

**GENERAL NOTES**

- 1- Work to conform to all applicable local, state, and national codes.
- 2- Confirm all existing conditions and dimensions before start of work. Report discrepancies to Architect for resolution.
- 3- Concrete 3000psi @ 23 days.
- 4- CMU - STD shapes
- 5- Steel - ASTM A-36
- 6- Lumber

E=1.5 psi	PT YP-Fb 1200psi	6
E=1.6 psi	M-LAMS-Fb 2500psi	6
E=2.0 psi	#2 D-Fir Fb 875/1010psi	6

- 7- All headers (2)2x10 unless noted otherwise.
- 8- All HVAC by OWNER

**HEADER SCHEDULE**

TYPICAL SPAN	SIZE OF HEADER	NOTES
0' - 4'	(2) 2 X 10	HEADER TO BE INSTALLED ABOVE ALL DOOR, WINDOW AND GENERAL OPENINGS IN BEARING
4' - 8'	(2) 2 X 10	WALLS, TECO JOIST HANGERS TO BE USED ON
8' - 12'	(2) 2 X 12	ALL FLUSH HEADERS/CONNECTIONS
ANY OPENING OVER 6 FT OR GREATER		ENDS OF HEADERS TO REST FULLY ON (2) 2 X 4 JACK STUDS UNLESS OTHERWISE NOTED
INSTALL DOUBLE JACK STUDS. ALL HEADERS ARE TYPICAL UNLESS NOTED OTHERWISE.		

**POOL HOUSE PAVILION PLAN**  
SCALE: 3/16" = 1'-0"

**PLAN SIGNING AGREEMENT:**

The signature below certifies that the plans meet with their full approval as per specification and design. This plan sign set supersedes our contract (as far as materials, construction, and design). You will receive all work as shown.

The homeowner further agrees that New Dimensions Remodeling may make changes for further clarification in order to give additional information to its workers. Any major changes which may occur will be subject to homeowner review and approval.

All changes made by homeowner after plan signing may be subject to additional costs.

All electrical wiring required to refeed outlets, switches, or lighting in areas other than where New Dimensions work is taking place will be charged on a time and material basis.  
All pipes and wires concealed in floors, walls, and ceilings will be done on a time and material basis.  
All low voltage equipment supplied by homeowner will be installed on a time and material basis.

All smoke or carbon detectors shown on plan as required by Building Department will be on time and material basis.  
Our price includes labor for basic ceramic tile only unless noted change is in contract. All decorative tile, marble, granite, porcelain tile and glass tile larger than 8"x8" will be subject to additional cost once materials are verified in field. Grout will be supplied by owner.

Note: All wall tile will be set on wonder board.  
Our price for plumbing on all showers unless noted is for 1 shower body and head. Any additional shower bodies and shower heads will be installed on a time and material basis.

New Dimensions Remodeling can not guarantee reset items due to the inherent unknowns of the original installation, age of materials and stress induced by removal and reinstallation. Reset will be at homeowner's request and their risk.  
Any parts required to repair such items will be on a time and material basis.

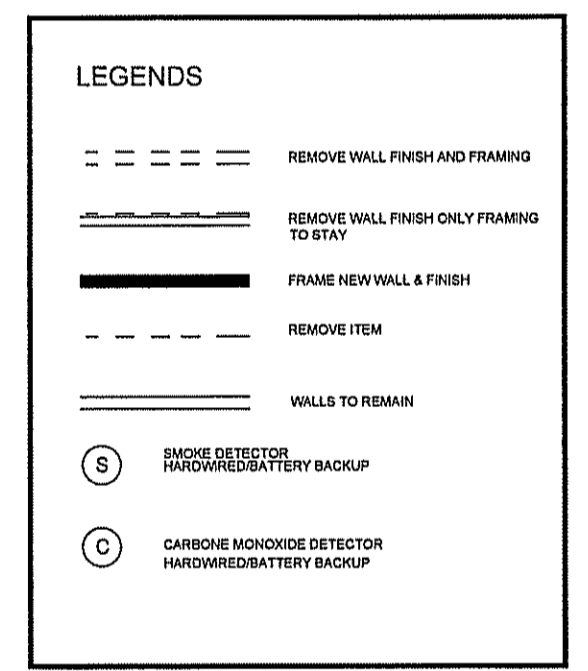
All work required to repair or support hidden, abnormal or incongruous structural elements will be done on a time and material basis.

Homeowner \_\_\_\_\_ New Dimensions \_\_\_\_\_  
Homeowner \_\_\_\_\_ Date \_\_\_\_\_

**SMOKE DETECTORS**  
( IF REQUIRED BY THE BUILD. DEPT. BY OWNER )

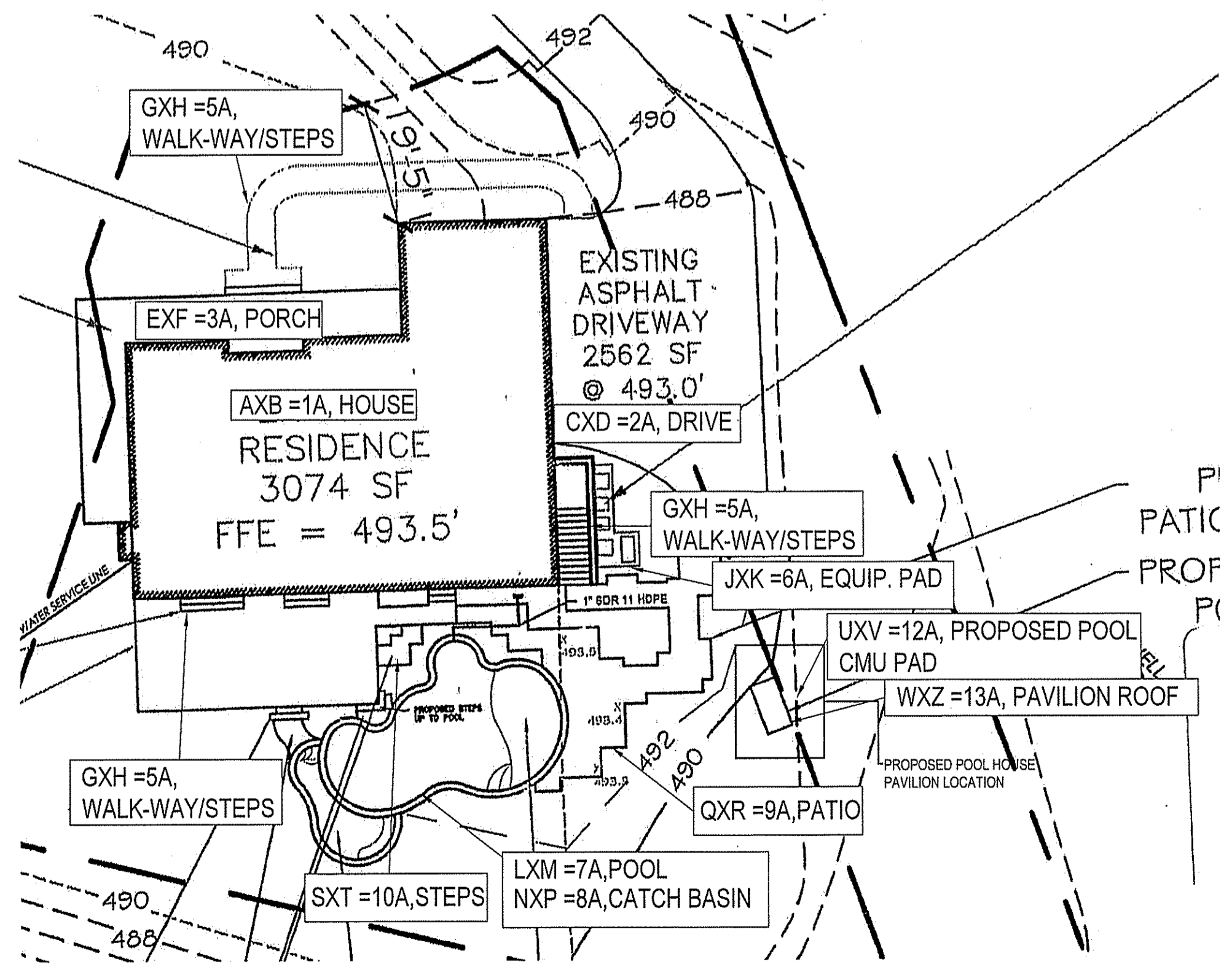
- Each bedroom
- Hall outside bedrooms
- Each floor interconnected , hard wired, w/ battery backup

to comply with code R 517.1.1



**DESIGN LOADS**

	LIVE LOADS	DEAD LOADS
FLOOR	40 lbs/sq. ft.	20 lbs/sq. ft.
ROOF	50 lbs/sq. ft.	10 lbs/sq. ft.



**EXISTING GROSS LAND COVERAGE: HOUSE**

1A HOUSE	3,074 SF
2A DRIVE-WAY	2,562 SF
3A PORCH	600 SF
4A PATIO	720 SF
5A WALK-WAY/STEPS	450 SF
6A EXISTING EQUIP. PAD	66 SF
TOTAL COVERAGE:	7,472 SF

**EXISTING GROSS LAND COVERAGE: POOL**

7A POOL	595 SF
8A CATCH BASIN	107 SF
9A PATIO	860 SF
10A WALK-WAY/STEPS	76 SF
11A POOL EQUIPMENT PAD	32 SF
TOTAL COVERAGE:	1,372 SF

\*TOTAL EXISTING GROSS LAND COVERAGE FOR HOUSE & POOL: 8,844 SF\*

**PROPOSED GROSS LAND COVERAGE: OTHER STRUCTURE**

12A POOL PAVILION CMU PAD	427 SF
13A POOL PAVILION ROOF	504 SF
TOTAL PROPOSED COVERAGE:	931 SF

\*TOTAL PROPOSED & EXISTING GROSS LAND COVERAGE: 9,775 SF\*

**PARTIAL SITE PLAN - NTS**  
SCALE: 3/16" = 1'-0"

NO CHANGE TO FOOTPRINT OF EXISTING HOUSE.

THE PROPOSED DESIGN COMPLIES WITH 2020 NEW YORK STATE ENERGY CODE PER SECTION R402 PRESCRIPTIVE METHOD.

2020 RESIDENTIAL CODE OF NYS WAS USED TO DESIGN THIS PROJECT.

**PROJECT SCOPE: POOL PAVILION - DEMO**

1. PREP AREA FOR COVERED POOL PAVILION.

**PROJECT SCOPE: POOL PAVILION - FOUNDATION CONSTRUCTION**

1. EXCAVATE FOR NEW FOUNDATION.
2. POUR CONTINUOUS CONCRETE FOOTING 42" BELOW GRADE.
3. BUILD BLOCK FOUNDATION WALL ON FOOTINGS.
4. POUR 4" CONCRETE SLAB WITH VAPOR BARRIER, WIRE, GRAVEL AND ALL NECESSARY DRAINAGE (ALL DRAINAGE TO BE TIED INTO EXISTING).
5. INSTALL TWO PIERS FOR NEW COLUMNS ON FRONT CORNER OF PAVILION.
6. INSTALL ONE PIER FOR NEW FENCE FACADE.

**WALL CONSTRUCTION**

1. FRAMING OF WALL WITH 2X6 PT STUDS AND PLATES, 16" OC WITH MASONRY FIREPLACE AS PER DRAWING.
2. ALL TRIM AND EXTERIOR FACING OF BACK WALL FINISHED WITH COMPOSITE MATERIAL.

**ROOF CONSTRUCTION**

1. BUILD A NEW OPEN GABLE ROOF WITH A STRUCTURAL RIDGE BEAM, EXPOSED TRUSSES, AND ROOF RAFTERS AS PER DRAWING.
2. INSTALL 3/4" PLYWOOD SHEATHING WITH 15LB FELT PAPER AND ICE GUARD.
3. INSTALL ASPHALT SEAL TAB SHINGLE ROOF WITH WHITE ALUMINUM GUTTERS/LEADERS.
4. ALL NECESSARY FLASHING.

**FINISHES**

1. PAVILION SURFACE TO BE A SMOOTH CONCRETE SLAB.
2. WALL AND BENCH TO BE A PAINTED STAIN FINISH.
3. CEILING AND EXPOSED BEAMS TO BE PAINTED OR STAINED.

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

DRAWN BY: \_\_\_\_\_

REVISIONS DATE: \_\_\_\_\_

ARCHITECT: **ROBERT COCHIOGROSSI, R.A.**  
**RJMO ARCHITECTURE PC**  
HAWTHORNE, NY

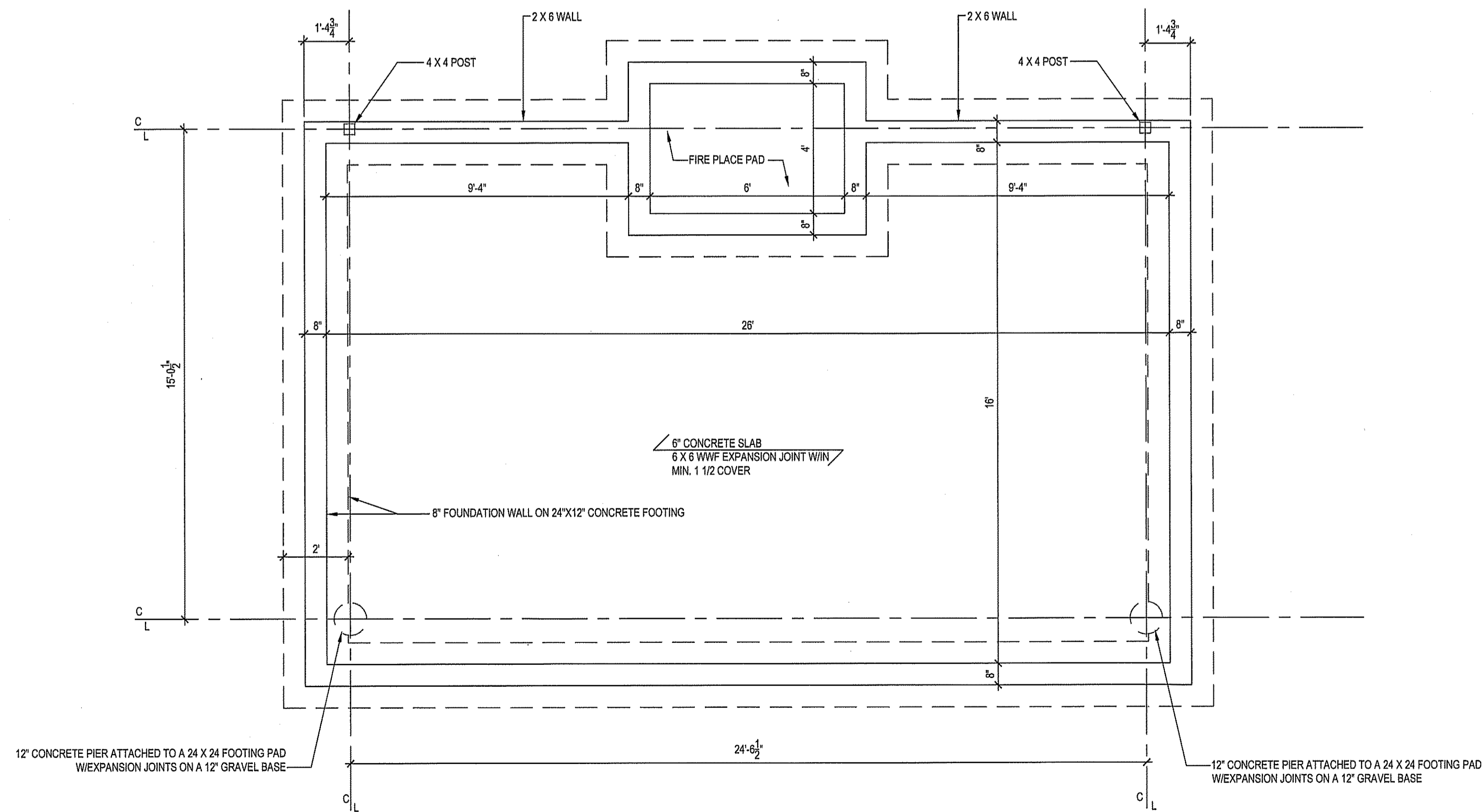
PROJECT: **POOL HOUSE PAVILION**

CLIENT: **THE PIZZORUSSO RESIDENCE**  
6 SCHOENKER ROAD  
ARMONK, NY 10504

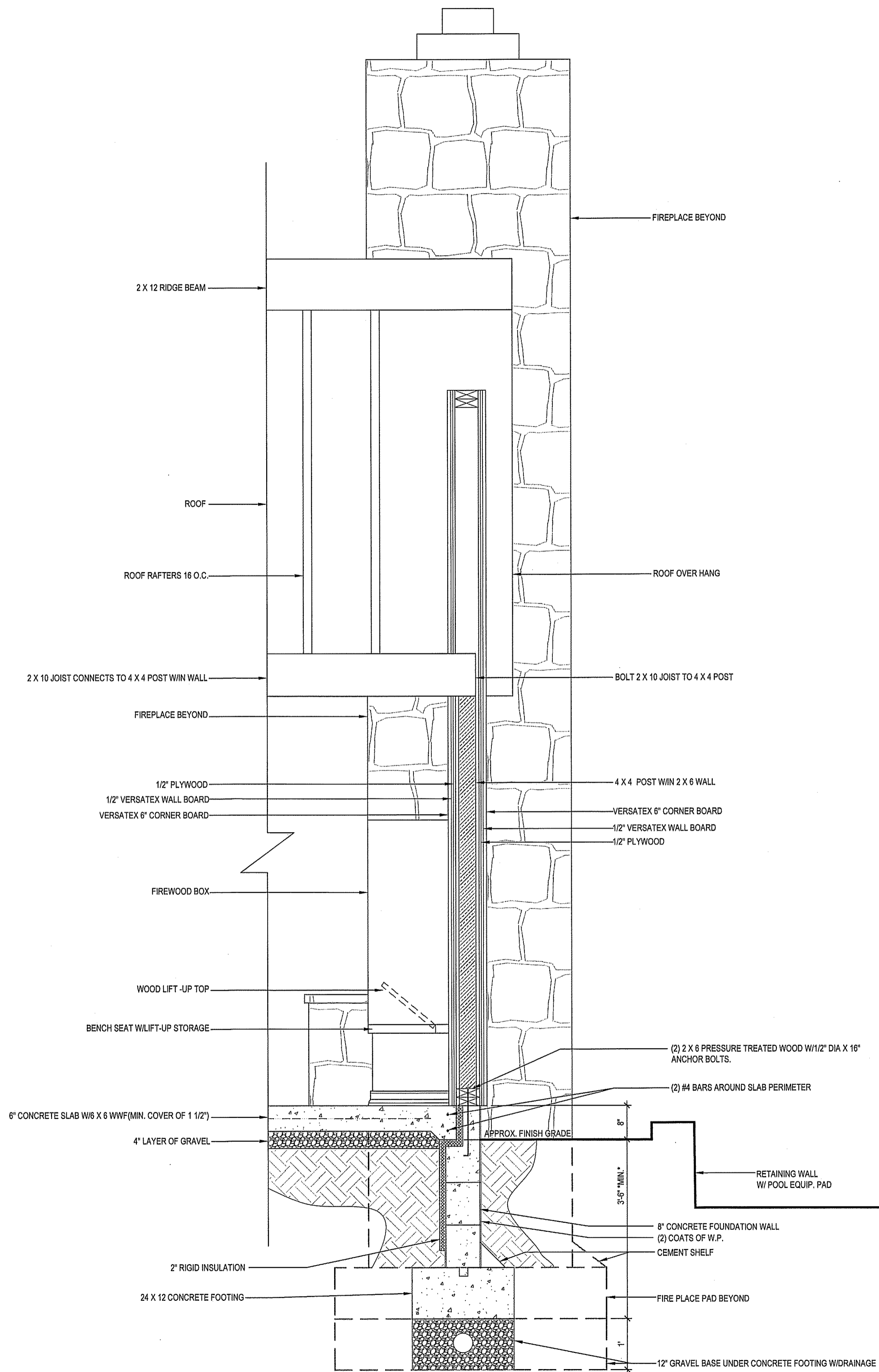
SHEET TITLE: **COVER PAGE & NOTES**

SHEET NUMBER: **1 OF 9**

T: 845.241.0772  
66 LEMINGTON AVE. MOUNT KISCO, NY 10549



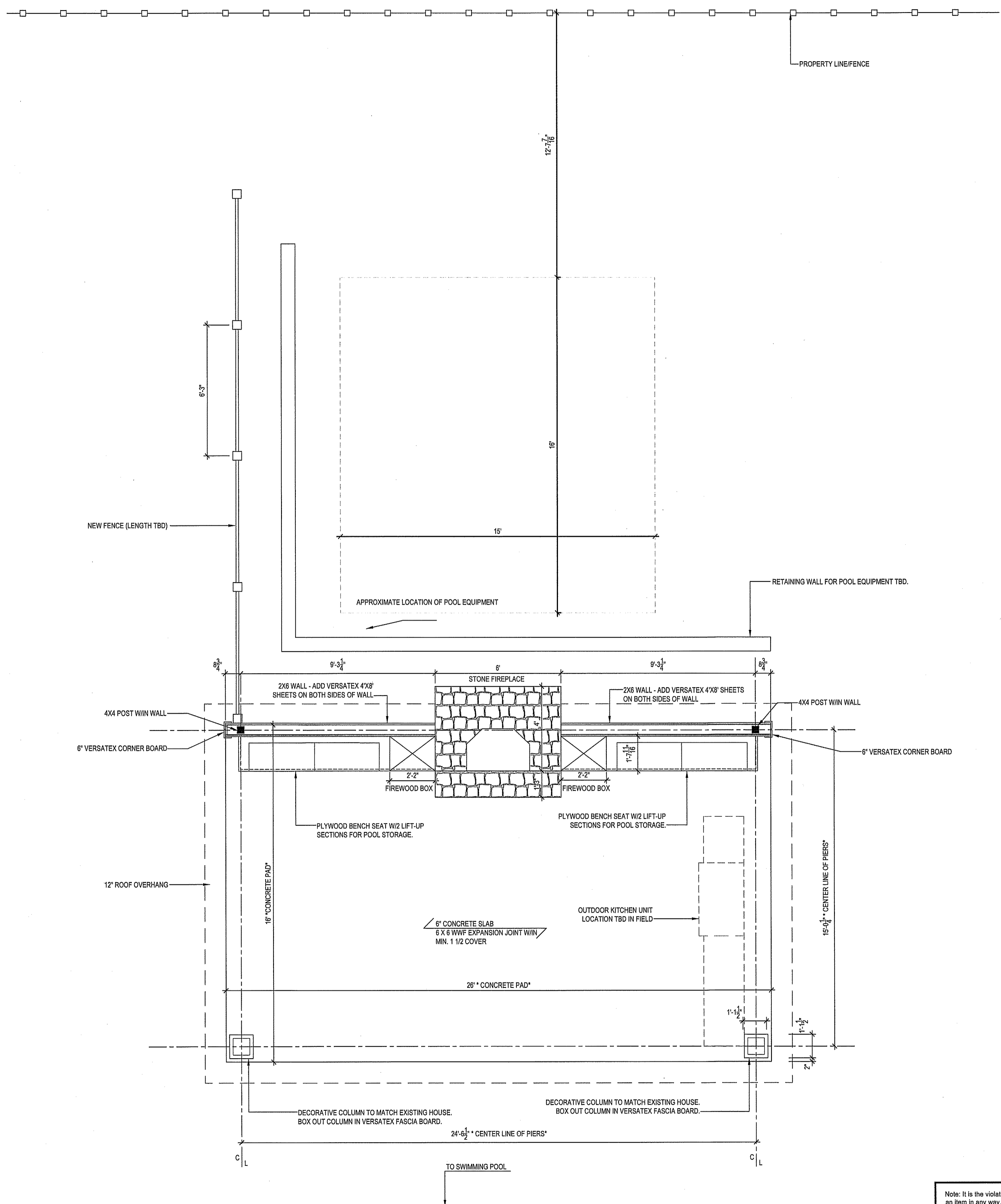
FOUNDATION PLAN  
SCALE: 3/8" = 1'-0"



WALL SECTION @ 4 x 4 POST  
SCALE: 3/4" = 1'-0"

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

DRAWN BY: DATE:	RESPONSIBLE DATE:
ARCHITECT: <b>ROBERT COCHIOGROSSI, R.A.</b> RAIMO ARCHITECTURE P.C. HAITHORNE, NY	
PROJECT: <b>POOL HOUSE PAVILION</b>	
CLIENT: <b>THE PIZZORUSSO RESIDENCE</b> 6 SHOEMAKER ROAD ARMONK, NY 10504	
SHEET TITLE: <b>FOUNDATION PLAN</b>	
SHEET NUMBER: <b>2 OF 9</b>	



**POOL HOUSE PAVILION PLAN**  
SCALE: 3/16" = 1'-0"

STONE PAVERS

REVISIONS	DATE	BY	DESCRIPTION

**NEW DIMENSIONS**  
REMODELING, INC.  
186 LEWISTON AVE. MOUNT KISCO, NY 10549  
T. 914-241-1773

ARCHITECT: **ROBERT OCCHIOGROSSI, R.A.**  
RIMO ARCHITECTURE PC  
HAWTHORNE, NY

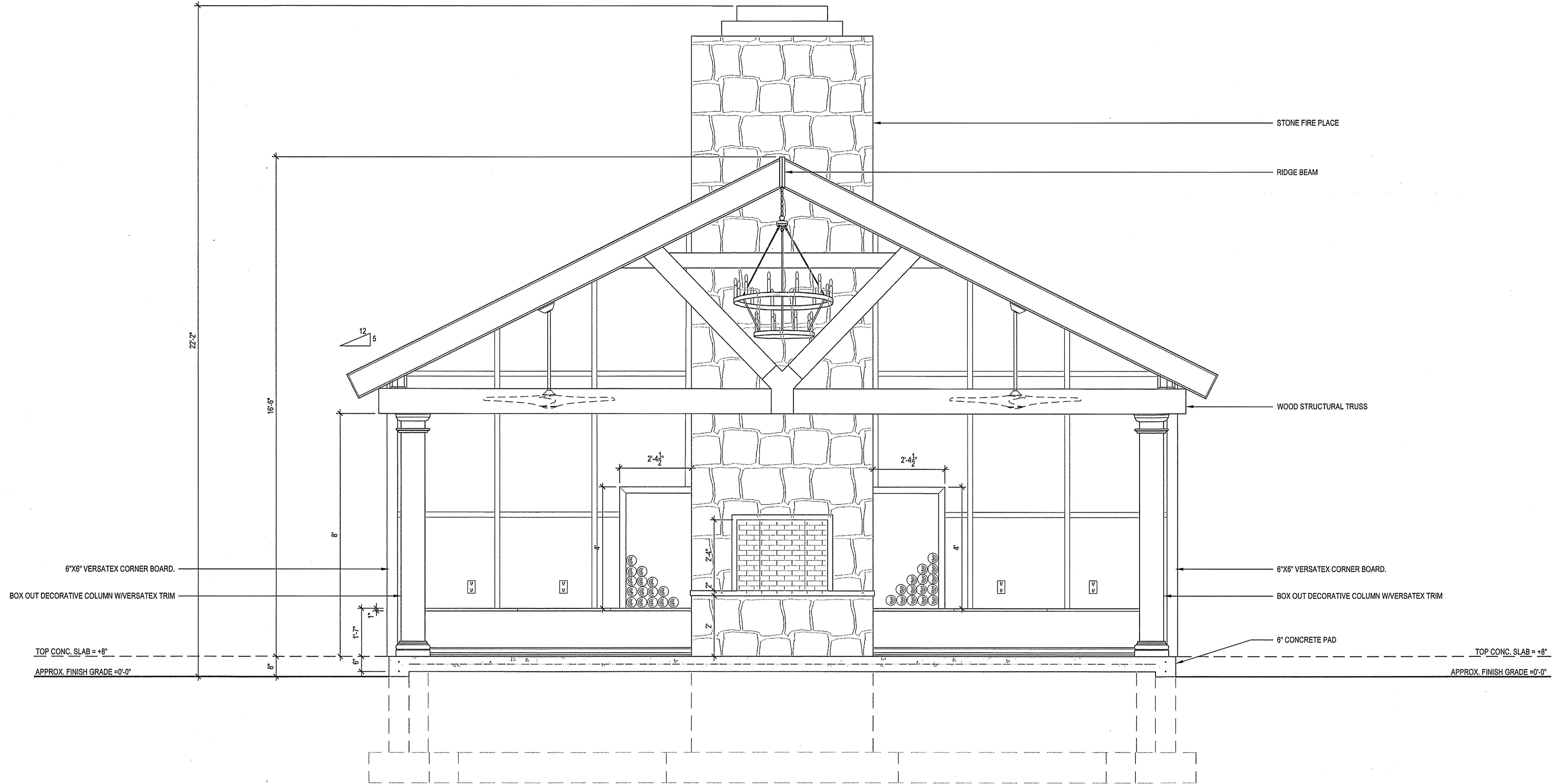
PROJECT: **POOL HOUSE PAVILION**

CLIENT: **THE PIZZORUSSO RESIDENCE**  
6 SHOEMAKER ROAD  
ARMONK, NY 10504

SHEET TITLE: **POOL PAVILION LAYOUT**

SHEET NUMBER: **3 OF 9**





FRONT ELEVATION @ DECORATIVE COLUMNS  
SCALE: 1/2" = 1'-0"

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

DRAWN BY:	
CHECKED BY:	
DATE:	
REVISIONS:	

**NEW DIMENSIONS**  
REMODELING, INC.  
486 LEWISTON AVE. MOUNT KISCO, NY 10549  
T: (914) 241-1773

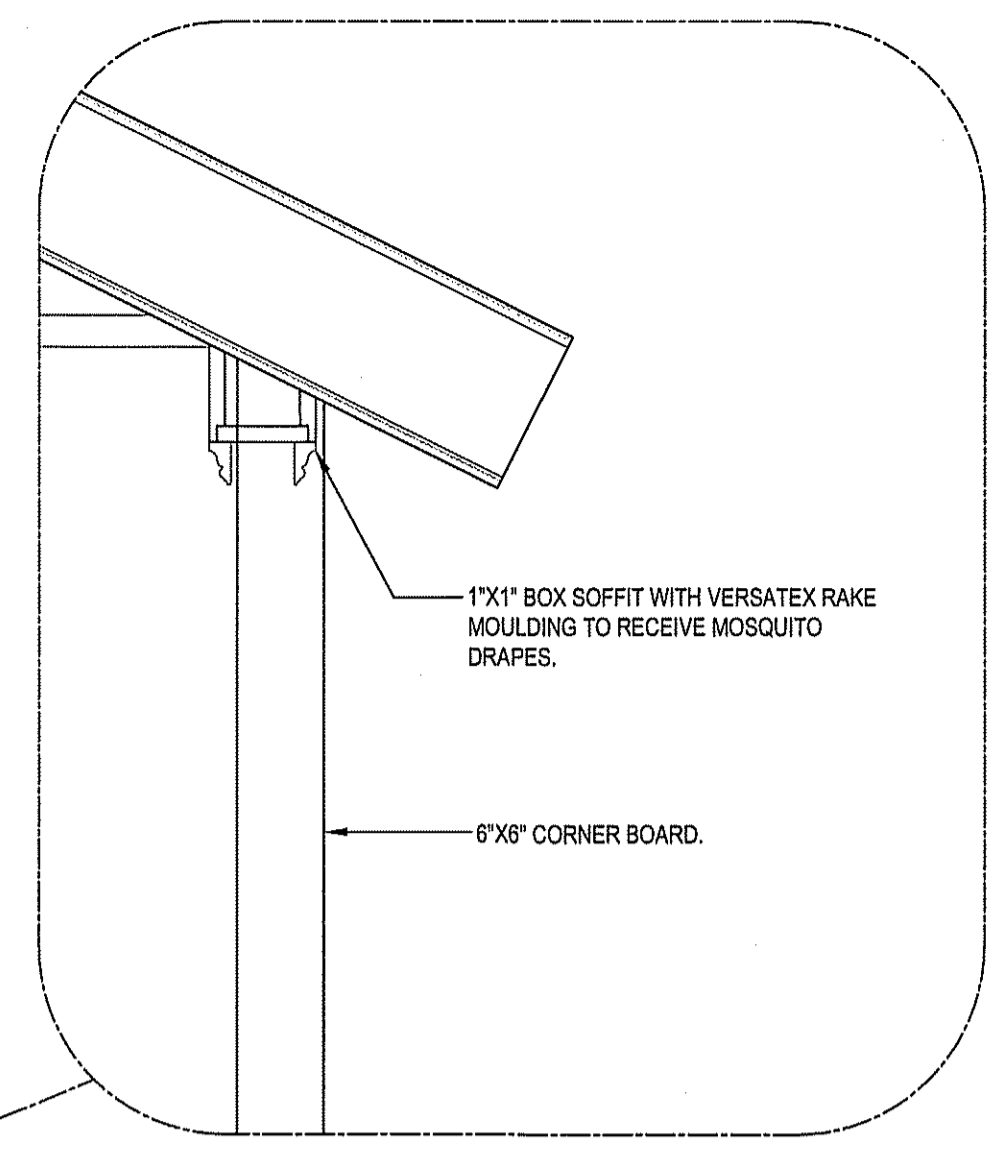
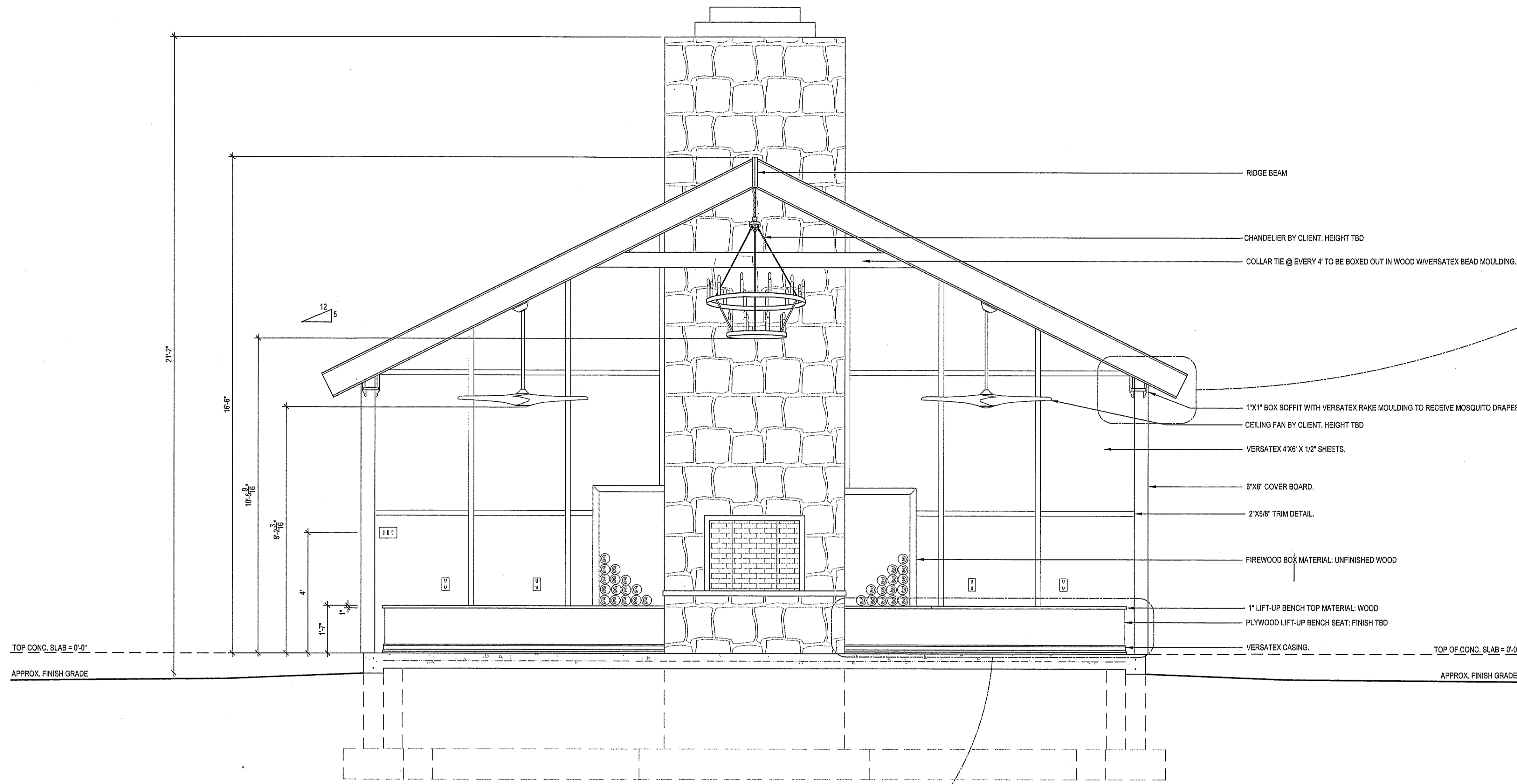
ARCHITECT:  
**ROBERT OCCHIOGROSSI, R.A.**  
RUMO ARCHITECTURE PC  
HAWTHORNE, NY

PROJECT:  
**POOL HOUSE PAVILION**

SUBJECT:  
**THE PIZZORUSSO RESIDENCE**  
6 SCHOEMAKER ROAD  
ARMONK, NY 10504

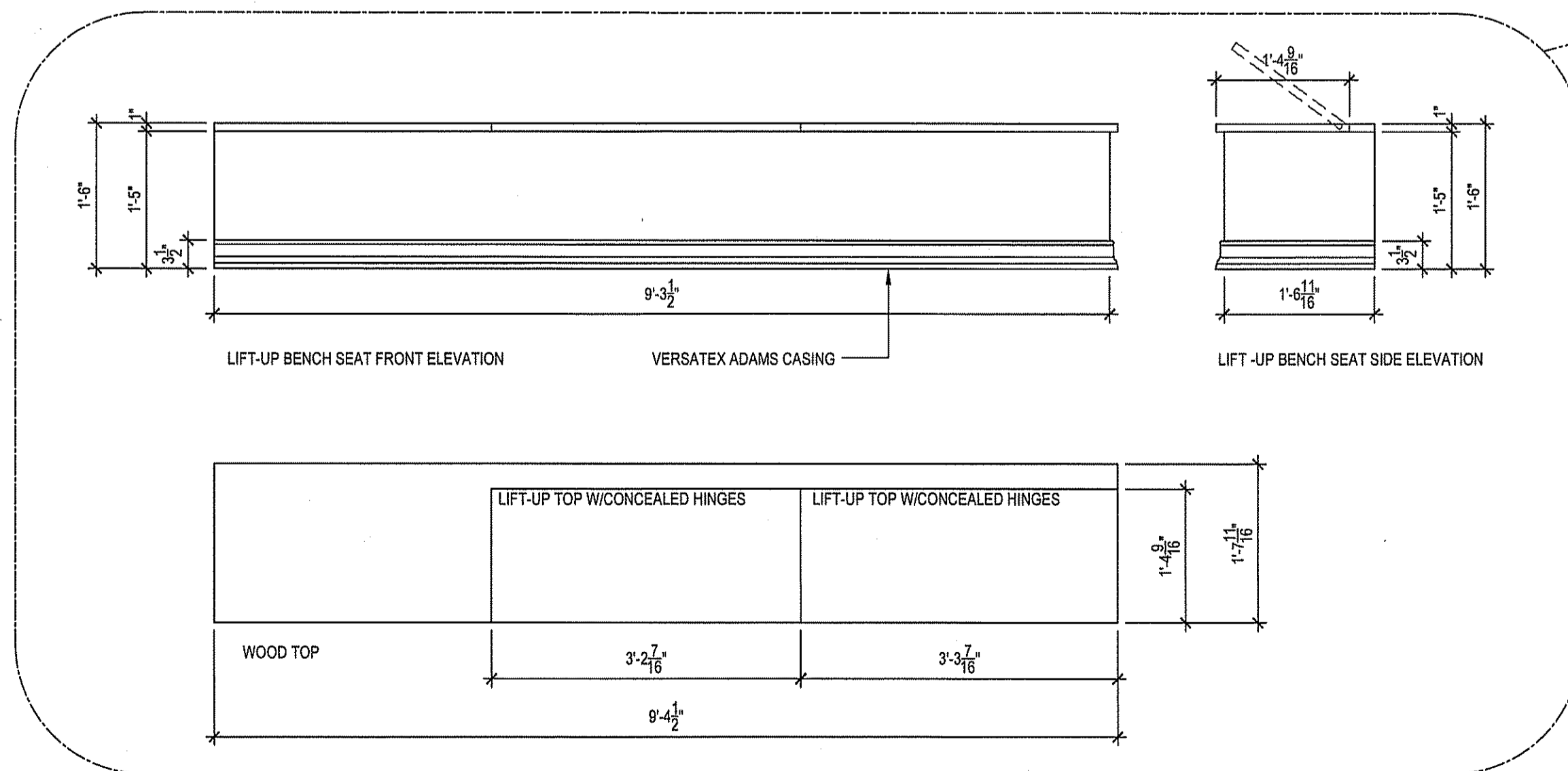
SHEET TITLE:  
**INTERIOR ELEVATION**

SHEET NUMBER:  
**5 OF 9**



DETAIL @ MOSQUITO DRAPES  
SCALE: 1" = 1'-0"

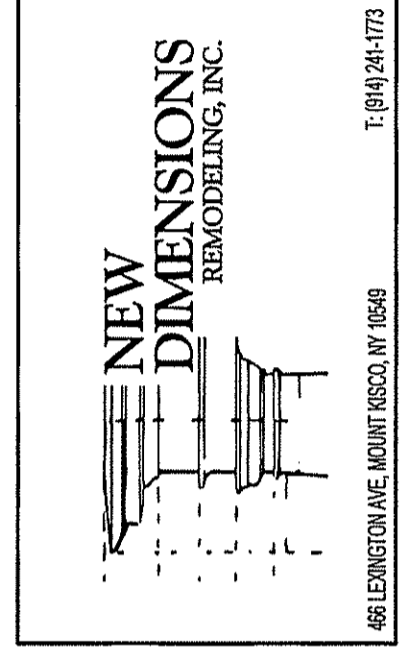
INTERIOR FRONT SECTION @ BENCH WALL & FIREPLACE  
SCALE: 1/2" = 1'-0"



DETAIL @ LIFT-UP BENCH STORAGE  
SCALE: 3/4" = 1'-0"

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

NO.	DATE	DESCRIPTION

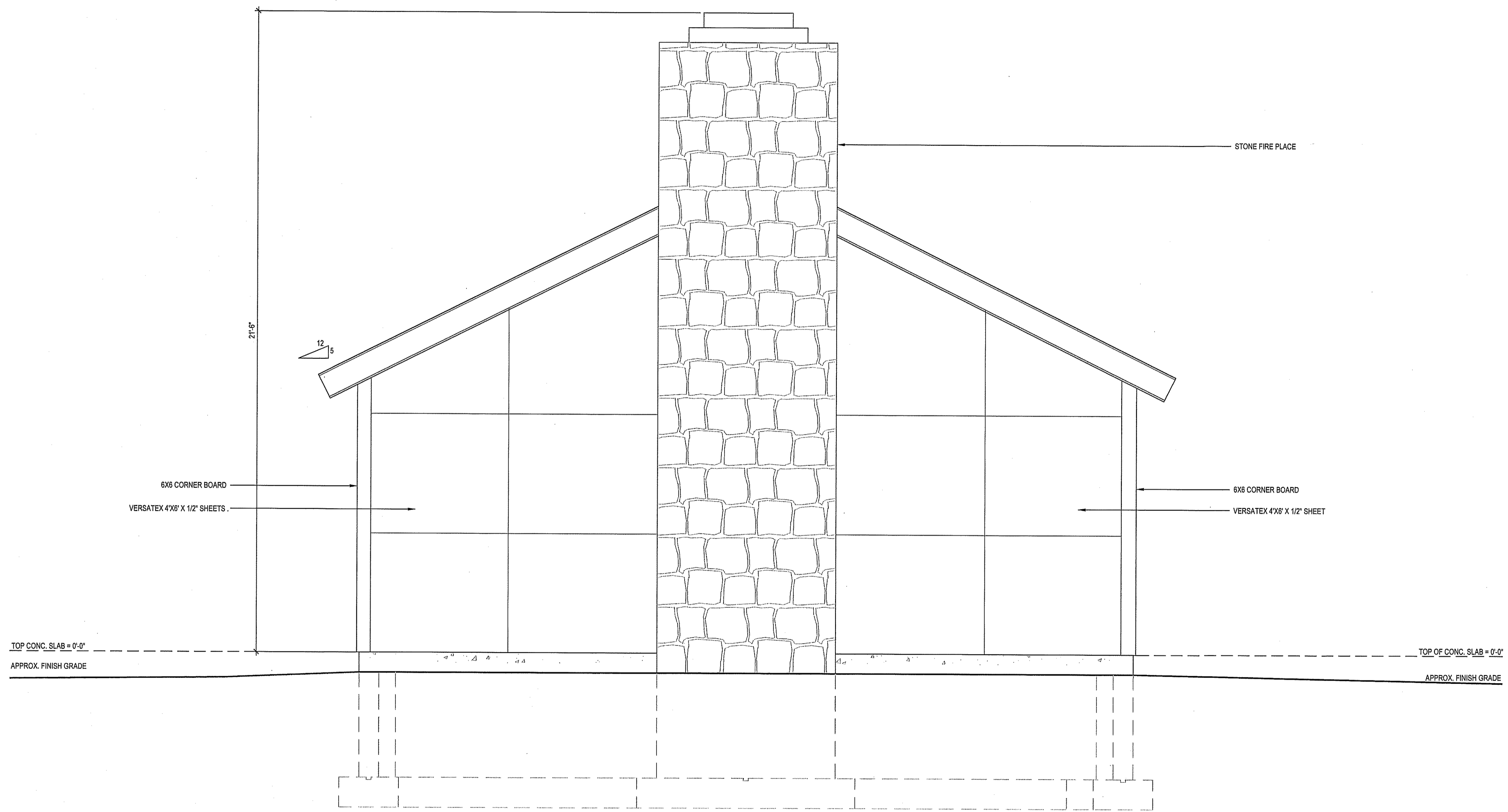


PROJECT: POOL HOUSE PAVILION

SUBJECT: THE PIZZORUSSO RESIDENCE  
6 SHOEMAKER ROAD  
ARMONK, NY 10604

SHEET TITLE: INTERIOR ELEVATION

SHEET NUMBER: 6 OF 9



POOL PAVILION REAR ELEVATION  
SCALE: 1/2" = 1'-0"

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

REVISION/ISSUE DATE	DESCRIPTION

**NEW DIMENSIONS**  
REMODELING, INC.  
486 LEXINGTON AVE. MOUNT KISCO, NY 10956  
TEL: 914/241-1773

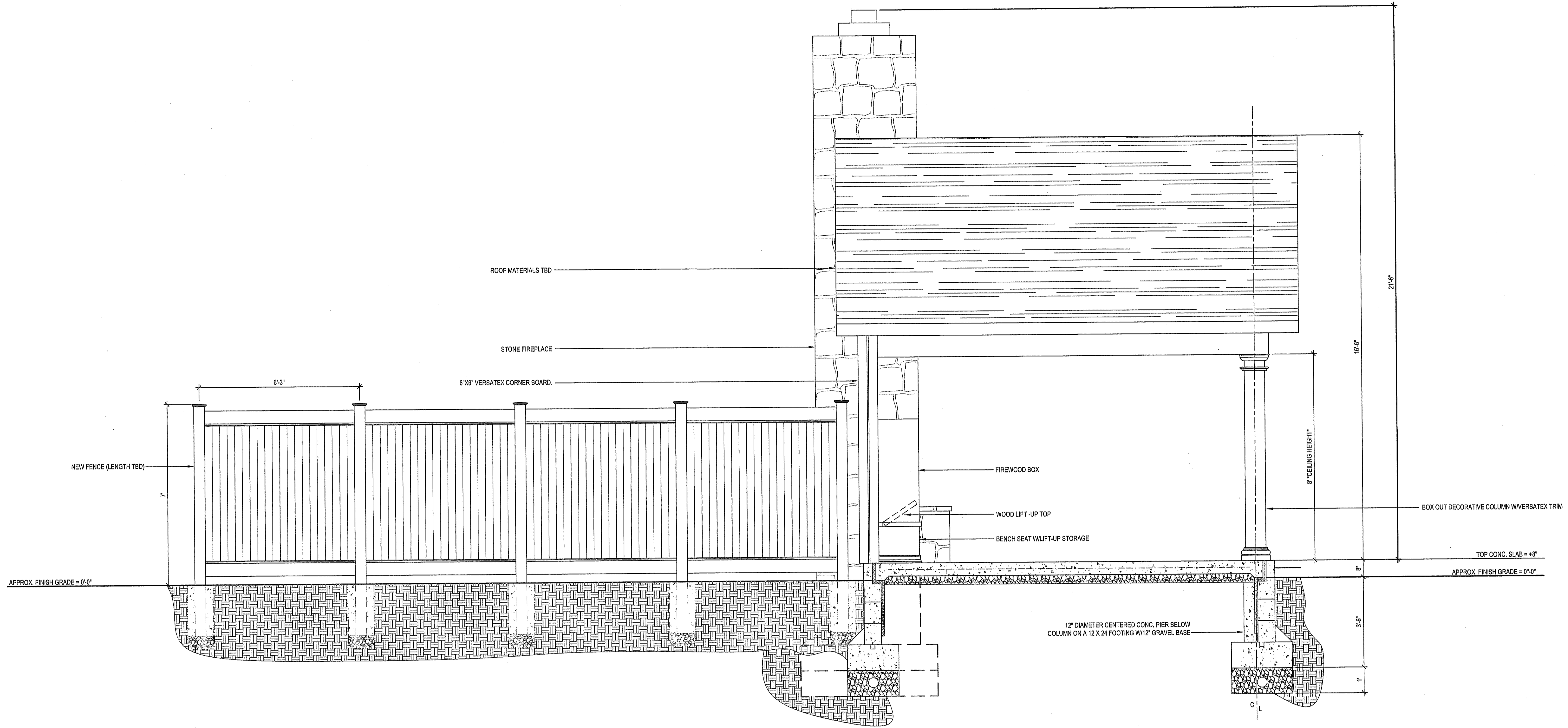
ARCHITECT:  
**ROBERT OCCHIOGROSSI R.A.**  
RJMD ARCHITECTURE PC  
HAWTHORNE, NY

PROJECT:  
**POOL HOUSE PAVILION**

CLIENT:  
**THE PIZZORUSSO RESIDENCE**  
6 SHOCKMAKER ROAD  
ARMONK, NY 10604

SHEET TITLE:  
**REAR ELEVATION**

SHEET NUMBER:  
**7 OF 8**



POOL PAVILION SIDE ELEVATION - FACING POOL EQUIPMENT  
SCALE: 1/2" = 1'-0"

Note: It is the violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

SHEET NUMBER	8 OF 9	
	SIDE ELEVATION	
	PROJECT	
	CLIENT	
SHEET TITLE	THE PIZZORUSSO RESIDENCE 6 SHOEMAKER ROAD ARMONK, NY 10604	
	PROJECT	
	ARCHITECT	
	PROJECT	
SHEET NUMBER	NEW DIMENSIONS REMODELING, INC. 468 LEBANON AVE. MOORET ASSOC. NY 10966 TEL: 845/434-1773	
	ARCHITECT	
	PROJECT	
	REVISIONS	
DRAWN BY		







# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 6 Shoemaker Ln., Armonk, NY 10504

### Section III- DESCRIPTION OF WORK:

Construct a 16' x 26' covered patio at pool with decorative columns, wood burning stone fireplace on back wall with custom benches and 8' facade fence to hide pool equipment.

### Section III- CONTACT INFORMATION:

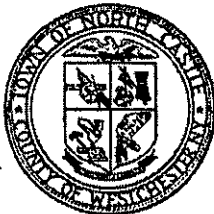
APPLICANT: New Dimensions Remodeling, Inc.  
ADDRESS: 466 Lexington Ave., Mt. Kisco, NY 10549  
PHONE: 914 241-1773 MOBILE: \_\_\_\_\_ EMAIL: dmchugh@newdimensionsremodeling.com

PROPERTY OWNER: Meredith Pizzorusso  
ADDRESS: 6 Shoemaker Lane, Armonk, NY 10504  
PHONE: 914 391-9466 MOBILE: \_\_\_\_\_ EMAIL: mpizzorusso@hotmail.com

PROFESSIONAL: Robert Occhiogrossi, R.A.  
ADDRESS: 152 Manhattan Ave, Hawthorne, NY 10532  
PHONE: 914 319-0220 → MOBILE: \_\_\_\_\_  
EMAIL: rjmoarchitect@optonline.net

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 101.03-2-7.4



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Pool Pavilion

Initial Submittal  Revised Preliminary

Street Location:

6 Shoemaker Lane, Armonk, NY 10504

Zoning District: R-2A Property Acreage: 6.268 AC Tax Map Parcel ID: 101.03-2-7.4

Date: 9-20-22

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

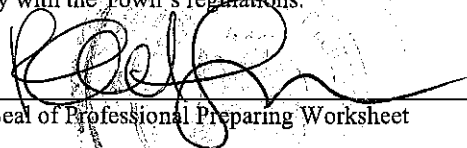
Application Name or Identifying Title: Pizzorusso Pool Pavilion Date: 9-19-22  
 Tax Map Designation or Proposed Lot No.: 101.03-2-7.4

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 52,603.19 SF
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): 10,164 S.F.
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
 

Distance principal home is beyond minimum front yard setback  
19.4' x 10 = \_\_\_\_\_ 194 SF.
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 10,358 SF.
5. Amount of lot area covered by principal building:  
3074 SF existing + 0 proposed = 3074. SF
6. Amount of lot area covered by accessory buildings:  
 \_\_\_\_\_ existing + 931 proposed = 931 SF
7. Amount of lot area covered by decks:  
0 existing + 0 proposed = 0
8. Amount of lot area covered by porches:  
600 SF existing + 0 proposed = 600 SF
9. Amount of lot area covered by driveway, parking areas and walkways:  
3090 existing + 0 proposed = 3090
10. Amount of lot area covered by terraces:  
1280 existing + 0 proposed = 1280
11. Amount of lot area covered by tennis court, pool and mechanical equip:  
734 existing + 0 proposed = 734
12. Amount of lot area covered by all other structures:  
66 existing + 0 proposed = 66
13. Proposed gross land coverage: Total of Lines 5 – 12 = 9775

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

  
 Signature and Seal of Professional Preparing Worksheet

09/20/2022  
 Date