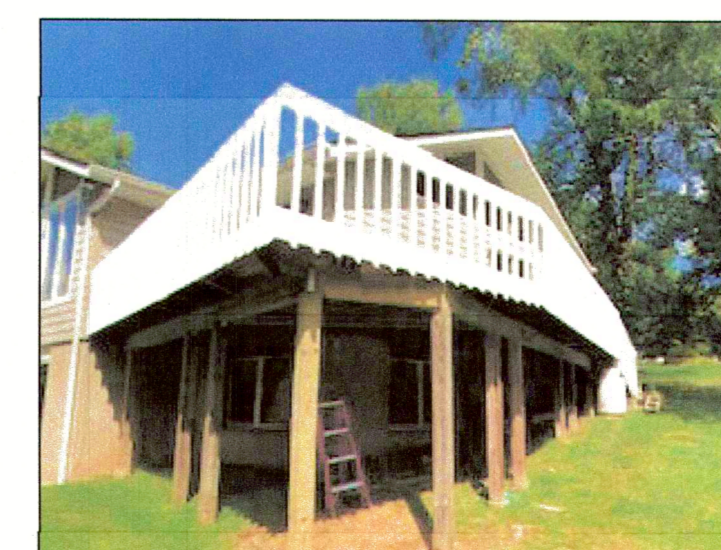
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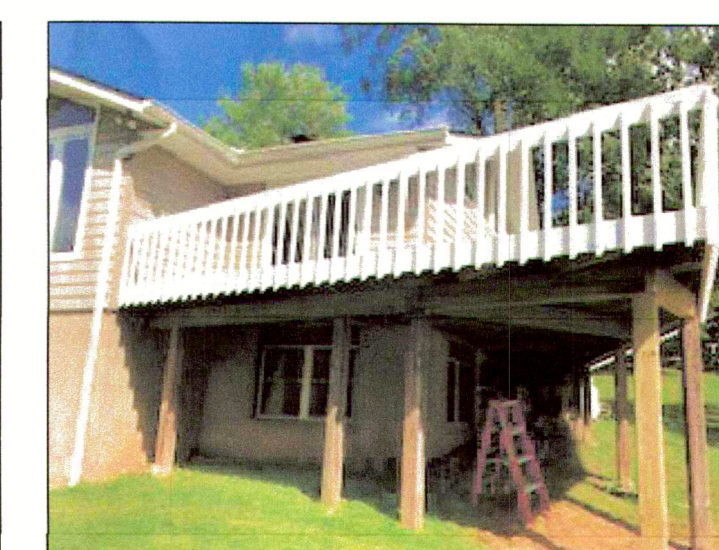
DECK



DECK



DECK



DECK

30 / CO
Note: Residence to be provided w/ new smoke and CO detectors per NY State Code

- Smoke / Carbon Monoxide Detector
- Smoke Detector

General notes (Where applicable)

- All work shall conform to local and state building codes and regulations of all other agencies having jurisdiction.
- Contractor shall obtain and pay for all required permits.
- All materials shall be new and of best quality.
- Contractor is to be fully covered by Workmen's Compensation Liability insurance as may be required by local jurisdiction.
- Contractors to remove all debris from premises as required.
- Tap and splice as required.
- Patch and repair interior and exterior walls, floors and ceilings as required.
- All new sheetrock to align with existing.
- Firestopping to be installed as required by code. Concealed spaces within the walls, partitions, floors, stairs and around chimneys, pipe and duct openings in such construction, shall be firestopped to prevent the passage of flame, smoke, fumes and hot gases.
- Firestopping to be installed where new work joins existing.
- Smoke detection, regardless of the category of work, smoke detectors shall be provided where required by R-312 of NYC Residential Code.
- Smoke detectors shall have an audible alarm. Both battery and electrically operated hardwired devices are acceptable.
- Carbon monoxide detector to be installed as per New York state codes. (as needed)
- All framing to be done in accordance with the latest addition of the "National design specification for stress graded lumber and it's fasteners" as published by the national lumber manufacturers association.
- All lumber and wood shall be kiln dried, free from rot, larva, loose knots and other imperfections.
- Framing lumber shall be Douglas fir / Larch No. 2 or better with min. PF=1200 psi and E=1,700,000 psi.
- All framing lumber shall bear visible grade stamps.
- Provide all needed lockers, hookups, rollers, caps, spacers and framing hardware for a complete job.
- Set posts and rafters with crown up.
- All lumber in contact with masonry to be pressure-treated.
- Plywood for subfloor shall be APA rated s4-d floor exp. 1, T&G s4ps.
- Placed room and wall sheathing shall be APA rated for sheathing. Grade stamp visible on all sheets. Support all edges.
- Provide X-bracing or solid blocking at mid span of joists and rafters or at 8 ft. on center intervals.
- Pressure treated (PT) wood shall be treated Southern yellow Pine. Sawdust and wood scraps shall be contained and disposed off as recommended by NFAA. Pressure treated wood shall not be burned.
- All nails and screws, bolts and other metal coming in contact with pressure treated wood shall be hot dipped galvanized.
- Contractors to provide all temporary shoring and partitions as needed.
- Electrical work, wires and equipment shall conform to the National Electrical Code (NEC) latest addition and all regulatory agencies.
- Contractor to remove existing debris as needed.

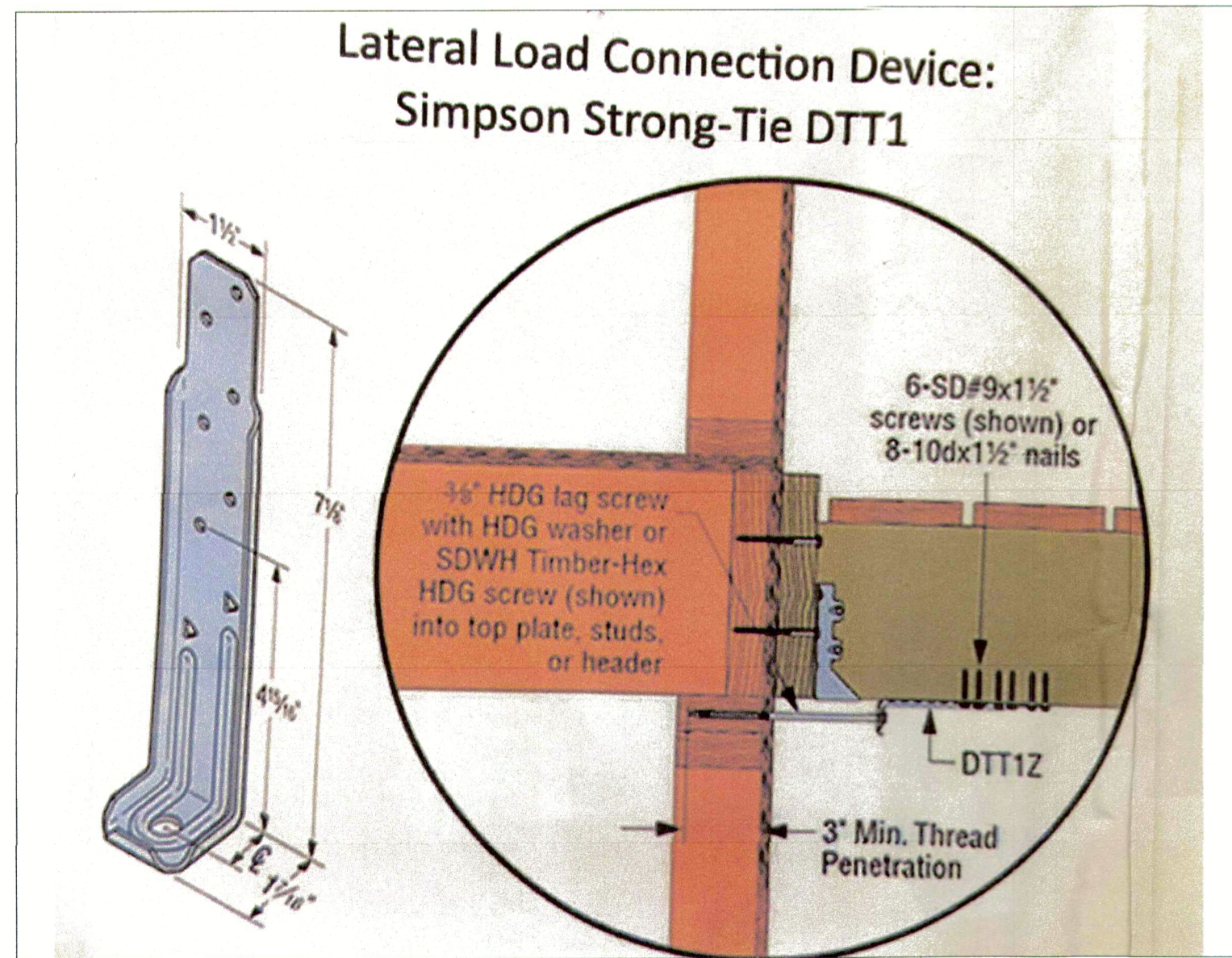
Notes:
- All decks to be legalized under the State Building Construction Code applicable to one- and two-family dwellings dated Jan. 1st 1973.
- Pre-dates NYS Energy Code.

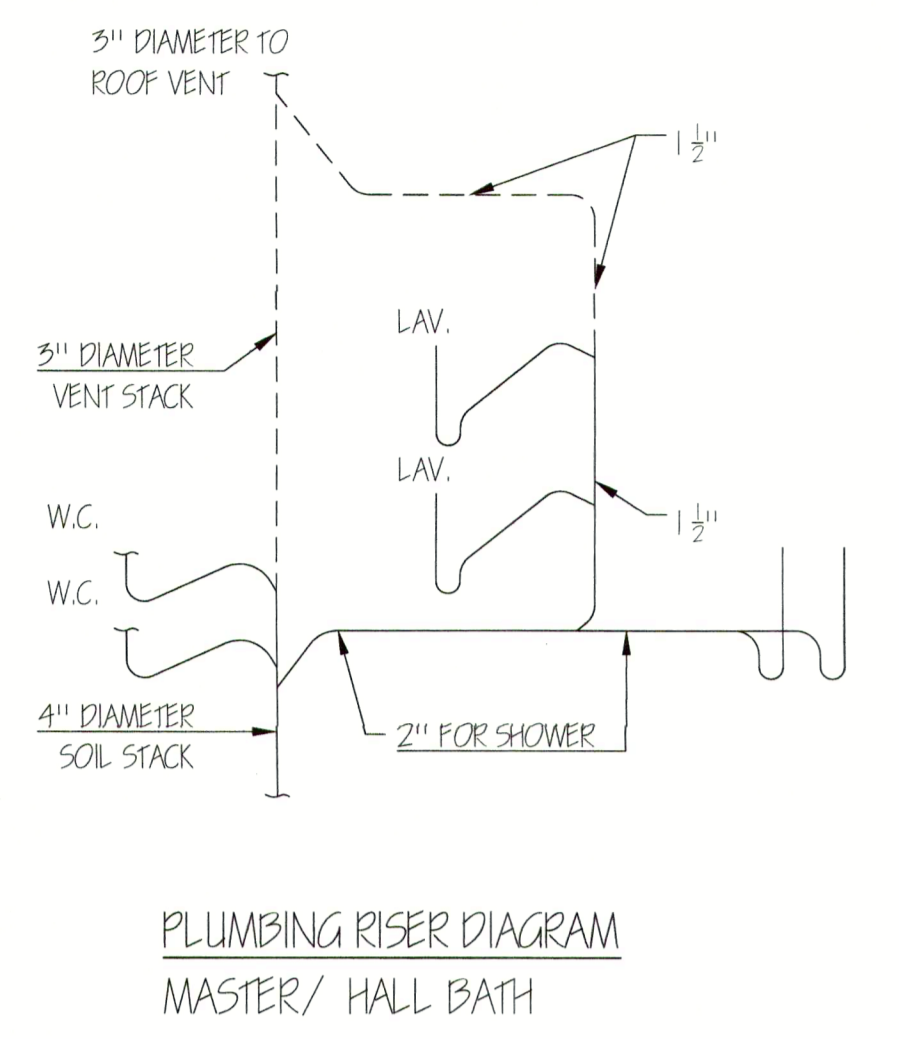
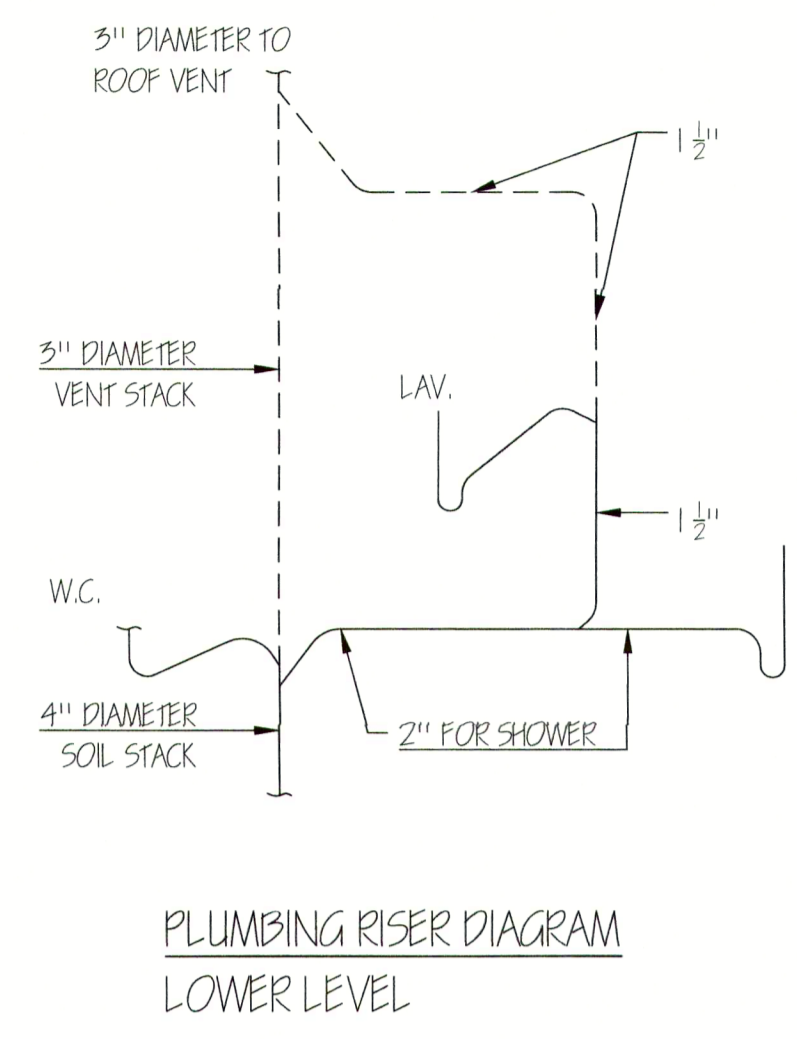
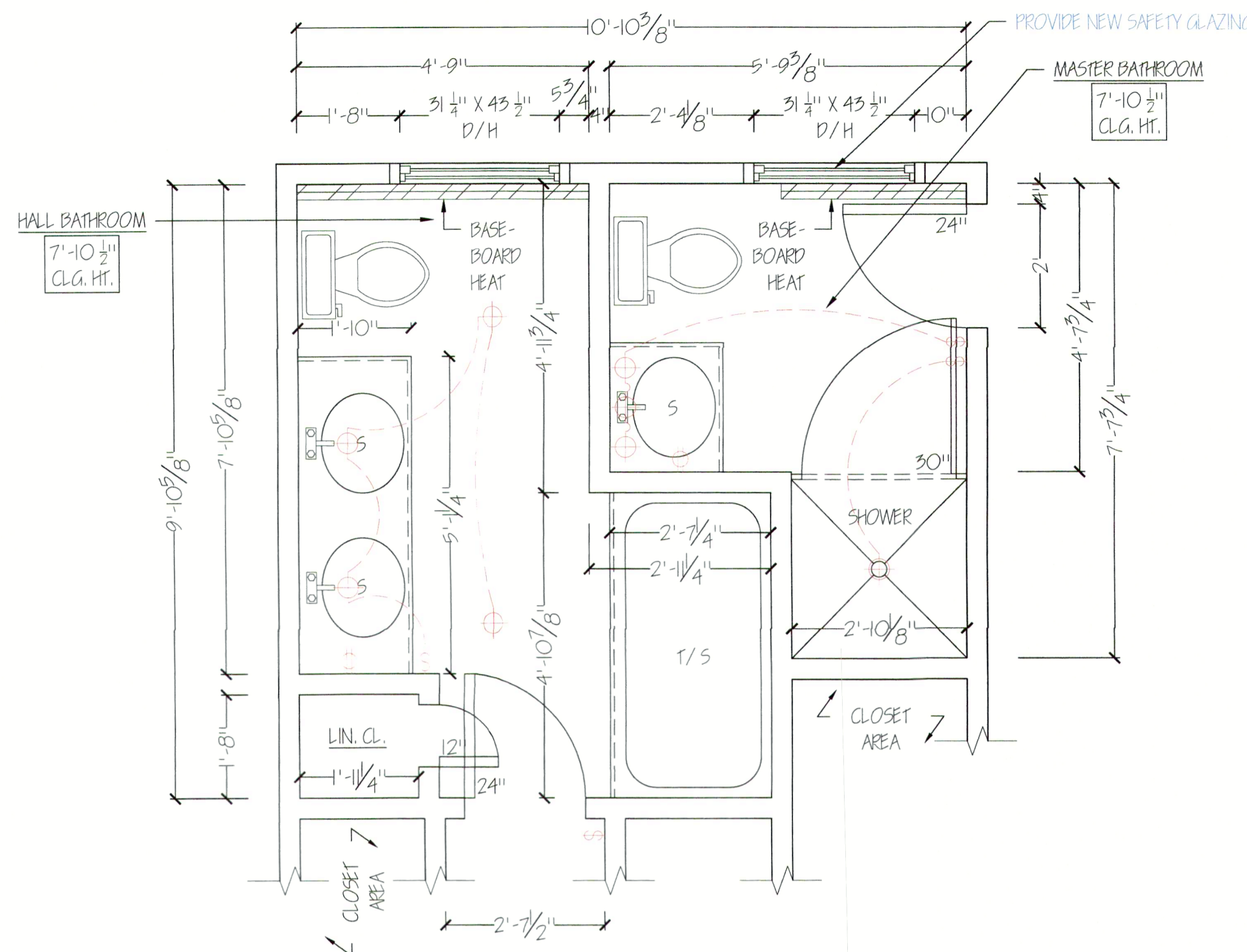
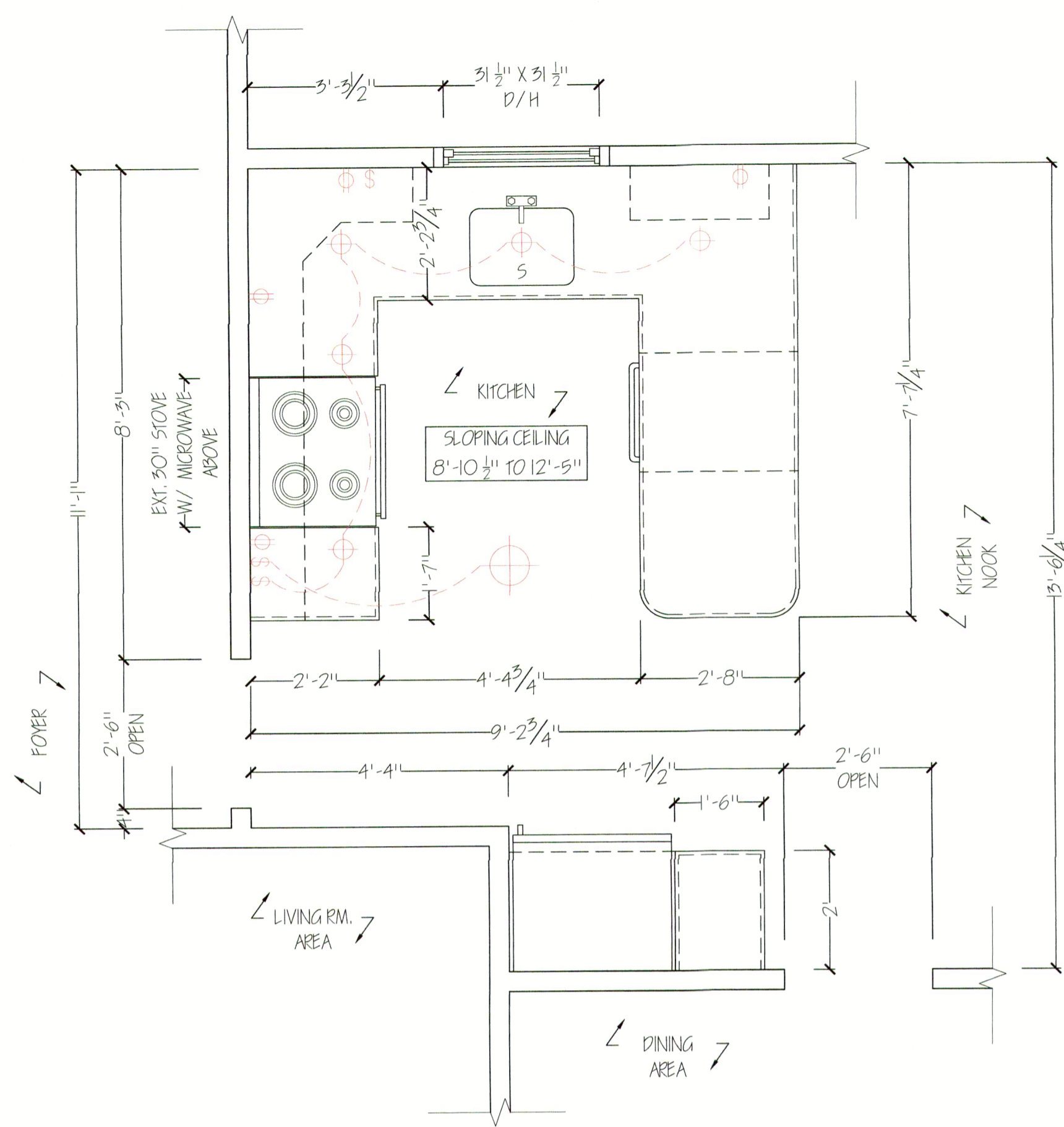
DATE: 9/1/2022	APPROVED BY: Michael A. Testa, Jr.
REVISION: 9/15/2022	

AS-BUILT PLAN DEPICTING IMPROVEMENTS TO KITCHEN, FIRST FLOOR AND LOWER-LEVEL BATHROOMS AND REAR WOODEN DECKS FOR RESIDENCE OF MR. AND MRS. JAMES SEIFERHELD LOCATED AT 83 BYRAM RIDGE RD ARMONK, NEW YORK

SCALE: AS NOTED	PAGE # 1 OF 2
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FOR BUILDING DEPARTMENT FILE / LEGALIZATION



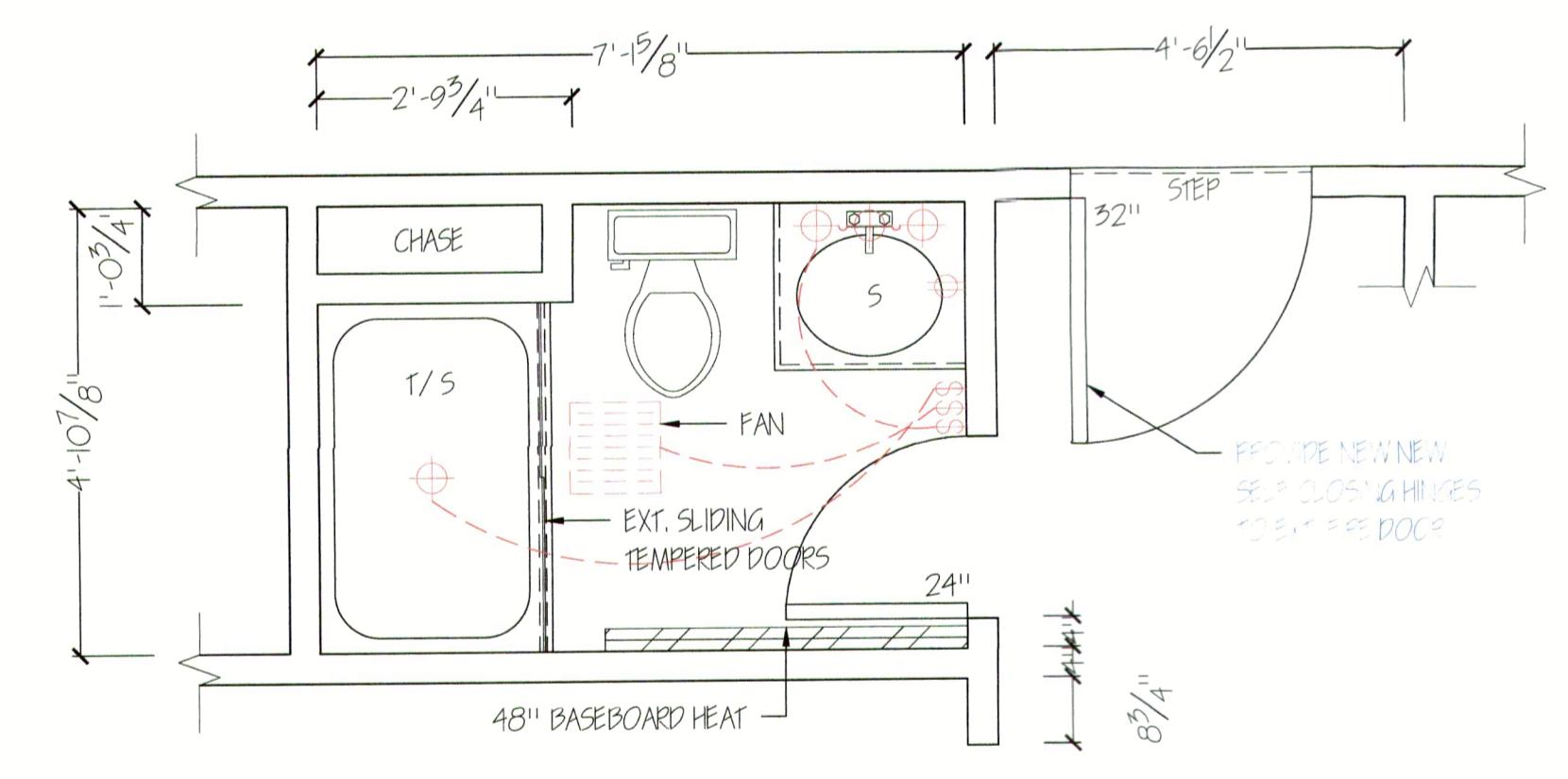


Notes: Residence to be provided w/ new smoke and CO detectors per NY State Code

- Smoke/Carbon Monoxide Detector
- Smoke Detector

AS-BUILT KITCHEN PLAN VIEW
SCALE: 1/4" = 1'-0"

PHOTO VIEWS



General notes (Where applicable)

- All work shall conform to local and state building codes and regulations of all other agencies having jurisdiction.
- Contractor shall obtain and pay for all required permits.
- All materials shall be new and of best quality.
- Contractor is to be fully covered by Workmen's Compensation Liability Insurance as may be required by local jurisdiction.
- Contractors to remove all debris from premises as required.
- Tape and spackle as required.
- Finish and repair interior and exterior walls, floors and ceilings as required.
- All new gypsum board to align with existing.
- Firestopping to be installed as required by code. Concealed spaces within the walls, partitions, floors, stairs and around chimneys, pipe and duct openings in such construction, shall be firestopped to prevent the passage of flame, smoke, fumes and hot vapors.
- Firestopping to be installed where new work joins existing.
- Smoke detection, regardless of the category of work, smoke detectors shall be provided where required by R-503 of IRC Residential Code.
- Smoke detectors shall have an audible alarm. Bath battery and electrically operated horn/doorbell devices are acceptable.
- Carbon monoxide detector to be installed as per New York state codes. (as needed)
- All framing to be done in accordance with the latest addition of the "National design specification for stress graded lumber and it's fastenings" as published by the national Lumber manufacturers association.
- All Lumber and Wood shall be kiln dried, free from rot, large base knots and other imperfections.
- Framing Lumber shall be Douglas Fir/Larch No. 2 or better with min. FB=1200 p.s.i. and E=1,700,000 p.s.i.
- All framing lumber shall bear visible grade stamp.
- Provide all needed lockers, blocking, nailing, cuts, grounds and framing hardware for a complete job.
- Set girts and rafters with crown up.
- All Lumber in contact with masonry to be pressure-treated.
- Plywood for subfloor shall be APA rated strand-1/Floor exp. 1, 18G grades.
- Plywood room and wall sheathing shall be APA rated for sheathing. Grade stamp visible on all sheets. Support all edges.
- Provide X-bracing or solid blocking at mid span of joists and rafters at 8' B.C. on center intervals.
- Pressure treated (PT) wood shall be treated Southern yellow Pine. Sawdust and wood scraps shall be contained and disposed off/removed by MFR. Pressure treated wood shall not be burned.
- All nails and screws, bolts and other metal coming in contact with pressure treated wood shall be hot dipped galvanized.
- Contractors to provide all temporary shoring and partitions as needed.
- Electrical work, wiring and equipment shall conform to the National Electrical code (NEPA) latest addition and all residential agencies.
- Contractor to remove existing debris as needed.

Notes:
- All decks to be legalized under the State Building Construction Code applicable to one- and two-family dwellings dated Jan. 1st 1973.
- Pre-dates NYS Energy Code.

DATE: 9/1/2022 APPROVED BY: Michael A. Testa, Jr.
REVISION: 9/15/2022

AS-BUILT PLAN DEPICTING IMPROVEMENTS TO KITCHEN, FIRST FLOOR AND LOWER-LEVEL BATHROOMS AND REAR WOODEN DECKS FOR RESIDENCE OF MR. AND MRS. JAMES SEIFERFELD LOCATED AT 83 BYRAM RIDGE RD ARMONK, NEW YORK

SCALE: AS NOTED PAGE #: 2 OF 2
FOR BUILDING DEPARTMENT FILE / LEGALIZATION

